

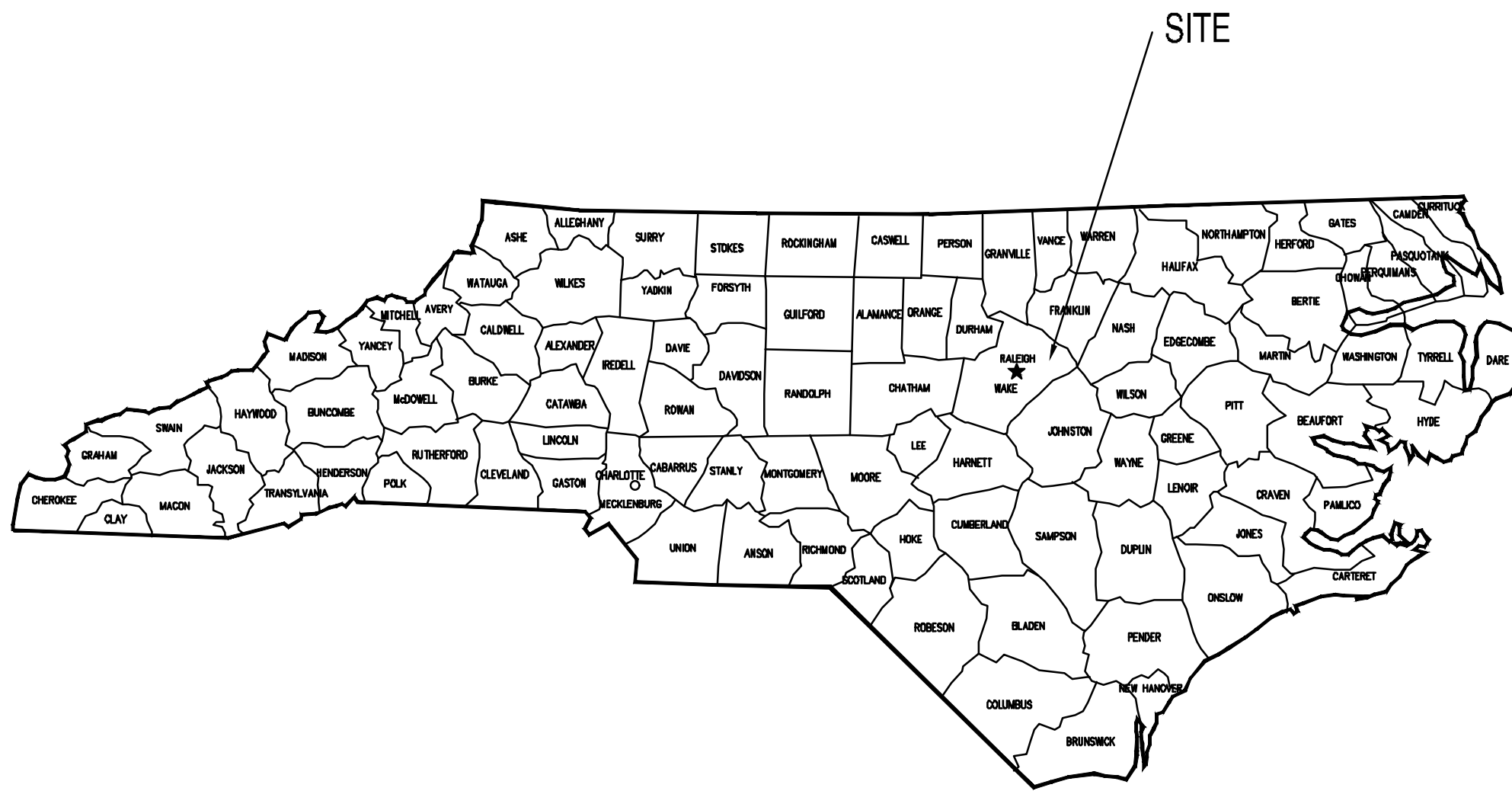
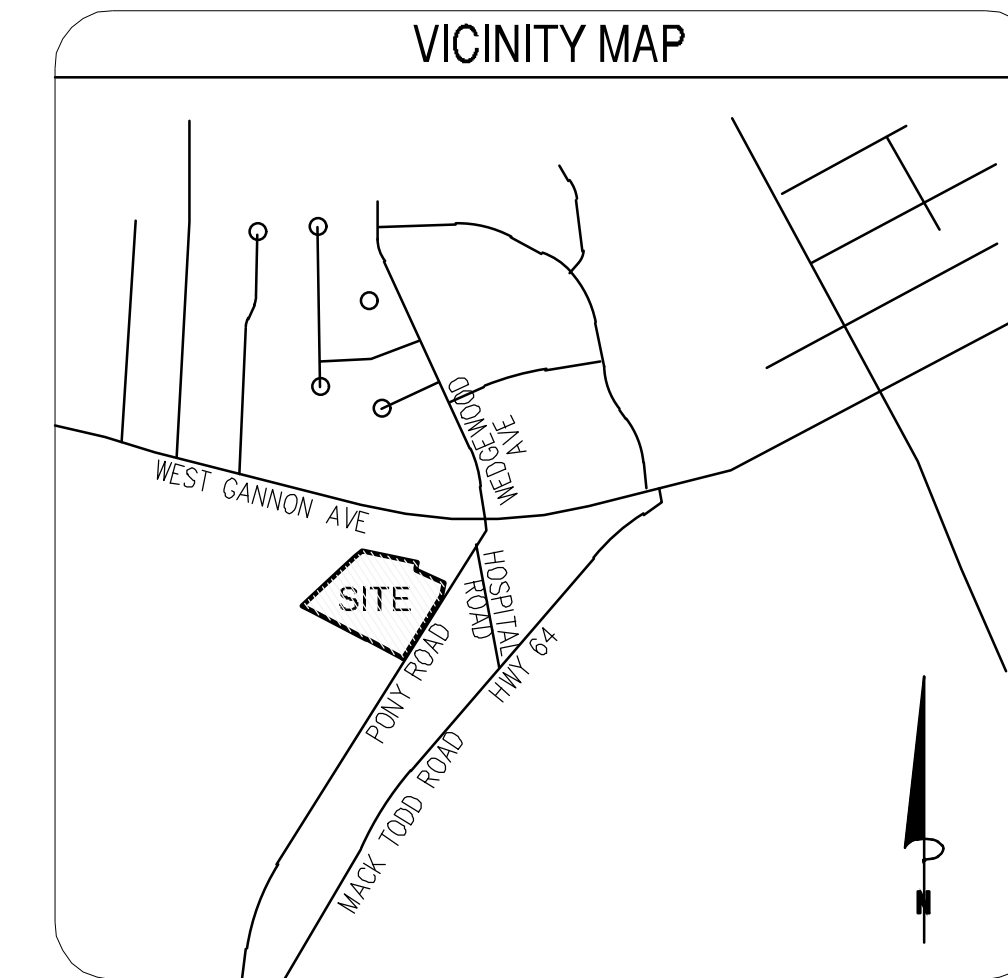
WAKE COUNTY NOTES

FINAL ZONING AND SITE IMPROVEMENT INSPECTION SHALL BE REQUIRED TO VERIFY SITE PLAN COMPLIANCE BE DONE BEFORE A CERTIFICATE OF COMPLIANCE IS ISSUED BY WAKE COUNTY BUILDING INSPECTIONS  
 DETERIORATED OR DEAD SCREENING SHALL BE REPAIRED OR REPLACED WITHIN SIX MONTHS  
 NO PERMANENT CONSTRUCTION CAN OCCUR WITHIN BUFFER YARDS  
 SEPTIC TANKS, SEPTIC DRAIN LINES ARE PROHIBITED IN REQUIRED BUFFERYARDS  
 STORMWATER RETENTION AND DETENTION FACILITIES, STORAGE TANKS FOR ANY PURPOSE, UTILITY SUBSTATIONS, AND 3 BUILDINGS HOUSING UTILITY SUBSTATIONS AND BUILDINGS HOUSING UTILITY COMMODITIES OR EQUIPMENT ARE ALSO PROHIBITED IN REQUIRED BUFFERYARDS.

# CONSTRUCTION DOCUMENTS

## Proposed The Carrington 303 Pony Road Zebulon, North Carolina Wake County

**Approved  
Town of Zebulon  
Meade Bradshaw III  
05/26/2022**



**DEVELOPER**  
 The Carrington, LP  
 Attn. Kevin Connelly  
 125 Old Chapin Rd.  
 Lexington, SC 29072  
 (803) 798-0572  
 tkc@connellybuilders.com

**CIVIL ENGINEER**  
 Bowman North Carolina, Ltd.  
 4006 Barrett Drive, Suite 104  
 Raleigh, NC 27609  
 (919) 553-6570  
 mlowder@bowman.com  
 FIRM# F-1445



**IMPERVIOUS AREA SUMMARY**

|                                      |            |                              |
|--------------------------------------|------------|------------------------------|
| ON-SITE AREA = 333,957 SF (7.667 AC) |            |                              |
| BUILDINGS                            | 22,721 SF  | 0.52 ACRE(S) 6.80 % OF AREA  |
| SIDEWALK                             | 5,235 SF   | 0.12 ACRE(S) 1.57 % OF AREA  |
| PAVEMENT                             | 34,940 SF  | 0.80 ACRE(S) 10.46 % OF AREA |
| TOTAL IMPERVIOUS AREA                | 62,896 SF  | 1.44 ACRE(S) 18.83 % OF AREA |
| GREEN/OPEN SPACE                     | 271,061 SF | 6.22 ACRE(S) 81.17 % OF AREA |
| EXISTING IMPERVIOUS AREA:            | 5,984 SF   | 0.14 ACRE(S) 1.79 % OF AREA  |
| INCREASE IN IMPERVIOUS AREA:         | 56,912 SF  | 1.31 ACRE(S)                 |

**PROJECT DEVELOPMENT DATA**

|                                     |   |
|-------------------------------------|---|
| DEVELOPMENT NAME:                   | THE CARRINGTON  |
| STREET ADDRESS:                     | 303 PONY ROAD<br>ZEBULON, NC  |
| PIN:                                | 1795-83-7655  |
| REID:                               | 0053208   |
| DEED BOOK/PAGE:                     | 012841/02154  |
| ZONING DISTRICT(S):                 | O&I (OFFICE AND INSTITUTIONAL)<br>SPECIAL USE PERMIT SUP 2019-01 CARDINAL PINES             |
| SITE ACRES:                         | OVERALL AREA = 333,957 SF (7.667 AC)  |
| DISTURBED AREA:                     | 3.1 ACRES   |
| LATITUDE & LONGITUDE:               | N35.816581, W-78.328735   |
| INSIDE TOWN LIMITS:                 | YES   |
| EXISTING USE:                       | VACANT  |
| PROPOSED BUILDING USE:              | 72 SENIOR APARTMENT UNITS<br>(32) 1 BEDROOM UNITS<br>(40) 2 BEDROOM UNITS                   |
| PROPOSED RESIDENTIAL DENSITY:       | 72 UNITS/ 7.667 ACRES = 9.39 UNITS/ACRE   |
| MAXIMUM RESIDENTIAL DENSITY:        | 12 UNITS/ACRE   |
| GROSS BUILDING AREA:                | 85,454 SF±  |
| MINIMUM LOT SIZE:                   | N/A   |
| MINIMUM LOT WIDTH:                  | 120 FT  |
| MINIMUM PERMETER SETBACK:           | 25 FT   |
| MAXIMUM LOT COVERAGE:               | 40% OF TOTAL AREA   |
| MINIMUM OPEN SPACE:                 | 10% OF TOTAL AREA (50% TO BE ACTIVE OPEN SPACE)   |
| OPEN SPACE PROVIDED:                | 81.17% OF PROPERTY  |
| MAXIMUM BUILDING HEIGHT:            | 50 FT/4 STORIES   |
| MINIMUM DISTANCE BETWEEN BUILDINGS: | 25 FT   |
| PARKING REQUIREMENT:                | 1.0 SPACES PER SENIOR DWELLING UNIT (NOCHA)<br>1.0 SPACE PER UNIT REQUESTED (PARKING STUDY) |
| TOTAL REQUIRED:                     | 72 UNITS = 72 PARKING SPACES  |
| PARKING SPACES PROVIDED:            | 81  |
| PARKING SPACE DIMENSIONS:           | 10' x 19' MIN<br>8.5' x 18' COMPACT (30% MAX)<br>20 FT ONE-WAY, 24 FT TWO-WAY               |
| MIN DRIVE AISLE:                    | 20 FT ONE-WAY, 24 FT TWO-WAY  |
| ACCESSIBLE SPACES PROVIDED:         | 12  |
| LANDSCAPE BUFFERS:                  | 10 FT TYPE A BUFFER (ADJACENT RIMF)<br>15 FT TYPE C STREETSCAPE BUFFER ALONG PONY ROAD      |

SUP 2019-01

**Town of Zebulon  
Special Use Permit Granted  
SUP 2019-01 - Cardinal Pines**

On June 3, 2019, the Board of Commissioners for the Town of Zebulon convened a meeting to consider taking action regarding an application for a Special Use Permit for multi-family apartments located within the Transitional Residential zoning district.

**Applicant:** WDT Development, LLC  
439 S. Woodland Road  
Henderson, NC 27536

**Property Owner:** Joseph B Vinson  
Jewel S Vinson Trustee  
PO Box 1128  
Zebulon, NC 27597

**File Number:** 2705431949

**Approved use of property:** Multi-Family Apartments

**Zoning District:** Transitional Residential (TR)

**Parcel Size:** Approximately 7.07 acres

Having heard all the evidence and arguments presented at the a joint quasi-judicial hearing held on May 21, 2019, the Board of Commissioners finds that the application is complete, that the applicant has demonstrated that the findings of fact as indicated in §152.038(B) of the Town of Zebulon Code of Ordinances have been met for the development proposed, and the purposes indicated in hereby approved with the conditions listed below, subject to all applicable provisions of the Zebulon Code of Ordinances, including §152.060 Vested Right.

Expiration Date: June 7, 2021

**Condition(s) of Approval:**

- A sidewalk connection should be made behind the building for connectivity and a proposed outdoor amenity.
- There should be a sidewalk connection from the front entrance of the building to the public sidewalk on Pony Road and
- The project must receive Technical Review Committee approval from the Town of Zebulon conforming to the Code of Ordinances and Land Development Regulations.

IN WITNESS WHEREOF, the Town of Zebulon has caused this permit to be issued in its name.

Town of Zebulon

By: Robert S. Moberly - Mayor

Attest: Lisa M. Markland - Town Clerk

**CURRENT PROPERTY OWNERS**  
 Joseph B. Vinson &  
 Jewel S. Vinson  
 (Trustee) Parrish Realty  
 c/o Renee Baker  
 P.O. Box 1128  
 Zebulon, NC 27597

**PRECONSTRUCTION NOTE**  
 A PRE-CONSTRUCTION MEETING IS REQUIRED WITH THE TOWN OF ZEBULON CONSTRUCTION INSPECTOR. CONTACT JASON AT 919-790-5640.

**SITE PERMITTING APPROVAL**

Water and Sewer Permits (if applicable)

The City of Raleigh consents to the connection and extension of the City's Public Sewer System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specification of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # S-\_\_\_\_\_

The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specification of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # W-\_\_\_\_\_

The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # S-\_\_\_\_\_

**EROSION CONTROL, STORMWATER AND FLOODPLAIN MANAGEMENT**

**APPROVED**

EROSION CONTROL  S-\_\_\_\_\_

STORMWATER MGMT.  S-\_\_\_\_\_

FLOOD STUDY  S-\_\_\_\_\_

DATE \_\_\_\_\_

ENVIRONMENTAL CONSULTANT SIGNATURE

**ATTENTION CONTRACTORS**

The Construction Contractor responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for contacting the Public Utilities Department at (919)996-4540 at least twenty four hours prior to beginning any of their construction.

**Failure** to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

**Failure** to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

**Index of Drawings**

| SHEET NUMBER | SHEET TITLE  |
|--------------|--|
| C1.0         | COVER SHEET  |
| C1.1         | GENERAL NOTES, ABBREVIATIONS, AND LEGEND               |
| C2.0         | DEMOLITION PLAN  |
| C2.1         | EROSION CONTROL PLAN - INITIAL                         |
| C2.2         | EROSION CONTROL PLAN - FINAL                           |
| C2.3         | EROSION CONTROL NOTES                                  |
| C2.4         | NC CONSTRUCTION GENERAL PERMIT (NCG01) NOTES           |
| C3.0         | SITE PLAN  |
| C4.0         | GRADING & DRAINAGE PLAN                                |
| C4.1         | GRADING & DRAINAGE NOTES                               |
| C5.0         | UTILITY PLAN   |
| C6.0         | EROSION CONTROL DETAILS                                |
| C6.1         | EROSION CONTROL DETAILS                                |
| C6.2         | CONSTRUCTION DETAILS                                   |
| C6.3         | CONSTRUCTION DETAILS                                   |
| C6.4         | UTILITY DETAILS  |
| C6.5         | STORMWATER MANAGEMENT DETAILS                          |
| C6.6         | STORMWATER MANAGEMENT DETAILS                          |
| C6.7         | STORMWATER MANAGEMENT DETAILS                          |
| C7.0         | LANDSCAPE PLAN   |
| C7.1         | LANDSCAPE PLAN   |
| A-1          | BUILDING ELEVATIONS - 1 AND 2 BEDROOM UNIT FLOOR PLANS |
| A-2          | BUILDING ELEVATIONS - BUILDING 1ST & 2ND FLOOR PLANS   |
| A-3          | BUILDING ELEVATIONS - BUILDING 3RD & 4TH FLOOR PLANS   |
| A-4          | BUILDING ELEVATIONS                                    |

**CITY OF RALEIGH  
PLANS AUTHORIZED FOR CONSTRUCTION**

Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.

City of Raleigh Development Approval \_\_\_\_\_  
 Raleigh Water Review Officer \_\_\_\_\_

**PRELIMINARY DO NOT USE FOR CONSTRUCTION**

**PLAN STATUS**

|          |                 |
|----------|-----------------|
| 10/29/21 | 1ST SUBMISSION  |
| 2/9/22   | PER TOWN REVIEW |
| 3/18/22  | PER TOWN REVIEW |
| 5/2/22   | PER TOWN REVIEW |

| DATE       | DESCRIPTION                 |
|------------|-----------------------------|
| MEL DESIGN | MEL DRAWN XXX CHKD          |
| SCALE      | H: 1" = 40'<br>V: 1" = XXX' |
| JOB No.    | 000000-00-000               |
| DATE       | October 29, 2021            |
| FILE No.   | 000000-0-CP-000             |

SHEET **C1.0**

**Bowman**

Bowman North Carolina Ltd.  
 4006 BARRETT DR  
 Suite 104  
 RALEIGH, NC 27609  
 Phone: (919)553-6570  
 bowman.com  
 Bowman North Carolina Ltd.

Wake County

COVER SHEET  
 The Carrington  
 303 Pony Road

Zebulon, NC

LEGEND table with columns for EXISTING, DESCRIPTION, and PROPOSED symbols.

ABBREVIATIONS table listing various symbols and their corresponding text descriptions.

- GENERAL NOTES: 1. UTILITY CONFLICTS: ALL EXISTING UTILITIES SHOWN WERE COMPILED USING THE BEST AVAILABLE INFORMATION...

- GENERAL NOTES (CONT.): 1. THE CONTRACTOR SHALL CAREFULLY EXAMINE THE SITE AND MAKE ALL INSPECTIONS NECESSARY IN ORDER TO DETERMINE THE FULL EXTENT OF THE WORK REQUIRED TO MAKE THE PROPOSED WORK CONFORM TO THE DRAWINGS AND SPECIFICATIONS...

LEGEND NOTES: 1. THIS IS A STANDARD SHEET, THEREFORE SOME ABBREVIATIONS MAY APPEAR ON THIS SHEET AND NOT BE USED ON THE PROJECT. 2. ADDITIONAL LEGENDS AND NOTES MAY BE FOUND ON OTHER SHEETS ASSOCIATED WITH THIS PLAN.

Continuation of ABBREVIATIONS table for symbols Z through Y.

- Continuation of GENERAL NOTES: 11. THE CONTRACTOR SHALL OBTAIN COPIES OF THE "SOLS AND INVESTIGATION" REPORT FROM GEOTECHNICAL ENGINEER...

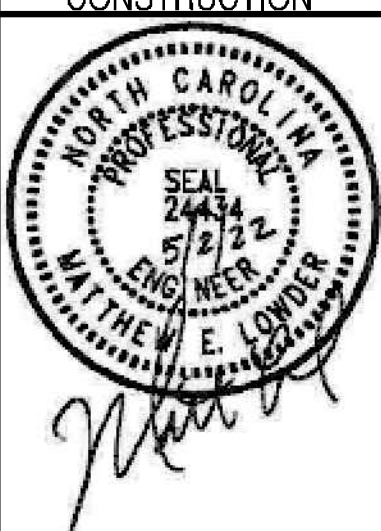
- Continuation of GENERAL NOTES (CONT.): 12. THE CONTRACTOR IS RESPONSIBLE FOR INSURING THAT ALL ADA ACCESSIBLE SIDEWALKS MAINTAIN SLOPES NOT TO EXCEED 5% LONGITUDINALLY AND 2% CROSS SLOPES...



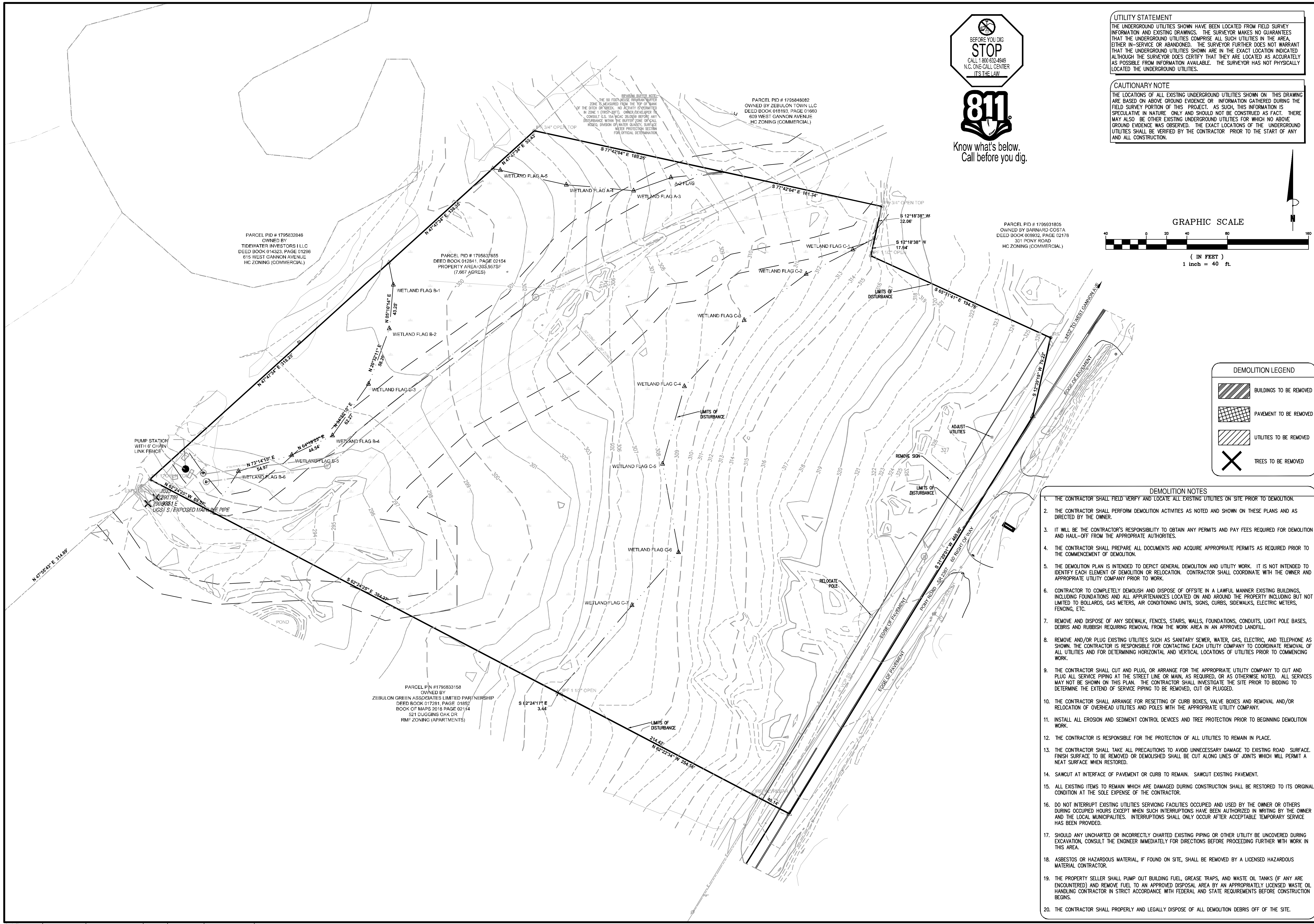
Bowman North Carolina Ltd. 4006 BARRRETT DR Suite 104 RALEIGH, NC 27609 Phone: (919)555-6570 bowman.com

The Carrington 303 Pony Road Zebulon, NC

PRELIMINARY DO NOT USE FOR CONSTRUCTION



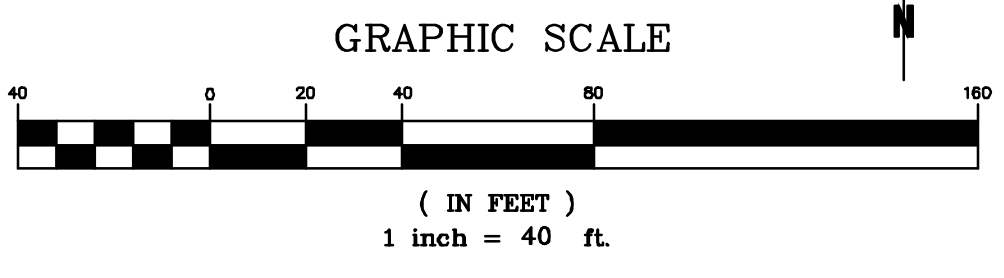
PLAN STATUS table with columns for DATE and DESCRIPTION, and a DESIGN table with columns for MEL, DRAWN, CHKD.



Know what's below.  
Call before you dig.

**UTILITY STATEMENT**  
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

**CAUTIONARY NOTE**  
THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE BASED ON ABOVE GROUND EVIDENCE OR INFORMATION GATHERED DURING THE FIELD SURVEY PORTION OF THIS PROJECT. AS SUCH, THIS INFORMATION IS SPECULATIVE IN NATURE ONLY AND SHOULD NOT BE CONSTRUED AS FACT. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF THE UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF ANY AND ALL CONSTRUCTION.



**DEMOLITION LEGEND**

|  |                         |
|--|-------------------------|
|  | BUILDINGS TO BE REMOVED |
|  | PAVEMENT TO BE REMOVED  |
|  | UTILITIES TO BE REMOVED |
|  | TREES TO BE REMOVED     |

- DEMOLITION NOTES**
1. THE CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL EXISTING UTILITIES ON SITE PRIOR TO DEMOLITION.
  2. THE CONTRACTOR SHALL PERFORM DEMOLITION ACTIVITIES AS NOTED AND SHOWN ON THESE PLANS AND AS DIRECTED BY THE OWNER.
  3. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS AND PAY FEES REQUIRED FOR DEMOLITION AND HAUL-OFF FROM THE APPROPRIATE AUTHORITIES.
  4. THE CONTRACTOR SHALL PREPARE ALL DOCUMENTS AND ACQUIRE APPROPRIATE PERMITS AS REQUIRED PRIOR TO THE COMMENCEMENT OF DEMOLITION.
  5. THE DEMOLITION PLAN IS INTENDED TO DEPICT GENERAL DEMOLITION AND UTILITY WORK. IT IS NOT INTENDED TO IDENTIFY EACH ELEMENT OF DEMOLITION OR RELOCATION. CONTRACTOR SHALL COORDINATE WITH THE OWNER AND APPROPRIATE UTILITY COMPANY PRIOR TO WORK.
  6. CONTRACTOR TO COMPLETELY DEMOLISH AND DISPOSE OF OFFSITE IN A LAWFUL MANNER EXISTING BUILDINGS, INCLUDING FOUNDATIONS AND ALL APPURTENANCES LOCATED ON AND AROUND THE PROPERTY INCLUDING BUT NOT LIMITED TO BOLLARDS, GAS METERS, AIR CONDITIONING UNITS, SIGNS, CURBS, SIDEWALKS, ELECTRIC METERS, FENCING, ETC.
  7. REMOVE AND DISPOSE OF ANY SIDEWALK, FENCES, STAIRS, WALLS, FOUNDATIONS, CONDUITS, LIGHT POLE BASES, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED LANDFILL.
  8. REMOVE AND/OR PLUG EXISTING UTILITIES SUCH AS SANITARY SEWER, WATER, GAS, ELECTRIC, AND TELEPHONE AS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING EACH UTILITY COMPANY TO COORDINATE REMOVAL OF ALL UTILITIES AND FOR DETERMINING HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES PRIOR TO COMMENCING WORK.
  9. THE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY COMPANY TO CUT AND PLUG ALL SERVICE PIPING AT THE STREET LINE OR MAIN, AS REQUIRED, OR AS OTHERWISE NOTED. ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTEND OF SERVICE PIPING TO BE REMOVED, CUT OR PLUGGED.
  10. THE CONTRACTOR SHALL ARRANGE FOR RESETTING OF CURB BOXES, VALVE BOXES AND REMOVAL AND/OR RELOCATION OF OVERHEAD UTILITIES AND POLES WITH THE APPROPRIATE UTILITY COMPANY.
  11. INSTALL ALL EROSION AND SEDIMENT CONTROL DEVICES AND TREE PROTECTION PRIOR TO BEGINNING DEMOLITION WORK.
  12. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES TO REMAIN IN PLACE.
  13. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO AVOID UNNECESSARY DAMAGE TO EXISTING ROAD SURFACE. FINISH SURFACE TO BE REMOVED OR DEMOLISHED SHALL BE CUT ALONG LINES OF JOINTS WHICH WILL PERMIT A NEAT SURFACE WHEN RESTORED.
  14. SAWCUT AT INTERFACE OF PAVEMENT OR CURB TO REMAIN. SAWCUT EXISTING PAVEMENT.
  15. ALL EXISTING ITEMS TO REMAIN WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE SOLE EXPENSE OF THE CONTRACTOR.
  16. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
  17. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
  18. ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR.
  19. THE PROPERTY SELLER SHALL PUMP OUT BUILDING FUEL, GREASE TRAPS, AND WASTE OIL TANKS (IF ANY ARE ENCOUNTERED) AND REMOVE FUEL TO AN APPROVED DISPOSAL AREA BY AN APPROPRIATELY LICENSED WASTE OIL HANDLING CONTRACTOR IN STRICT ACCORDANCE WITH FEDERAL AND STATE REQUIREMENTS BEFORE CONSTRUCTION BEGINS.
  20. THE CONTRACTOR SHALL PROPERLY AND LEGALLY DISPOSE OF ALL DEMOLITION DEBRIS OFF OF THE SITE.

# Bowman

Bowman North Carolina Ltd.  
4006 BARRIETT DR  
Suite 104  
RALEIGH, NC 27609  
Phone: (919) 555-6570  
bowman.com  
Bowman North Carolina Ltd.

Wake County

**DEMOLITION PLAN**  
The Carrington  
303 Pony Road  
Zebulon, NC

PRELIMINARY  
DO NOT  
USE FOR  
CONSTRUCTION



**PLAN STATUS**

|          |                 |
|----------|-----------------|
| 10/29/21 | 1ST SUBMISSION  |
| 2/9/22   | PER TOWN REVIEW |
| 3/18/22  | PER TOWN REVIEW |
| 5/2/22   | PER TOWN REVIEW |

| DATE       | DESCRIPTION                  |
|------------|------------------------------|
| MEL DESIGN | MEL DRAWN XXXX CHKD          |
| SCALE      | H: 1" = XXX'<br>V: 1" = XXX' |
| JOB No.    | 000000-00-000                |
| DATE       | October 29, 2021             |
| FILE No.   | 000000-0-CP-000              |

SHEET **C2.0**

WAKE COUNTY CONSTRUCTION SEQUENCE

- 1. SCHEDULE A PRECONSTRUCTION CONFERENCE WITH THE WAKE COUNTY ENGINEER, ALAN ALDOCK WITH WAKE COUNTY AT 919-889-2550, PRIOR TO A LAND-SETBACK PERMIT.

EROSION CONTROL NOTES

- REFER TO GENERAL NOTES SHEET FOR ADDITIONAL EROSION CONTROL REQUIREMENTS.

EROSION CONTROL NARRATIVE:

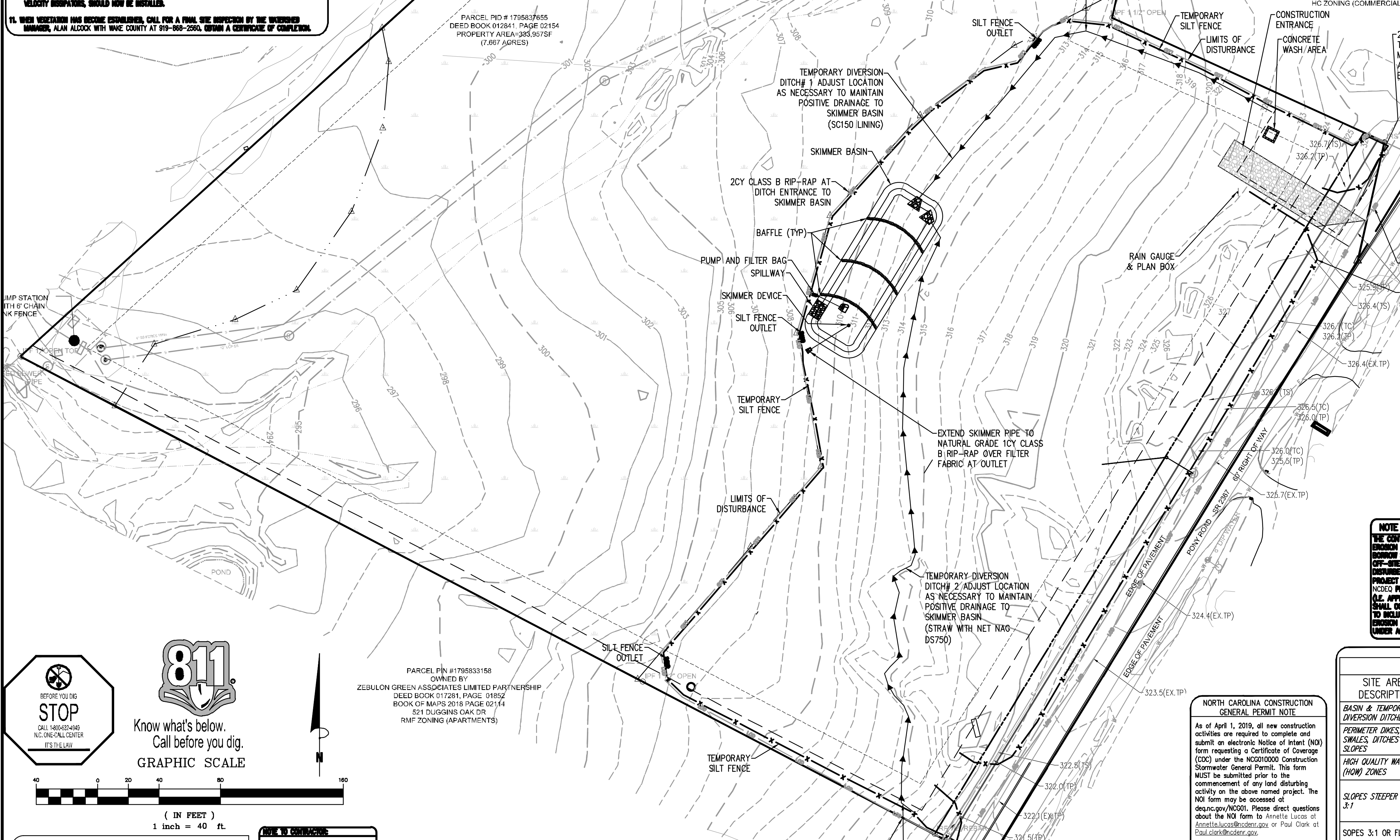
THE CARROLLING, TOWN OF ZEBULON, WAKE COUNTY, NC. CONTRACTOR SHALL FIRST INSTALL THE CONSTRUCTION ENTRANCE. THE CONTRACTOR SHALL THEN MAINTAIN ON SITE AND INSTALL THE TEMPORARY EROSION CONTROL DEVICES INCLUDING SILT FENCE, SLOPE PROTECTION, SKIMMER BASIN, AND OTHER DEVICES AS REQUIRED WITH THE PLAN (SHOWING ONLY AS NECESSARY TO INSTALL THESE DEVICES).

BASEIN REMOVAL SEQUENCE:

- 1. SCHEDULE A SITE MEETING WITH THE ENVIRONMENTAL ENGINEER/CONSULTANT TO DETERMINE IF A BASIN CAN BE REMOVED. INSTALL SILT FENCING OR OTHER TEMPORARY EROSION CONTROL MEASURES AS NEEDED PRIOR TO REMOVAL OF THE BASIN.

EROSION CONTROL NOTES

- 1. TOTAL AREA DISTURBED = 3.05 ACRES. TOTAL SITE AREA = 12.67 ACRES. SOIL TYPE = MEDIOCRE SANDY LOAM AND MEDIOCRE-SAND COMPLEX.



811 logo and STOP sign. Text: 'BEFORE YOU DIG STOP CALL 811-4546 N.C. ONE-CALL CENTER ITS EASY! Know what's below. Call before you dig. GRAPHIC SCALE 1 inch = 40 ft.'

EROSION CONTROL LEGEND. Includes symbols for HORSESHOE INLET PROTECTION, TEMPORARY INLET PROTECTION, TEMPORARY SILT FENCE OUTLET, CHECK DAM, FILTER BAG, PUMP, RIP RAP APRON, SKIMMER DEVICE, TEMPORARY SILT FENCE, TREE PROTECTION FENCE, TEMPORARY DIVERSION DITCH, and LIMITS OF DISTURBANCE.

STOCKPILE DESIGN CRITERIA: 1. A 25-FOOT TEMPORARY MAINTENANCE AND ACCESS EASEMENT SHALL BE SHOWN AROUND ALL PROPOSED STOCKPILES (EROSION CONTROL MEASURES SURROUNDING THE STOCKPILE SHALL BE SHOWN AT THE OUTER LIMIT OF THIS EASEMENT).

NOTE TO CONTRACTOR: THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AND THE EROSION CONTROL INSPECTOR OF THE LOCATION OF ANY OFF-SITE DISTURBANCE OR OFF-SITE WASTE MATERIAL DISPOSAL SITE.

CONSTRUCTION NOTE: ALL MATERIALS AND CONSTRUCTION METHODS PER THE LATEST EDITION OF WAKE COUNTY SPECIFICATIONS AND STANDARD DETAILS.

STABILIZATION TIMEFRAME TABLE. Columns: SITE AREA DESCRIPTION, STABILIZATION, TIMEFRAME EXCEPTIONS. Rows include BASIN & TEMPORARY DIVERSION DITCHES, PERIMETER DIKES, SLOPES STEEPER THAN 3:1, and ALL OTHER AREAS WITH SLOPES FLATTER THAN 3:1.

NOTE TO CONTRACTOR: THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AND THE EROSION CONTROL INSPECTOR OF THE LOCATION OF ANY OFF-SITE DISTURBANCE OR OFF-SITE WASTE MATERIAL DISPOSAL SITE.

SEDIMENT AND EROSION CONTROL NOTES. 1. THE EROSION AND SEDIMENTATION CONTROL MEASURES (EMPS) WERE DESIGNED UNDER WAKE COUNTY AND THE NORTH CAROLINA NCEG REQUIREMENTS AND SHALL BE INSTALLED ACCORDINGLY.

Vertical sidebar containing 'Bowman' logo, 'EROSION CONTROL PLAN - INITIAL', 'The Carrington 303 Pony Road Zebulon, NC', 'PRELIMINARY DO NOT USE FOR CONSTRUCTION', and 'PLAN STATUS' table with dates and descriptions.

WAKE COUNTY CONSTRUCTION SEQUENCE

- 1. SCHEDULE A PRECONSTRUCTION CONFERENCE WITH THE UNDERSIGNED MANAGER, ALAN ALCOCK WITH WAKE COUNTY AT 919-985-2500, OBTAIN A LAND-USE/PERMIT PERMIT.
2. INSTALL GRAVEL CONSTRUCTION PAD, TEMPORARY DIVERSIONS, SILT FENCE, SKIMMER BASINS, WAKE COUNTY DIVERSION BASIN OR OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAN ONLY AS NECESSARY TO INSTALL THESE DEVICES.
3. CALL ALAN ALCOCK WITH WAKE COUNTY AT 919-985-2500 FOR AN ON-SITE INSPECTION BY THE UNDERSIGNED MANAGER TO OBTAIN A CERTIFICATE OF COMPLIANCE.
4. BEGIN CLEARING AND GRADING. MAINTAIN DEVICES AS NEEDED. REPAIR GRASS ETC.
5. INSTALL STORM SEWER, IF SHOWN, AND PROJECT CATCH BASIN. CLEAN INLETS WITH BLOCK AND GRAVEL. INLET CONTROLS, PROJECT AREA INLET/TRENCH INLETS WITH STORMWATER INLET PROTECTION, SKIMMER BASIN OR OTHER APPROVED DEVICES AS SHOWN ON THE PLAN. BEGIN CONSTRUCTION OF BASIN, ETC.
6. STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, OPEN LINDAS, ETC. PROVIDE A SEEDING, FERTILIZER, LIME, SODS, MULCH AND FINALLY TOP DRESS ALL DISTURBED AREAS WITH TOPSOIL. STABILIZATION TIMEFRAME OF COMPLETION OF ANY PHASE OF CONSTRUCTION OR STOPPAGE OF WORK ON ANY PHASE OF CONSTRUCTION.
7. CONTRACTOR TO CONTACT PROJECT ENGINEER BETWEEN SEDIMENT AND EROSION CONTROL PHASES OF DEVELOPMENT AND FOR THE REMOVAL OR CONVERSION OF SEDIMENT AND EROSION CONTROL MEASURES.
8. WAKE COUNTY OR JURISDICTIONAL AGENCY MAY WANT PERMISSION TO CONVERT THE SEDIMENT BASIN OVER TO STORMWATER USE PRIOR TO COMPLETING ANY RELATED WORK.
9. WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, CALL ALAN ALCOCK WITH WAKE COUNTY AT 919-985-2500 FOR AN INSPECTION BY THE UNDERSIGNED MANAGER.
10. IF THE SITE IS APPROVED UNDER TEMPORARY DIVERSIONS, SILT FENCE, SKIMMER BASIN, ETC. AND SET OUT OTHER APPROVED DEVICES AS SHOWN ON THE PLAN, BEGIN PERMANENT EROSION CONTROL DEVICES. WHEN VELOCITY INDICATORS, SHOULD NOW BE INSTALLED.
11. WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR A FINAL SITE INSPECTION BY THE UNDERSIGNED MANAGER, ALAN ALCOCK WITH WAKE COUNTY AT 919-985-2500, OBTAIN A CERTIFICATE OF COMPLIANCE.

EROSION CONTROL NOTES

- REFER TO GENERAL NOTES SHEET FOR ADDITIONAL EROSION CONTROL REQUIREMENTS. REFER TO DETAIL SHEETS FOR CONSTRUCTION DETAILS OF THE PROPOSED EROSION CONTROL MEASURES TO BE USED IN THE DEVELOPMENT OF THIS SITE.
- REFER TO DETAIL SHEETS FOR TEMPORARY AND PERMANENT SEEDING SCHEDULES FOR PROVIDING GRASS COVER OVER THE FOR THE DEVELOPMENT.

EROSION CONTROL NARRATIVE

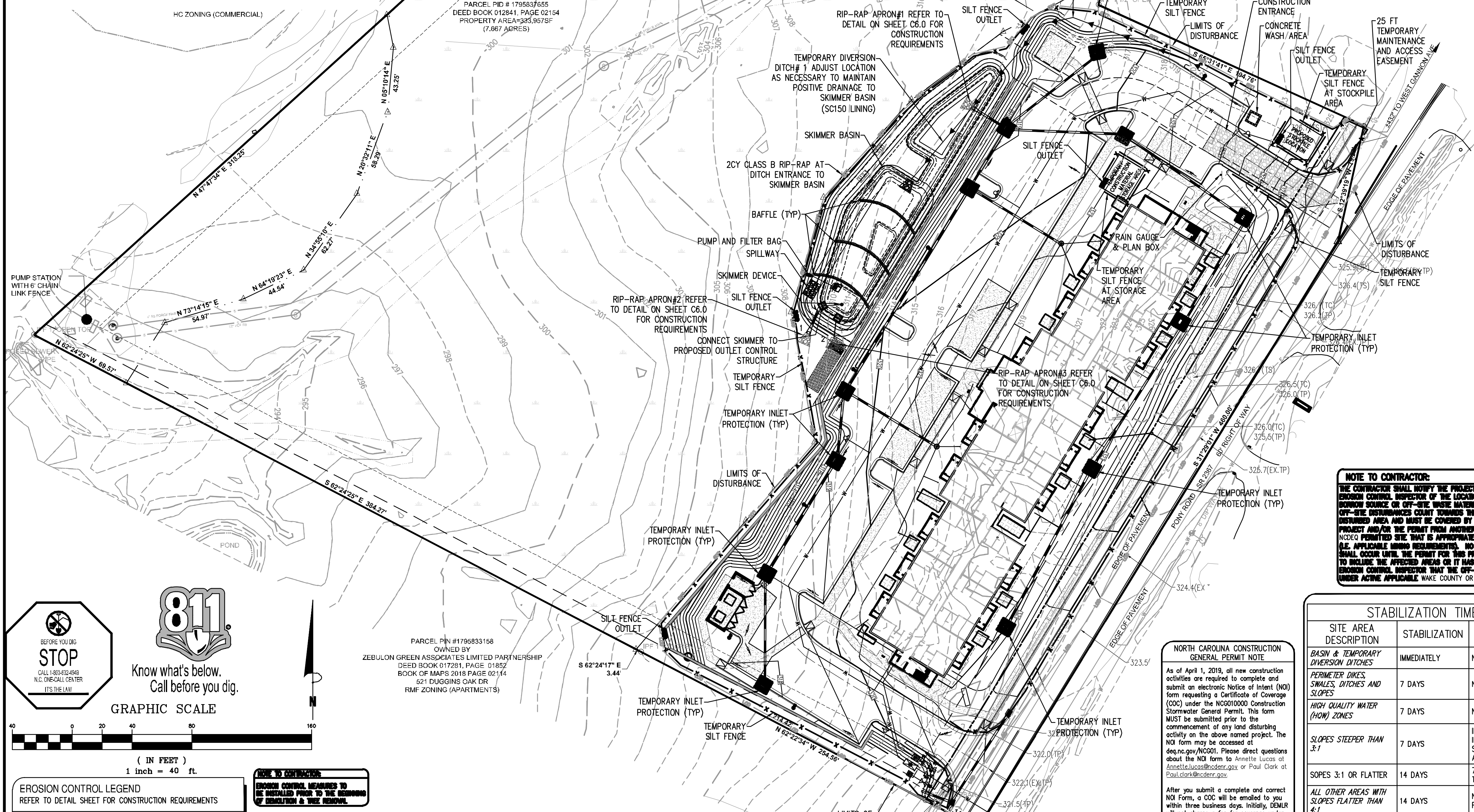
THE CARRINGTON, TOWN OF ZEBULON, WAKE COUNTY, NC. CONTRACTOR SHALL FIRST INSTALL THE CONSTRUCTION ENTRANCE. THE CONTRACTOR SHALL THEN MOBILIZE ON SITE AND INSTALL THE TEMPORARY EROSION CONTROL DEVICES INCLUDING SILT FENCE, INLET PROTECTION, SKIMMER BASIN, AND OTHER DEVICES IN ACCORDANCE WITH THE PLAN. GRADING SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE DESIGN. CLEARING AND SITE GRADING OPERATIONS, STABILIZATION OF EXISTING STRUCTURES IS REQUIRED IMMEDIATELY AFTER INSTALLATION. THE ON-SITE STORM SEWER SYSTEM CAN NOW BE INSTALLED. IMMEDIATELY AFTER AN INLET IS INSTALLED, SILT PROTECTION SHALL BE INSTALLED ON THE STRUCTURE. IMMEDIATELY AFTER SWIFTWAY SEWER AND VENT SYSTEMS MAY ALSO BE INSTALLED ONCE THE SITE IS BROUGHT UP TO GRADE. THE SITE PAD WILL BE PREPARED FOR THE PROPOSED BUILDING. THE DESIGN GRADE WILL THEN BE ESTABLISHED FOR THE SITE. INSTALLATION OF CURB AND GUTTER SHALL BE PERFORMED FIRST. CURB SHALL THEN BE PLACED AND THE GUTTER. ALL DISTURBED AREAS SHALL BE SEEDING. REMOVE ALL SILT PROTECTION FROM STORM STRUCTURES ONCE PAVING IS TO BEGIN. PAVING AND SEWERING WILL THEN BE COMPLETED. FINAL SEEDING/PLOW STRIPING SHALL BE COMPLETED IMMEDIATELY AFTER PAVING. ALL LAWNED AREAS SHALL BE SEEDING. ALL LAWNED AREAS SHALL BE COMPLETED OF IN A LAWNED MANNER. ALL ACCUMULATED SEDIMENT BEHIND SILT FENCE AND OTHER SEDIMENT DEVICES SHALL BE REMOVED AND REPAIRED UP IN A LAWNED MANNER. ACCORDING TO THE GRADING AND SEEDING REQUIREMENTS ON THIS SHEET, ALL SILT FENCE SHALL BE INSTALLED FROM THE SITE. THE CONTRACTOR SHALL MAINTAIN THE LENGTH OF THE BETWEEN INITIAL LAND DISTURBANCE AND FINAL VEGETATION STABILIZATION OF THE SITE. THE PROPOSED EROSION AND SEDIMENT CONTROL MEASURES ARE INTENDED TO TRAP ANY SEDIMENT RUNOFF FROM THE CONSTRUCTION SITE AND RETURN IT LONG ENOUGH FOR SEDIMENT AND POLLUTANTS TO SETTLE OUT OF THE SEDIMENT BEFORE EXITS. WHEN EROSION CONTROL MEASURES ARE USED TO PREVENT POLLUTANT-LADEN SEDIMENT FROM FLOWING INTO ADJACENT WATERSHEDS.

SEDIMENT REMOVAL SEQUENCE:

- 1. SCHEDULE A SITE MEETING WITH THE ENVIRONMENTAL ENGINEER/CONSULTANT TO DETERMINE IF A BASIN CAN BE RELOCATED. INSTALL SILT FENCING OR OTHER TEMPORARY EROSION CONTROL MEASURES AS NEEDED PRIOR TO REMOVAL OF THE BASIN.
2. REMOVE BASIN(S) AND ASSOCIATED TEMPORARY DIVERSION DITCHES. IF OLDSITE PIPES NEED TO BE EXTENDED, PERFORM THIS OPERATION AT THIS TIME. FINE GRADE AREA IN PREPARATION FOR SEEDING.
3. PERFORM SEEDING PREPARATION, SEED, MULCH AND ASPHALT TACK ANY RESULTING BARE AREAS IMMEDIATELY.
4. INSTALL VELOCITY DISPENSATORS AND/OR LEVEL SPREADERS AS REQUIRED ON THE EROSION CONTROL PLAN.
5. WHEN SITE IS FULLY STABILIZED, CALL ENVIRONMENTAL ENGINEER/CONSULTANT FOR APPROVAL OF REMOVAL REMAINING TEMPORARY EROSION CONTROL MEASURES AND ADVISE ON WHEN SITE CAN BE ISSUED A CERTIFICATE OF COMPLETION.
NOTE: A MEETING SHOULD ALSO BE SCHEDULED WITH THE ENVIRONMENTAL ENGINEER/CONSULTANT TO DETERMINE WHEN A BASIN MAY BE CONVERTED FOR STORMWATER USE. SOME MUNICIPALITIES MAY ALSO REQUIRE THIS.

EROSION CONTROL NOTES

- 1. TOTAL AREA DISTURBED = 3.05 ACRES. TOTAL SITE AREA = 187.8 ACRES. SOIL TYPE = WEDGEE SANDY LOAM AND WEDGEE-SAW COMPLEX.
2. UNLESS OTHERWISE INDICATED, ALL VEGETATION AND STRUCTURAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE NCEQ EROSION AND SEDIMENT CONTROL HANDBOOK & WAKE COUNTY REQUIREMENTS.
3. THE CONTRACTOR SHALL INSTALL AND MAINTAIN THROUGHOUT THE PROJECT CONSTRUCTION ALL EROSION CONTROL MEASURES SHOWN WITH THESE PLANS IN ACCORDANCE WITH APPLICABLE NORTH CAROLINA EROSION AND SEDIMENT CONTROL REGULATIONS.
4. CONSTRUCTION WORK SHALL BE IN COMPLIANCE WITH REGULATIONS OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORM WATER GENERAL PERMIT.
5. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO CLEARING AND/OR LAND DISTURBANCE.
6. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
7. THE CONTRACTOR SHALL DIRECTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE WAKE COUNTY & NCEQ EROSION CONTROL INSPECTOR SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.
8. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS IMPROVE OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS. A REVISED PLAN SHOWING OFF-SITE IMPACTS SHOULD BE SUBMITTED AND APPROVED PRIOR TO ANY OFF-SITE GRADING. THE PROJECT ENGINEER AND PROJECT EROSION CONTROL INSPECTOR TO ENSURE ADDITIONAL EROSION CONTROL MEASURES ARE INSTALLED PRIOR TO OFF-SITE GRADING.
9. PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS INCLUDING, BUT NOT LIMITED TO OFF-SITE BORROW OR WASTE AREAS, STAGING OR STORAGE AREAS, THE CONTRACTOR SHALL PREPARE AND SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE COUNTY FOR REVIEW AND TO WAKE COUNTY & NCEQ FOR APPROVAL. THIS PLAN SHALL BE MAINTAINED ON THE SITE AND SHALL BE REVISION MEASURES AT NO SEPARATE PAYMENT. THE CONTRACTOR SHALL PROVIDE THE OWNER AND THE ENGINEER A COPY OF THE REVISED PERMIT.
10. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED CONTINUOUSLY, RELOCATED WHEN AND AS NECESSARY, AND SHALL BE CHECKED AFTER EVERY RAINFALL. SEEDING MEASURES SHALL BE CHECKED REGULARLY AND SHALL BE WATERED, FERTILIZED, RE-SEED AND MULCHED AS NECESSARY TO OBTAIN A DENSE STAND OF GRASS.
11. STABILIZATION IS THE BEST FORM OF EROSION CONTROL. ALL DISTURBED AREAS WHICH ARE NOT OTHERWISE STABILIZED SHALL BE TOP SOILED AND SEEDING. TEMPORARY EROSION CONTROL MEASURES SHALL BE PERMANENTLY IN ACCORDANCE WITH THE WAKE COUNTY & NCEQ SEDIMENT CONTROL REGULATIONS. PERMANENT SEEDING AND GRASS ESTABLISHMENT IS REQUIRED PRIOR TO PROJECT COMPLETION AND ACCEPTANCE.
12. WHEN A CRUSHED STONE CONSTRUCTION ENTRANCE HAS BEEN COVERED WITH SOIL OR HAS BEEN PUSHED INTO THE SOIL BY CONSTRUCTION TRAFFIC, IT SHALL BE REPLACED WITH A DEPTH OF STONE EQUAL TO THAT OF THE ORIGINAL APPLICATION.
13. TEMPORARY GRAVEL CONSTRUCTION ENTRANCE SHALL BE REQUIRED AT ALL CONSTRUCTION STAGES AND AREAS EXCEPTED SHALL BE INSTALLED PRIOR TO ANY OFF-SITE GRADING. SIX INCHES OF STONE SHALL BE USED FOR THE TEMPORARY GRAVEL CONSTRUCTION ENTRANCE.
14. ALL DRAINAGE INLETS SHALL BE PROTECTED FROM SILTATION. INEFFECTIVE PROTECTION DEVICES SHALL BE IMMEDIATELY REPLACED AND THE INLET CLEANED. FLOODING IS NOT AN ACCEPTABLE METHOD OF CLEANING.
15. SEDIMENT BASINS AND TRAPS, PERIMETER DICES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UP-SLOPE LAND STABILIZATION IS COMPLETED.
16. ALL DISTURBED AREAS ARE TO BE BROUGHT TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES THROUGHOUT CONSTRUCTION AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS COMPLETED.
17. DURING DE-INTERIORS OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FLEETING BASIN PRIOR TO DISCHARGE TO RECEIVING OUTLET.
18. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER ANY CHANGING LAND USE OR ACTIVITY. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.



811 logo with text 'Know what's below. Call before you dig.' and a 'STOP' sign graphic.

GRAPHIC SCALE 1 inch = 40 ft. (IN FEET)

EROSION CONTROL LEGEND. Includes symbols for Horseshoe Inlet Protection, Temporary Silt Fence Outlet, Filter Bag, Rip Rap Apron, Temporary Inlet Protection, Check Dam, Pump, Temporary Silt Fence, Tree Protection Fence, Temporary Diversion Ditch, and Limits of Disturbance.

STOCKPILE DESIGN CRITERIA. 1. A 25-FOOT TEMPORARY MAINTENANCE AND ACCESS EASEMENT SHALL BE SHOWN AROUND ALL PROPOSED STOCKPILES. 2. STOCKPILE FOOTPRINTS SHALL BE SETBACK A MINIMUM OF 25' FROM ADJACENT PROPERTY LINES. 3. STOCKPILE HEIGHT SHALL NOT EXCEED 35 FEET. 4. STOCKPILE SLOPES SHALL BE 2:1 OR FLATTER. 5. APPROVED BMP'S SHALL BE SHOWN ON A PLAN TO CONTROL ANY POTENTIAL SEDIMENT LOSS FROM A STOCKPILE. 6. STOCKPILE MATERIALS ADJACENT TO A DITCH, DRAINAGEWAY, WATERCOURSE, WETLAND, STREAM BUFFER, OR OTHER BODY OF WATER SHALL BE AVOIDED UNLESS AN ALTERNATIVE LOCATION IS DEMONSTRATED TO BE UNAVAILABLE. 7. ANY CONCENTRATED FLOW LIKELY TO AFFECT THE STOCKPILE SHALL BE DIVERTED TO AN APPROVED BMP. 8. OFF-SITE SPILL OR BORROW AREAS MUST BE IN COMPLIANCE WITH WAKE COUNTY UDO AND STATE REGULATIONS. ALL SPILL AREAS OVER AN ACRE ARE REQUIRED TO HAVE AN APPROVED SEDIMENT CONTROL PLAN. DEVELOPER/CONTRACTOR SHALL NOTIFY WAKE COUNTY OF ANY OFF-SITE DISPOSAL OF SOIL, PRIOR TO DISPOSAL. FILL OF FEMA FLOODWAYS AND NON-ENCROACHMENT AREAS ARE PROHIBITED EXCEPT AS OTHERWISE PROVIDED BY SUBSECTION 14-19-2 OF THE WAKE COUNTY UNIFIED DEVELOPMENT ORDINANCE (CERTIFICATIONS AND PERMITS REQUIRED).

STOCKPILE MAINTENANCE REQUIREMENTS. 1. SEEDING OR COVERING STOCKPILES WITH TARPS OR MULCH IS REQUIRED AND WILL REDUCE EROSION PROBLEMS. TARPS SHOULD BE KEVED IN AT THE TOP OF THE SLOPE TO KEEP WATER FROM RUNNING UNDERNEATH THE PLASTIC. 2. IF A STOCKPILE IS TO REMAIN FOR FUTURE USE AFTER THE PROJECT IS COMPLETE (BUILDERS, ETC.), THE FINANCIAL RESPONSIBLE PARTY MUST NOTIFY WAKE COUNTY OF A NEW RESPONSIBLE PARTY FOR THAT STOCKPILE. 3. THE APPROVED PLAN SHALL PROVIDE FOR THE USE OF STAGED SEEDING AND MULCHING ON A CONTINUAL BASIS WHILE THE STOCKPILE IS IN USE. 4. ESTABLISH AND MAINTAIN A VEGETATIVE BUFFER AT THE TOE OF THE SLOPE (WHERE PRACTICAL).

NOTE TO CONTRACTOR: THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AND THE EROSION CONTROL INSPECTOR OF THE LOCATION OF ANY OFF-SITE BORROW SOURCE OR OFF-SITE WASTE MATERIAL DISPOSAL. OFF-SITE DISTURBANCES COUNT TOWARDS THE OVERALL PROJECT DISTURBED AREA AND MUST BE COVERED BY THE PERMIT FOR THIS PROJECT AND/OR THE PERMIT FROM ANOTHER AGENCY. WAKE COUNTY OR NCEQ PERMITTED SITE THAT IS APPROPRIATE FOR THE INTENDED USE (I.E. APPLICABLE WEDGEE SANDY LOAM AND WEDGEE-SAW COMPLEX). SMALL COVER UNTIL THE PERMIT FOR THIS PROJECT HAS BEEN MODIFIED TO INCLUDE THE AFFECTED AREAS OR IT HAS BEEN REVOKED WITH THE EROSION CONTROL INSPECTOR THAT THE OFF-SITE AREAS ARE COVERED UNDER ANOTHER APPLICABLE WAKE COUNTY OR NCEQ PERMITS.

STABILIZATION TIMEFRAME table. Columns: SITE AREA DESCRIPTION, STABILIZATION, TIMEFRAME EXCEPTIONS. Rows include Basin & Temporary Diversion Ditches, Perimeter Dikes, Swales, Ditches and Slopes, High Quality Water (HOW) ZONES, Slopes Steeper Than 3:1, Slopes 3:1 or Flatter, and All Other Areas with Slopes Flatter Than 4:1.

GROUND COVER REQUIREMENTS. THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THE ANGLE THAT CAN BE RETAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION-CONTROL DEVICES OR STRUCTURES. IN ANY EVENT, SLOPES LEFT OTHERWISE WILL, ACCORDING TO THE FOLLOWING CHART, BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY OR PERMANENT GROUND COVER DEVICES, OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION. PROVISIONS FOR PERMANENT GROUND COVER SUFFICIENT TO RETAIN EROSION MUST BE ACCOMPLISHED FOR ALL DISTURBED AREAS ACCORDING TO THE FOLLOWING CHART FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT.

CONSTRUCTION NOTE. ALL MATERIALS AND CONSTRUCTION METHODS PER THE LATEST EDITION OF WAKE COUNTY SPECIFICATIONS AND STANDARD DETAILS. BASIN NOTES. SKIMMER BASIN DESIGN BASED ON 3 DAYS TO DRAIN. BASINS AND DIVERSIONS SHALL BE SEEDING, MULCHED AND ANCHORED/LINED AND REPAIRED UPON INSTALLATION OF MEASURES.

Project information including 'EROSION CONTROL PLAN - FINAL', 'The Carrington', '303 Pony Road', 'Zebulon, NC', 'Bowman' logo, and a table of PLAN STATUS with submission dates and reviewer names.

**EROSION CONTROL NOTES:**

REFER TO DETAIL SHEETS FOR CONSTRUCTION DETAILS OF THE PROPOSED EROSION CONTROL MEASURES TO BE USED IN THE DEVELOPMENT OF THIS SITE.

REFER TO DETAIL SHEETS FOR TEMPORARY AND PERMANENT SEEDING SCHEDULES FOR PROVIDING GROUND COVER FOR THE DEVELOPMENT.

**BASIN NOTES:**

SKIMMER BASIN DESIGN BASED ON 3 DAYS TO DRAIN.

BASIN AND DIVERSIONS SHALL BE SEEDED, MULCHED AND ANCHORED/LINED AND PINNED UPON INSTALLATION OF MEASURES.

**NOTE TO CONTRACTOR:**

EROSION CONTROL MEASURES TO BE INSTALLED PRIOR TO THE BEGINNING OF DEMOLITION & TREE REMOVAL.

**NOTE TO CONTRACTOR:**

THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AND THE EROSION CONTROL INSPECTOR OF THE LOCATION OF ANY OFF-SITE BORROW SOURCE OR OFF-SITE WASTE MATERIAL DISPOSAL SITE. OFF-SITE DISTURBANCES COUNT TOWARDS THE OVERALL PROJECT DISTURBED AREA AND MUST BE COVERED BY THE PERMIT FOR THIS PROJECT AND/OR THE PERMIT FROM ANOTHER ACTIVE NCEDE PERMITTED SITE THAT IS APPROPRIATE FOR THE INTENDED USE (I.E. APPLICABLE MINING REQUIREMENTS). NO OFF-SITE ACTIVITIES SHALL OCCUR UNTIL THE PERMIT FOR THIS PROJECT HAS BEEN MODIFIED TO INCLUDE THE AFFECTED AREAS OR IT HAS BEEN VERIFIED WITH THE EROSION CONTROL INSPECTOR THAT THE OFF-SITE AREAS ARE COVERED UNDER ACTIVE APPLICABLE NCEDE PERMITS.

**EROSION CONTROL NOTES:**

- TOTAL AREA DISTURBED = 3.05 ACRES  
TOTAL SITE AREA = 7.67 ACRES  
SOIL TYPE = WEDOWEE SANDY LOAM AND WEDOWEE-SAW COMPLEX
- UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE NCEDE EROSION AND SEDIMENT CONTROL HANDBOOK
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN THROUGHOUT THE PROJECT CONSTRUCTION ALL EROSION CONTROL MEASURES SHOWN WITHIN THESE PLANS IN ACCORDANCE WITH APPLICABLE NORTH CAROLINA EROSION AND SEDIMENT CONTROL REGULATIONS.
- CONSTRUCTION WORK SHALL BE IN COMPLIANCE WITH REGULATIONS OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORM WATER GENERAL PERMIT.
- EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO CLEARING AND/OR LAND DISTURBANCE.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES TO MINIMIZE EROSION. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE NCEDE EROSION CONTROL INSPECTOR SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS. A REVISED PLAN SHOWING OFF-SITE IMPACTS SHOULD BE SUBMITTED AND APPROVED PRIOR TO ANY OFF-SITE GRADING. CONTACT PROJECT ENGINEER AND PROJECT EROSION CONTROL INSPECTOR TO ENSURE ADDITIONAL EROSION CONTROL MEASURES ARE INSTALLED PRIOR TO OFF-SITE GRADING.
- PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO OFF-SITE BORROW OR WASTE AREAS, STAGING OR STORAGE AREAS), THE CONTRACTOR SHALL PREPARE AND SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE OWNER FOR REVIEW AND TO NCEDE FOR APPROVAL. CONTRACTOR SHALL PAY ALL FEES REQUIRED AND SHALL INSTALL NECESSARY MEASURES AT NO SEPARATE PAYMENT. THE CONTRACTOR SHALL PROVIDE THE OWNER AND THE ENGINEER A COPY OF THE AMENDED PERMIT.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED CONTINUOUSLY, RELOCATED WHEN AND AS NECESSARY, AND SHALL BE CHECKED AFTER EVERY RAINFALL. SEEDED AREAS SHALL BE CHECKED REGULARLY AND SHALL BE WATERED, FERTILIZED, RE-EDED AND MULCHED AS NECESSARY TO OBTAIN A DENSE STAND OF GRASS.
- STABILIZATION IS THE BEST FORM OF EROSION CONTROL. ALL DISTURBED AREAS WHICH ARE NOT OTHERWISE STABILIZED SHALL BE TOP SOILED AND SEEDED, TEMPORARILY OR PERMANENTLY IN ACCORDANCE WITH THE NCEDE SEDIMENT CONTROL REGULATIONS. PERMANENT SEEDING AND GRASS ESTABLISHMENT IS REQUIRED PRIOR TO PROJECT COMPLETION AND ACCEPTANCE.
- WHEN A CRUSHED STONE CONSTRUCTION ENTRANCE HAS BEEN COVERED WITH SOIL OR HAS BEEN PUSHED INTO THE SOIL BY CONSTRUCTION TRAFFIC, IT SHALL BE REPLACED WITH A DEPTH OF STONE EQUAL TO THAT OF THE ORIGINAL APPLICATION.
- TEMPORARY GRAVEL CONSTRUCTION ENTRANCE SHALL BE REQUIRED AT ALL CONSTRUCTION STAGING AREA ENTRANCES AND ALL CONSTRUCTION ACCESS LOCATIONS INTO NON-PAVED AREA. SIX INCHES OF STONE SHALL BE USED FOR THE TEMPORARY GRAVEL CONSTRUCTION ENTRANCE.
- ALL DRAINAGE INLETS SHALL BE PROTECTED FROM SILTATION. INEFFECTIVE PROTECTION DEVICES SHALL BE IMMEDIATELY REPLACED AND THE INLET CLEANED. FLUSHING IS NOT AN ACCEPTABLE METHOD OF CLEANING.
- SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UP-SLOPE LAND DISTURBANCE TAKES PLACE.
- ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS COMPLETED.
- DURING DE-WATERING OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE PRIOR TO DISCHARGE TO RECEIVING OUTLET.
- THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF-PRODUCING EVENT. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES SHALL BE MADE IMMEDIATELY.

**EROSION CONTROL NARRATIVE:**

THE CARRINGTON, TOWN OF ZEBULON, WAKE COUNTY, NC

CONTRACTOR WILL FIRST INSTALL THE CONSTRUCTION ENTRANCE. THE CONTRACTOR SHALL THEN MOBILIZE ON SITE AND INSTALL THE TEMPORARY EROSION CONTROL DEVICES INCLUDING SILT FENCE, INLET PROTECTION, SKIMMER BASIN, AND OTHER DEVICES IN ACCORDANCE WITH THE PLANS (CLEARING ONLY AS NECESSARY TO INSTALL THESE ITEMS). BEGIN DEMOLITION, CLEARING AND SITE GRADING OPERATIONS. STABILIZATION OF EARTHEN STRUCTURES IS REQUIRED IMMEDIATELY AFTER INSTALLATION. THE ON-SITE STORM SEWER SYSTEM CAN NOW BE INSTALLED. IMMEDIATELY AFTER AN INLET IS INSTALLED, INLET PROTECTION SHALL BE PROPERLY INSTALLED ON THE STRUCTURE. THE ON-SITE SANITARY SEWER AND WATER SYSTEMS MAY ALSO BE INSTALLED ONCE THE SITE IS BROUGHT UP TO GRADE. THE SITE PAD WILL BE PREPARED FOR THE PROPOSED BUILDING. THE ROUGH GRADE WILL THEN BE ESTABLISHED FOR THE SITE. INSTALLATION OF CURB AND GUTTER WILL THEN BE PERFORMED. BASE STONE WILL THEN BE PLACED AND FINE GRADED. ALL DISTURBED AREAS WILL BE DRESSED AND SEEDED. REMOVE ALL INLET PROTECTION FROM STORM STRUCTURES WHEN PAVING IS TO BEGIN. PAVING AND STRIPING WILL THEN BE COMPLETED. FINALIZE STORMWATER POND STRUCTURE ONCE UPSTREAM AREAS HAVE BEEN STABILIZED (REMOVE ACCUMULATED SEDIMENT). ALL LANDSCAPING WILL BE COMPLETED. THE ON-SITE STORM SEWER SYSTEM SHALL BE CLEANED OF ANY ACCUMULATED SEDIMENT WHICH SHALL BE DISPOSED OF IN A LAWFUL MANNER. ALL ACCUMULATED SEDIMENT BEHIND SILT FENCE AND OTHER SEDIMENT DEVICES SHALL BE REMOVED AND DISPOSED OF IN A LAWFUL MANNER. ACCORDING TO THE GROUND STABILIZATION REQUIREMENTS ON THIS SHEET, REMOVE ALL REMAINING SEDIMENT CONTROL MEASURES FROM THE SITE. CONTRACTOR SHALL MINIMIZE THE LENGTH OF TIME BETWEEN INITIAL LAND DISTURBANCE AND FINAL VEGETATION STABILIZATION OF THE SITE.

THE PROPOSED EROSION AND SEDIMENT CONTROL MEASURES ARE INTENDED TO TRAP ANY STORMWATER RUNOFF FROM THE CONSTRUCTION SITE AND DETAIN IT LONG ENOUGH FOR SEDIMENT AND POLLUTANTS TO SETTLE OUT OF THE STORMWATER BEFORE DISCHARGE. VARIOUS EROSION CONTROL MEASURES ARE USED TO PREVENT POLLUTANT-LADEN STORMWATER RUNOFF FROM FLOWING ONTO ADJACENT PROPERTIES.

**GENERAL NOTES:**

- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT, ETC. THAT MAY BE REQUIRED.
- THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS ARE SCHEMATIC IN NATURE AND DO NOT SHOW EVERY OFFSET, TRANSITION, FITTING, ETC. THAT MAY BE REQUIRED FOR A COMPLETE AND WORKING SYSTEM.
- THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- CONTRACTOR SHALL MAINTAIN AN "AS BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE ENGINEER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE OWNER.
- IF DEPARTURES FROM THE SPECIFICATIONS OR DRAWINGS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE WRITTEN PERMISSION OF THE OWNER.
- THE CONTRACTOR MUST, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS OR RUBBISH CAUSED BY HIM, HIS EMPLOYEES OR HIS WORK. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.

**SEDIMENT & EROSION CONTROL NOTES:**

- THE EROSION AND SEDIMENTATION CONTROL MEASURES (BMPs) WERE DESIGNED USING THE NORTH CAROLINA NCEDE REQUIREMENTS AND SHALL BE INSTALLED ACCORDINGLY. CONTRACTOR SHALL PERFORM ALL ACTIVITIES IN STRICT COMPLIANCE WITH THE NORTH CAROLINA NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (GENERAL PERMIT).
- REFER TO THE EROSION AND SEDIMENT CONTROL DETAIL SHEETS FOR EROSION CONTROL DETAILS AND DESIGN TABLES FOR SEDIMENT BASINS, DIVERSION DITCHES, AND CULVERTS, SLOPE DRAINS, RIP-RAP APRONS AND OTHER EROSION CONTROL MEASURES.
- EXISTING BOUNDARIES, TOPOGRAPHY, 100-YR FLOODPLAIN, UTILITY AND ROAD INFORMATION TAKEN FROM AN EXISTING CONDITIONS SURVEY. ALL EXISTING INFORMATION IS TO BE FIELD VERIFIED BY THE CONTRACTOR.
- SEE THE LANDSCAPE PLAN FOR LOCATIONS OF PROPOSED PLANTINGS AND FINAL STABILIZATION.
- TEMPORARY DIVERSION DITCHES AND BERMS SHALL BE MAINTAINED AS THE SITE IS BROUGHT TO GRADE.
- DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES TO MINIMIZE EROSION. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE EROSION CONTROL INSPECTORS SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.
- SEE THE GENERAL NOTES SHEET AND THE GRADING AND DRAINAGE PLAN FOR OTHER NOTES REGARDING GRADING ACTIVITIES.
- SEE SITE PLAN, GRADING AND DRAINAGE PLAN, UTILITY PLAN, PLANTING PLAN AND OTHER PLAN SHEETS FOR DETAILED DESIGN INFORMATION OF PERMANENT SITE APPURTENANCES SHOWN ON THIS SHEET.
- WHERE THE LIMITS OF DISTURBANCE AND TEMPORARY FENCE (SF, SF-PF, OR PF) LIMITS ARE ADJACENT, THE TEMPORARY FENCE LINE IS THE LIMITS OF DISTURBANCE. THE LINE TYPES ARE SHOWN SEPARATED FOR ILLUSTRATIVE PURPOSES ONLY.
- CONTRACTOR SHALL NOT DISTURB ANY EXISTING VEGETATIVE GROUND COVER OR TREES OUTSIDE OF THE LIMITS OF DISTURBANCE OR WITHIN ANY REQUIRED BUFFER LIMITS UNLESS OTHERWISE NOTED OR ILLUSTRATED.
- PROVIDE CONTROLS OF POLLUTANTS, INCLUDING, BUT NOT LIMITED TO DUST CONTROL, DE-WATERING, SOLID WASTE DISPOSAL, AND HAZARDOUS MATERIALS.
- CLEAR ONLY AS REQUIRED TO INSTALL EROSION AND SEDIMENTATION CONTROL MEASURES. MASS CLEARING AND GRUBBING CAN BEGIN ONLY AFTER ALL DOWNSTREAM MEASURES HAVE BEEN INSTALLED.
- USE ROCK OR WASHED STONE TO BRING CONSTRUCTION EXIT TO GRADE. IMPLEMENT WHEEL WASHES AS NECESSARY THROUGHOUT ALL PHASES OF CONSTRUCTION.
- DIVERT STORM WATER RUNOFF OFF THE FACE OF THE SEDIMENT BASIN SLOPES USING DIVERSION DITCHES AND SLOPE DRAINS. CONTRACTOR SHALL MAINTAIN AND RELOCATE DIVERSION DITCHES AND SLOPES DRAINS TO ENSURE STORM WATER RUNOFF DOES NOT ERODE THE FACE OF FINAL SLOPES.
- MAINTAIN POSITIVE FLOW TO THE SEDIMENT BASINS THROUGHOUT ALL PHASES OF CONSTRUCTION. PLACE EXCAVATED SOILS ALONG DOWNSTREAM EDGE OF THE DIVERSION DITCHES TO PROVIDE ADDITIONAL CAPACITY.
- REFER TO THE GRADING AND DRAINAGE PLAN FOR FINAL SITE AND PAVEMENT GRADES AND ELEVATIONS OF THE PROPOSED STORM SEWER SYSTEMS.
- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE APPROVED EROSION AND SEDIMENT CONTROL DRAWINGS DURING CONSTRUCTION OPERATIONS.
- GENERAL CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY.
- ALL WORK SHALL BE CONFINED TO PERMIT LIMITS SHOWN ON PLANS. UNLESS OTHERWISE NOTED, THE SITE PLAN PROPERTY LIMITS SHALL BE CONSIDERED THE PERMIT LIMITS.
- SUFFICIENT EROSION CONTROL PRACTICES MUST BE INSTALLED AND MAINTAINED TO RETAIN SEDIMENT WITHIN THE BOUNDARIES OF THE SITE.
- ADDITIONAL EROSION CONTROL MEASURES OR SILT BARRIERS TO BE PLACED AS SHOWN AND/OR DIRECTED BY THE PROJECT ENGINEER AND/OR LOCAL JURISDICTIONAL INSPECTOR.
- FOR ALL CONSTRUCTION ALONG AND/OR ACROSS WATERWAYS, BANK PROTECTION AND STABILIZATION SHALL BE REQUIRED AS PER LOCAL JURISDICTIONAL EROSION CONTROL LAWS.
- ALL TREE PROTECTION AND EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION AND SHALL BE MAINTAINED IN PROPER WORKING ORDER UNTIL ALL DISTURBED AREAS ARE STABILIZED AND GROUND COVER IS ESTABLISHED. CONSTRUCTION ENTRANCE PADS SHALL BE INSTALLED BY THE CONTRACTOR AT CONSTRUCTION ACCESS POINTS PRIOR TO LAND DISTURBANCE.
- ALL EASEMENTS DISTURBED MUST BE DRESSED AND GRASSED TO CONTROL EROSION IN ACCORDANCE WITH EASEMENT PLATS PRIOR TO ACCEPTANCE.
- CONSTRUCTION LIMITS SHALL NOT BE EXCEEDED WITHOUT THE APPROVAL OF NCEDE INSPECTOR.

**NORTH CAROLINA CONSTRUCTION GENERAL PERMIT NOTE:**

As of April 1, 2019, all new construction activities are required to complete and submit an electronic Notice of Intent (NOI) form requesting a Certificate of Coverage (COC) under the NCG010000 Construction Stormwater General Permit. This form MUST be submitted prior to the commencement of any land disturbing activity on the above named project. The NOI form may be accessed at [deq.nc.gov/NCG01](http://deq.nc.gov/NCG01). Please direct questions about the NOI form to Annette Lucas at [Annette.Lucas@ncdenr.gov](mailto:Annette.Lucas@ncdenr.gov) or Paul Clark at [Paul.Clark@ncdenr.gov](mailto:Paul.Clark@ncdenr.gov).

After you submit a complete and correct NOI Form, a COC will be emailed to you within three business days. Initially, DEMAIR will not charge a fee for coverage under the NCG01 permit. However, on or after May 1, 2019, a \$100 fee will be charged annually. This fee is to be sent to the DEMAIR Stormwater Central Office staff in Raleigh.

- Title 15A NCAC 4B .0118(a) and the NCG01 permit require that the following documentation be kept on file at the job site:
- The approved EASC plan as well as any approved deviation.
  - The NCG01 permit and the COC, once it is received.
  - Records of inspections made during the previous 30 days.
  - The Certificate of Approval

**NOTIFICATION OF COMBINED SELF-MONITORING AND SELF-INSPECTION FORM:**

THE SEDIMENTATION POLLUTION CONTROL ACT WAS AMENDED IN 2006 TO REQUIRE THAT PERSONS RESPONSIBLE FOR LAND-DISTURBING ACTIVITIES INSPECT A PROJECT AFTER EACH PHASE OF THE PROJECT TO MAKE SURE THAT THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS BEING FOLLOWED. RULES DETAILING THE DOCUMENTATION OF THESE INSPECTIONS TOOK EFFECT OCTOBER 1, 2010.

TO SIMPLIFY DOCUMENTATION OF SELF-INSPECTION REPORTS AND NPDES SELF-MONITORING REPORTS, DWQ AND DEMAIR DEVELOPED A COMBINED FORM. THE SELF-INSPECTION PROGRAM IS SEPARATE FROM THE WEEKLY SELF-MONITORING PROGRAM OF THE NPDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITIES. THE FOCUS OF THE SELF-INSPECTION REPORT IS THE INSTALLATION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROL MEASURES ACCORDING TO THE APPROVED PLAN. THE INSPECTIONS SHOULD BE CONDUCTED AFTER EACH PHASE OF THE PROJECT, AND CONTINUED UNTIL PERMANENT GROUND COVER IS ESTABLISHED. THE FORM CAN BE ACCESSED AT: [HTTP://PORTAL.NCDEMNR.ORG/WEB/16/EROSION](http://PORTAL.NCDEMNR.ORG/WEB/16/EROSION)

IF YOU HAVE QUESTIONS OR CANNOT ACCESS THE FORM, PLEASE CALL THE APPLICABLE NCEDEMR REGIONAL OFFICE: (RALEIGH: 919-791-4200) (FAYETTEVILLE: 910-433-3300) (WILMINGTON: 910-796-7215) (WASHINGTON: 252-946-6481) (WINSTON-SALEM: 336-771-5000) (MOORESVILLE: 704-663-1699) (ASHEVILLE: 828-296-4500)

**TREE PROTECTION NOTES:**

- THE CONTRACTOR SHALL PROTECT ALL TREES AND SHRUBS OUTSIDE OF CUT/FILL LINES, IN ADDITION TO THOSE THAT RECEIVE TREE/SHRUB PROTECTION BARRIERS. THE CONTRACTOR IS ALSO REQUESTED TO SAVE ALL OTHER EXISTING TREES AND SHRUBS WHERE POSSIBLE.
- WHEN ROOT PRUNING IS NECESSARY, CUT ROOTS CLEANLY USING A DISC TRENCHER AND IMMEDIATELY COVER ALL ROOT CUT SURFACES LARGER THAN TWO INCHES IN DIAMETER WITH TREE WOUND DRESSING. USE PLYWOOD FORMS WHEN TREE ROOTS ARE ADJACENT TO PROPOSED CURB & GUTTER OR SIDEWALK.
- NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION, GRADING OR CONSTRUCTION BEGINS, AND NOT REMOVED UNTIL FINAL INSPECTION.
- NO GRUBBING WITHIN TREE PROTECTION ZONE. LEAVE SOIL AND LEAF LITTER UNDISTURBED. SUPPLEMENT WITH 1-2 INCHES OF MULCH. RE-SEED WITH GRASS ONLY IN DISTURBED/GRADED AREAS.
- TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION, CLEARING, GRADING OR CONSTRUCTION BEGINS AND IS NOT TO BE REMOVED UNTIL AFTER CONSTRUCTION.
- TREE PROTECTION FENCE IS TO BE LOCATED 1 FOOT PER TREE DIAMETER INCH AWAY FROM THE TREE.

# Bowman

Bowman North Carolina Ltd.  
4006 BARRIETT DR  
Suite 104  
RALEIGH, NC 27609  
Phone: (919)555-6570  
bowman.com

Wake County

**EROSION CONTROL NOTES**

The Carrington  
303 Pony Road

Zebulon, NC

PRELIMINARY  
DO NOT  
USE FOR  
CONSTRUCTION



*Matthew E. London*

| DATE     | DESCRIPTION     |
|----------|-----------------|
| 10/29/21 | 1ST SUBMISSION  |
| 2/9/22   | PER TOWN REVIEW |
| 3/18/22  | PER TOWN REVIEW |
| 5/2/22   | PER TOWN REVIEW |

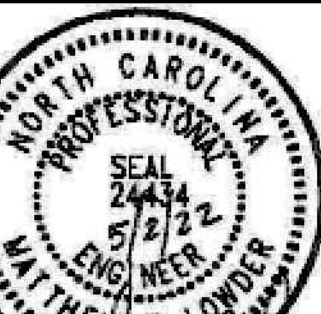
| DATE | DESCRIPTION | MEL    | XXX  |
|------|-------------|--------|------|
|      |             | DRAWN  | CHKD |
|      |             | H: N/A |      |
|      |             | V: N/A |      |

JOB No. 000000-00-000

DATE October 29, 2021

FILE No. 000000-0-CP-000

SHEET C2.3



PLAN STATUS table with columns for Date and Description. Rows include 10/29/21 1ST SUBMISSION, 2/9/22 PER TOWN REVIEW, 3/18/22 PER TOWN REVIEW, 5/2/22 PER TOWN REVIEW.

DATE DESCRIPTION table with columns for Date and Description. Rows include MEL DESIGN, MEL DRAWN, XXX CHKD, JOB No. 000000-00-000, DATE October 29, 2021, FILE No. 000000-D-CP-000.

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT. Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively).

SECTION E: GROUND STABILIZATION. Table with columns: Site Area Description, Required Ground Stabilization Timeframes, and Timeframe variations. Rows include (a) Perimeter dikes, (b) High Quality Water (H2O) Zones, (c) Slopes steeper than 3:1, (d) Slopes 3:1 to 4:1, and (e) Areas with slopes flatter than 4:1.

GROUND STABILIZATION SPECIFICATION. Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below. Temporary Stabilization and Permanent Stabilization methods are listed.

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS. 1. Select flocculants that are appropriate for the soils being exposed during construction... 5. Store flocculants in leak-proof containers that are kept under storm-resistant cover.

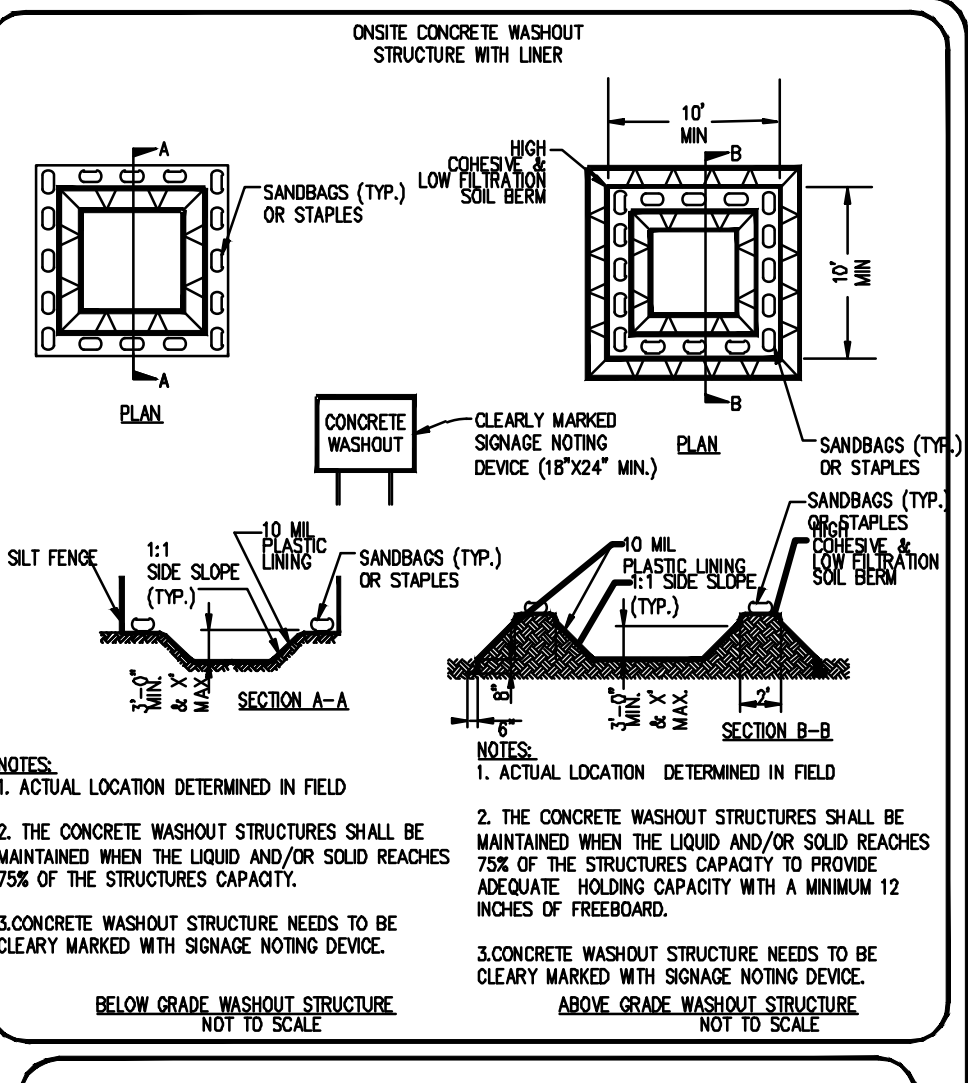
EQUIPMENT AND VEHICLE MAINTENANCE. 1. Maintain vehicles and equipment to prevent discharge of fluids. 2. Provide oily pans under any stored equipment. 3. Identify leaks and repair as soon as feasible...

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE. 1. Never bury or burn waste. Place litter and debris in approved waste containers. 2. Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site...

PAINT AND OTHER LIQUID WASTE. 1. Do not dump paint and other liquid waste into storm drains, streams or wetlands. 2. Locate paint cans at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.

PORTABLE TOILETS. 1. Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.

ERODIBLE STOCKPILE MANAGEMENT. 1. Show stockpile locations on plans. Locate erodible-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment control and surface waters unless it can be shown no other alternatives are reasonably available.



CONCRETE WASHOUTS. 1. Do not discharge concrete or cement slurry from the site. 2. Dispose of, or recycle, hardened concrete residue in accordance with local and state solid waste regulations at an approved facility. 3. Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.

HERBICIDES, PESTICIDES AND RODENTICIDES. 1. Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions. 2. Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.

HAZARDOUS AND TOXIC WASTE. 1. Create designated hazardous waste collection areas on-site. 2. Place hazardous waste containers under cover or in secondary containment. 3. Do not store hazardous chemicals, drums or bagged materials directly on the ground.

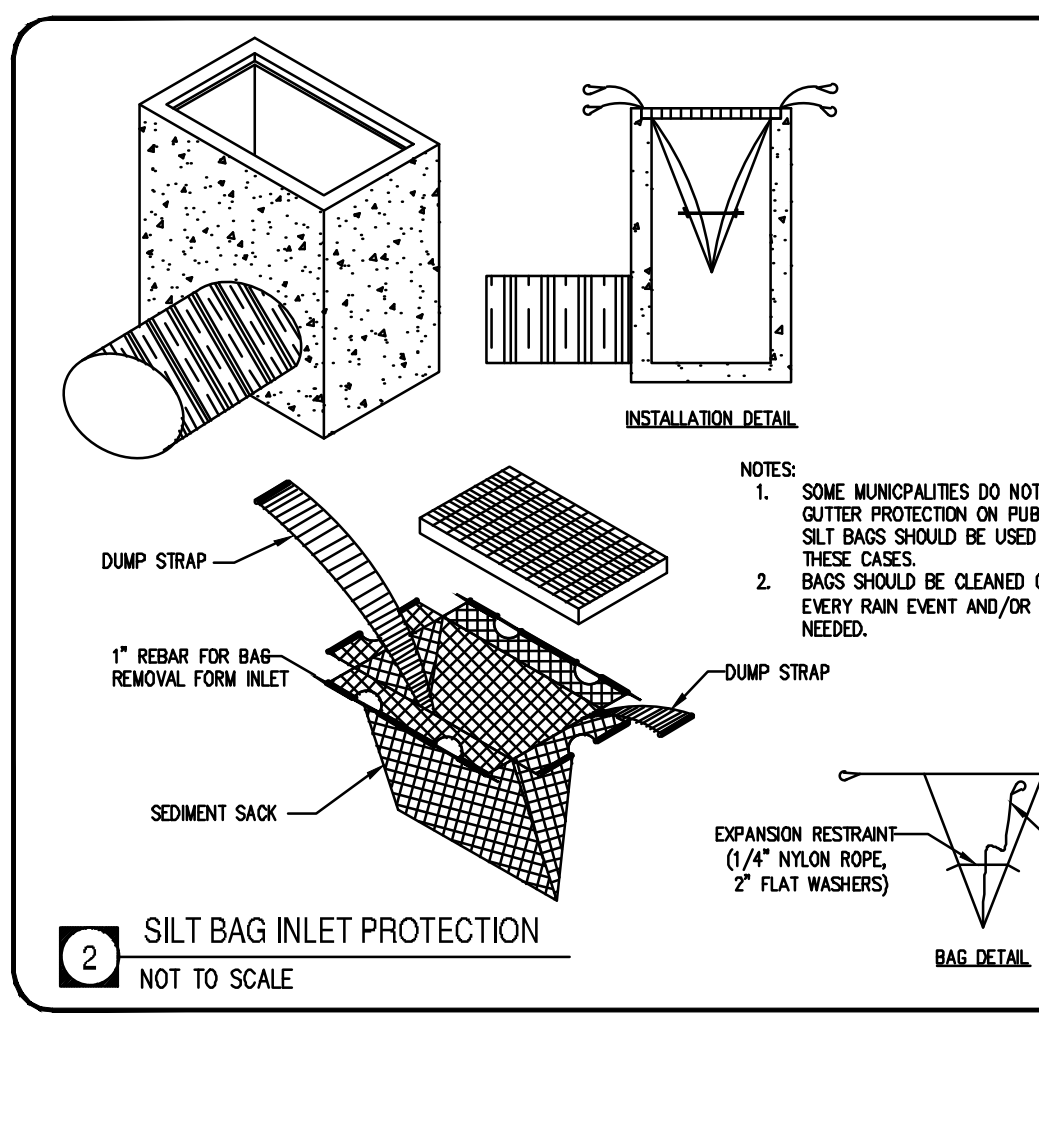
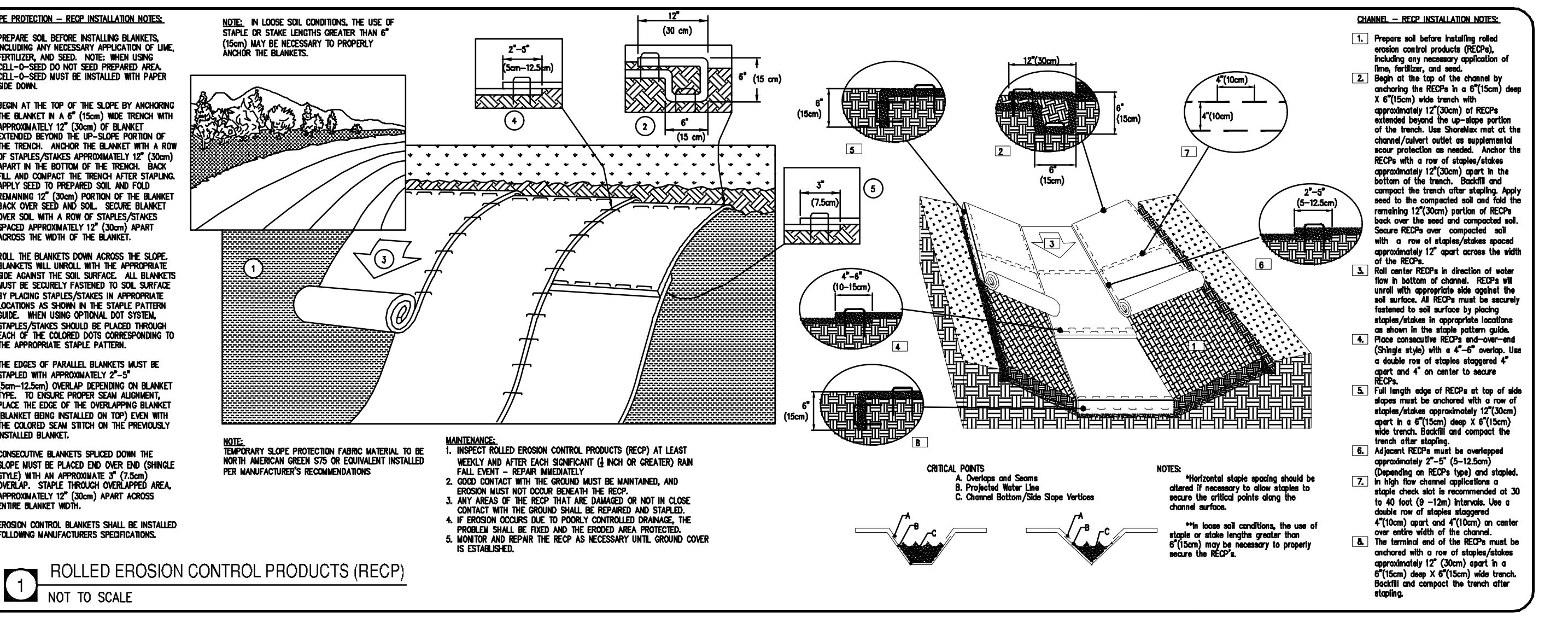
SECTION A: SELF-INSPECTION. Table with columns: Inspect, Frequency, and Inspection records must include. Rows include (1) Rain gauge maintained in good working order, (2) EESC Measures, (3) Slope erosion control, (4) Number of site, (5) Stormwater discharge, (6) Ground stabilization measures.

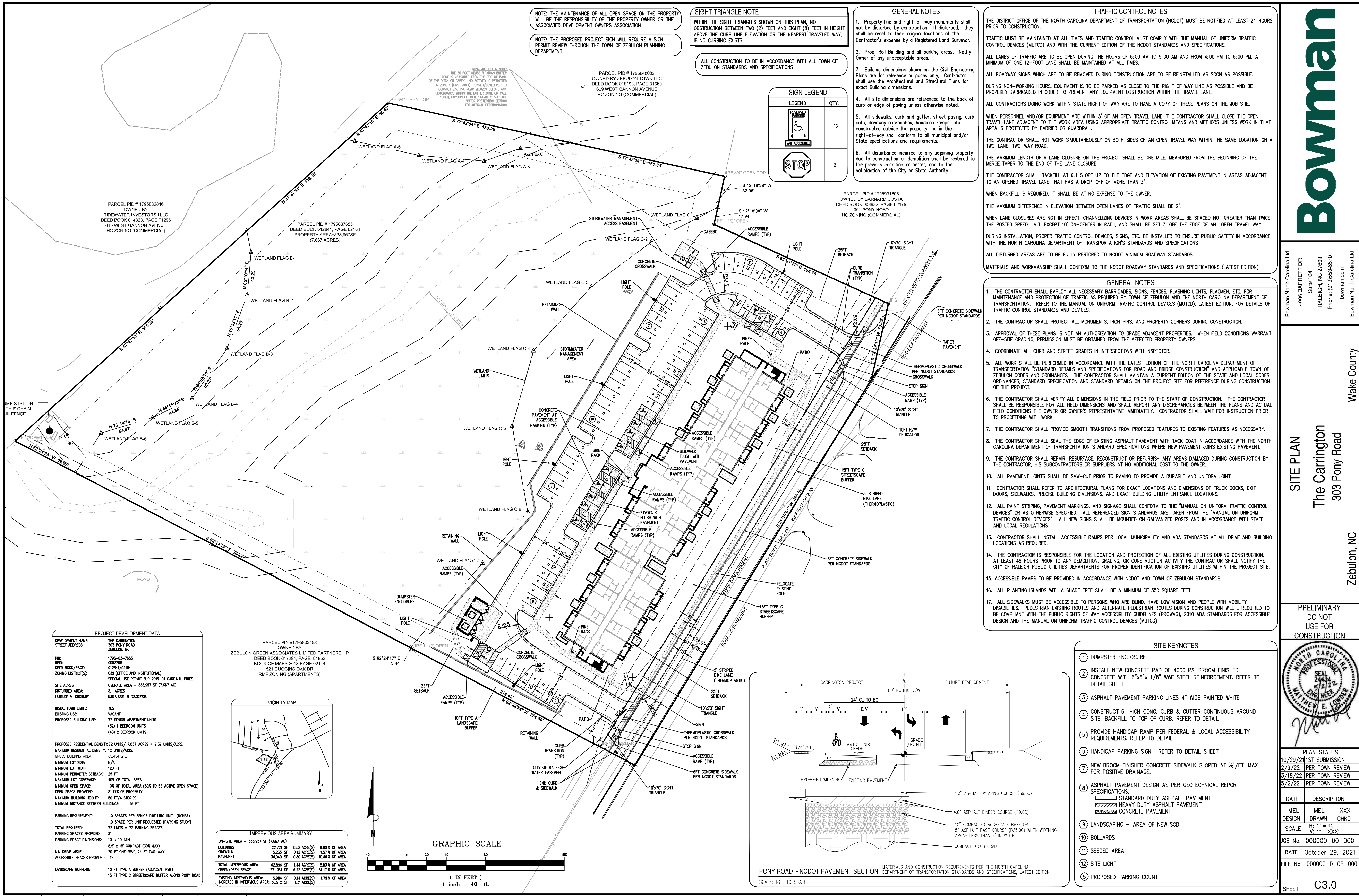
NOTE: The rain inspection meets the required 7 colorator day inspection requirement. Additional documentation to be kept on site in addition to the EESC plan documents above, the following items shall be kept on the site and available for inspection of all lines during normal business hours...

SECTION B: RECORDKEEPING. Table with columns: Item to Document and Documentation Requirements. Rows include (1) EESC Plan Documentation, (2) Phase of grading, (3) Ground covers, (4) Maintenance and repair, (5) Corrective actions.

3. Documentation to be Retained for Three Years. All data used to complete the e-NIO and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

SECTION C: REPORTING. 1. Occurrences that Must be Reported. Permitted shall report the following occurrences: (a) Visible sediment deposition in a stream or wetland, (b) Oil spills, (c) Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act... 2. Reporting Timeframes and Other Requirements. After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below...





NOTE: THE MAINTENANCE OF ALL OPEN SPACE ON THE PROPERTY WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER OR THE ASSOCIATED DEVELOPMENT OWNERS ASSOCIATION

NOTE: THE PROPOSED PROJECT SIGN WILL REQUIRE A SIGN PERMIT REVIEW THROUGH THE TOWN OF ZEBULON PLANNING DEPARTMENT

**SIGHT TRIANGLE NOTE**  
 WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS

- GENERAL NOTES**
- Property line and right-of-way monuments shall not be disturbed by construction. If disturbed, they shall be reset to their original locations at the Contractor's expense by a Registered Land Surveyor.
  - Proof Roll Building and all parking areas. Notify Owner of any unacceptable areas.
  - Building dimensions shown on the Civil Engineering Plans are for reference purposes only. Contractor shall use the Architectural and Structural Plans for exact Building dimensions.
  - All site dimensions are referenced to the back of curb or edge of paving unless otherwise noted.
  - All sidewalks, curb and gutter, street paving, curb cuts, driveway approaches, handicap ramps, etc. constructed outside the property line in the right-of-way shall conform to all municipal and/or State specifications and requirements.
  - All disturbance incurred to any adjoining property due to construction or demolition shall be restored to the previous condition or better, and to the satisfaction of the City or State Authority.

**SIGN LEGEND**

| LEGEND | QTY. |
|--------|------|
|        | 12   |
|        | 2    |

- TRAFFIC CONTROL NOTES**
- THE DISTRICT OFFICE OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) MUST BE NOTIFIED AT LEAST 24 HOURS PRIOR TO CONSTRUCTION.
- TRAFFIC MUST BE MAINTAINED AT ALL TIMES AND TRAFFIC CONTROL MUST COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND WITH THE CURRENT EDITION OF THE NCDOT STANDARDS AND SPECIFICATIONS.
- ALL LANES OF TRAFFIC ARE TO BE OPEN DURING THE HOURS OF 6:00 AM TO 9:00 AM AND FROM 4:00 PM TO 6:00 PM. A MINIMUM OF ONE 12-FOOT LANE SHALL BE MAINTAINED AT ALL TIMES.
- ALL ROADWAY SIGNS WHICH ARE TO BE REMOVED DURING CONSTRUCTION ARE TO BE REINSTALLED AS SOON AS POSSIBLE.
- DURING NON-WORKING HOURS, EQUIPMENT IS TO BE PARKED AS CLOSE TO THE RIGHT OF WAY LINE AS POSSIBLE AND BE PROPERLY BARRICADED IN ORDER TO PREVENT ANY EQUIPMENT OBSTRUCTION WITHIN THE TRAVEL LANE.
- ALL CONTRACTORS DOING WORK WITHIN STATE RIGHT OF WAY ARE TO HAVE A COPY OF THESE PLANS ON THE JOB SITE.
- WHEN PERSONNEL AND/OR EQUIPMENT ARE WITHIN 5' OF AN OPEN TRAVEL LANE, THE CONTRACTOR SHALL CLOSE THE OPEN TRAVEL LANE ADJACENT TO THE WORK AREA USING APPROPRIATE TRAFFIC CONTROL MEANS AND METHODS UNLESS WORK IN THAT AREA IS PROTECTED BY BARRIER OR GUARDRAIL.
- THE CONTRACTOR SHALL NOT WORK SIMULTANEOUSLY ON BOTH SIDES OF AN OPEN TRAVEL WAY WITHIN THE SAME LOCATION ON A TWO-LANE, TWO-WAY ROAD.
- THE MAXIMUM LENGTH OF A LANE CLOSURE ON THE PROJECT SHALL BE ONE MILE, MEASURED FROM THE BEGINNING OF THE MERGE TAPER TO THE END OF THE LANE CLOSURE.
- THE CONTRACTOR SHALL BACKFILL AT 6:1 SLOPE UP TO THE EDGE AND ELEVATION OF EXISTING PAVEMENT IN AREAS ADJACENT TO AN OPENED TRAVEL LANE THAT HAS A DROP-OFF OF MORE THAN 3".
- WHEN BACKFILL IS REQUIRED, IT SHALL BE AT NO EXPENSE TO THE OWNER.
- THE MAXIMUM DIFFERENCE IN ELEVATION BETWEEN OPEN LANES OF TRAFFIC SHALL BE 2".
- WHEN LANE CLOSURES ARE NOT IN EFFECT, CHANNELIZING DEVICES IN WORK AREAS SHALL BE SPACED NO GREATER THAN TWICE THE POSTED SPEED LIMIT, EXCEPT 10' ON-CENTER IN RADIUS, AND SHALL BE SET 3' OFF THE EDGE OF AN OPEN TRAVEL WAY.
- DURING INSTALLATION, PROPER TRAFFIC CONTROL DEVICES, SIGNS, ETC. BE INSTALLED TO ENSURE PUBLIC SAFETY IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION'S STANDARDS AND SPECIFICATIONS.
- ALL DISTURBED AREAS ARE TO BE FULLY RESTORED TO NCDOT MINIMUM ROADWAY STANDARDS.
- MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE NCDOT ROADWAY STANDARDS AND SPECIFICATIONS (LATEST EDITION).

- GENERAL NOTES**
- THE CONTRACTOR SHALL EMPLOY ALL NECESSARY BARRICADES, SIGNS, FENCES, FLASHING LIGHTS, FLAGMEN, ETC. FOR MAINTENANCE AND PROTECTION OF TRAFFIC AS REQUIRED BY TOWN OF ZEBULON AND THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION. REFER TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION, FOR DETAILS OF TRAFFIC CONTROL STANDARDS AND DEVICES.
  - THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
  - APPROVAL OF THESE PLANS IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
  - COORDINATE ALL CURB AND STREET GRADES IN INTERSECTIONS WITH INSPECTOR.
  - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION "STANDARD DETAILS AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND APPLICABLE TOWN OF ZEBULON CODES AND ORDINANCES. THE CONTRACTOR SHALL MAINTAIN A CURRENT EDITION OF THE STATE AND LOCAL CODES, ORDINANCES, STANDARD SPECIFICATION AND STANDARD DETAILS ON THE PROJECT SITE FOR REFERENCE DURING CONSTRUCTION OF THE PROJECT.
  - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS TO THE OWNER OR OWNER'S REPRESENTATIVE IMMEDIATELY. CONTRACTOR SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING WITH WORK.
  - THE CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS FROM PROPOSED FEATURES TO EXISTING FEATURES AS NECESSARY.
  - THE CONTRACTOR SHALL SEAL THE EDGE OF EXISTING ASPHALT PAVEMENT WITH TACK COAT IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS WHERE NEW PAVEMENT JOINS EXISTING PAVEMENT.
  - THE CONTRACTOR SHALL REPAIR, RESURFACE, RECONSTRUCT OR REFURBISH ANY AREAS DAMAGED DURING CONSTRUCTION BY THE CONTRACTOR, HIS SUBCONTRACTORS OR SUPPLIERS AT NO ADDITIONAL COST TO THE OWNER.
  - ALL PAVEMENT JOINTS SHALL BE SAW-CUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT.
  - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF TRUCK DOCKS, EXIT DOORS, SIDEWALKS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
  - ALL PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" OR AS OTHERWISE SPECIFIED. ALL REFERENCED SIGN STANDARDS ARE TAKEN FROM THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES". ALL NEW SIGNS SHALL BE MOUNTED ON GALVANIZED POSTS AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
  - CONTRACTOR SHALL INSTALL ACCESSIBLE RAMPS PER LOCAL MUNICIPALITY AND ADA STANDARDS AT ALL DRIVE AND BUILDING LOCATIONS AS REQUIRED.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY THE CONTRACTOR SHALL NOTIFY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENTS FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE PROJECT SITE.
  - ACCESSIBLE RAMPS TO BE PROVIDED IN ACCORDANCE WITH NCDOT AND TOWN OF ZEBULON STANDARDS.
  - ALL PLANTING ISLANDS WITH A SHADE TREE SHALL BE A MINIMUM OF 350 SQUARE FEET.
  - ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)

**PROJECT DEVELOPMENT DATA**

DEVELOPMENT NAME: THE CARRINGTON  
 STREET ADDRESS: 303 PONY ROAD, ZEBULON, NC  
 PIN: 1795-83-7655  
 REEL: 005209  
 DEED BOOK/PAGE: 01294/02154  
 ZONING DISTRICT(S): O&I (OFFICE AND INSTITUTIONAL)  
 SPECIAL USE PERMIT SUP 2019-01 CARDINAL PINES  
 OVERALL AREA = 333,957 SF (7.667 AC)  
 DISTURBED AREA: 3.1 ACRES  
 LATITUDE & LONGITUDE: N35.815581, W-78.328735

INSIDE TOWN LIMITS: YES  
 EXISTING USE: VACANT  
 PROPOSED BUILDING USE: 72 SENIOR APARTMENT UNITS (32) 1 BEDROOM UNITS (40) 2 BEDROOM UNITS

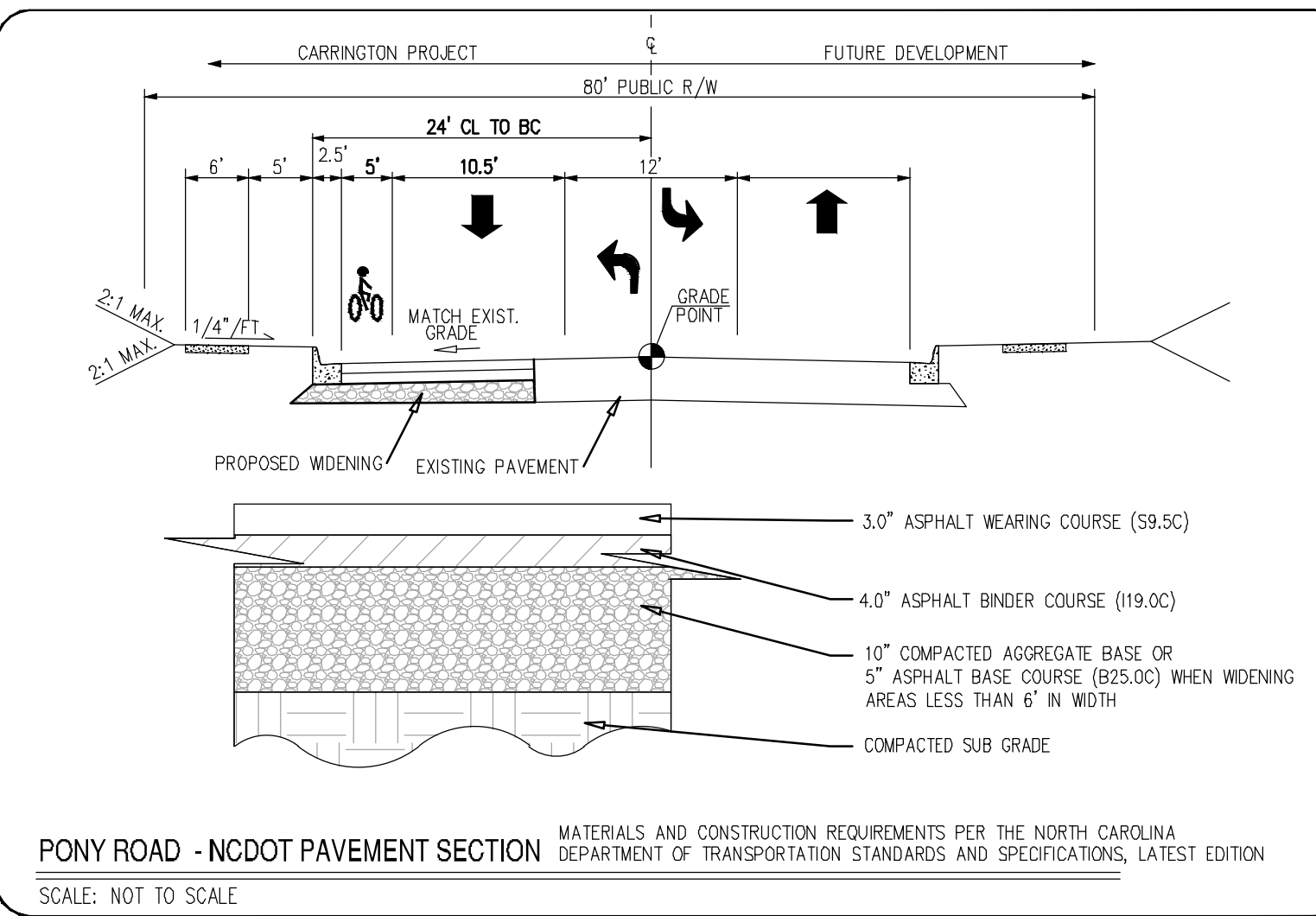
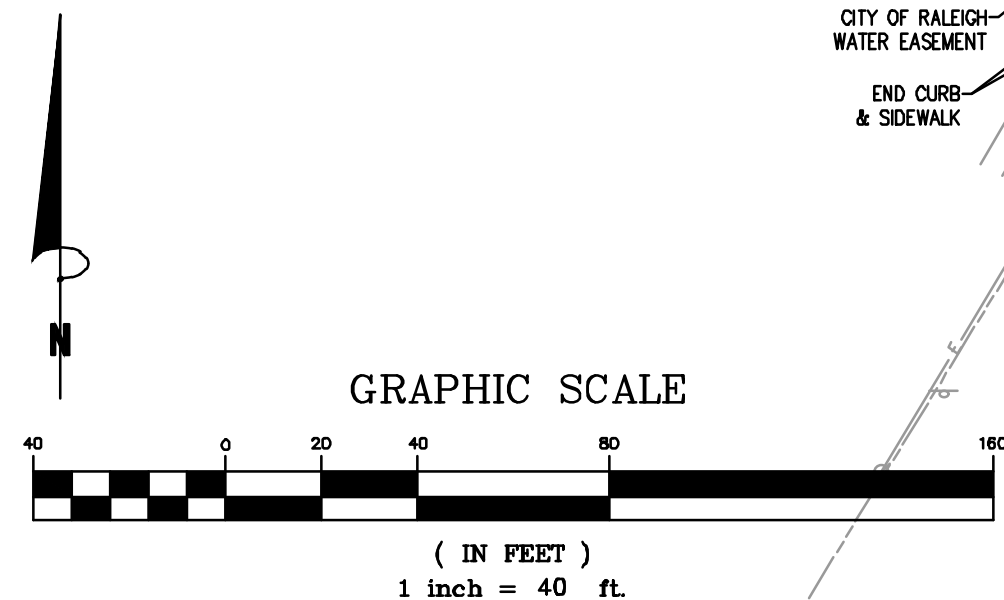
PROPOSED RESIDENTIAL DENSITY: 72 UNITS / 7.667 ACRES = 9.39 UNITS/ACRE  
 MAXIMUM RESIDENTIAL DENSITY: 12 UNITS/ACRE  
 GROSS BUILDING AREA: 85,454 SF  
 MINIMUM LOT SIZE: N/A  
 MINIMUM LOT WIDTH: 120 FT  
 MINIMUM PERMETER SETBACK: 25 FT  
 MAXIMUM LOT COVERAGE: 40% OF TOTAL AREA  
 MINIMUM OPEN SPACE: 10% OF TOTAL AREA (50% TO BE ACTIVE OPEN SPACE)  
 OPEN SPACE PROVIDED: 81.17% OF PROPERTY  
 MAXIMUM BUILDING HEIGHT: 50 FT/4 STORES  
 MINIMUM DISTANCE BETWEEN BUILDINGS: 25 FT

PARKING REQUIREMENT: 1.0 SPACES PER SENIOR DWELLING UNIT (NCHFA)  
 1.0 SPACE PER UNIT REQUESTED (PARKING STUDY)  
 TOTAL REQUIRED: 72 UNITS = 72 PARKING SPACES  
 PARKING SPACES PROVIDED: 81  
 PARKING SPACE DIMENSIONS: 8'5" x 18' MIN  
 MIN DRIVE AISLE: 20 FT ONE-WAY, 24 FT TWO-WAY  
 ACCESSIBLE SPACES PROVIDED: 12

LANDSCAPE BUFFERS: 10 FT TYPE A BUFFER (ADJACENT RMF)  
 15 FT TYPE C STREETSCAPE BUFFER ALONG PONY ROAD

**IMPERVIOUS AREA SUMMARY**

| ON-SITE AREA = 333,957 SF (7.667 AC) |            |            |                |
|--------------------------------------|------------|------------|----------------|
| BUILDINGS                            | 22,721 SF  | 0.53 ACRES | 6.80% OF AREA  |
| SIDEWALK                             | 5,235 SF   | 0.12 ACRES | 1.57% OF AREA  |
| PAVEMENT                             | 34,940 SF  | 0.80 ACRES | 10.48% OF AREA |
| TOTAL IMPERVIOUS AREA                | 62,896 SF  | 1.44 ACRES | 18.83% OF AREA |
| GREEN/OPEN SPACE                     | 271,061 SF | 6.22 ACRES | 81.17% OF AREA |
| EXISTING IMPERVIOUS AREA             | 5,984 SF   | 0.14 ACRES | 1.79% OF AREA  |
| INCREASE IN IMPERVIOUS AREA          | 56,912 SF  | 1.30 ACRES |                |



- SITE KEYNOTES**
- DUMPSTER ENCLOSURE
  - INSTALL NEW CONCRETE PAD OF 4000 PSI BROOM FINISHED CONCRETE WITH 6"x6"x 1/8" WVF STEEL REINFORCEMENT. REFER TO DETAIL SHEET
  - ASPHALT PAVEMENT PARKING LINES 4" WIDE PAINTED WHITE
  - CONSTRUCT 6" HIGH CONC. CURB & GUTTER CONTINUOUS AROUND SITE. BACKFILL TO TOP OF CURB. REFER TO DETAIL
  - PROVIDE HANDICAP RAMP PER FEDERAL & LOCAL ACCESSIBILITY REQUIREMENTS. REFER TO DETAIL
  - HANDICAP PARKING SIGN. REFER TO DETAIL SHEET
  - ASPHALT PAVEMENT DESIGN AS PER GEOTECHNICAL REPORT SPECIFICATIONS.  
 [Symbol] STANDARD DUTY ASPHALT PAVEMENT  
 [Symbol] HEAVY DUTY ASPHALT PAVEMENT  
 [Symbol] CONCRETE PAVEMENT
  - LANDSCAPING - AREA OF NEW SOO.
  - BOLLARDS
  - SEEDED AREA
  - SITE LIGHT
  - PROPOSED PARKING COUNT

**Bowman**

Bowman North Carolina Ltd.  
 4006 BARRIETT DR  
 Suite 104  
 RALEIGH, NC 27609  
 Phone: (919)555-6570  
 bowman.com

Wake County  
 Zebulon, NC

**SITE PLAN**  
 The Carrington  
 303 Pony Road

PRELIMINARY  
 DO NOT  
 USE FOR  
 CONSTRUCTION

**PLAN STATUS**

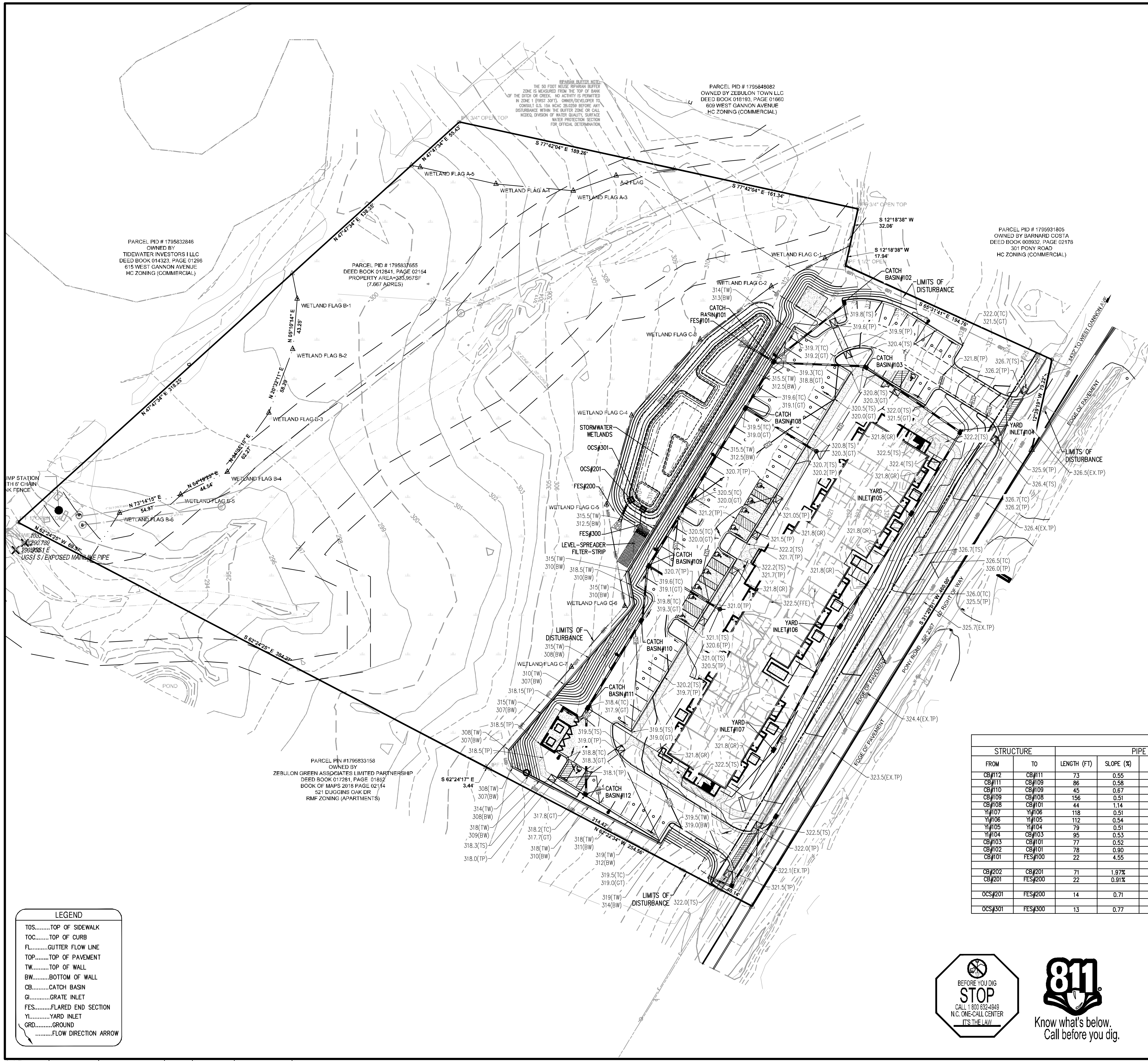
| DATE     | DESCRIPTION     |
|----------|-----------------|
| 10/29/21 | 1ST SUBMISSION  |
| 2/9/22   | PER TOWN REVIEW |
| 3/18/22  | PER TOWN REVIEW |
| 5/2/22   | PER TOWN REVIEW |

**DATE** October 29, 2021

FILE No. 000000-D-CP-000

SHEET **C3.0**



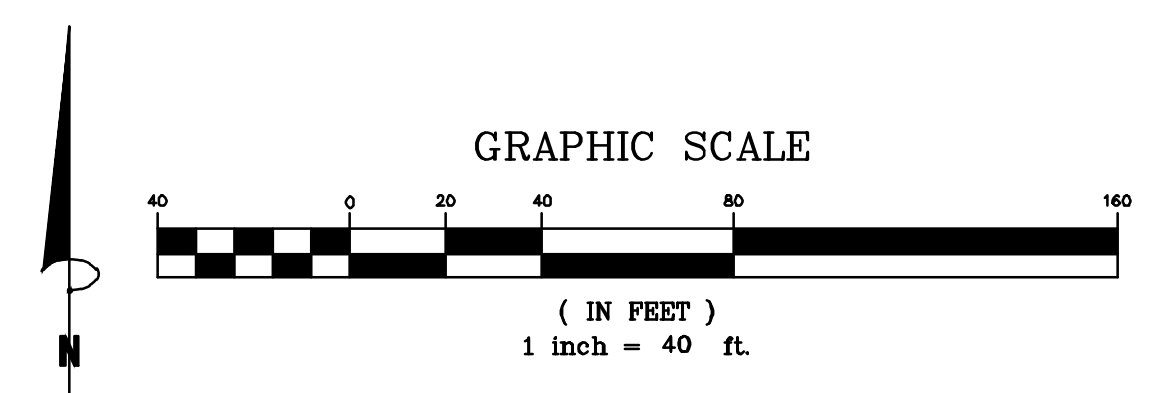


**LEGEND**

- TOS.....TOP OF SIDEWALK
- TOC.....TOP OF CURB
- FL.....GUTTER FLOW LINE
- TOP.....TOP OF PAVEMENT
- TW.....TOP OF WALL
- BW.....BOTTOM OF WALL
- CB.....CATCH BASIN
- GI.....GRATE INLET
- FES.....FLARED END SECTION
- YI.....YARD INLET
- GRD.....GROUND
- .....FLOW DIRECTION ARROW

**STORM DRAINAGE CHART**

| STRUCTURE |         | PIPE        |           |                 | STRUCTURE |         |                    | NOTES                      |
|-----------|---------|-------------|-----------|-----------------|-----------|---------|--------------------|----------------------------|
| FROM      | TO      | LENGTH (FT) | SLOPE (%) | SIZE & MATERIAL | FROM (FT) | TO (FT) | GRND/RIM ELEV (FT) |                            |
| CB#112    | CB#111  | 73          | 0.55      | 15" HDPE        | 315.23    | 14.8    | 317.7              |                            |
| CB#111    | CB#109  | 86          | 0.58      | 15" HDPE        | 314.8     | 314.3   | 317.9              |                            |
| CB#110    | CB#109  | 45          | 0.67      | 15" HDPE        | 314.3     | 314.0   | 319.2              |                            |
| CB#109    | CB#108  | 156         | 0.51      | 15" HDPE        | 313.0     | 313.8   | 319.1              |                            |
| CB#108    | CB#101  | 44          | 1.14      | 15" HDPE        | 313.0     | 312.5   | 319.0              |                            |
| YI#107    | YI#106  | 118         | 0.51      | 15" HDPE        | 318.0     | 317.4   | 820.5              |                            |
| YI#106    | YI#105  | 112         | 0.54      | 15" HDPE        | 317.4     | 316.8   | 320.5              |                            |
| YI#105    | YI#104  | 79          | 0.51      | 15" HDPE        | 316.8     | 316.4   | 231.5              |                            |
| YI#104    | CB#103  | 95          | 0.53      | 15" HDPE        | 316.4     | 315.9   | 321.5              |                            |
| CB#103    | CB#101  | 77          | 0.52      | 15" HDPE        | 315.9     | 315.5   | 320.3              |                            |
| CB#102    | CB#101  | 78          | 0.90      | 15" HDPE        | 317.0     | 316.3   | 319.5              |                            |
| CB#101    | FES#100 | 22          | 4.55      | 18" HDPE        | 310.0     | 309.0   | 318.8              |                            |
| CB#202    | CB#201  | 71          | 1.87%     | RCP CLASS III   | 320.1     | 318.7   | 322.6              |                            |
| CB#201    | FES#200 | 22          | 0.91%     | RCP CLASS III   | 318.3     | 318.1   | 321.1              |                            |
| OCS#201   | FES#200 | 14          | 0.71      | 18" HDPE        | 309.0     | 308.9   |                    | OUTLET CONTROL STRUCTURE#1 |
| OCS#301   | FES#300 | 13          | 0.77      | 6" HDPE         | 309.0     | 308.9   |                    | OUTLET CONTROL STRUCTURE#2 |



Bowman North Carolina Ltd.  
4006 BARRETT DR  
Suite 104  
RALEIGH, NC 27609  
Phone: (919) 555-6570  
bowman.com

Wake County  
Zebulon, NC  
303 Pony Road  
The Carrington

PRELIMINARY  
DO NOT  
USE FOR  
CONSTRUCTION



**PLAN STATUS**

|          |                 |
|----------|-----------------|
| 10/29/21 | 1ST SUBMISSION  |
| 2/9/22   | PER TOWN REVIEW |
| 3/18/22  | PER TOWN REVIEW |
| 5/2/22   | PER TOWN REVIEW |

| DATE       | DESCRIPTION                 |
|------------|-----------------------------|
| MEL DESIGN | MEL DRAWN XXX CHKD          |
| SCALE      | H: 1" = 40'<br>V: 1" = XXX' |
| JOB No.    | 000000-00-000               |
| DATE       | October 29, 2021            |
| FILE No.   | 000000-0-CP-000             |

**GRADING NOTES**

- REFER TO THE SITE PLAN FOR RELATED NOTES.
- ALL CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES.
- ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK, AND THIS MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUND BREAKING.
- THE CONTRACTOR SHALL IMMEDIATELY REPORT TO OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
- LIMITS OF CLEARING SHOWN ON GRADING PLAN ARE BASED UPON THE APPROXIMATE CUT AND FILL SLOPE LIMITS, OR OTHER GRADING REQUIREMENTS.
- THE PROPOSED CONTOURS SHOWN IN DRIVES AND PARKING LOTS AND SIDEWALKS ARE FINISHED ELEVATIONS INCLUDING ASPHALT. REFER TO PAVEMENT CROSS SECTION DATA TO ESTABLISH CORRECT SUBBASE OR AGGREGATE BASE COURSE ELEVATIONS TO BE COMPLETED UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE SO THAT RUNOFF WILL DRAIN BY GRAVITY FLOW ACROSS NEW PAVEMENT AREAS TO NEW OR EXISTING DRAINAGE INLETS OR SHEET OVERLAND.
- ANY GRADING, BEYOND THE LIMITS OF CONSTRUCTION AS SHOWN ON THE GRADING PLAN, IS PROHIBITED.
- LAND DISTURBANCE WITHOUT AN APPROVED ESC PLAN IS PROHIBITED.
- STABILIZATION IS THE BEST FORM OF EROSION CONTROL. TEMPORARY SEEDING IS NECESSARY TO ACHIEVE EROSION CONTROL ON DENUDED AREAS AND ESPECIALLY WHEN THE CONSTRUCTION SEQUENCE REQUIRES IT.
- ALL GRADED AREAS ARE TO BE STABILIZED (SEEDED OR LANDSCAPED) WITHIN 14 DAYS OF HAVING REACHED FINAL GRADE.
- EXISTING GRADES, CONTOURS, UTILITIES AND OTHER EXISTING FEATURES FROM FIELD RUN SURVEY.
- THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ANY DEWATERING NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHEETING, SHORING, BRACING AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THESE DRAWINGS. THE DESIGN ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE DESIGN(S) TO INSTALL SAID ITEMS.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATION, ELEVATION, AND DIMENSIONS OF EXISTING DOORS, RAMPS, BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL FILL MATERIALS, EXISTING BUILDING FOUNDATIONS, PAVEMENT AND UTILITY STRUCTURES, TOPSOIL, AND ANY OTHER DELETERIOUS MATERIALS SHALL BE COMPLETELY REMOVED FROM WITHIN THE BEARING ZONE BELOW THE STRUCTURE.
- ALL FOUNDATION EXCAVATION SHALL BE INSPECTED BY A QUALIFIED GEOTECHNICAL REPRESENTATIVE TO DETERMINE WHETHER UNSUITABLE MATERIAL MUST BE REMOVED. ALL UNSUITABLE MATERIAL SHALL BE REMOVED, BACKFILLED AND COMPACTED AS REQUIRED BY THE GEOTECHNICAL REPRESENTATIVE.
- ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED OR DEPICTED.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.

**DRAINAGE NOTES**

- A MINIMUM GRADE OF 0.50 % SHALL BE MAINTAINED ON ALL PIPES, UNLESS OTHERWISE NOTED.
- PIPE LENGTHS AND SLOPES INDICATED ON THE PLANS ARE APPROXIMATE ONLY.
- UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA:
  - NO MORE THAN 500 LF OF TRENCH MAY BE OPENED AT ONE TIME.
  - EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
  - EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.
  - MATERIAL USED FOR BACK-FILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION.
  - RESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL REGULATIONS.
  - APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.
- CATCH BASINS, MANHOLES, FRAMES, GRATES, ETC. SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD DRAWINGS. REFERENCE THE FOLLOWING STANDARD DETAILS:
  - 840.02 – CONCRETE CATCH BASIN
  - 840.03 – FRAME, GRATES, AND HOOD FOR CATCH BASINS
  - 840.14 – CONCRETE DROP INLET
  - 840.04 – CONCRETE OPEN THROAT CATCH BASIN
  - 840.14 – CONCRETE DROP INLET
  - 840.16 – DROP INLET FRAME AND GRATES
  - 840.31 – CONCRETE JUNCTION BOX
  - 840.36 – TRAFFIC BEARING GRATED DROP INLET
  - 840.52 – PRECAST MANHOLE
  - 840.45 – PRECAST DRAINAGE STRUCTURE
  - 838.80 – PRECAST CONCRETE ENDWALL
- ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
- STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:
  - TYPE 1: RCP, CLASS III PER ASTM C-76, WITH FLEXIBLE PLASTIC BITUMEN GASKETS AT JOINTS.
  - TYPE 2: HIGH DENSITY POLYETHYLENE PIPE (HDPE) – AASHTO DESIGNATION M252 TYPE S, M294 TYPE S AND M97-97 TYPE S, SMOOTH INTERIOR/ANNULAR EXTERIOR. ONLY PERMITTED WHEN SPECIFICALLY INDICATED ON THE CONSTRUCTION DRAWINGS. PIPE SHALL BE INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER'S INSTALLATION GUIDELINES. PIPE JOINTS AND FITTINGS SHALL BE WATERTIGHT.
- ALL STORM DRAINAGE WITHIN THE PUBLIC ROADS SHALL BE CLASS III REINFORCED CONCRETE PIPE UNLESS OTHERWISE NOTED.
- EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE SILT AND DEBRIS.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- PRECAST STRUCTURES MAYBE USED AT CONTRACTORS OPTION.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
- STRUCTURE TOP ELEVATIONS SHOWN HERE ARE APPROXIMATE. CONTRACTOR SHALL ADJUST AS NECESSARY.
- RIM ELEVATIONS AS NOTED ARE TO THE GUTTER FLOW LINE.

**EROSION CONTROL NOTES:**  
 AN EROSION AND SEDIMENTATION CONTROL PERMIT SHALL BE REQUIRED BY WAKE COUNTY PRIOR TO START OF CONSTRUCTION.

**SURVEY NOTES:**  
 ALL EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A LAND SURVEY PREPARED BY: BOWMAN

**STREAM/WETLAND NOTE:**  
 THERE ARE EXISTING STREAM/AND/OR WETLAND FEATURES ON THE PROPOSED PARCEL. THERE ARE NO PROPOSED IMPACTS TO THE EXISTING STREAM AND/OR WETLAND FEATURES.

**FLOOD ZONE NOTE:**  
 THE PROPERTY IS LOCATED IN FLOOD ZONE X AS SHOWN ON FEMA FLOOD PANEL 372077800L DATED MAY 2, 2006. MAPS SUBJECT TO CHANGE BY FEMA.

**IMPERVIOUS AREA SUMMARY**

|                                      |            |              |                 |
|--------------------------------------|------------|--------------|-----------------|
| ON-SITE AREA = 333,057 SF (7,667 AC) |            |              |                 |
| BUILDINGS                            | 22,721 SF  | 0.52 ACRE(S) | 6.80 % OF AREA  |
| SIDEWALK                             | 5,235 SF   | 0.12 ACRE(S) | 1.57 % OF AREA  |
| PAVEMENT                             | 24,940 SF  | 0.56 ACRE(S) | 7.49 % OF AREA  |
| TOTAL IMPERVIOUS AREA                | 52,896 SF  | 1.20 ACRE(S) | 15.86 % OF AREA |
| GREEN/OPEN SPACE                     | 271,061 SF | 6.22 ACRE(S) | 81.17 % OF AREA |
| EXISTING IMPERVIOUS AREA             | 5,884 SF   | 0.14 ACRE(S) | 1.79 % OF AREA  |
| INCREASE IN IMPERVIOUS AREA          | 46,912 SF  | 1.31 ACRE(S) |                 |



Bowman North Carolina Ltd.  
 4006 BARRETT DR  
 Suite 104  
 RALEIGH, NC 27609  
 Phone: (919)555-6570  
 bowman.com  
 Bowman North Carolina Ltd.

**GRADING & DRAINAGE NOTES**

**The Carrington**  
 303 Pony Road

Zebulon, NC Wake County

PRELIMINARY  
 DO NOT  
 USE FOR  
 CONSTRUCTION



**PLAN STATUS**

|          |                 |
|----------|-----------------|
| 10/29/21 | 1ST SUBMISSION  |
| 2/9/22   | PER TOWN REVIEW |
| 3/18/22  | PER TOWN REVIEW |
| 5/2/22   | PER TOWN REVIEW |

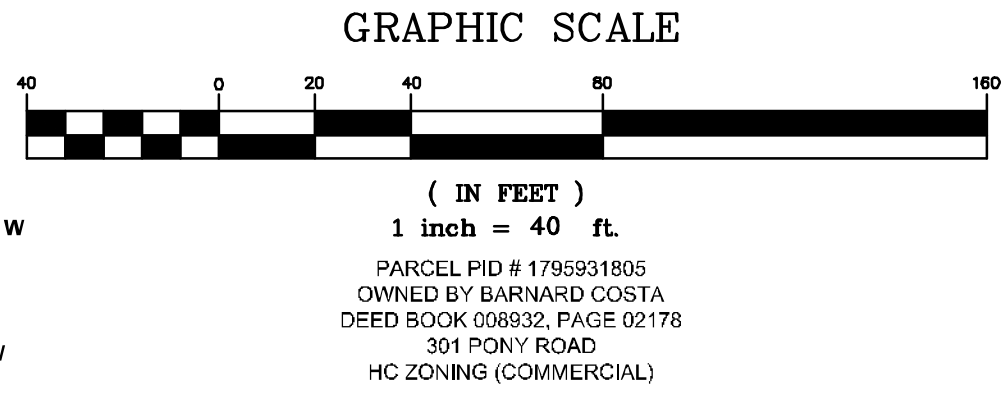
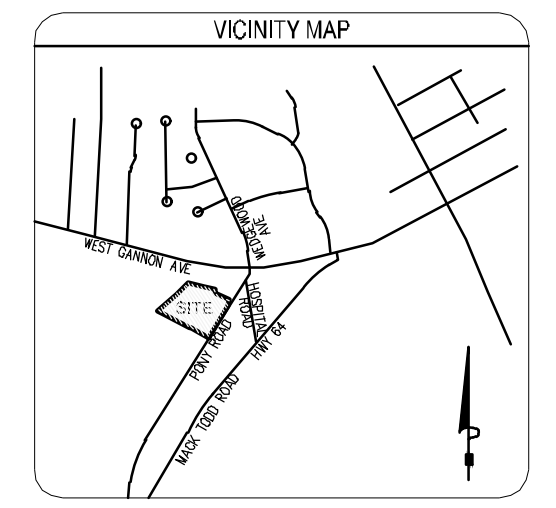
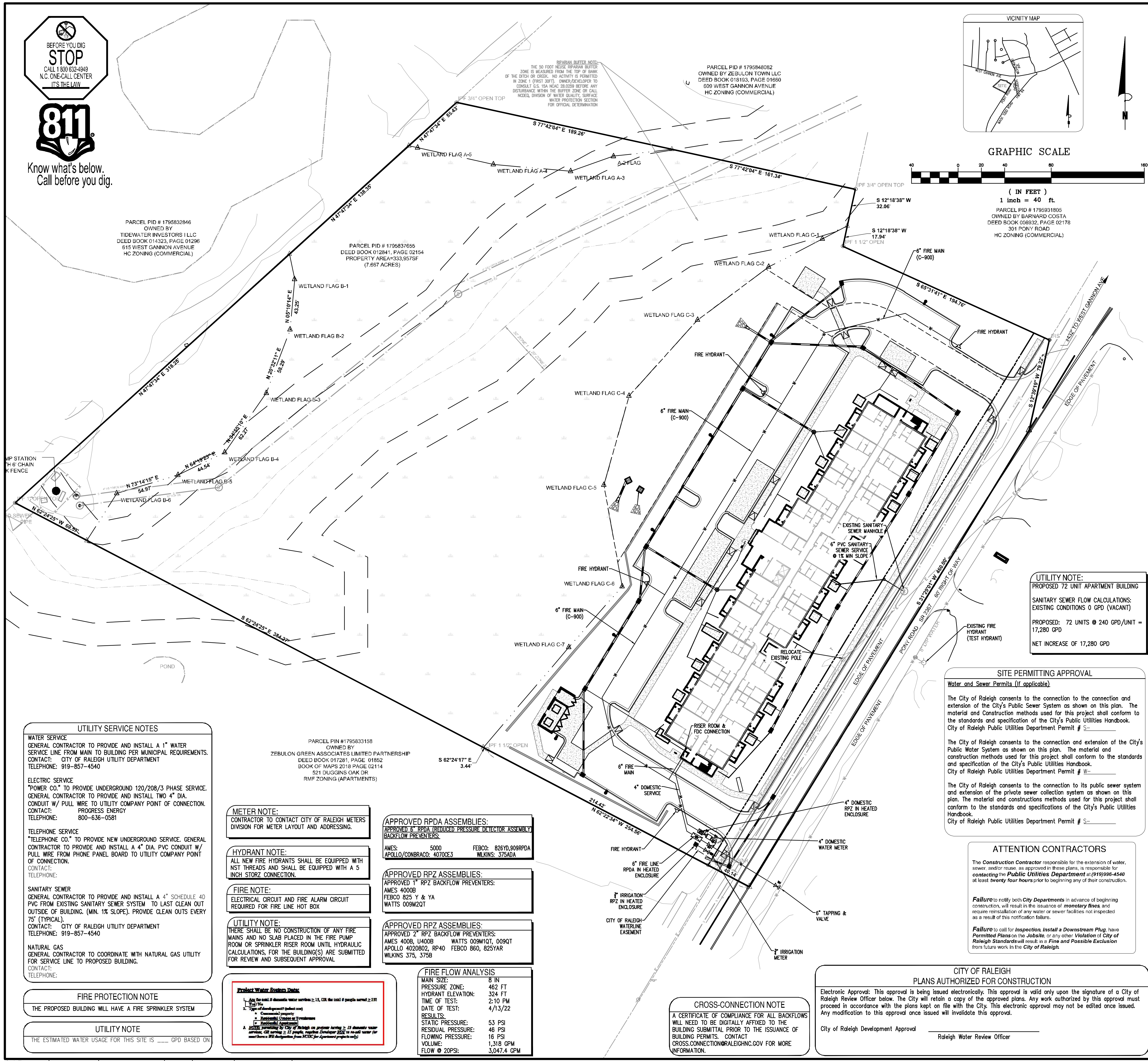
| DATE       | DESCRIPTION                 |
|------------|-----------------------------|
| MEL DESIGN | MEL DRAWN XXX CHKD          |
| SCALE      | H: 1" = 40'<br>V: 1" = XXX' |

JOB No. 000000-00-000  
 DATE October 29, 2021  
 FILE No. 000000-0-CP-000

SHEET **C4.1**



Know what's below. Call before you dig.



- UTILITY NOTES: 1. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH CITY OF RALEIGH STANDARD DRAWINGS AND SPECIFICATIONS. 2. IN THE EVENT THAT A UTILITY ITEM IS NOT COVERED BY THESE PLANS...

UTILITY NOTE: PROPOSED 72 UNIT APARTMENT BUILDING SANITARY SEWER FLOW CALCULATIONS: EXISTING CONDITIONS 0 GPD (VACANT) PROPOSED: 72 UNITS @ 240 GPD/UNIT = 17,280 GPD NET INCREASE OF 17,280 GPD

SITE PERMITTING APPROVAL Water and Sewer Permits (if applicable) The City of Raleigh consents to the connection to the connection and extension of the City's Public Sewer System as shown on this plan...

ATTENTION CONTRACTORS The Contractor responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for contacting the Public Utilities Department at (919)996-4540 at least twenty-four hours prior to beginning any of their construction.

CITY OF RALEIGH PLANS AUTHORIZED FOR CONSTRUCTION Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City...

UTILITY SERVICE NOTES WATER SERVICE GENERAL CONTRACTOR TO PROVIDE AND INSTALL A 1" WATER SERVICE LINE FROM MAIN TO BUILDING PER MUNICIPAL REQUIREMENTS. CONTACT: CITY OF RALEIGH UTILITY DEPARTMENT TELEPHONE: 919-857-4540

METER NOTE: CONTRACTOR TO CONTACT CITY OF RALEIGH METERS DIVISION FOR METER LAYOUT AND ADDRESSING. HYDRANT NOTE: ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH INST THREADS AND SHALL BE EQUIPPED WITH A 5 INCH STORZ CONNECTION. FIRE NOTE: ELECTRICAL CIRCUIT AND FIRE ALARM CIRCUIT REQUIRED FOR FIRE LINE HOT BOX. UTILITY NOTE: THERE SHALL BE NO CONSTRUCTION OF ANY FIRE MAINS AND NO SLAB PLACED IN THE FIRE PUMP ROOM OR SPRINKLER RISER ROOM UNTIL HYDRAULIC CALCULATIONS FOR THE BUILDING(S) ARE SUBMITTED FOR REVIEW AND SUBSEQUENT APPROVAL.

APPROVED RPDA ASSEMBLIES: APPROVED 1" RPDA BACKFLOW PREVENTERS: AMES 5000 FEBCO 825 Y & YA WATTS 09SM10T, 09SQRT APOLLO/CONBRACO: 4070CE3 FEBCO: 826YD, 809RPDA WILKINS: 375ADA APPROVED RPZ ASSEMBLIES: APPROVED 1" RPZ BACKFLOW PREVENTERS: AMES 4008 FEBCO 825 Y & YA WATTS 09SM2T APPROVED 2" RPZ BACKFLOW PREVENTERS: AMES 4008, 14008 WATTS 09SM10T, 09SQRT APOLLO 4020802, RP40 FEBCO 860, 825YAR WILKINS 375, 375B

FIRE FLOW ANALYSIS MAIN SIZE: 8 IN PRESSURE ZONE: 462 FT HYDRANT ELEVATION: 324 FT TIME OF TEST: 2:10 PM DATE OF TEST: 4/13/22 RESULTS: STATIC PRESSURE: 53 PSI RESIDUAL PRESSURE: 46 PSI FLOWING PRESSURE: 16 PSI FLOW @ 20PSI: 1,318 GPM 3,047.4 GPM

FIRE PROTECTION NOTE THE PROPOSED BUILDING WILL HAVE A FIRE SPRINKLER SYSTEM. UTILITY NOTE THE ESTIMATED WATER USAGE FOR THIS SITE IS \_\_\_ GPD BASED ON

Product Water System Data: 1. Any fire main & domestic water service > 1.5 inch shall be protected with 2" CPVC pipe. 2. CPVC pipe shall be installed in a trench with a minimum depth of 18 inches. 3. CPVC pipe shall be installed in a trench with a minimum depth of 18 inches. 4. CPVC pipe shall be installed in a trench with a minimum depth of 18 inches.



Bowman North Carolina Ltd. 4006 BARRIETT DR Suite 104 RALEIGH, NC 27609 Phone: (919)555-6570 bowman.com

UTILITY PLAN The Carrington 303 Pony Road Zebulon, NC

PRELIMINARY DO NOT USE FOR CONSTRUCTION

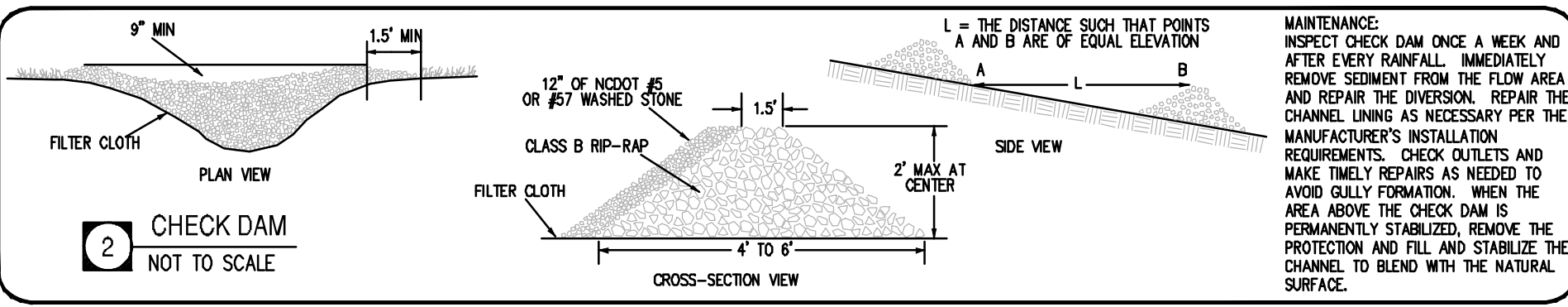
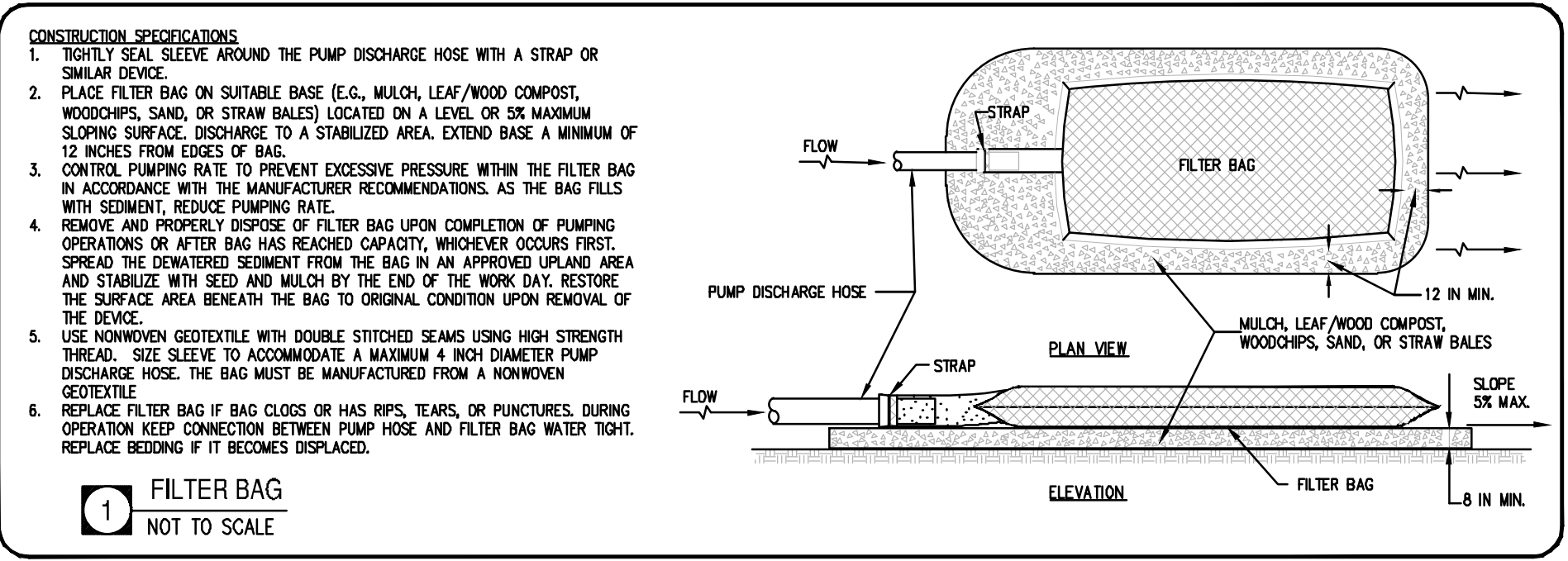
PLAN STATUS 10/29/21 1ST SUBMISSION 2/9/22 PER TOWN REVIEW 3/18/22 PER TOWN REVIEW 5/2/22 PER TOWN REVIEW

DATE DESCRIPTION MEL DESIGN MEL DRAW XXX CHKD SCALE H: 1" = XXX' V: 1" = XXX'

JOB No. 000000-00-000 DATE October 29, 2021 FILE No. 000000-D-CP-000

SHEET C5.0





**TEMPORARY SEEDING SPECIFICATIONS/SCHEDULE**

| Date        | Type            | Planting Rate |
|-------------|-----------------|---------------|
| March - Oct | Browntop Millet | 40 lbs/acre   |
| Nov. - Feb. | Winter Rye      | 120 lbs/acre  |

**PERMANENT SEEDING SPECIFICATIONS/SCHEDULE**

| Date            | Type   | Planting Rate  |
|-----------------|--|--|
| Aug 15 - Nov 1  | Deer Tongue  | 300 lbs/acre   |
| Nov 1 - Mar 1   | Deer Tongue & Abruzzi Rye                              | 300 lbs/acre   |
| Mar 1 - Apr 15  | Deer Tongue  | 300 lbs/acre   |
| Apr 14 - Jun 30 | Hulled Common Bermuda Grass                            | 25 lbs/acre  |
| Jul 1 - Aug 15  | Deer Tongue & Browntop Millet or Sorghum-Sudan Hybrids | 240 lbs/acre-Deer Tongue<br>35 lbs/acre Browntop Millet<br>30 lbs/acre Sorghum-Sudan Hybrids |

**FOR SHOULDERS, SIDE DITCHES, SLOPES (3:1 - 2:1)**

| Date           | Type   | Planting Rate  |
|----------------|--|--|
| Mar 1 - Jun 1  | Switchgrass & use the following combinations:          | 50 lbs/acre (Switchgrass)  |
| Mar 1 - Apr 15 | Add Deer Tongue  | 240 lbs/acre   |
| Mar 1 - Jun 30 | Or add Hulled Common Bermuda Grass                     | 25 lbs/acre  |
| Jun 1 - Sep 1  | Deer Tongue & Browntop Millet or Sorghum-Sudan Hybrids | 240 lbs/acre Deer Tongue<br>35 lbs/acre Browntop Millet<br>30 lbs/acre Sorghum-Sudan Hybrids |
| Sep 1 - Mar 1  | Switchgrass & Deer Tongue                              | 70 lbs/acre Switchgrass<br>240 lbs/acre Deer Tongue  |
| Nov 1 - Mar 1  | Add Abruzzi Rye  | 25 lbs/acre  |

CONSULT S&C ENGINEER FOR ADDITIONAL INFORMATION CONCERNING OTHER ALTERNATIVES FOR VEGETATION OF DENuded AREAS. THE ABOVE VEGETATION RATES ARE THOSE THAT DO WELL UNDER LOCAL CONDITIONS; OTHER SEEDING RATE COMBINATIONS ARE POSSIBLE.

\*\*\* TEMPORARY: RESEED ACCORDING TO OPTIMUM SEASON FOR DESIRED PERMANENT VEGETATION. DO NOT ALLOW TEMPORARY COVER TO GROW MORE THAN 12" IN HEIGHT BEFORE MOWING. OTHERWISE, FESCUE MAY BE SHADED OUT.

**3 TEMPORARY SEEDING**  
NOT TO SCALE

**SEEDBED PREPARATION:**

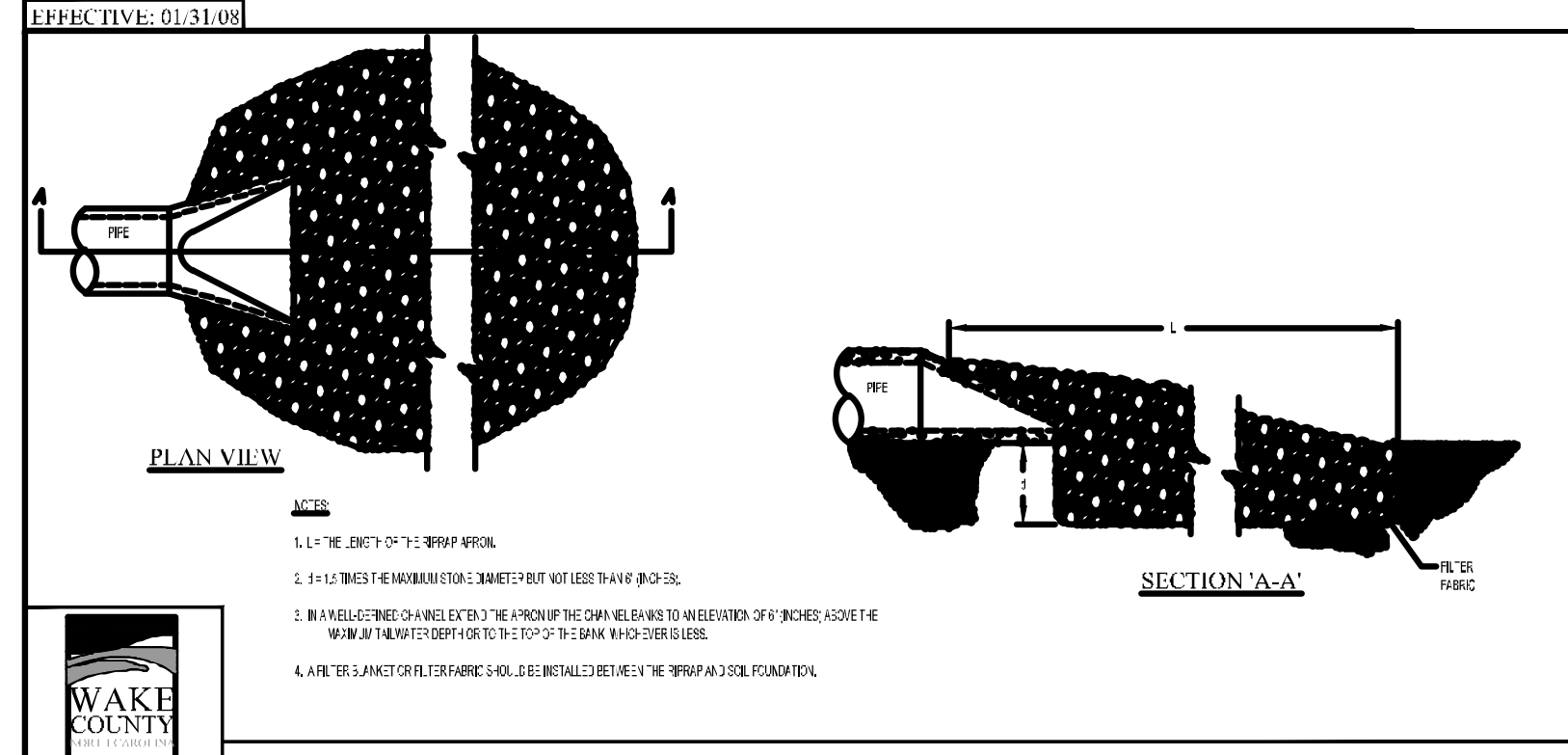
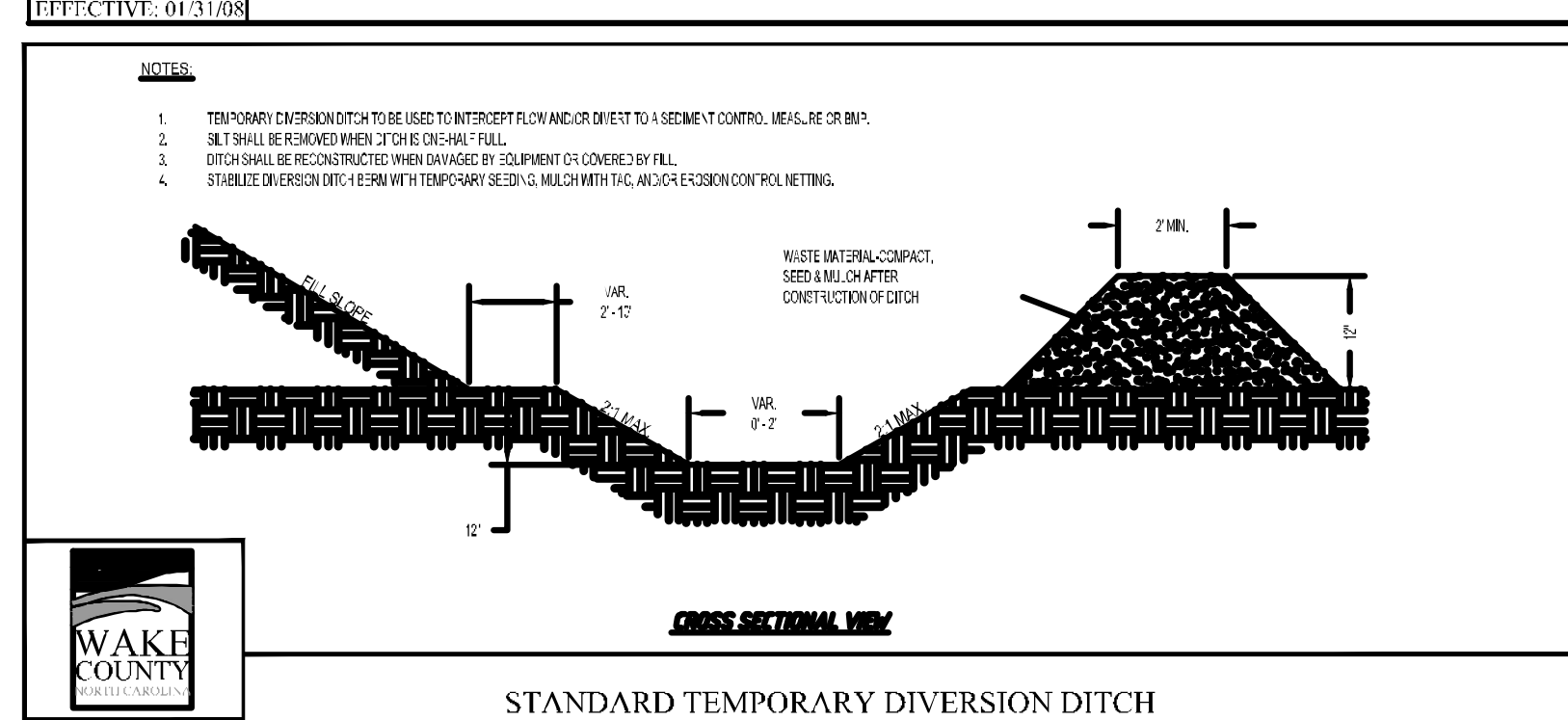
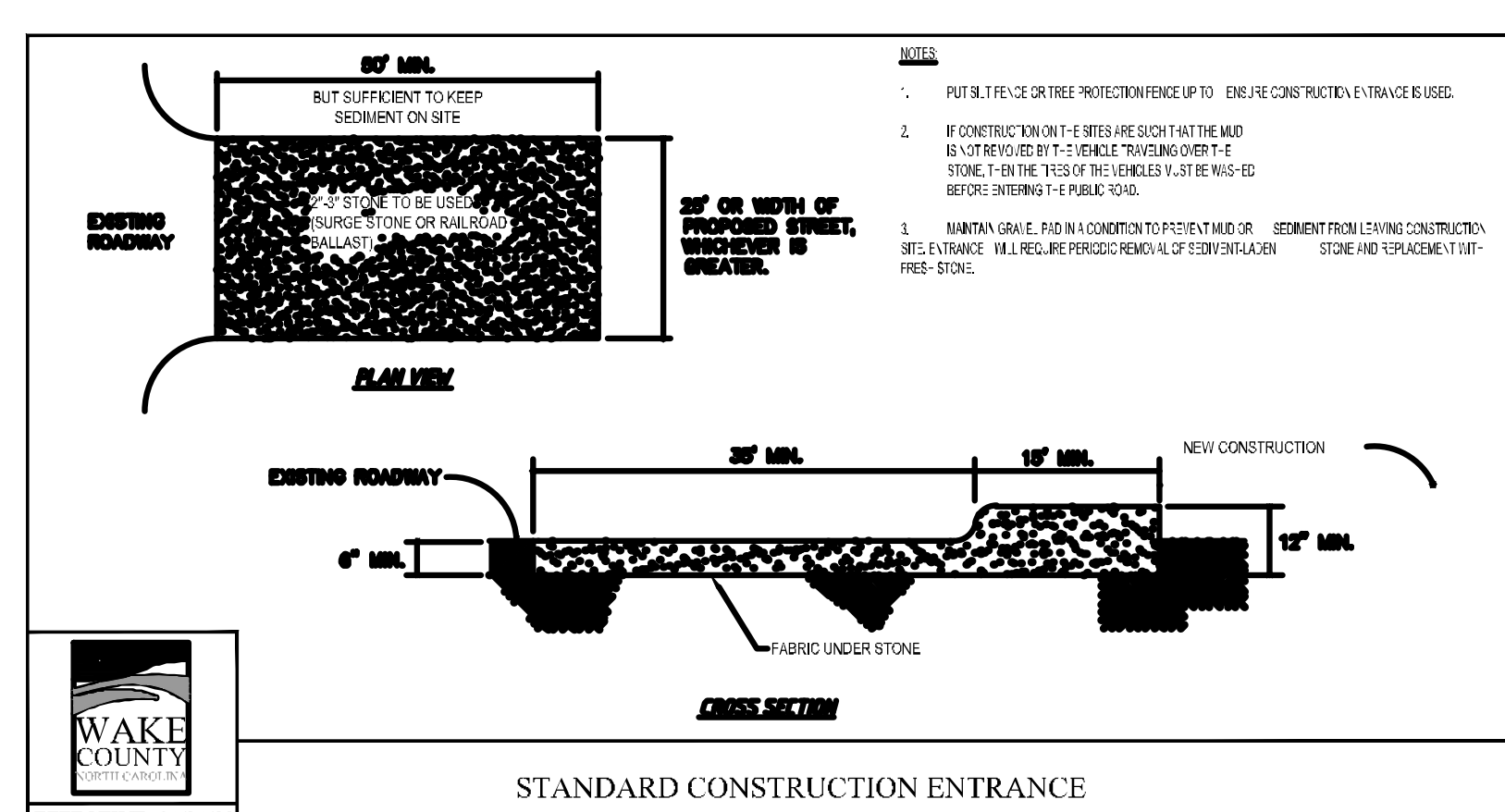
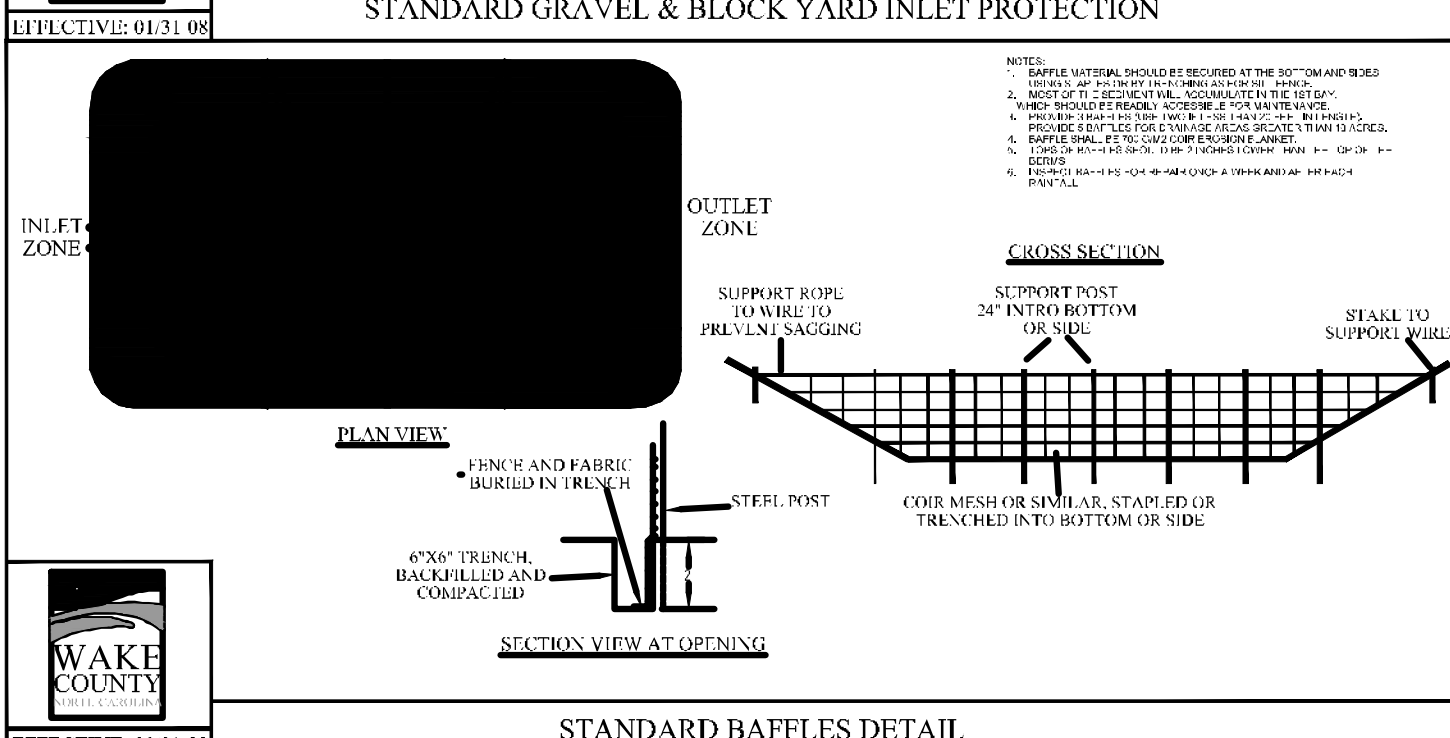
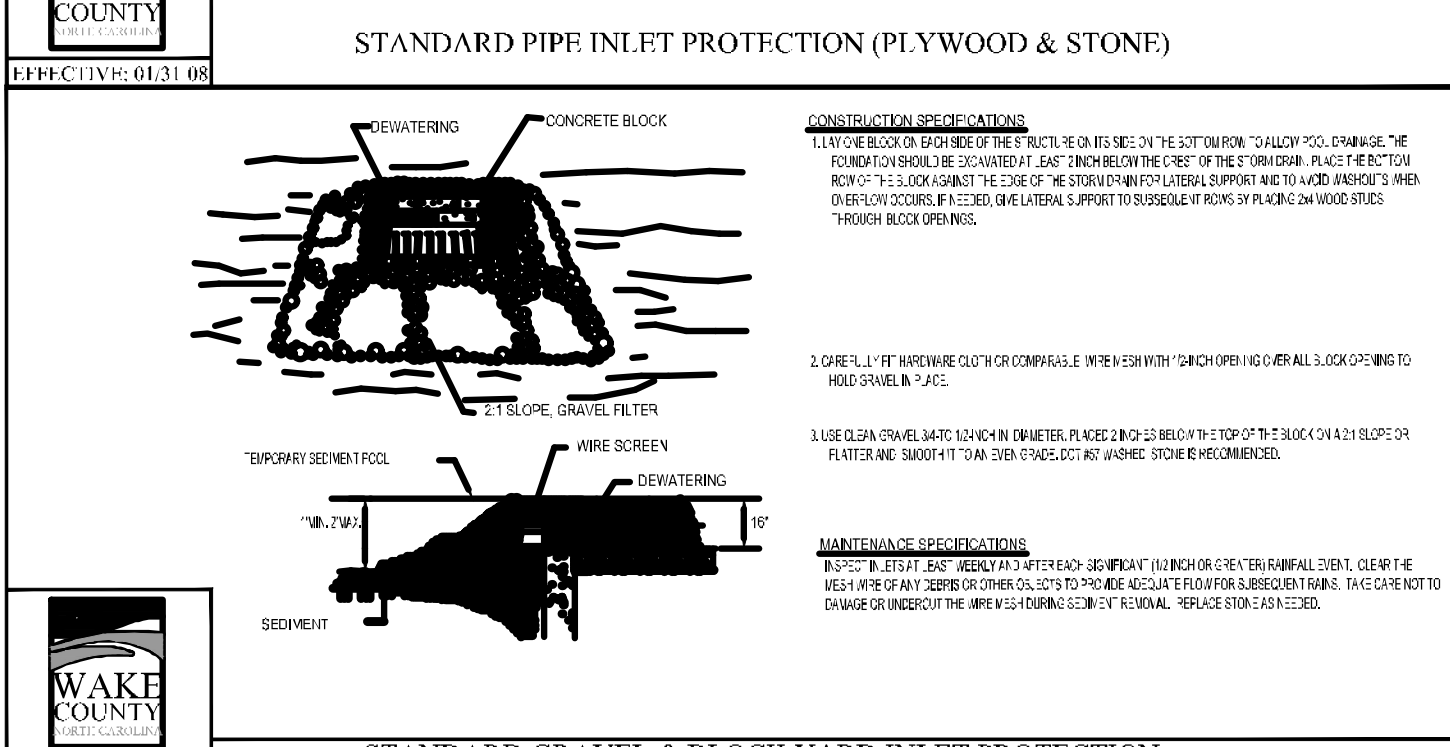
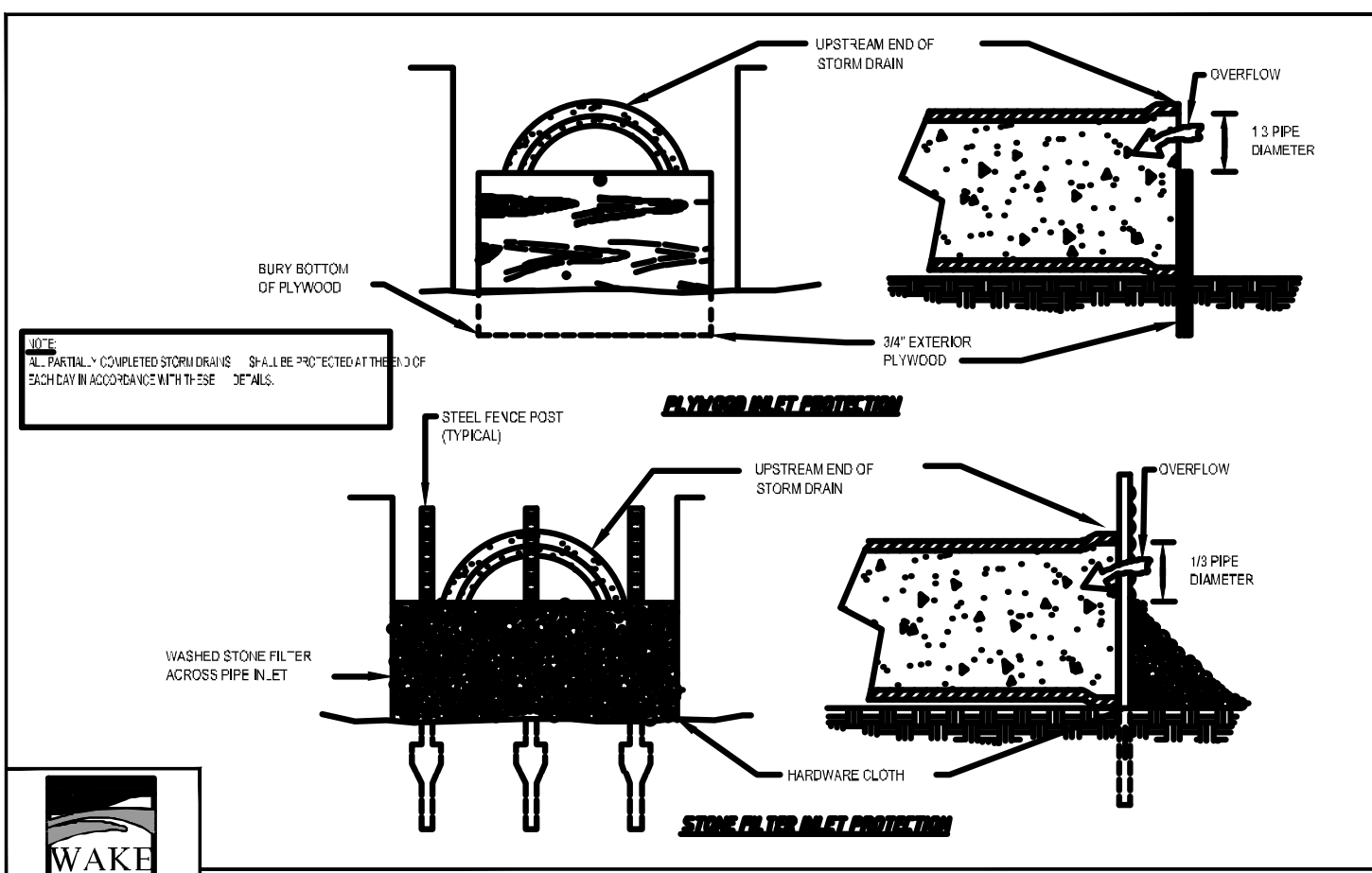
- CORR. COMPACTED AREAS AND SPREAD TOPSOIL THREE INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
- RIP THE ENTIRE AREA TO SIX INCHES DEEP.
- REMOVE ALL LOOSE ROCK, ROOTS AND OTHER OBSTRUCTIONS, LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
- APPLY AGRICULTURAL LIME, FERTILIZER, AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL (SEE SEEDING MIXTURE).
- CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED FOUR TO SIX INCHES DEEP.
- SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
- MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
- INSPECT ALL SEEDED AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND SHOULD BE MORE THAN 60% DAMAGED, RE-ESTABLISH FOLLOWING THE ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
- CONSULT S&C ENVIRONMENTAL ENGINEERS ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.

**SEEDING MIXTURE:**

|                        |   |
|------------------------|---|
| AGRICULTURE LIMESTONE: | 2 TONS/ACRE (3 TONS/ACRE IN CLAY SOILS) |
| FERTILIZER:            | 1,000 LBS/ACRE - 10-10-10               |
| SUPERPHOSPHATE:        | 500 LBS/ACRE - 20% ANALYSIS             |
| MULCH:                 | 2 TONS/ACRE - SMALL GRAIN STRAW         |
| ANCHOR:                | ASPHALT EMULSION AT 400 GALS/ACRE       |

CONSULT S&C ENGINEER FOR ADDITIONAL INFORMATION CONCERNING OTHER ALTERNATIVES FOR VEGETATION OF DENuded AREAS. THE ABOVE VEGETATION RATES ARE THOSE THAT DO WELL UNDER LOCAL CONDITIONS; OTHER SEEDING RATE COMBINATIONS ARE POSSIBLE.

\*\*\* TEMPORARY: RESEED ACCORDING TO OPTIMUM SEASON FOR DESIRED PERMANENT VEGETATION. DO NOT ALLOW TEMPORARY COVER TO GROW MORE THAN 12" IN HEIGHT BEFORE MOWING; OTHERWISE, FESCUE MAY BE SHADED OUT.



**Bowman**

Bowman North Carolina Ltd.  
4006 BARRETT DR  
Suite 104  
RALEIGH, NC 27609  
Phone: (919) 955-6570  
bowman.com

**EROSION CONTROL DETAILS**  
The Carrington  
303 Pony Road  
Zebulon, NC  
Wake County

PRELIMINARY  
DO NOT  
USE FOR  
CONSTRUCTION



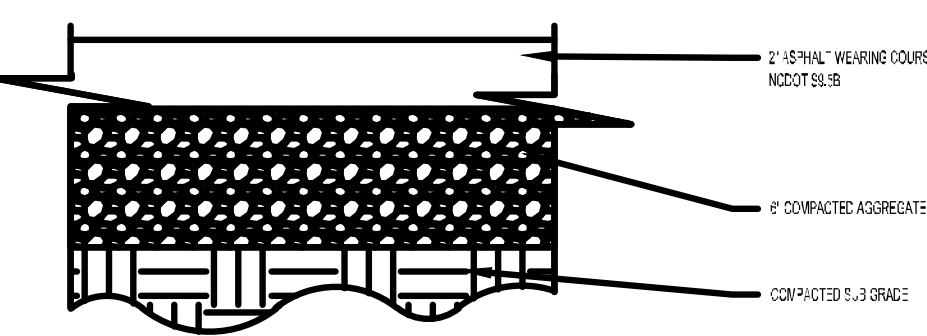
| DATE     | DESCRIPTION     |
|----------|-----------------|
| 10/29/21 | 1ST SUBMISSION  |
| 2/9/22   | PER TOWN REVIEW |
| 3/18/22  | PER TOWN REVIEW |
| 5/2/22   | PER TOWN REVIEW |

| DATE | DESCRIPTION |
|------|-------------|
| MEL  | DESIGN      |
| MEL  | DRAWN       |
| XXX  | CHKD        |
| H:   | N/A         |
| V:   | N/A         |

JOB No. 000000-00-000  
DATE October 29, 2021  
FILE No. 000000-0-CP-000

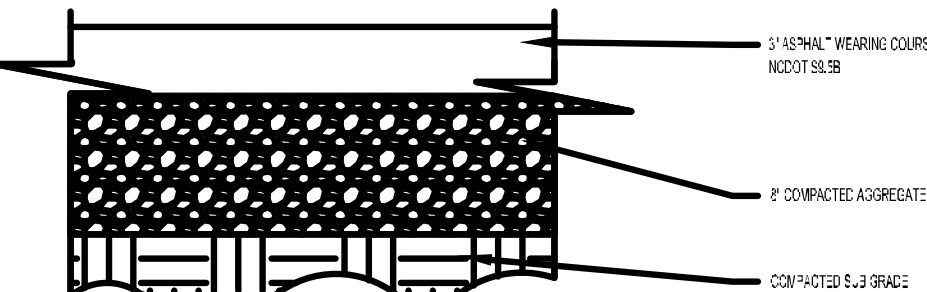
SHEET **C6.1**

ASPHALTIC PAVEMENT



STANDARD DUTY ASPHALT DETAIL

SCALE: NOT TO SCALE

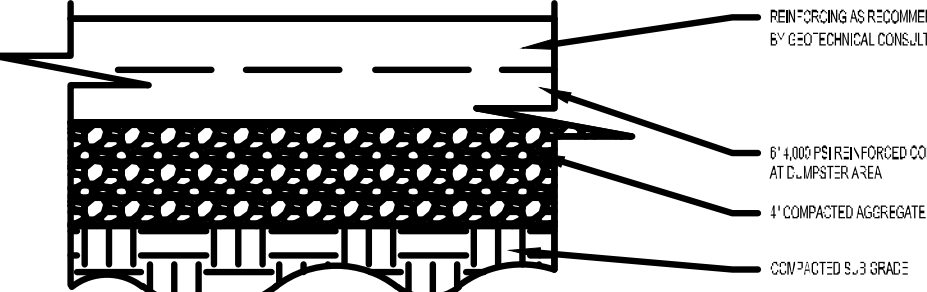


HEAVY DUTY ASPHALT DETAIL

SCALE: NOT TO SCALE

REFER TO SHEET SITE PLAN  
FOR PAVEMENT SECTION

CONCRETE PAVEMENT



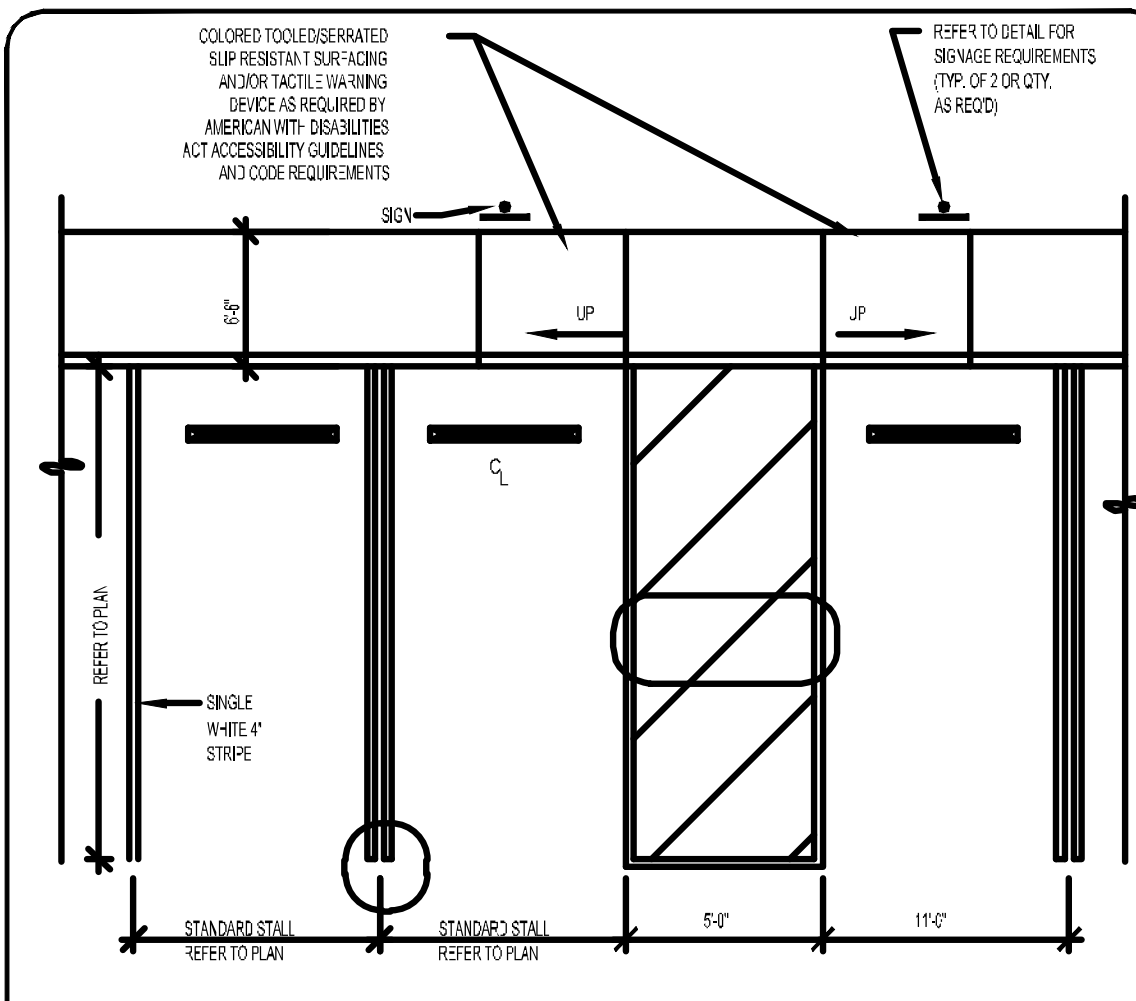
CONCRETE PAVEMENT DETAIL

SCALE: NOT TO SCALE

ON-SITE PAVEMENT DETAILS

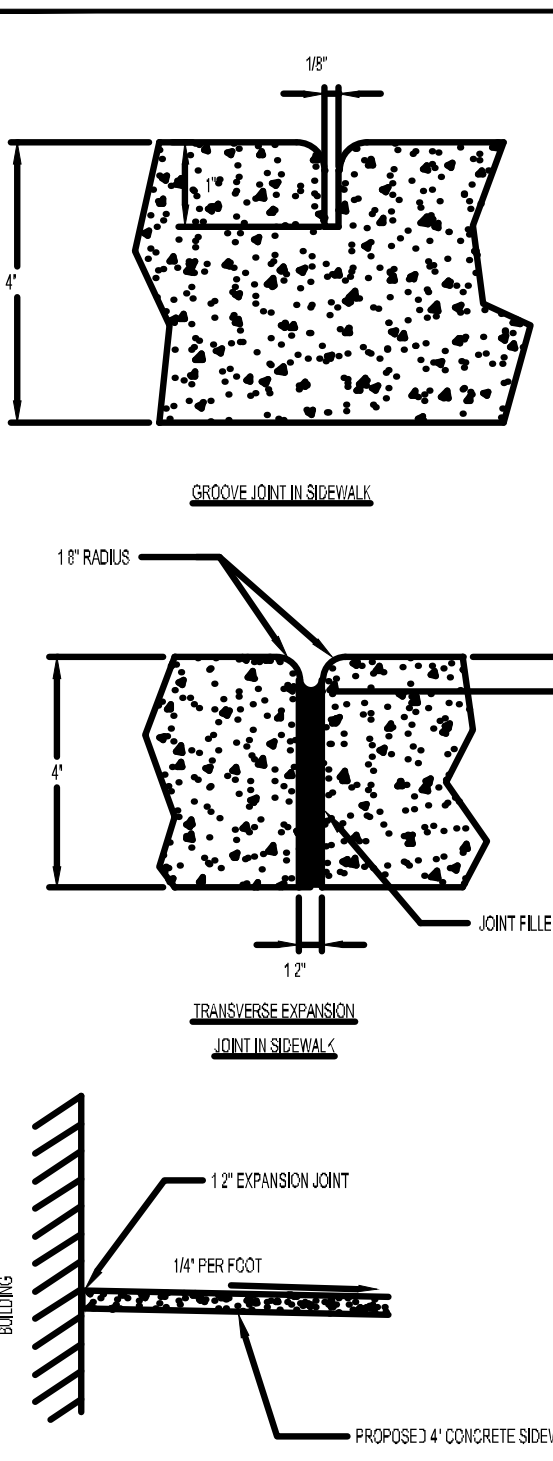
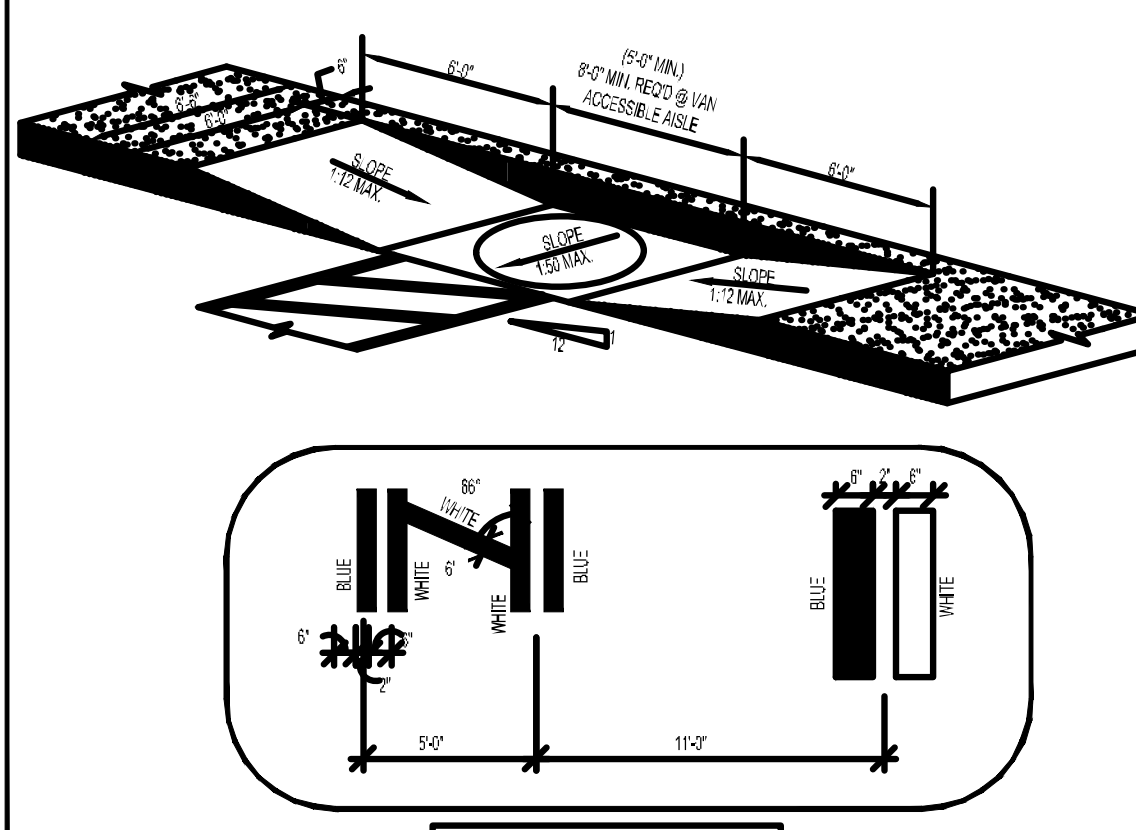
NOT TO SCALE

MATERIALS AND CONSTRUCTION REQUIREMENTS PER THE NORTH-CAROLINA  
DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS (SEE EDITION  
REFER TO PROJECT "DRIVEWAY" PERMIT FOR ADDITIONAL REQUIREMENTS  
REFER TO PROJECT "SEWERAGE" REPORT FOR ADDITIONAL REQUIREMENTS



HANDICAP PARKING DETAIL

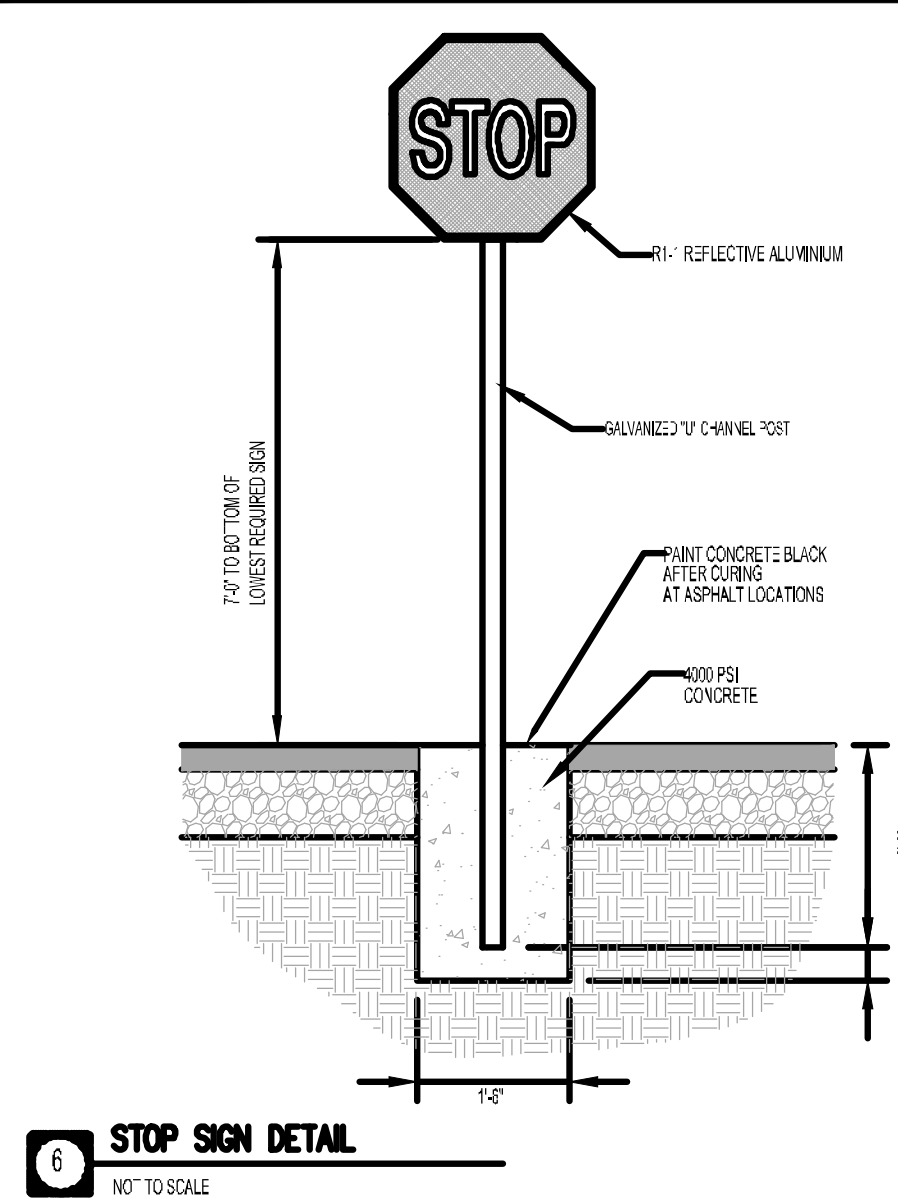
NOT TO SCALE



CONCRETE SIDEWALK

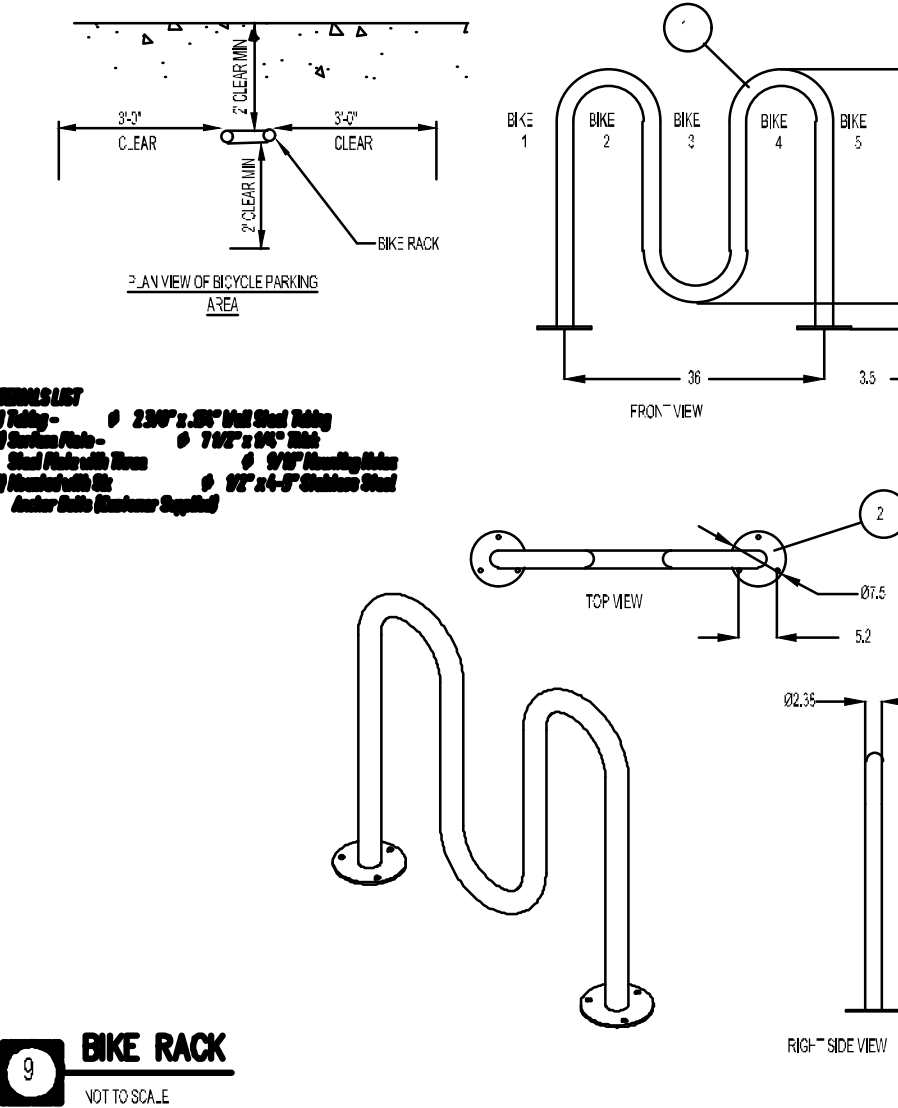
NOT TO SCALE

- GENERAL NOTES:
- A GROOVE JOINT 1" DEEP WITH 1/2" RADIUS SHALL BE REQUIRED IN THE CONCRETE SIDEWALK AT 9' INTERVALS. ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 42' INTERVALS NOT TO EXCEED BY AND MATCHING EXPANSION/CONSTRUCTION JOINT IN ADJACENT CURBS. A SEALED 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY ROAD STRUCTURE.
  - SIDEWALK AT DRIVEWAY ENTRANCES TO BE 8" THICK.
  - CONCRETE COMPRESSIVE STRENGTH SHALL BE 3600 PSI IN 28 DAYS.



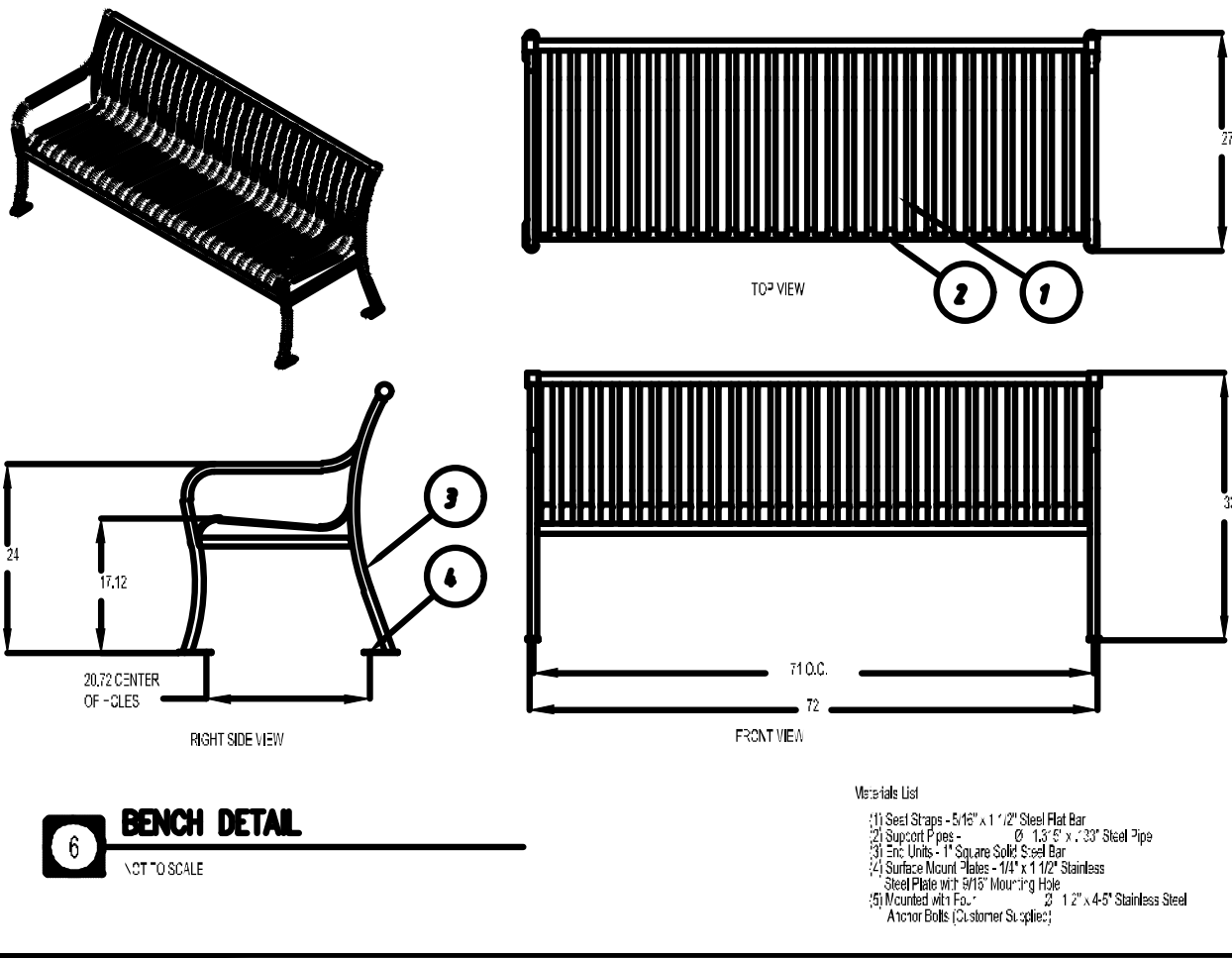
STOP SIGN DETAIL

NOT TO SCALE



BIKE RACK

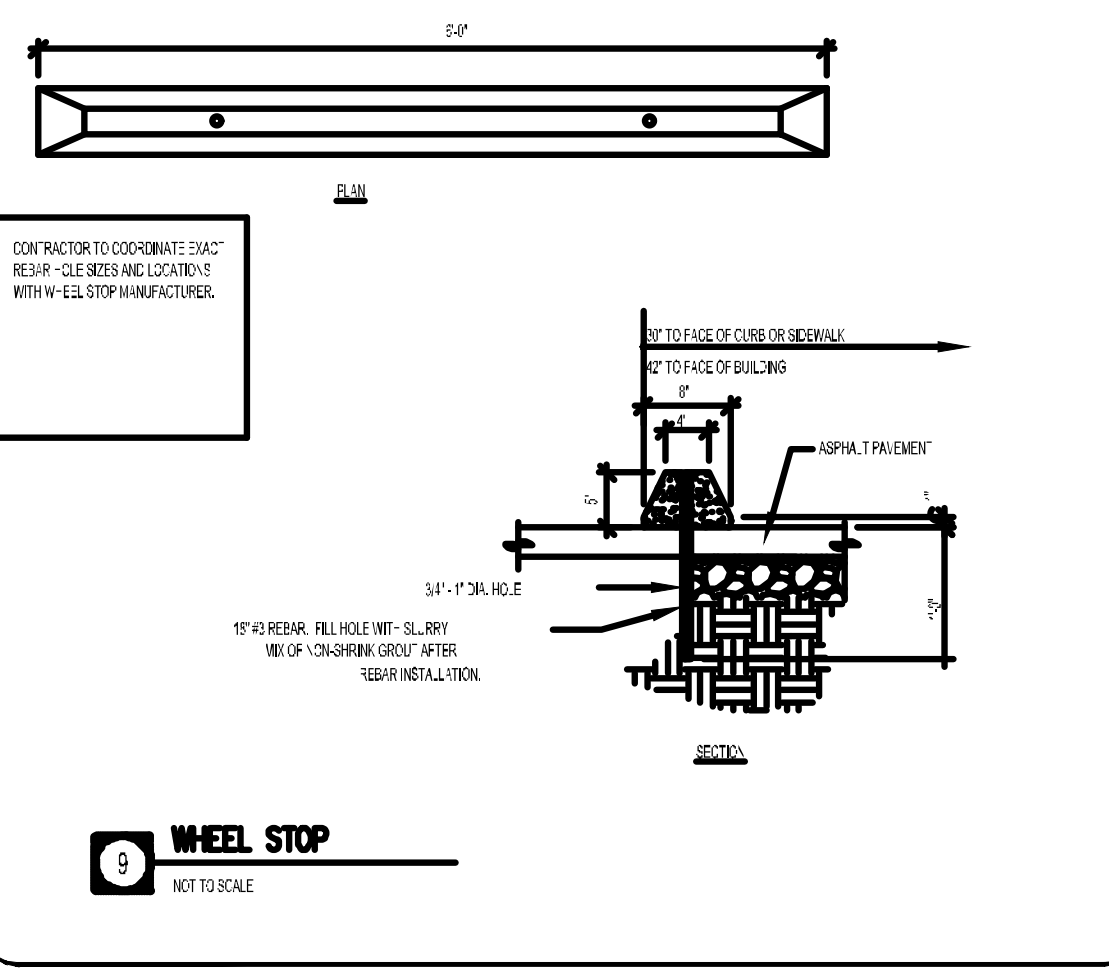
NOT TO SCALE



BENCH DETAIL

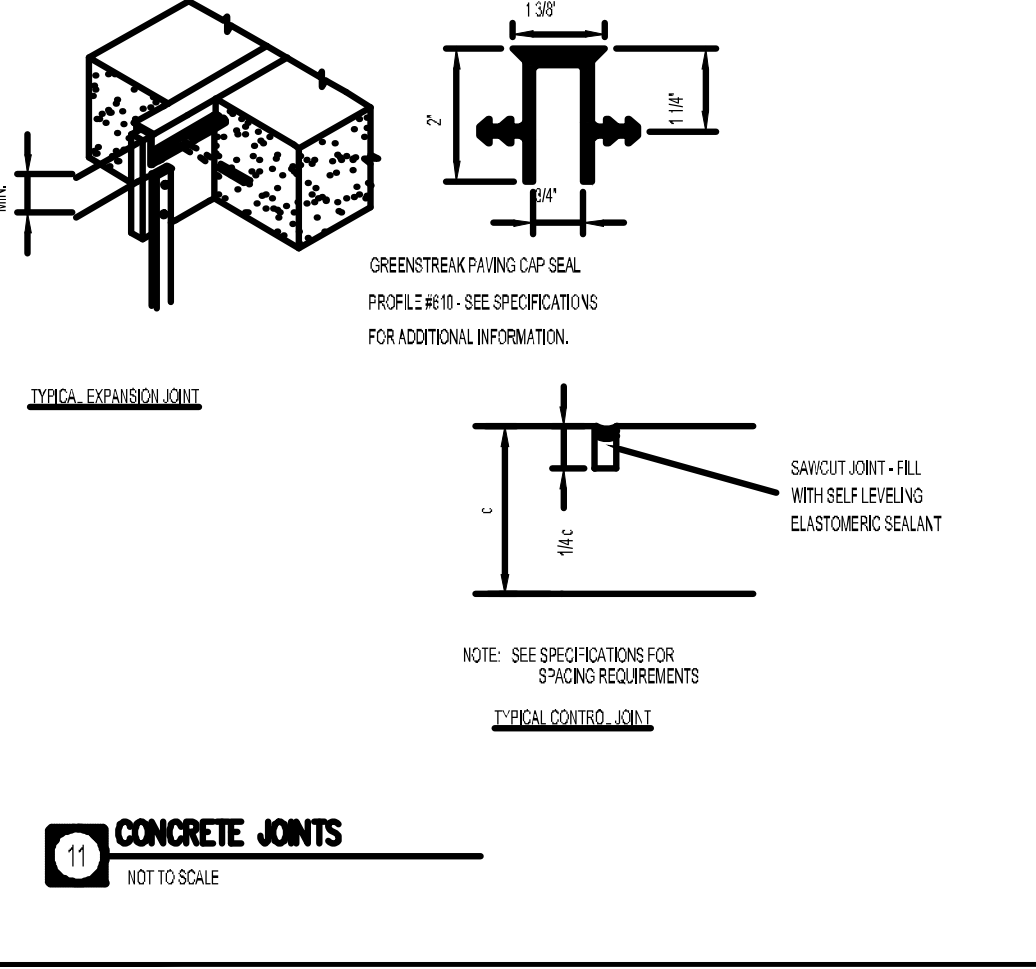
NOT TO SCALE

- Materials List:
- 1) Bench Frame - 3"x4" x 1" Flat Steel Bar
  - 2) Bench Seat - 3"x6" x 1" Flat Steel Bar
  - 3) Bench Backrest - 3"x6" x 1" Flat Steel Bar
  - 4) Surface Mount Base - 10" x 10" Steel Plate
  - 5) Bolts - 1/2" Dia x 10" Long
  - 6) Washers - 1/2" Dia x 10" Long
  - 7) 1/2" x 4" Flat Steel Bar
  - 8) 4" x 4" x 4" Cast Iron Bolt



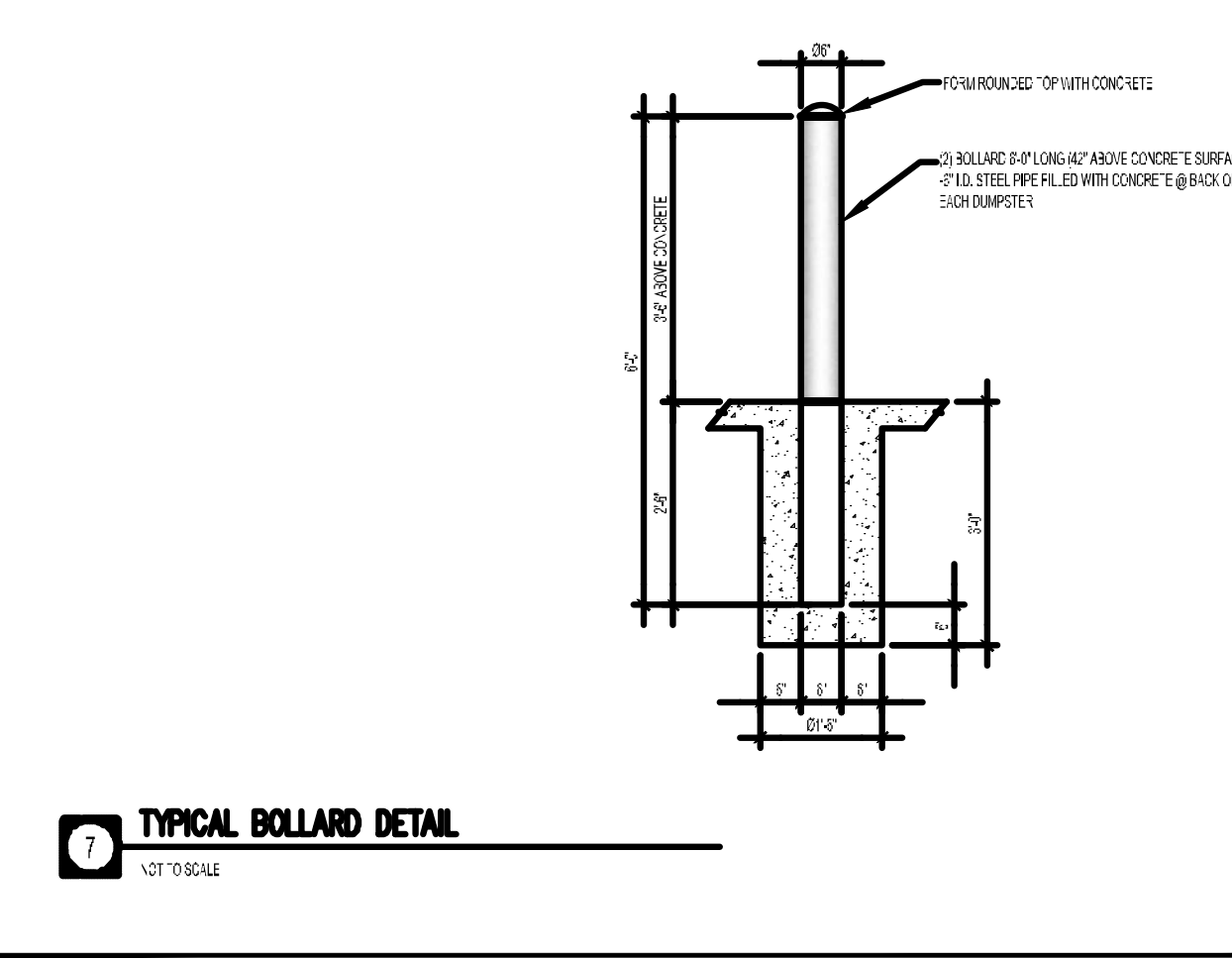
WHEEL STOP

NOT TO SCALE



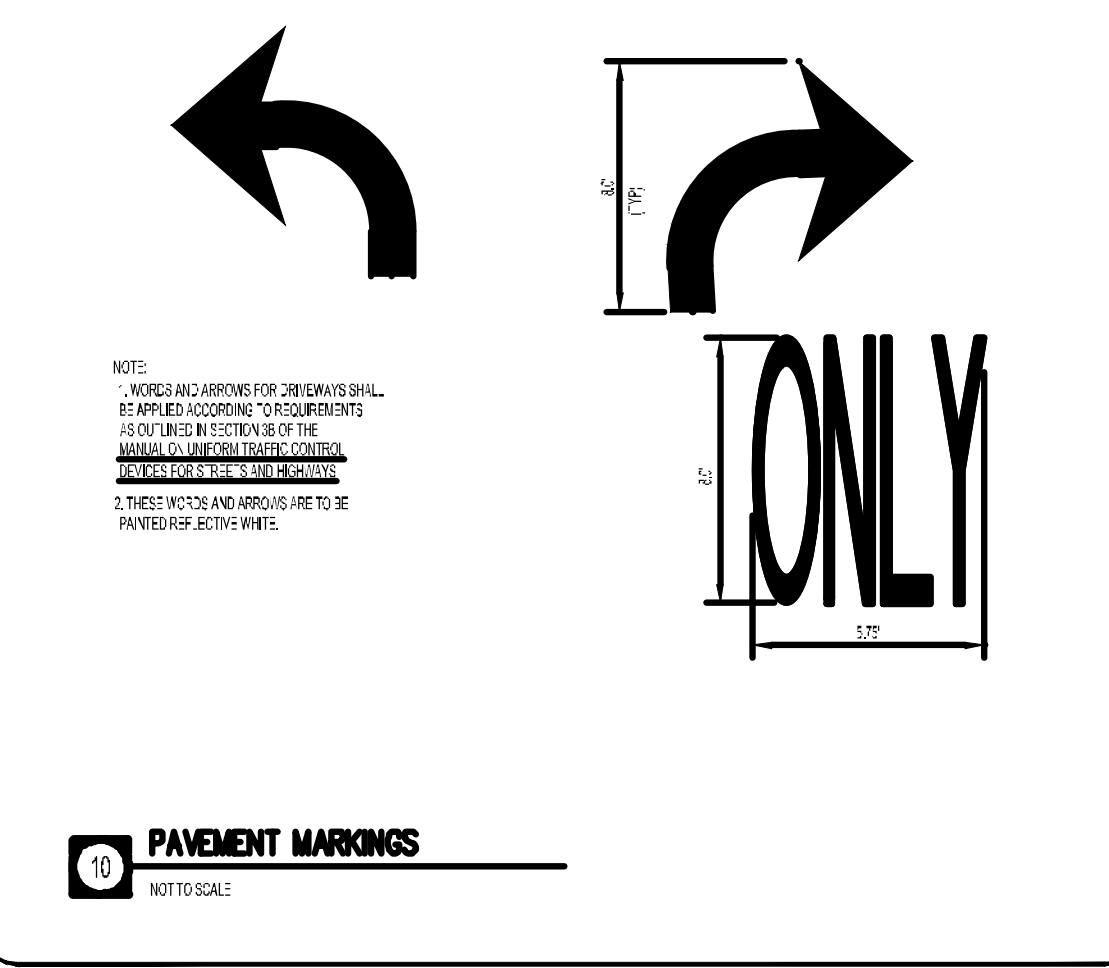
CONCRETE JOINTS

NOT TO SCALE



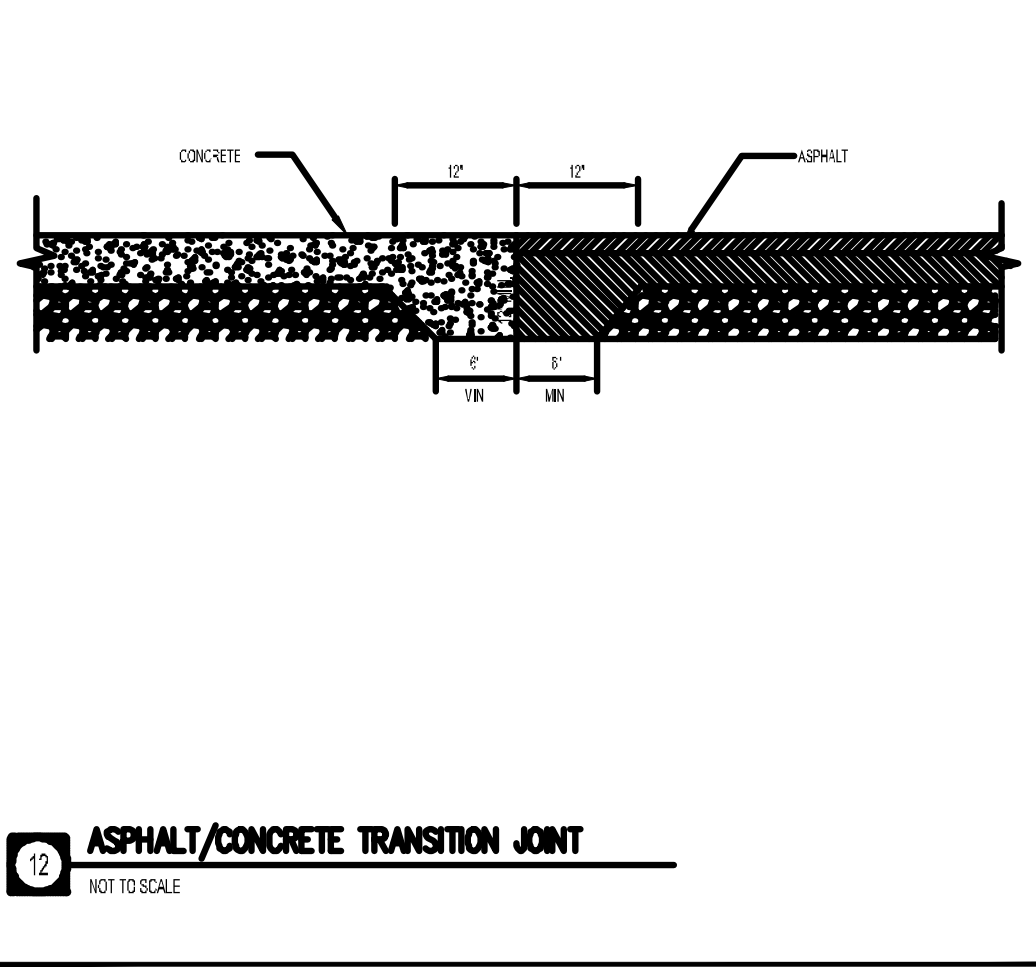
TYPICAL BOLLARD DETAIL

NOT TO SCALE



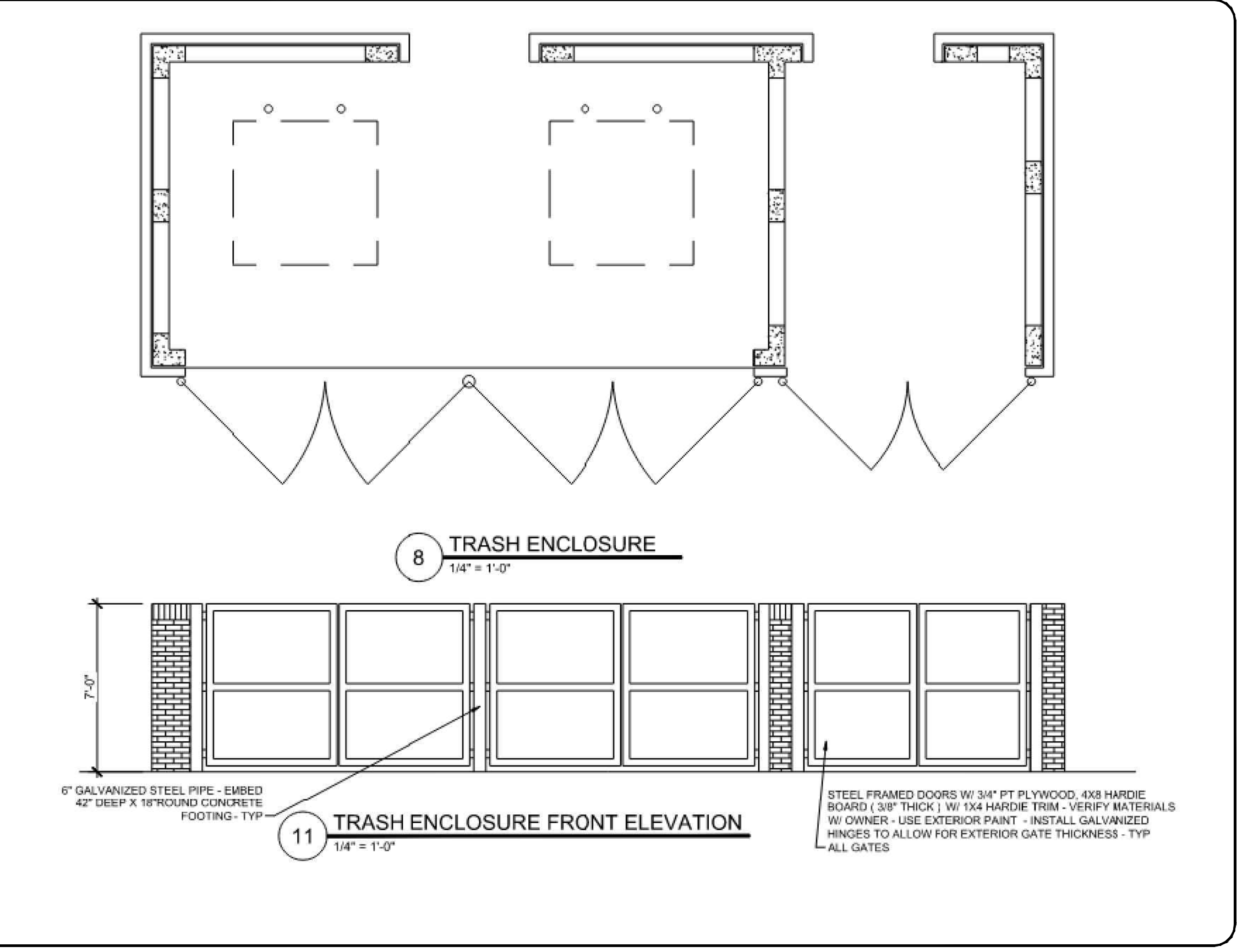
PAVEMENT MARKINGS

NOT TO SCALE



ASPHALT/CONCRETE TRANSITION JOINT

NOT TO SCALE



TRASH ENCLOSURE

1/4" = 1'-0"

TRASH ENCLOSURE FRONT ELEVATION

1/4" = 1'-0"

STEEL FRAMED DOORS W/ 3/4" PT PLYWOOD, 4X8 HARDIE BOARD (3/8" THICK) W/ 1/4" HARDIE TRIM - VERIFY MATERIALS W/ OWNER - USE EXTERIOR PAINT - INSTALL GALVANIZED HINGES TO ALLOW FOR EXTERIOR GATE THICKNESS - TYP ALL GATES

**Bowman**

Bowman North Carolina Ltd.  
4006 BARRETT DR  
Suite 104  
RALEIGH, NC 27609  
Phone: (919) 555-6570  
bowman.com  
Bowman North Carolina Ltd.

CONSTRUCTION DETAILS

The Carrington  
303 Pony Road

Wake County

Zebulon, NC

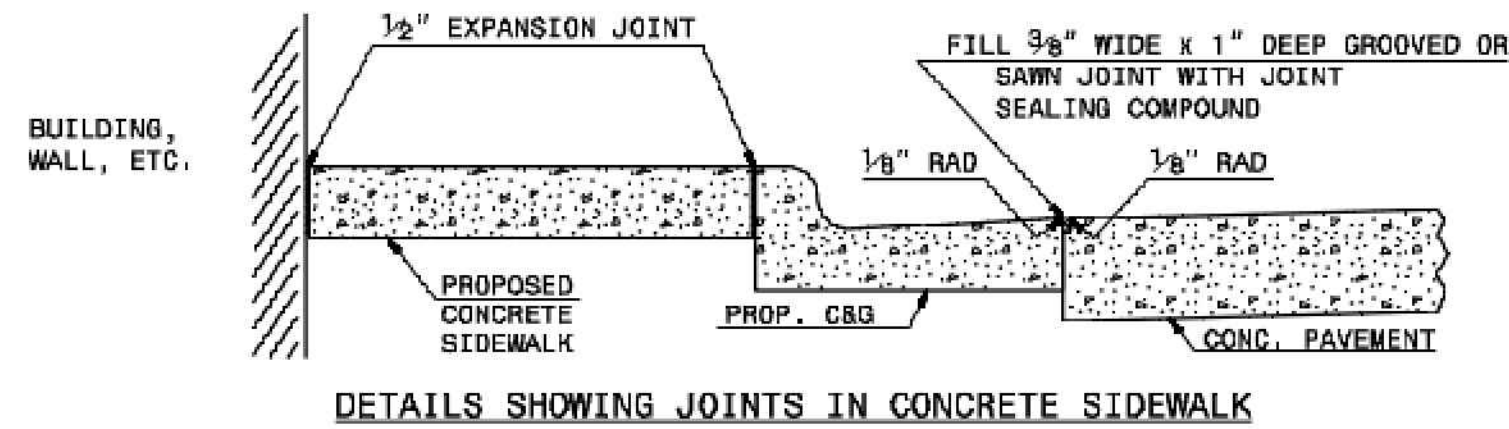
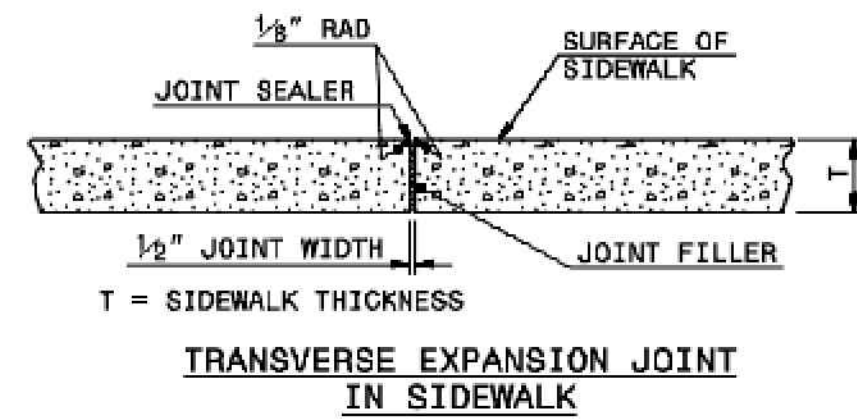
PRELIMINARY  
DO NOT  
USE FOR  
CONSTRUCTION



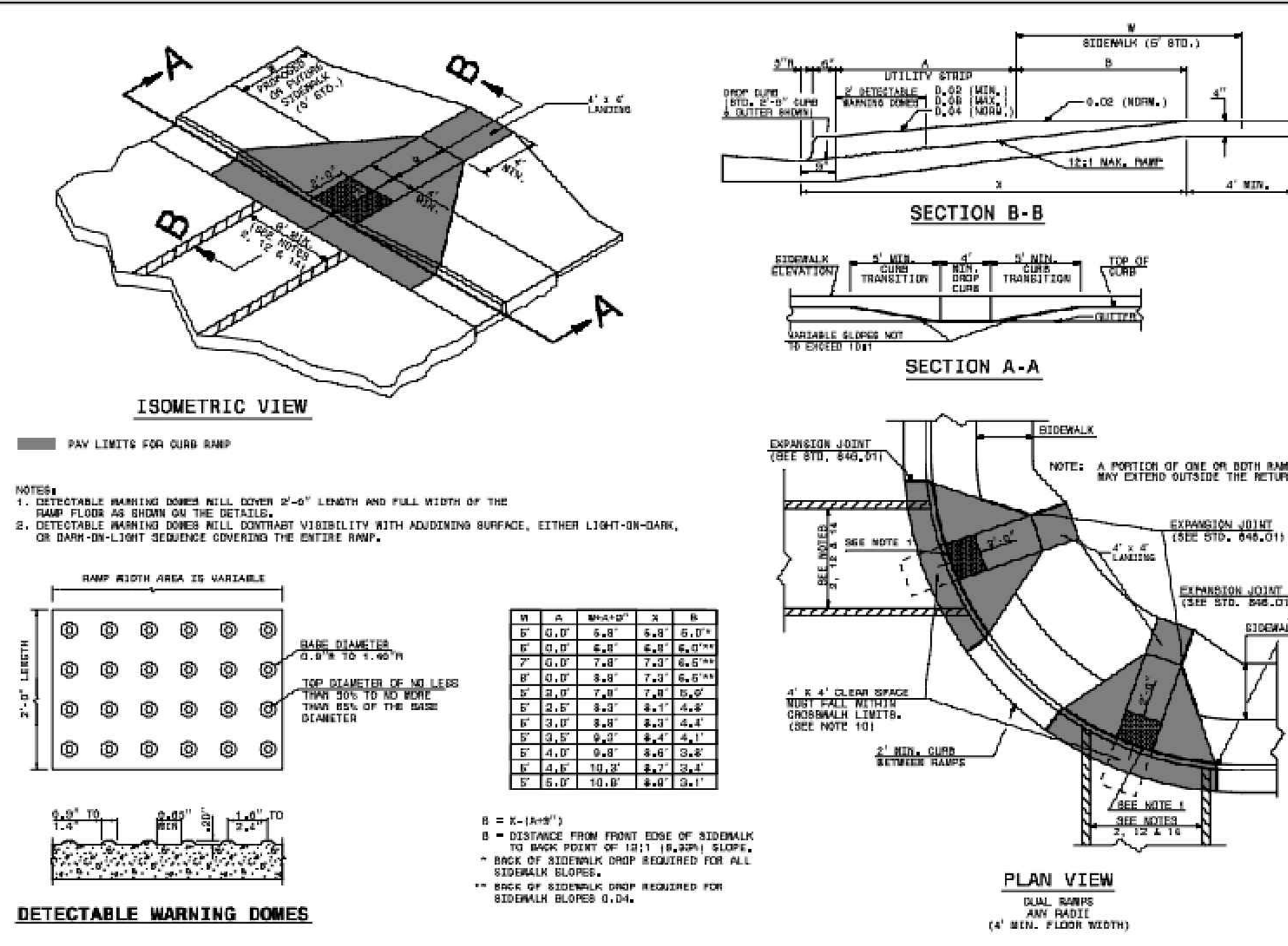
| PLAN STATUS |                 |  |
|-------------|-----------------|--|
| 10/29/21    | 1ST SUBMISSION  |  |
| 2/9/22      | PER TOWN REVIEW |  |
| 3/18/22     | PER TOWN REVIEW |  |
| 5/2/22      | PER TOWN REVIEW |  |

| DATE               | DESCRIPTION     | DATE         | DESCRIPTION      |
|--------------------|-----------------|--------------|------------------|
| MEL DESIGN         | MEL DRAWN       | XXX CHKD     |                  |
| SCALE: H: 1" = 40' |                 | V: 1" = XXX' |                  |
| JOB No.            | 000000-00-000   | DATE         | October 29, 2021 |
| FILE No.           | 000000-0-CP-000 |              |                  |

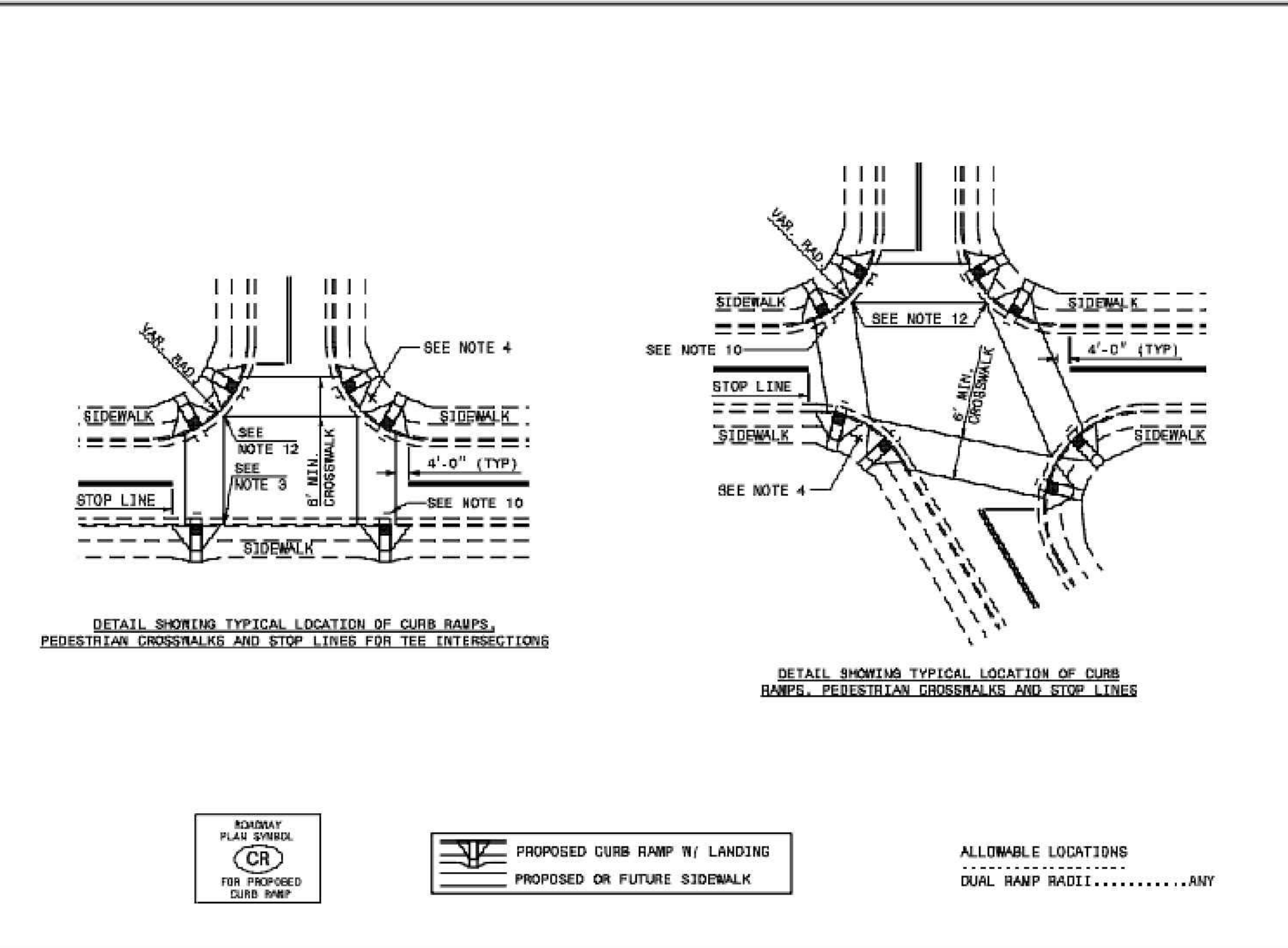
NOTES:  
 CONSTRUCT STANDARD SIDEWALK 5' WIDE AND 4" THICK UNLESS OTHERWISE DENOTED ON PLANS.  
 PLACE A GROOVE JOINT 1" DEEP WITH 1/8" RADIUS IN THE CONCRETE SIDEWALK AT 5' INTERVALS. ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 50' INTERVALS. A 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE.  
 SEE STD. DWG. 848.05 FOR CURB RAMP LOCATION REQUIREMENTS AND CONSTRUCTION GUIDELINES.



STATE OF NORTH CAROLINA  
 DEPT. OF TRANSPORTATION  
 DIVISION OF HIGHWAYS  
 RALEIGH, N.C.  
 ROADWAY STANDARD DRAWING FOR  
**CONCRETE SIDEWALK**  
 SHEET 1 OF 1  
**848.01**



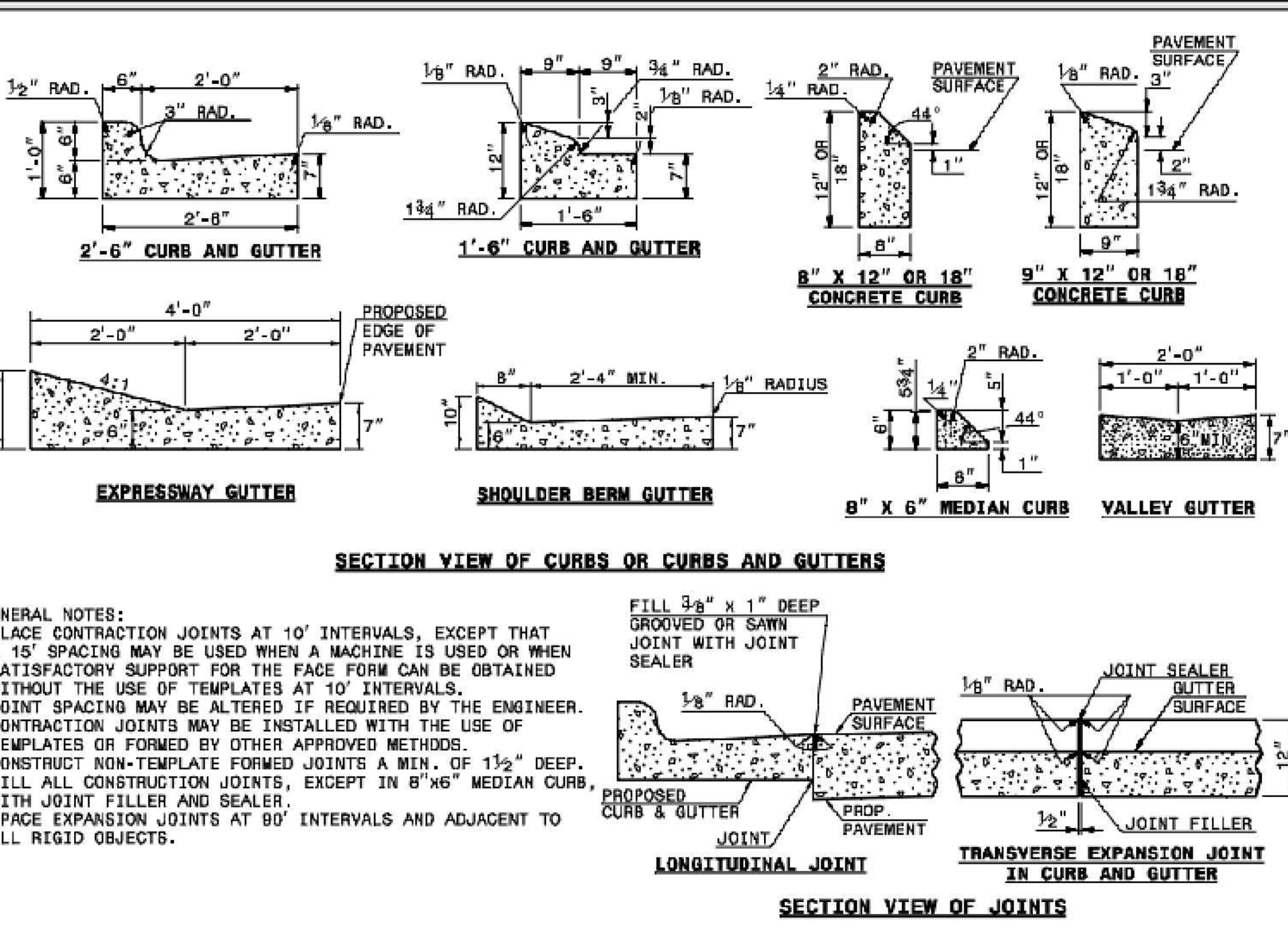
STATE OF NORTH CAROLINA  
 DEPT. OF TRANSPORTATION  
 DIVISION OF HIGHWAYS  
 RALEIGH, N.C.  
 ROADWAY STANDARD DRAWING FOR  
**CURB RAMP AND GUTTER**  
 SHEET 1 OF 3  
**848.05**



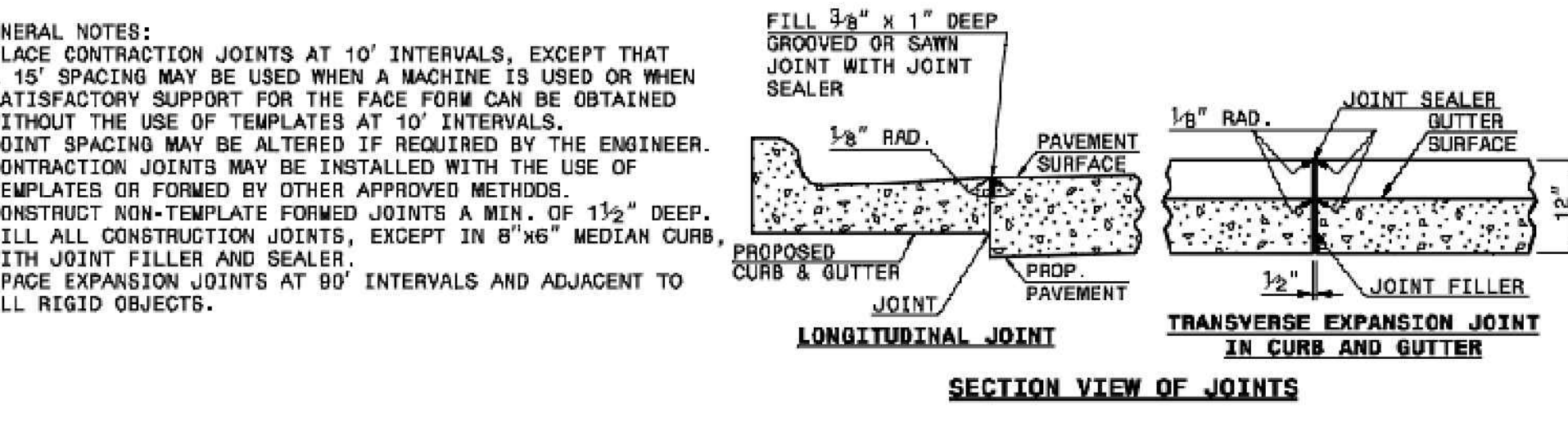
STATE OF NORTH CAROLINA  
 DEPT. OF TRANSPORTATION  
 DIVISION OF HIGHWAYS  
 RALEIGH, N.C.  
 ROADWAY STANDARD DRAWING FOR  
**CURB RAMP AND GUTTER**  
 SHEET 2 OF 3  
**848.05**

- NOTES:
- CONSTRUCT THE RAMP SURFACE TO BE STABLE, FIRM, AND SLIP RESISTANT. CONSTRUCT THE CURB RAMP TYPE AS SHOWN IN THE PAVEMENT MARKING PLANS OR AS DIRECTED BY THE ENGINEER.
  - LOCATE CURB RAMPS AND PLACE PEDESTRIAN CROSSWALK MARKINGS AS SHOWN IN THE PAVEMENT MARKING PLANS. WHEN FIELD ADJUSTMENTS REQUIRE MOVING CURB RAMPS OR MARKINGS AS SHOWN, CONTACT THE SIGNING AND DELINEATION UNIT OR LOCATE AS DIRECTED BY THE ENGINEER.
  - COORDINATE THE CURB RAMP AND THE PEDESTRIAN CROSSWALK MARKINGS SO A 4'x4' CLEAR SPACE AT THE BASE OF THE CURB RAMP WILL FALL WITHIN THE PEDESTRIAN CROSSWALK LINES.
  - SET BACK DISTANCE FROM INSIDE CROSSWALK MARKING TO NEAREST EDGE OF TRAVEL LANE IS 4' MINIMUM.
  - REFER TO THE PAVEMENT MARKING PLANS FOR STOP BAR LOCATIONS AT SIGNALIZED INTERSECTIONS. IF A PAVEMENT MARKING PLAN IS NOT PROVIDED, CONTACT THE SIGNAL DESIGN SECTION FOR THE STOP BAR LOCATIONS OR LOCATE AS DIRECTED BY THE ENGINEER.
  - TERMINATE PARKING A MINIMUM OF 20' BACK OF A PEDESTRIAN CROSSWALK.
  - CONSTRUCT CURB RAMPS A MINIMUM OF 4' WIDE.
  - CONSTRUCT THE RUNNING SLOPE OF THE RAMP 8.33% MAXIMUM.
  - ALLOWABLE CROSS SLOPE ON SIDEWALKS AND CURB RAMPS WILL BE 2% MAXIMUM.
  - CONSTRUCT THE SIDE FLARE SLOPE A MAXIMUM OF 10% MEASURED ALONG THE CURB LINE.
  - CONSTRUCT THE COUNTER SLOPE OF THE GUTTER OR STREET AT THE BASE OF THE CURB RAMP A MAXIMUM OF 5% AND MAINTAIN A SMOOTH TRANSITION.
  - CONSTRUCT LANDINGS FOR SIDEWALK A MINIMUM OF 4'x4' WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION. CONSTRUCT LANDINGS FOR MEDIAN ISLANDS A MINIMUM OF 5'x5' WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
  - TO USE A MEDIAN ISLAND AS A PEDESTRIAN REFUGE AREA, MEDIAN ISLANDS WILL BE A MINIMUM OF 6' WIDE. CONSTRUCT MEDIAN ISLANDS TO PROVIDE PASSAGE OVER OR THROUGH THE ISLAND.
  - SMALL CHANNELIZATION ISLANDS THAT CAN NOT PROVIDE A 5'x5' LANDING AT THE TOP OF A RAMP, WILL BE CUT THROUGH LEVEL WITH THE SURFACE STREET.
  - CURB RAMPS WITH RETURNED CURBS MAY BE USED ONLY WHERE PEDESTRIANS WOULD NOT NORMALLY WALK ACROSS THE RAMP. THE ADJACENT SURFACE IS FLAMING OR OTHER NON-WALKING SURFACE OR THE SIDE APPROACH IS SUBSTANTIALLY OBSTRUCTED.
  - PLACE A 1/2" EXPANSION JOINT WHERE THE CONCRETE CURB RAMP JOINS THE CURB AS SHOWN IN ROADWAY STANDARD DRAWING 848.01
  - PLACE ALL PEDESTRIAN PUSH BUTTON ACTUATORS AND CROSSING SIGNALS AS SHOWN IN THE PLANS OR AS SHOWN IN THE MUTCD.
  - CURB RAMPS THROUGH MEDIAN ISLANDS, SINGLE RAMPS AT DUAL CROSSWALKS OR LIMITED R/W SITUATIONS, WILL BE HANDLED BY SPECIAL DETAILS. CONTACT THE CONTRACT STANDARDS AND DEVELOPMENT UNIT FOR THE DETAILS OR FOR A SPECIAL DESIGN.

STATE OF NORTH CAROLINA  
 DEPT. OF TRANSPORTATION  
 DIVISION OF HIGHWAYS  
 RALEIGH, N.C.  
 ROADWAY STANDARD DRAWING FOR  
**CURB RAMPS**  
 NOTES  
 SHEET 3 OF 3  
**848.05**



STATE OF NORTH CAROLINA  
 DEPT. OF TRANSPORTATION  
 DIVISION OF HIGHWAYS  
 RALEIGH, N.C.  
 ROADWAY STANDARD DRAWING FOR  
**CONCRETE CURB, GUTTER AND CURB & GUTTER**  
 SHEET 1 OF 3  
**846.01**



Bowman North Carolina Ltd.  
 4006 BARRETT DR  
 Suite 104  
 RALEIGH, NC 27609  
 Phone: (919)555-6570  
 bowman.com  
 Bowman North Carolina Ltd.

CONSTRUCTION DETAILS  
 The Carrington  
 303 Pony Road  
 Zebulon, NC  
 Wake County

PRELIMINARY  
 DO NOT  
 USE FOR  
 CONSTRUCTION

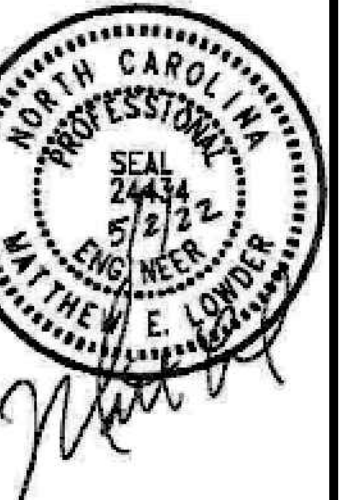


| DATE     | DESCRIPTION     |
|----------|-----------------|
| 10/29/21 | 1ST SUBMISSION  |
| 2/9/22   | PER TOWN REVIEW |
| 3/18/22  | PER TOWN REVIEW |
| 5/2/22   | PER TOWN REVIEW |

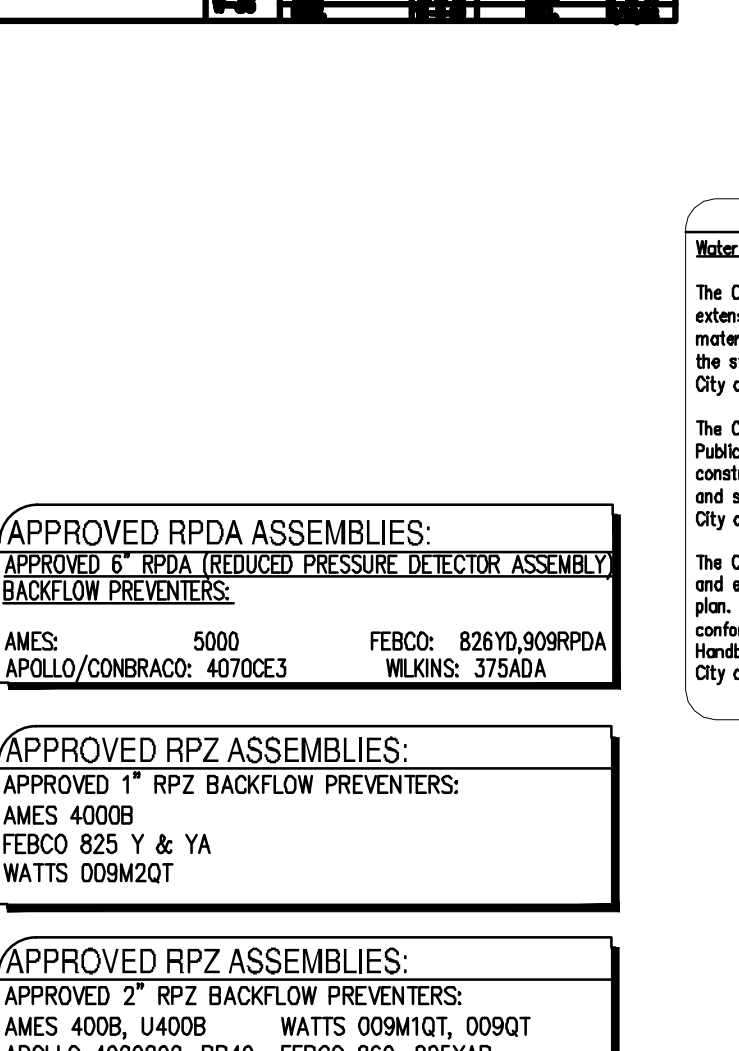
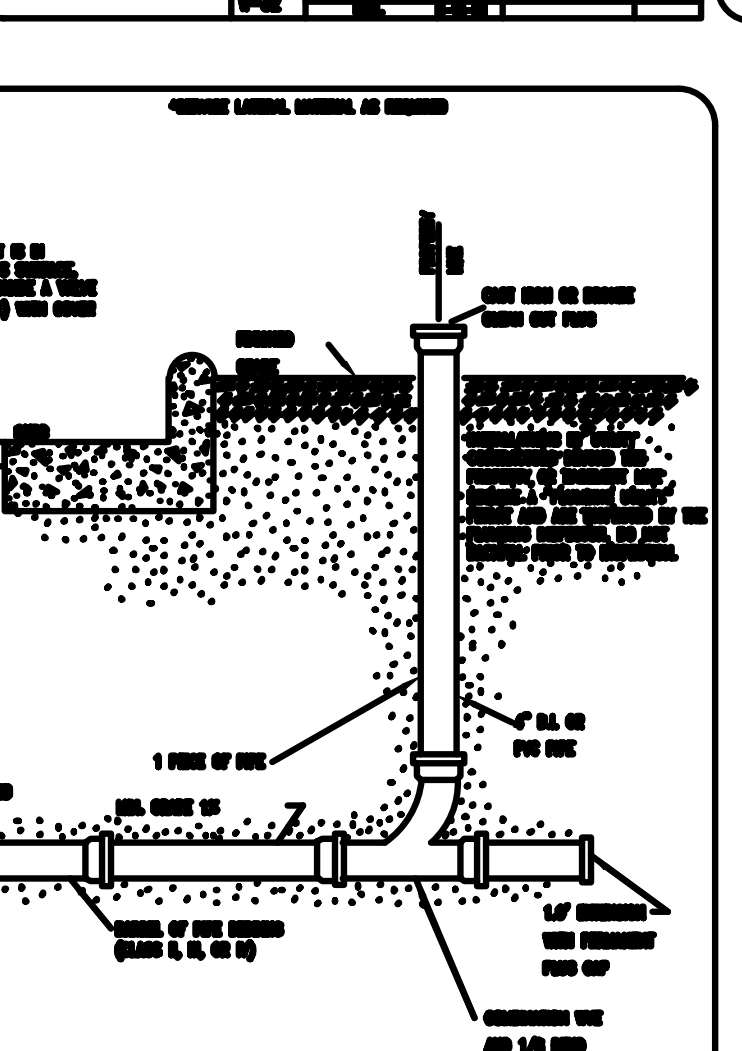
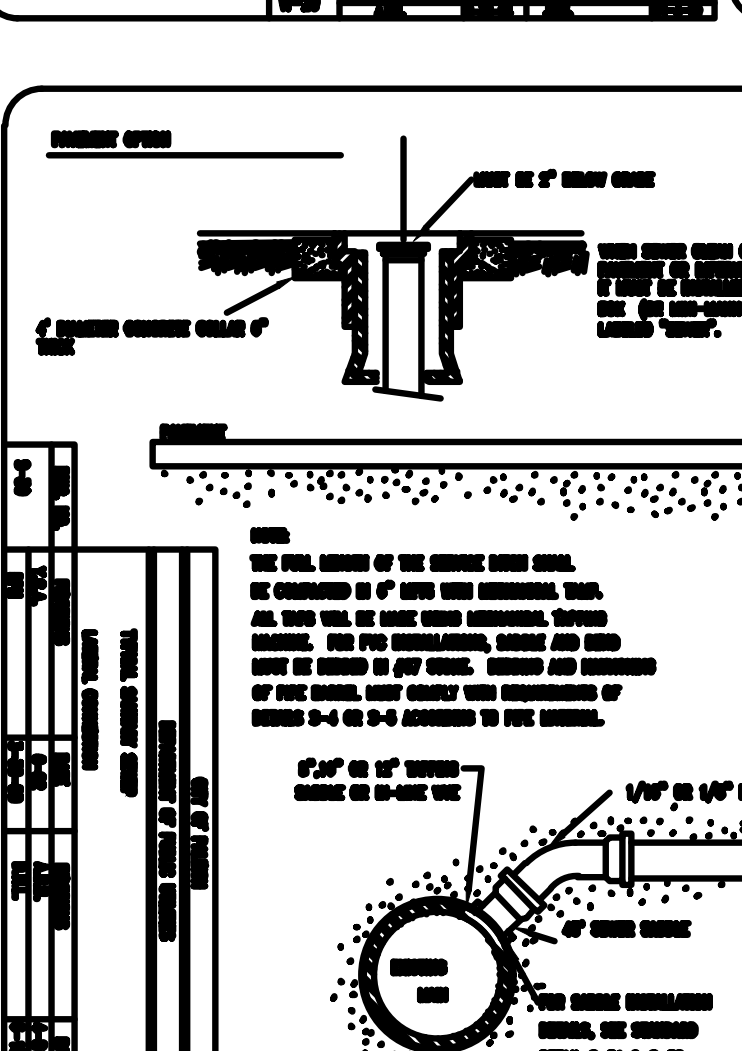
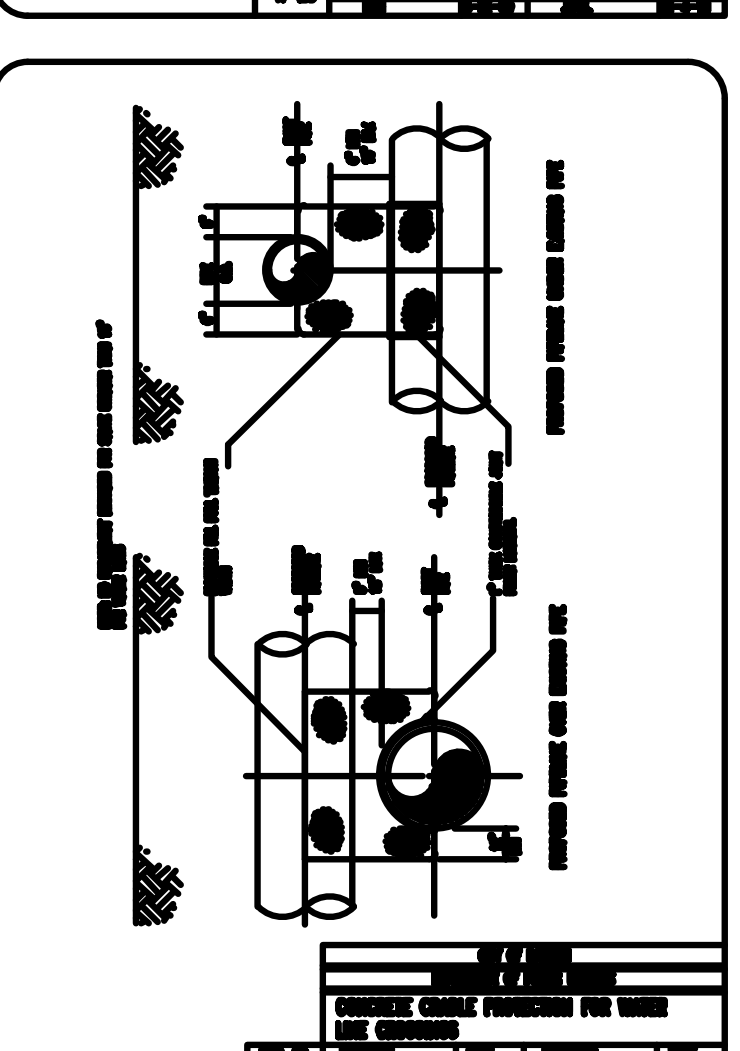
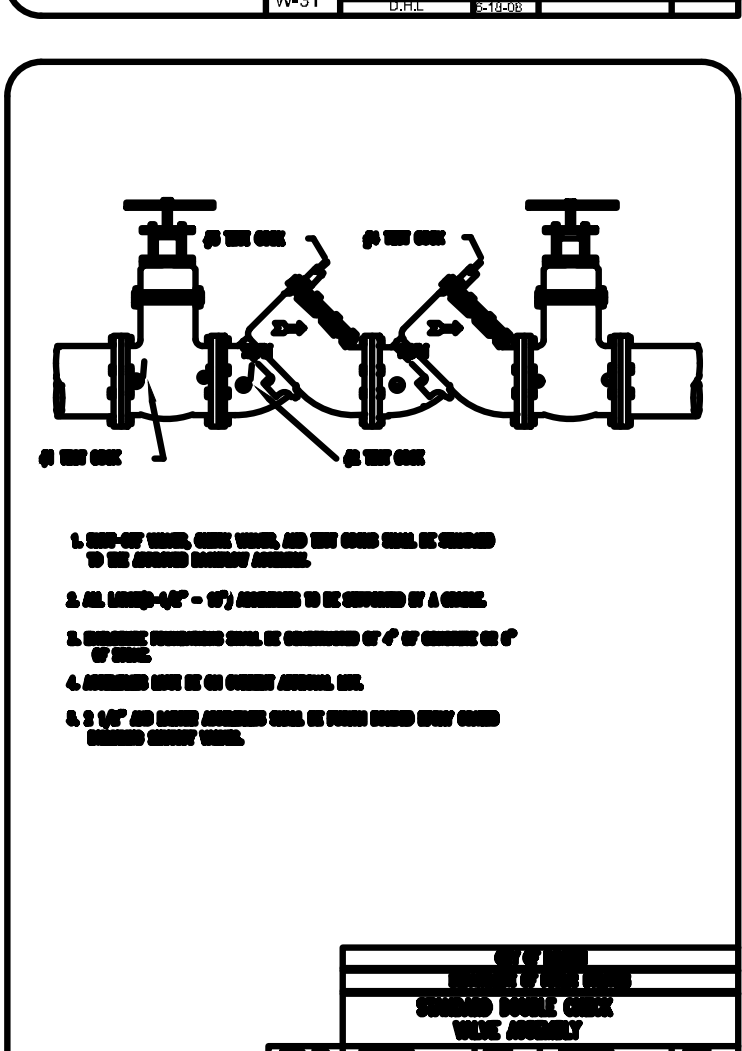
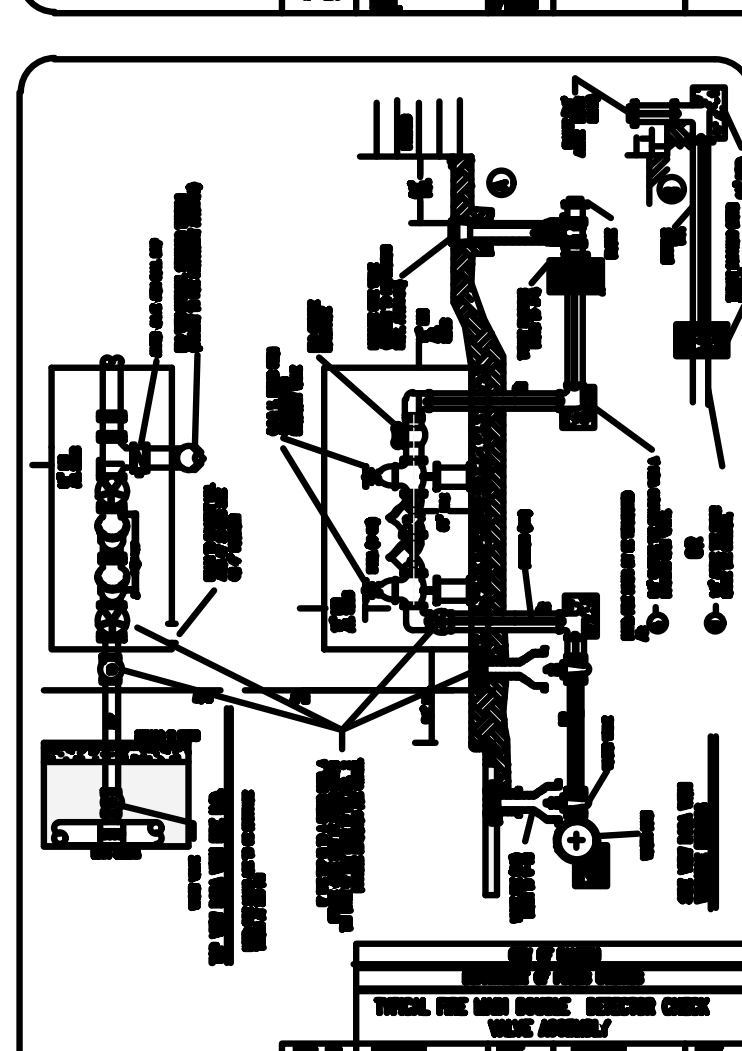
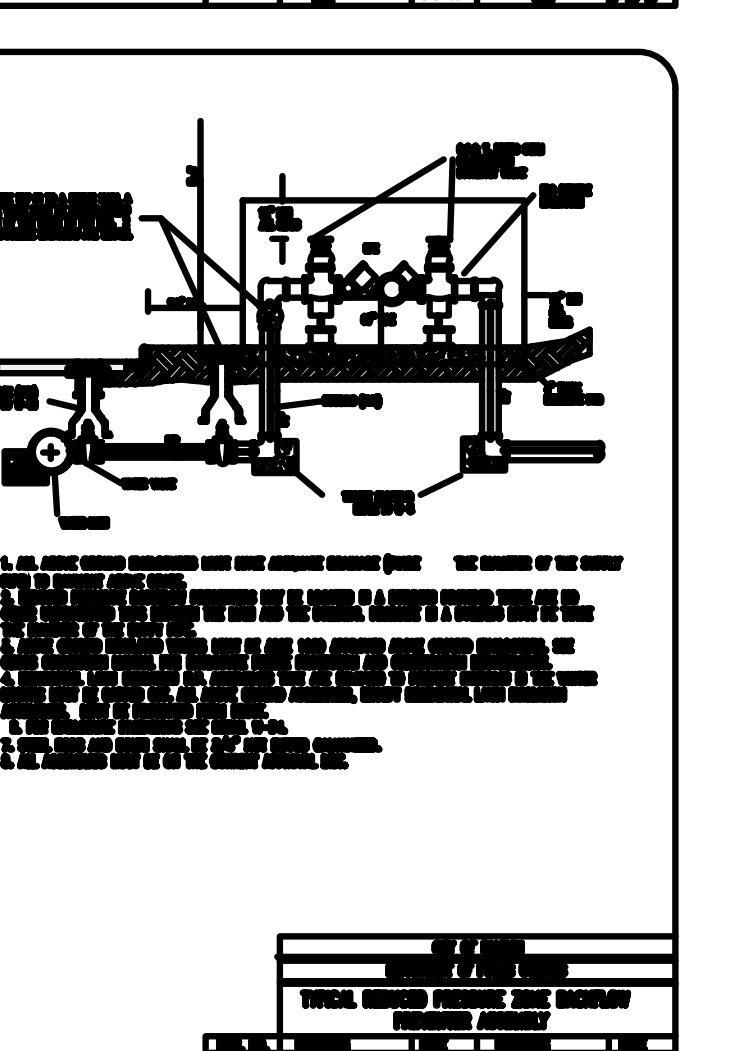
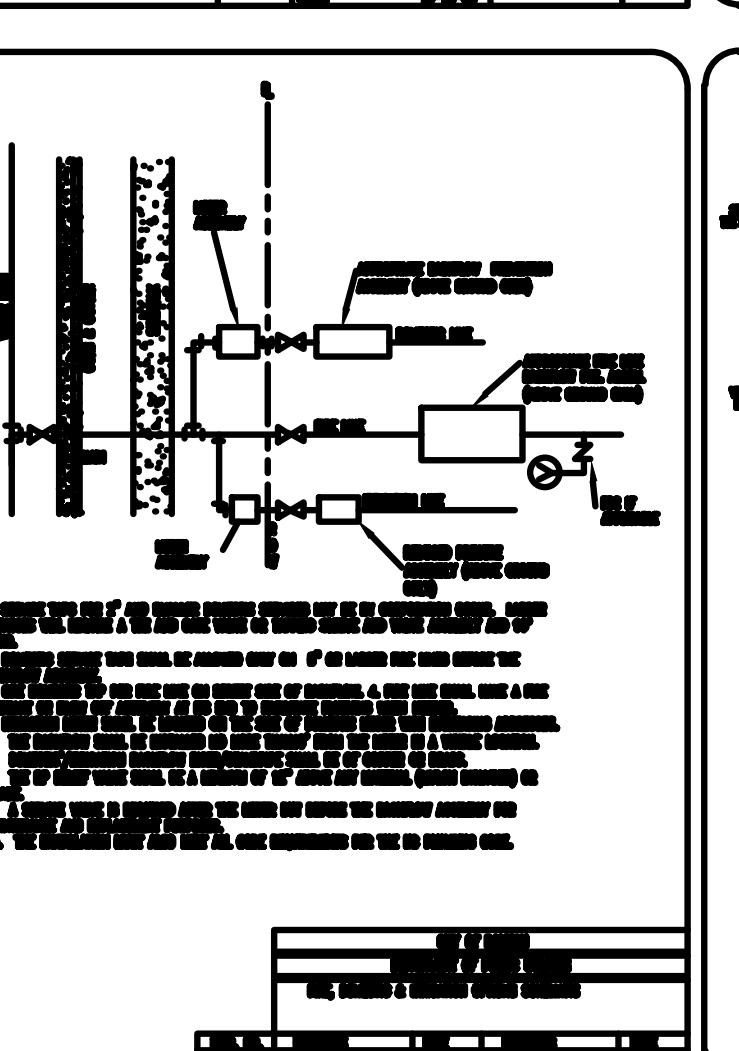
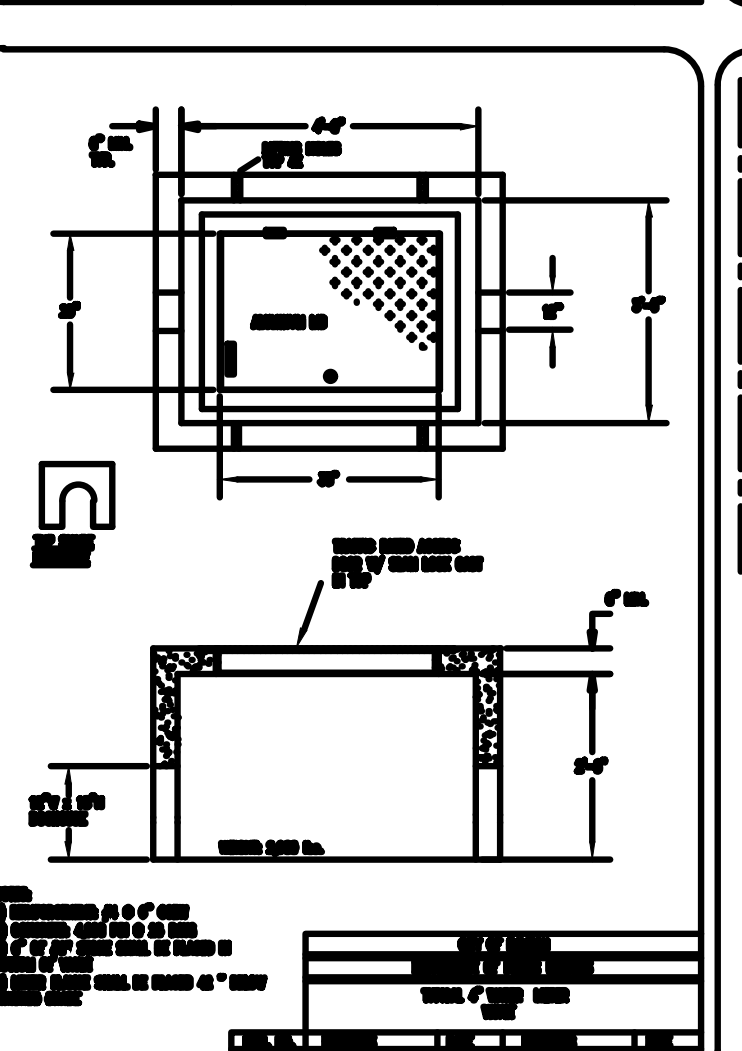
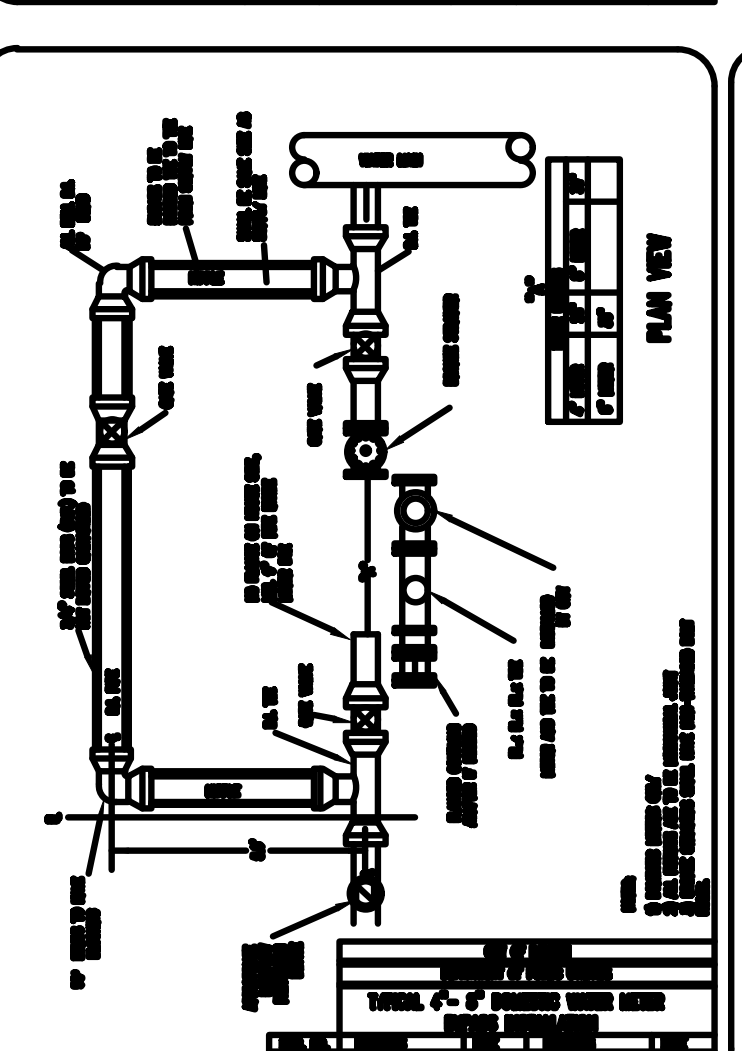
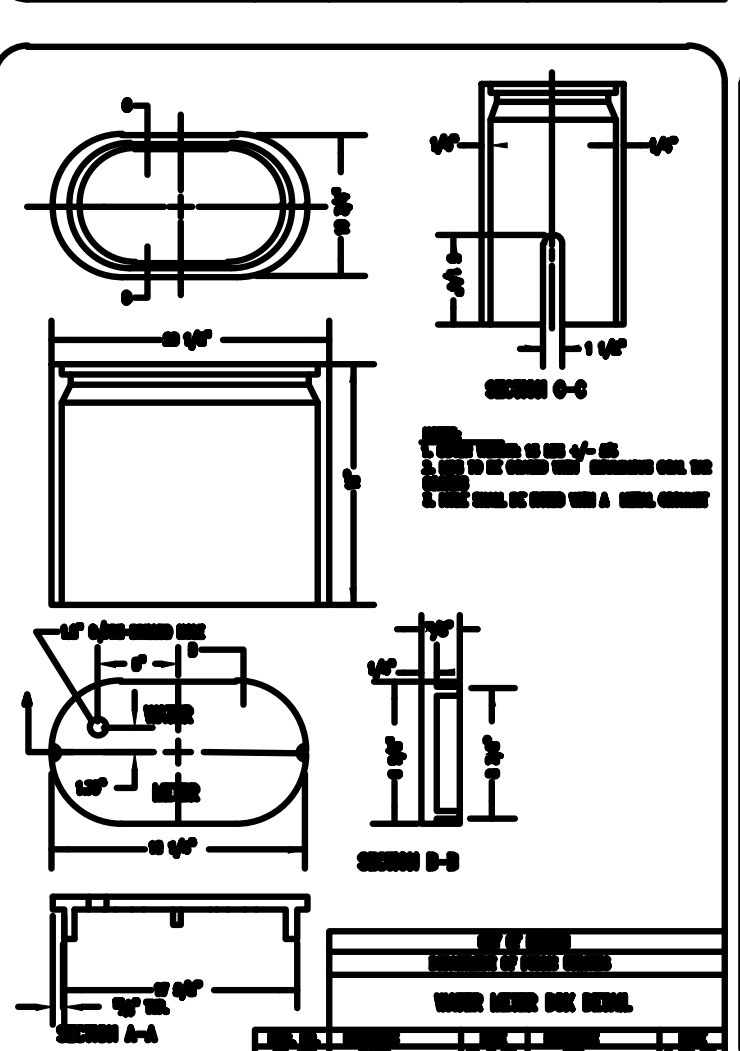
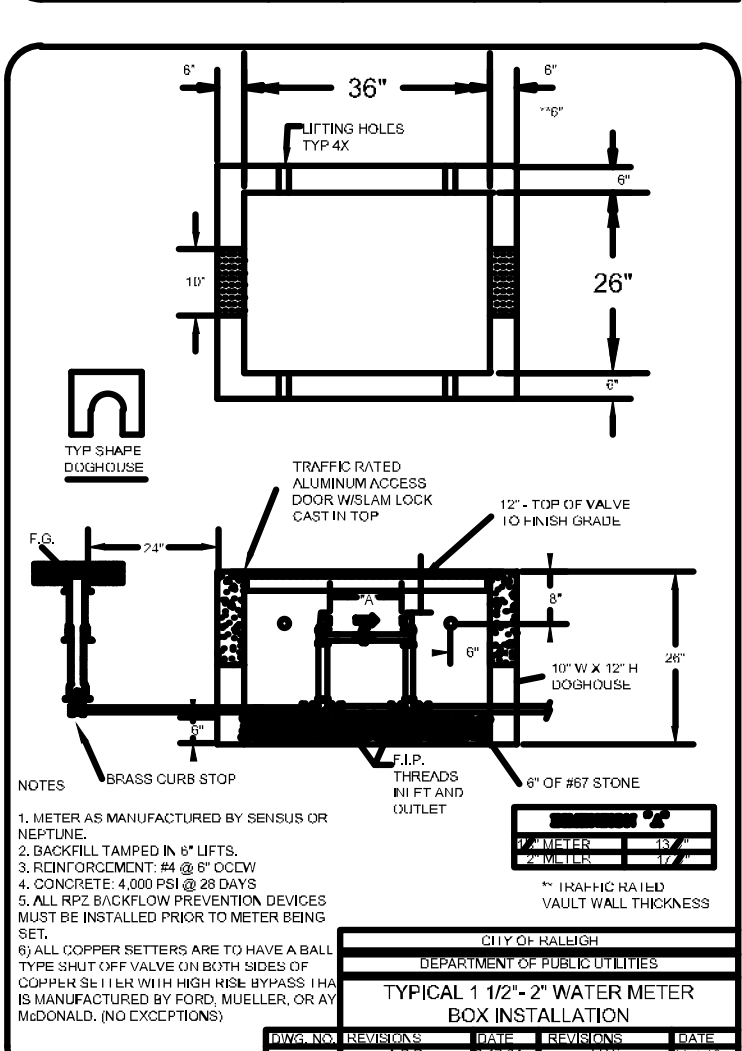
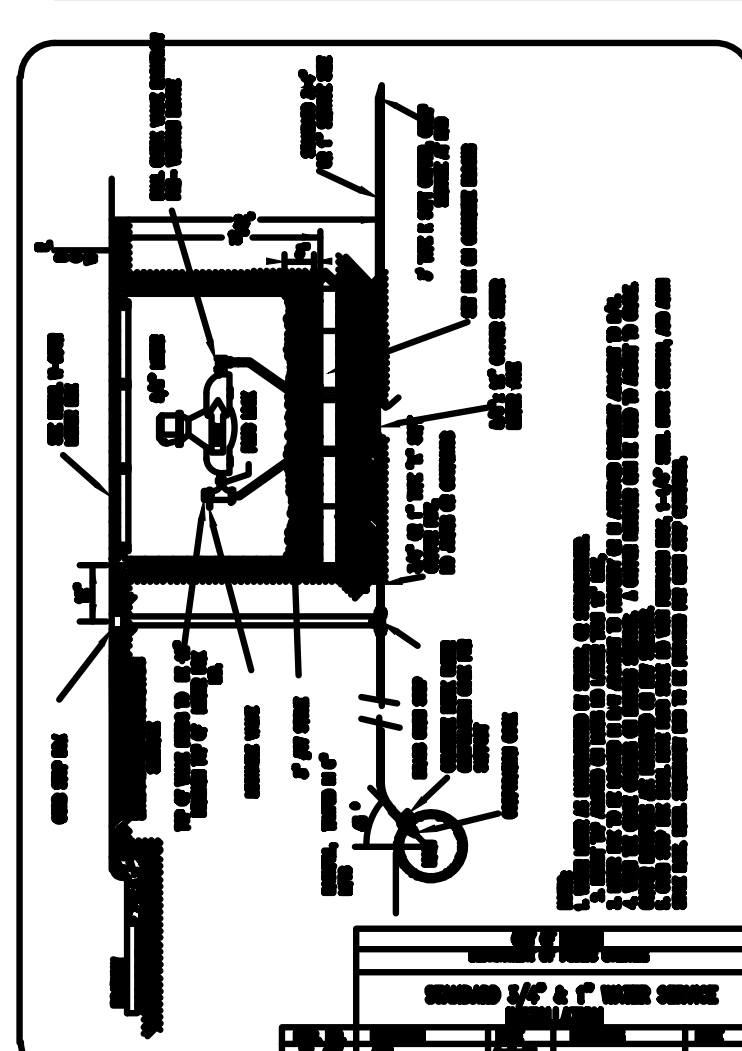
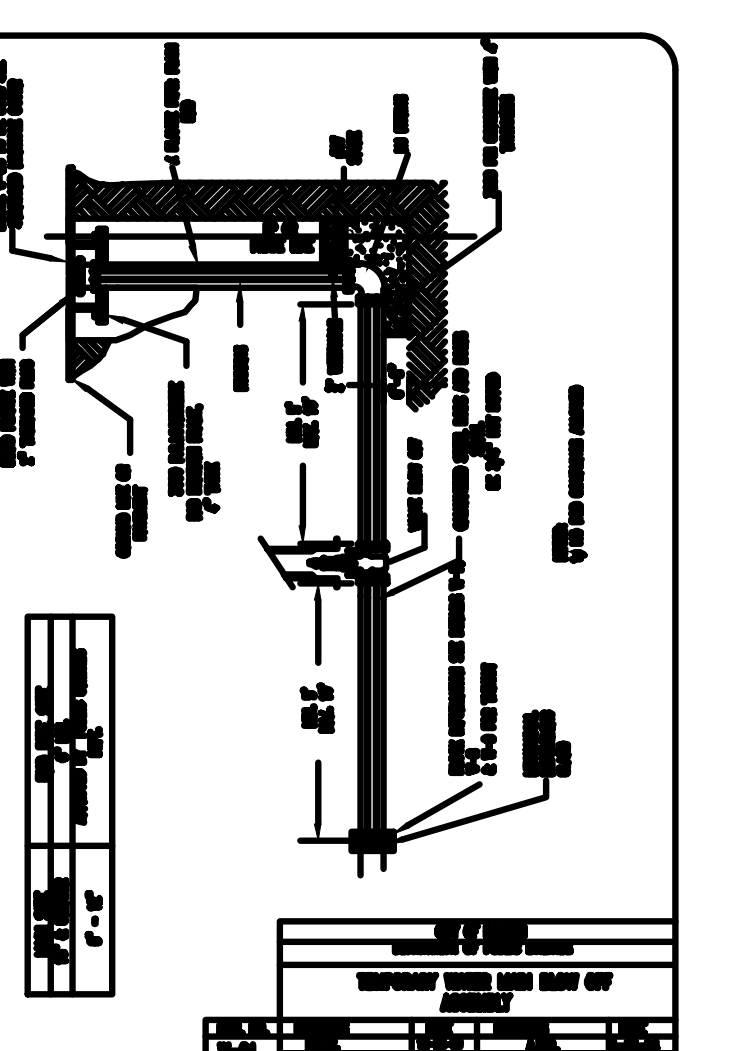
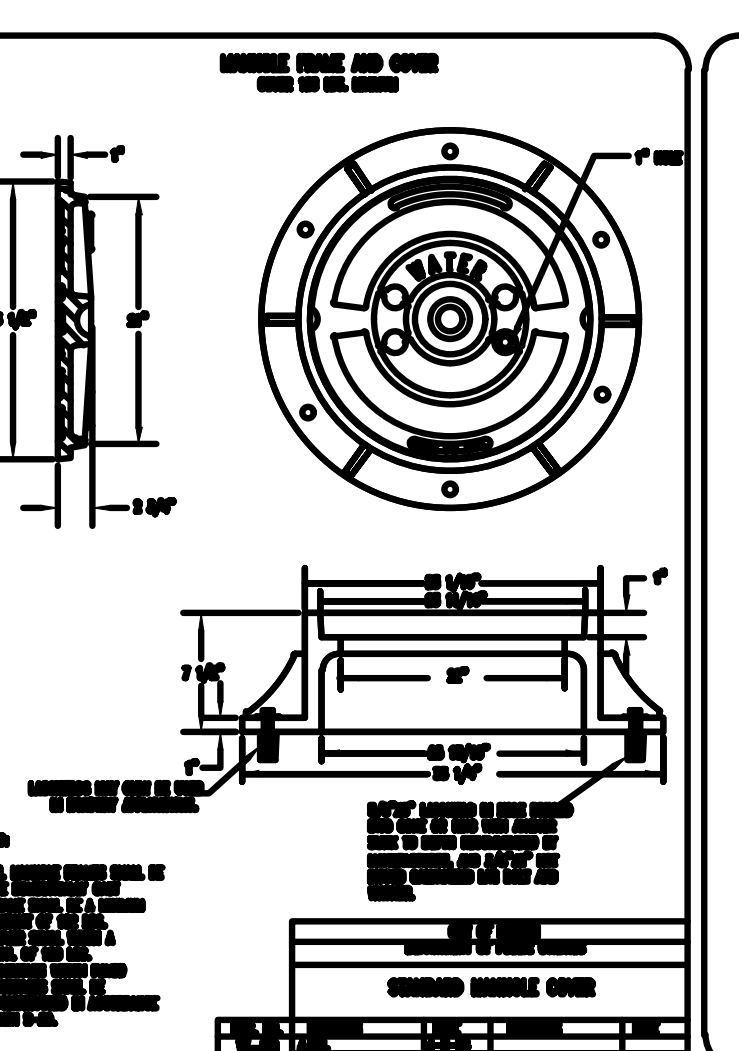
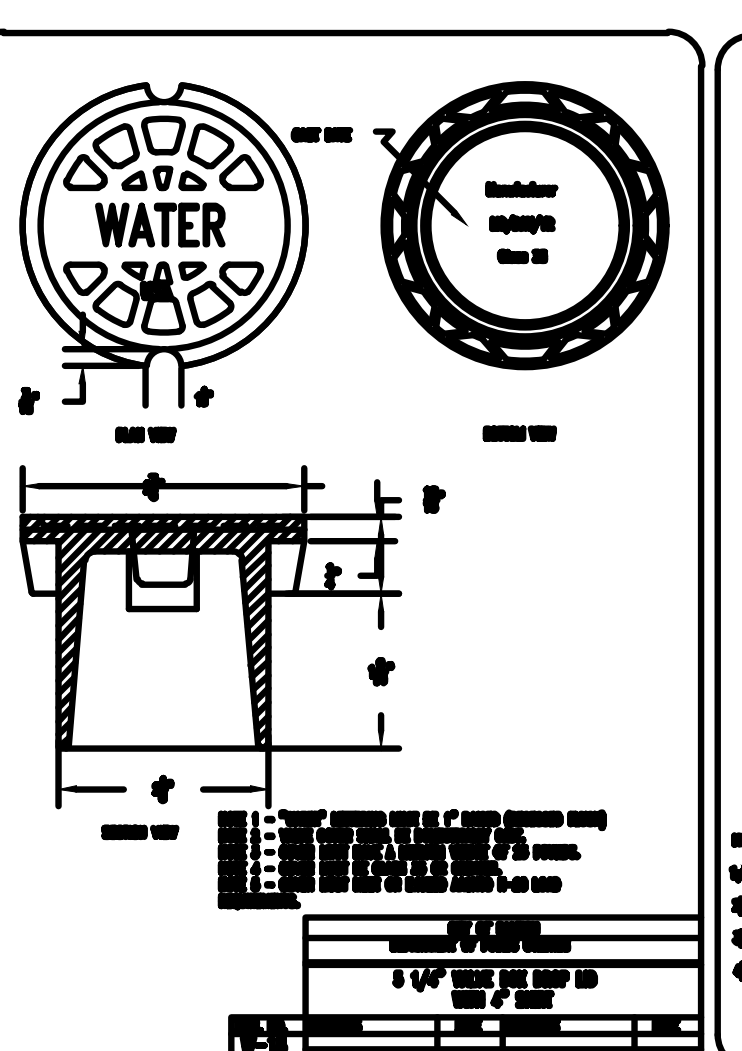
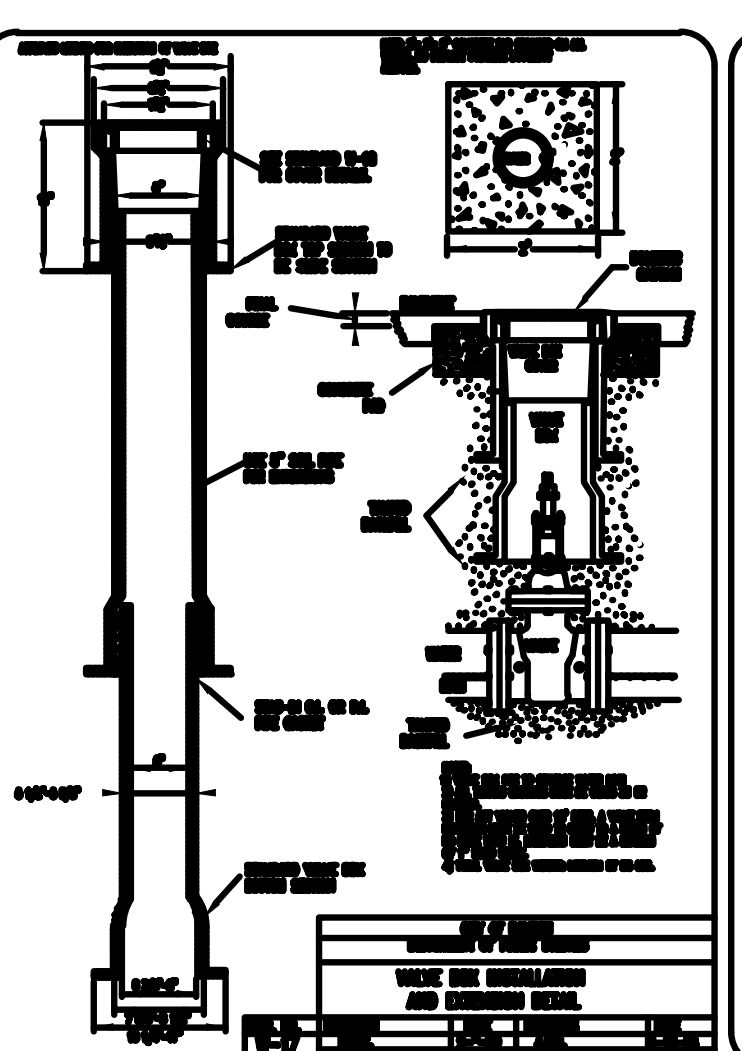
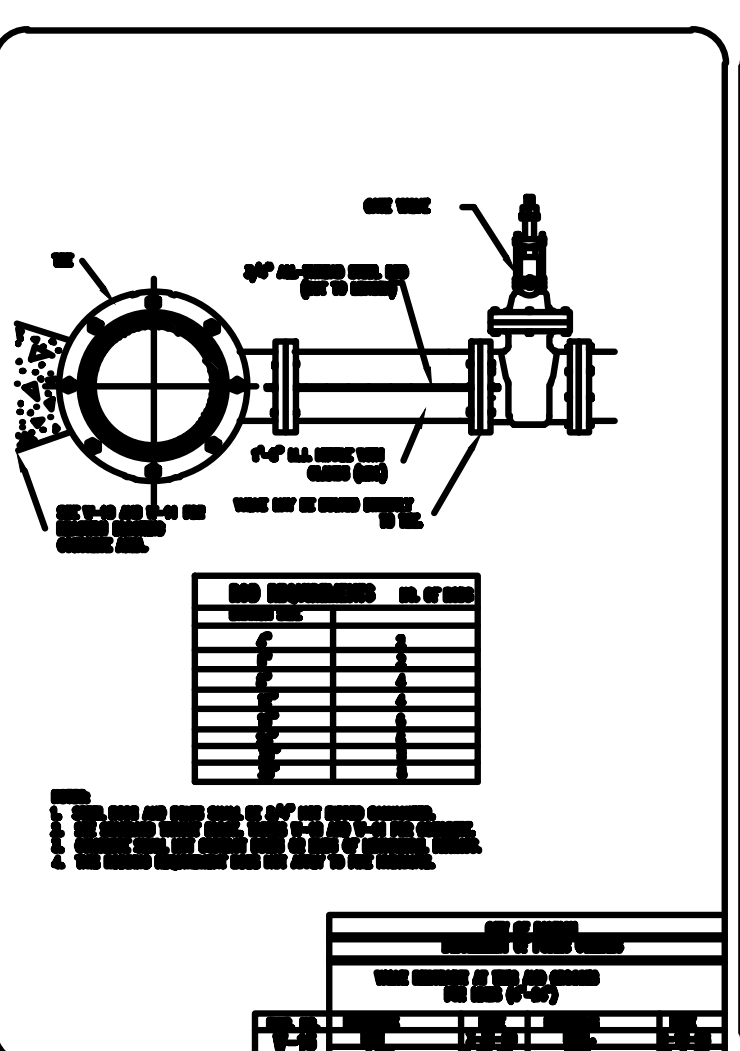
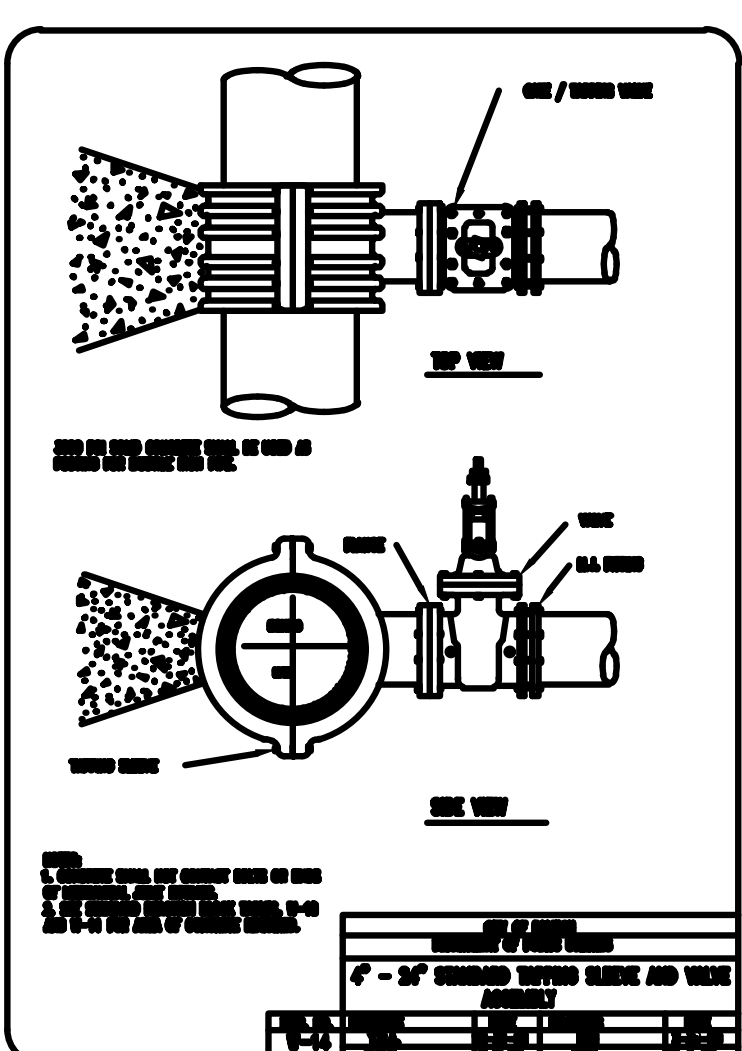
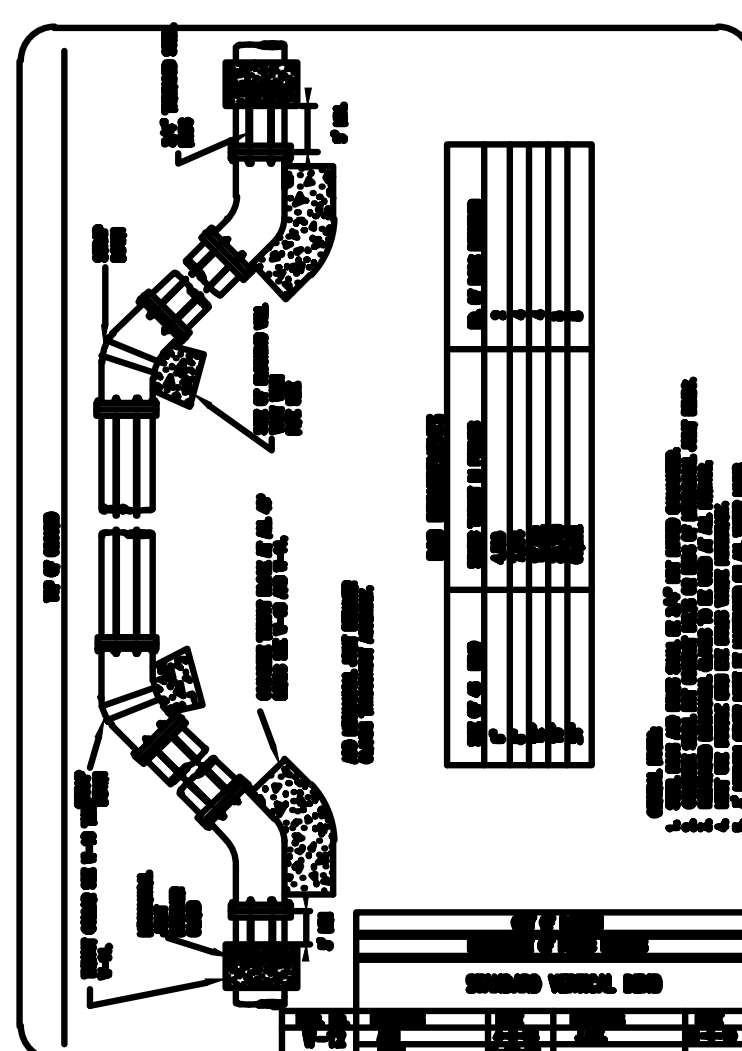
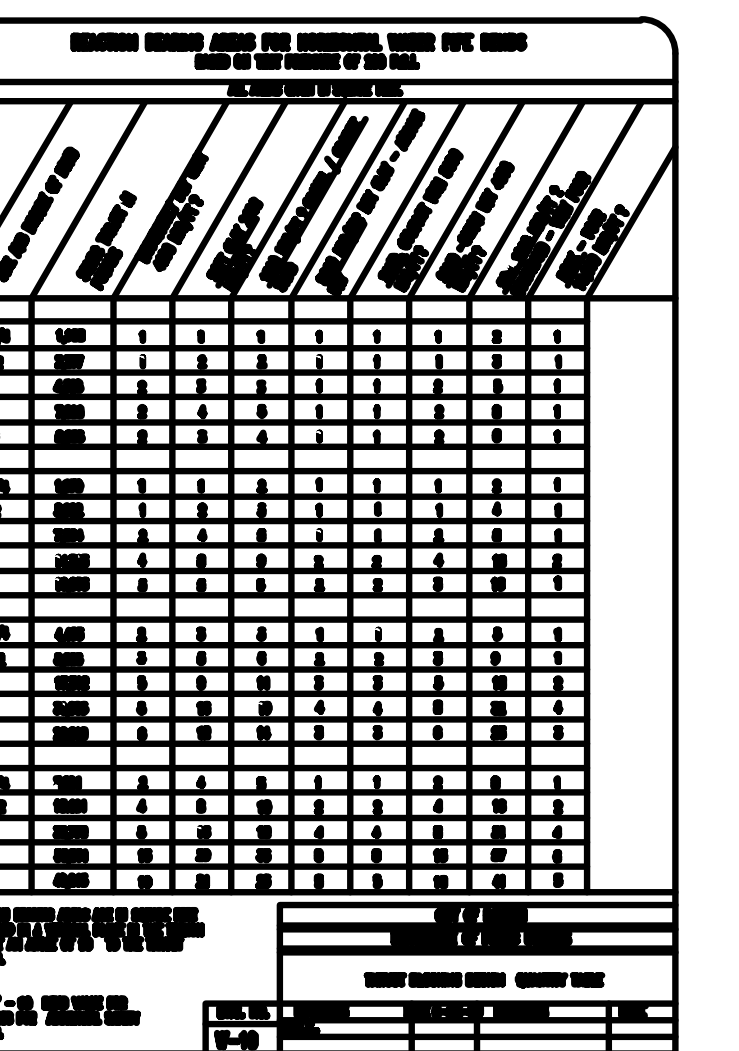
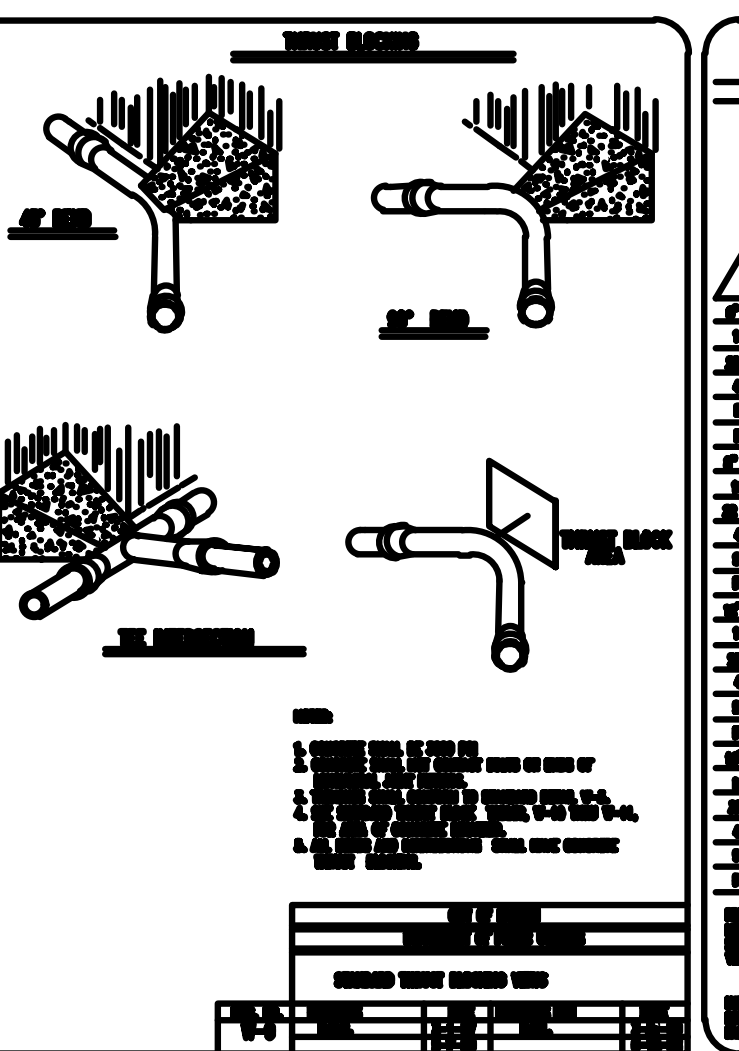
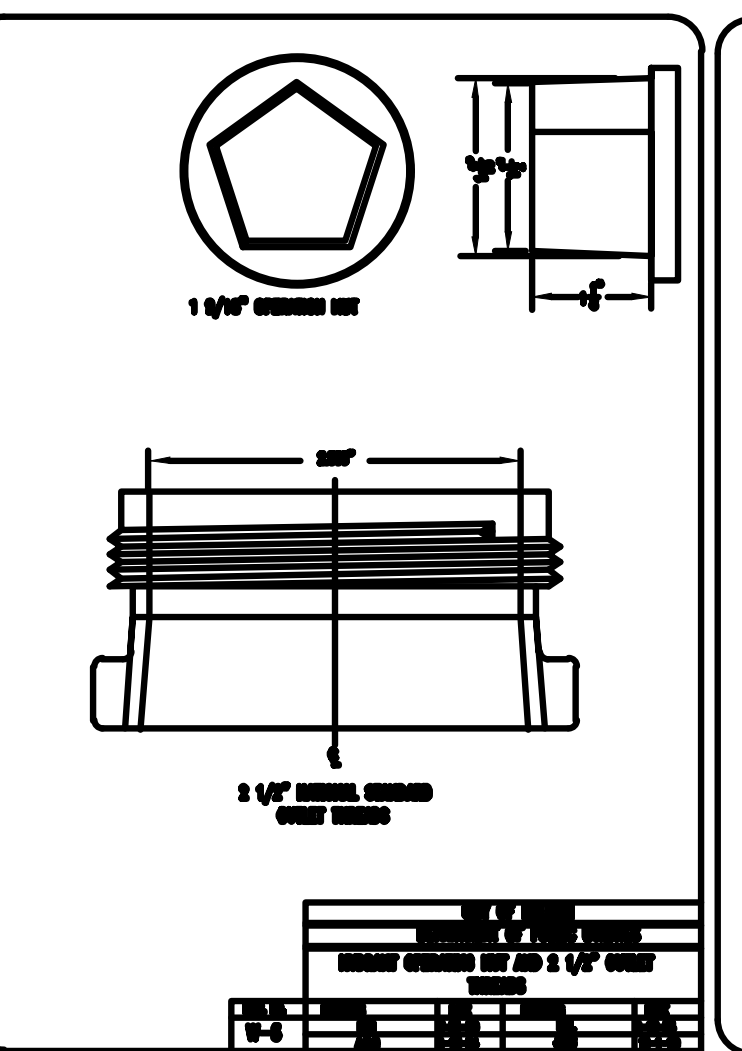
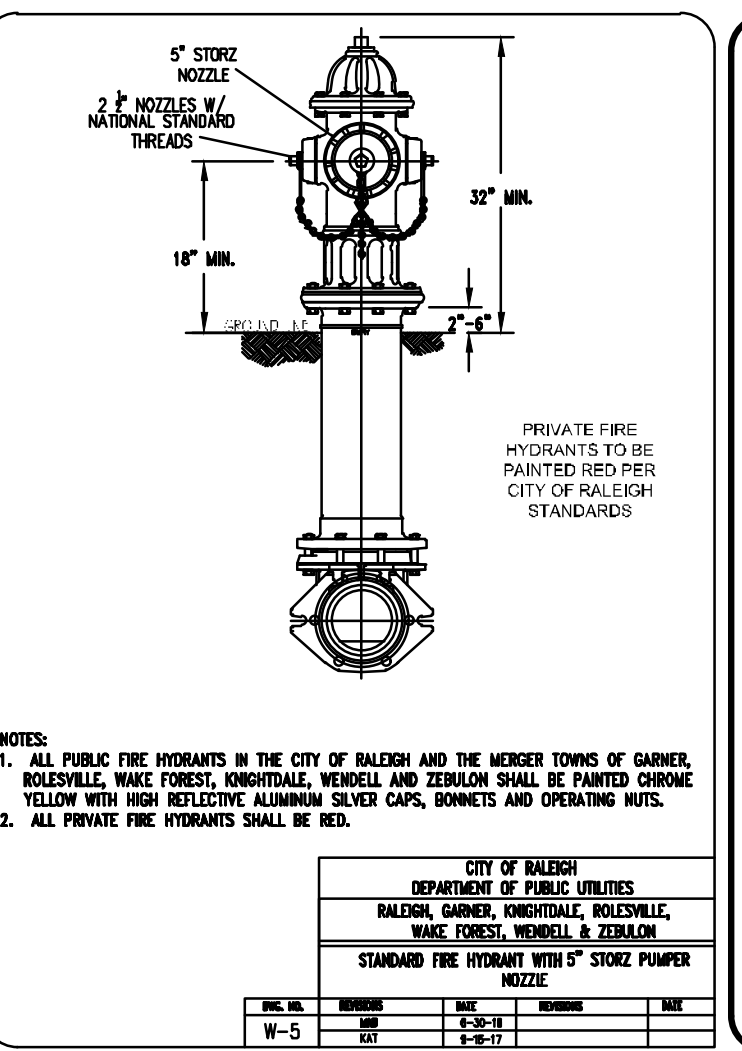
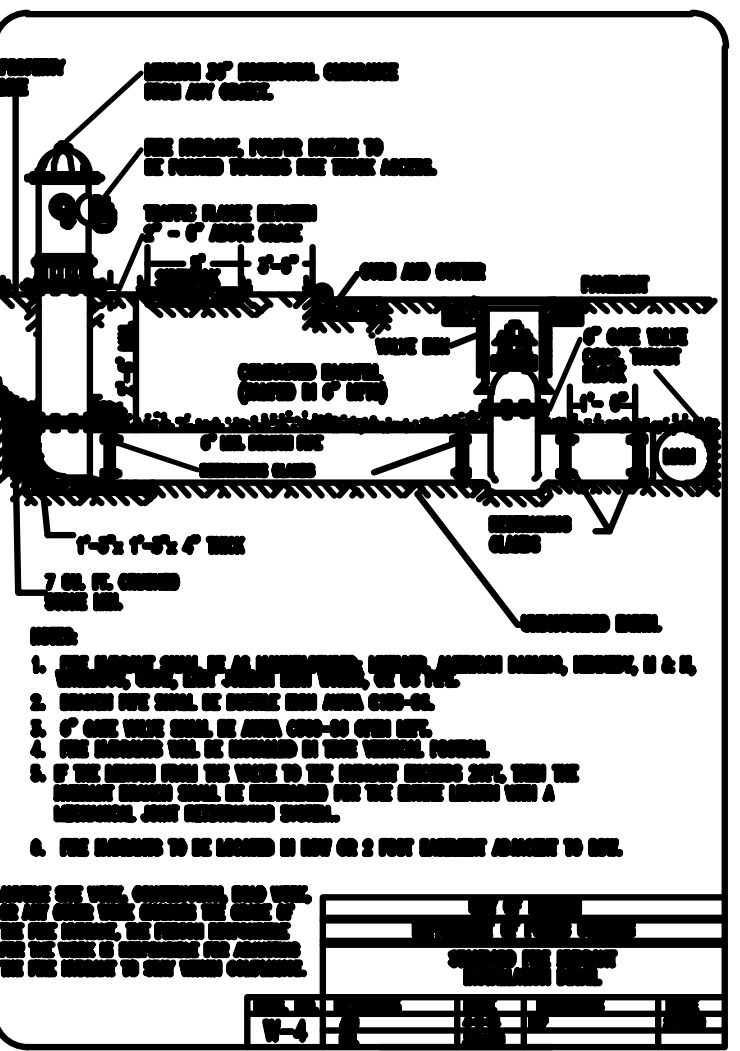
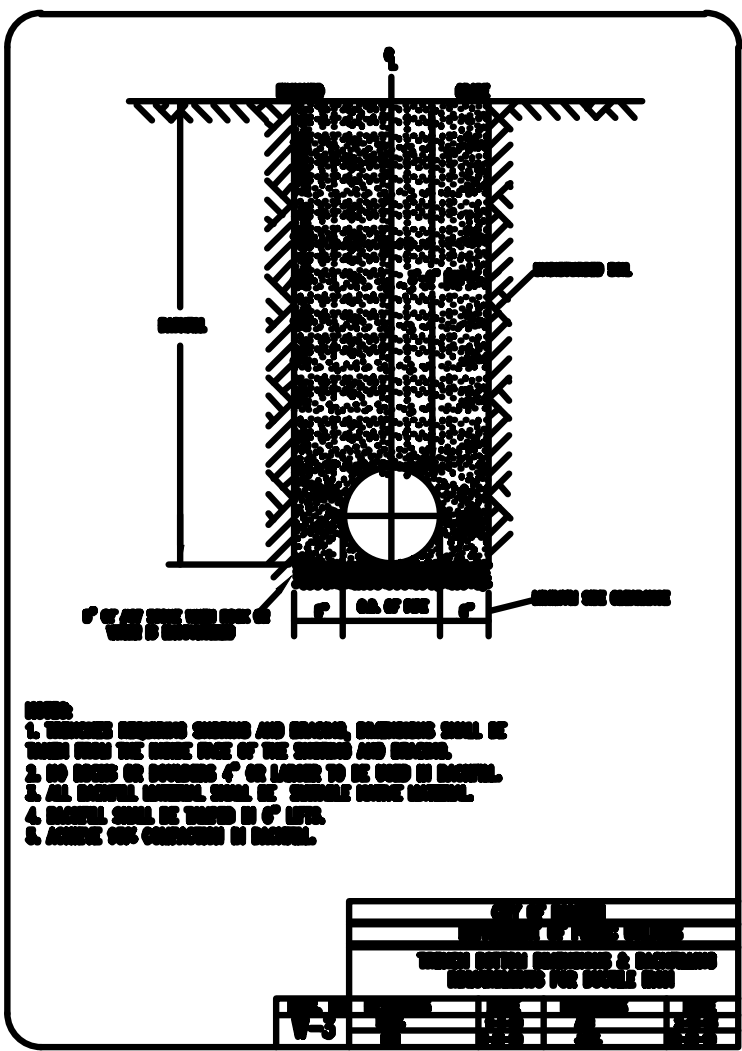
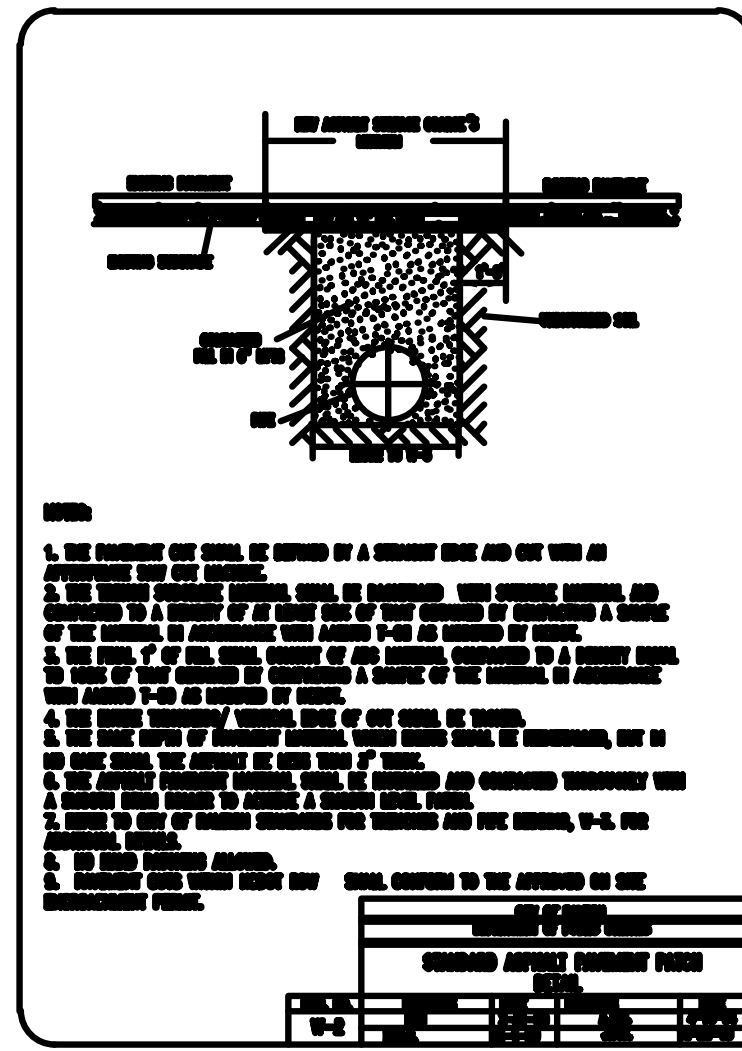
| DATE | DESIGN | DRAWN | CHKD |
|------|--------|-------|------|
|      | MEL    | MEL   | XXX  |

SCALE: H: 1" = 40'  
 V: 1" = XXX'

JOB No. 000000-00-000  
 DATE October 29, 2021  
 FILE No. 000000-0-CP-000



| PLAN STATUS |                              |          |
|-------------|------------------------------|----------|
| 10/29/21    | 1ST SUBMISSION               |          |
| 2/9/22      | PER TOWN REVIEW              |          |
| 3/18/22     | PER TOWN REVIEW              |          |
| 5/2/22      | PER TOWN REVIEW              |          |
| DATE        | DESCRIPTION                  |          |
| MEL DESIGN  | MEL DRAWN                    | XXX CHKD |
| SCALE       | H: 1" = XXX'<br>V: 1" = XXX' |          |
| JOB No.     | 000000-00-000                |          |
| DATE        | October 29, 2021             |          |
| FILE No.    | 000000-D-CP-000              |          |



**SITE PERMITTING APPROVAL**  
Water and Sewer Permits (if applicable)  
The City of Raleigh consents to the connection and extension of the City's Public Sewer System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # 5-  
The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # 5-  
The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # 5-  
**APPROVED RPDA ASSEMBLIES:**  
APPROVED 6" RPDA (REDUCED PRESSURE DETECTOR ASSEMBLY BACKFLOW PREVENTERS):  
AMES: 5000      FEBCO: 826Y0, 909RPDA  
APOLLO/CONBRACO: 4070CE3      WILKINS: 375ADA  
**APPROVED RPZ ASSEMBLIES:**  
APPROVED 1" RPZ BACKFLOW PREVENTERS:  
AMES 4000B      FEBCO 825 Y & YA      WATTS 003M20T  
WATTS 003M20T  
**APPROVED RPZ ASSEMBLIES:**  
APPROVED 2" RPZ BACKFLOW PREVENTERS:  
AMES 400B, U400B      WATTS 009M10T, 009QT  
APOLLO 4023802, RP40      FEBCO 860, 825YAR  
WILKINS 375, 375B  
**ATTENTION CONTRACTORS**  
The Construction Contractor responsible for the extension of water, sewer, or other utility, as approved on these plans, is responsible for contacting the Public Utilities Department at (919) 998-6440 at least twenty-four hours prior to beginning any of their construction.  
*Failure to notify both City Departments in advance of beginning construction, will result in the issuance of mandatory fines and require retrofits to be made at the contractor's expense not covered as a result of this notification failure.  
*Failure to call for inspection, install a Downstream Plug, have Permitted Persons the Jobsite or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclosure from future work in the City of Raleigh.**



| SCM element:                                    | Potential problem:  | How to remediate the problem:   |
|---|---|---|
| The entire wetland                              | Trash/debris is present.  | Remove the trash/debris.  |
| The perimeter of wetland                        | Areas of bare soil and/or erosive gullies have formed.  | Regrade the soil if necessary to remove the gully, and then plant a ground cover and water until it is established. Provide lime and a one-time fertilizer application.                           |
| Inlet device                                    | The inlet pipe is clogged (if applicable).  | Unclog the pipe. Dispose of the sediment in a location where it will not cause impacts to streams or the SCM.   |
|   | The inlet pipe is cracked or otherwise damaged (if applicable).   | Repair or replace the pipe.   |
| Forebay   | Erosion is occurring in the weirs (if applicable).  | Regrade the weirs if necessary and provide erosion control devices such as reinforced turf matting or riprap to avoid future problems with erosion.   |
|   | Sediment has accumulated in the forebay to a depth of less than 18" or that inhibits the forebay from functioning well. | Search for the source of the sediment and remedy the problem if possible. Remove the sediment and dispose of it in a location where it will not cause impacts to streams or the SCM.              |
| Deep pool, shallow water and shallow land areas | Erosion has occurred.   | Provide additional erosion protection such as reinforced turf matting or riprap if needed to prevent future erosion problems.   |
|   | Weeds are present.  | Remove the weeds, preferably by hand. If a pesticide is used, wipe it on the plants rather than spraying.   |
| Embankment                                      | Algal growth covers over 30% of the deep pool and shallow water areas.  | Consult a professional to remove and control the algal growth.  |
|   | Cattails, phragmites or other invasive plants cover 30% of the deep pool and shallow water areas.                       | Remove the invasive plants by hand or by wiping them with pesticide (do not spray) - consult a professional.  |
| Micropool                                       | The temporary inundation zone remains flooded more than 5 days after a storm event.                                     | Unclog the outlet device immediately.   |
|   | Plants are dead, diseased or dying.   | Determine the source of the problem: soils, hydrology, disease, etc. Remedy the problem and replace plants. Provide a one-time fertilizer application to establish the ground cover if necessary. |
| Outlet Structure                                | Sediment has accumulated and reduced the depth to 75% of the original design depth.                                     | Search for the source of the sediment and remedy the problem if possible. Remove the sediment and dispose of it in a location where it will not cause impacts to streams or the SCM.              |
|   | A tree has started to grow on the embankment.   | If tree is <6" in diameter, remove the tree. If the tree is 6" - 18" in diameter, consult a dam safety specialist to remove the tree.   |
| Receiving water                                 | An annual inspection by an appropriate professional shows that the embankment needs repair.                             | Make all needed repairs.  |
|   | Evidence of muskrat or beaver activity is present.  | Consult a professional to remove muskrats or beavers and repair any holes or erosion.   |
| Forebay   | Sediment has accumulated and reduced the depth to 75% of the original design depth.                                     | Search for the source of the sediment and remedy the problem if possible. Remove the sediment and dispose of it in a location where it will not cause impacts to streams or the SCM.              |
|   | Erosion or other signs of damage have occurred at the outlet.   | Repair the damage and improve the flow dissipation structure.   |
| Receiving water                                 | Discharges from the wetland are causing erosion or sedimentation in the receiving water.                                | Contact the local NCDQ Regional Office.   |

**SEEDBED PREPARATION:**

1. CHISEL COMPACTED AREAS AND SPREAD TOPSOIL THREE INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
2. RIP THE ENTIRE AREA TO SIX INCHES DEEP.
3. REMOVE ALL LOOSE ROCK, ROOTS AND OTHER OBSTRUCTIONS, LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
4. APPLY AGRICULTURAL LIME, FERTILIZER, AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL (SEE SEEDING MIXTURE).
5. CONTINUE TILLAGE UNTIL A WELL-FULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED FOUR TO SIX INCHES DEEP.
6. SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
7. MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
8. INSPECT ALL SEEDED AREAS AND MAKE NECESSARY REPAIRS OR RE-SEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAKE SHOULD BE MORE THAN ONE DAMAGED, RE-ESTABLISH FOLLOWING THE ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
9. CONSULT SOIL ENVIRONMENTAL ENGINEERS ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.

**LANDSCAPING NOTES:**

ALL LANDSCAPING SHALL BE IN COMPLIANCE WITH THE NCDQ BMP REQUIREMENTS.

LANDSCAPE CONTRACTOR SHALL PROVIDE A TWO-YEAR WARRANTY FOR BMP PLANTING SURVIVAL/REPLACEMENT.

AT THE END OF THE FIRST YEAR AND AT THE END OF THE TWO-YEAR WARRANTY PERIOD, ALL PLANTS THAT DO NOT SURVIVE MUST BE REPLACED.

ESTABLISHMENT PROCEDURES, SUCH AS CONTROL OF INVASIVE WEEDS, ANIMAL AND HUMAN DAMAGE, MULCHING, RE-SEEDING, WATERING, AND WEED OR TREE PROTECTION REPLACEMENT, SHALL BE IMPLEMENTED TO THE EXTENT NEEDED TO PREVENT GROWING (STRANGLING) OF ALL WOODY PLANTS.

SOO TO BE BERMOUDA OR CENTPEDE GRASS. REFER TO LANDSCAPE PLAN FOR LOCATION OF AREAS TO BE SOODED.

GRASS OR WILDFLOWER SEED MUST BE APPLIED AT THE RATES SPECIFIED BY THE SUPPLIERS. IF PLANT ESTABLISHMENT CANNOT BE ACHIEVED WITH SEEDING BY THE TIME OF SUBSTANTIAL COMPLETION OF THE STORMWATER FACILITY PORTION OF THE PROJECT, THEN THE CONTRACTOR SHALL PLANT THE AREA WITH WILDFLOWER SOO, PLUMS, CONTAINER PLANTS, OR OTHER MEANS TO COMPLETE THE SPECIFIED PLANTING AND PROTECT AGAINST EROSION BEFORE WATER IS ALLOWED TO ENTER THE STORMWATER BMP FACILITY.

ALL MATERIALS SHALL BE ACQUIRED FROM AN APPROVED NCDQ PLANT VENDOR. PLANT MATERIAL SHOULD BE PURCHASED FROM A LOCAL SOURCE TO ENSURE SURVIVABILITY. LOCAL VENDORS FOR THIS SITE INCLUDE:

- CALL BE NATURE PLANT NURSERY 910-259-6361
- NC FOREST SERVICE 919-331-7988
- PLANT DELIGHTS NURSERY 919-772-4794
- TARKER NATURE TREES 919-553-5927

REFER TO PLANTINGS ON THIS SHEET FOR TYPE AND LOCATION OF SHALLOW WATER AND TEMPORARY INUNDATION ZONE PLANTINGS.

IMMEDIATELY AFTER THE STORMWATER WETLAND DETENTION POND IS ESTABLISHED, THE PLANTS ABOVE THE PERMANENT POOL ELEVATION AND PERIMETER OF THE BASIN SHOULD BE WATERED TWICE WEEKLY IF NEEDED UNTIL THE PLANTS BECOME ESTABLISHED (COMMONLY SIX WEEKS).

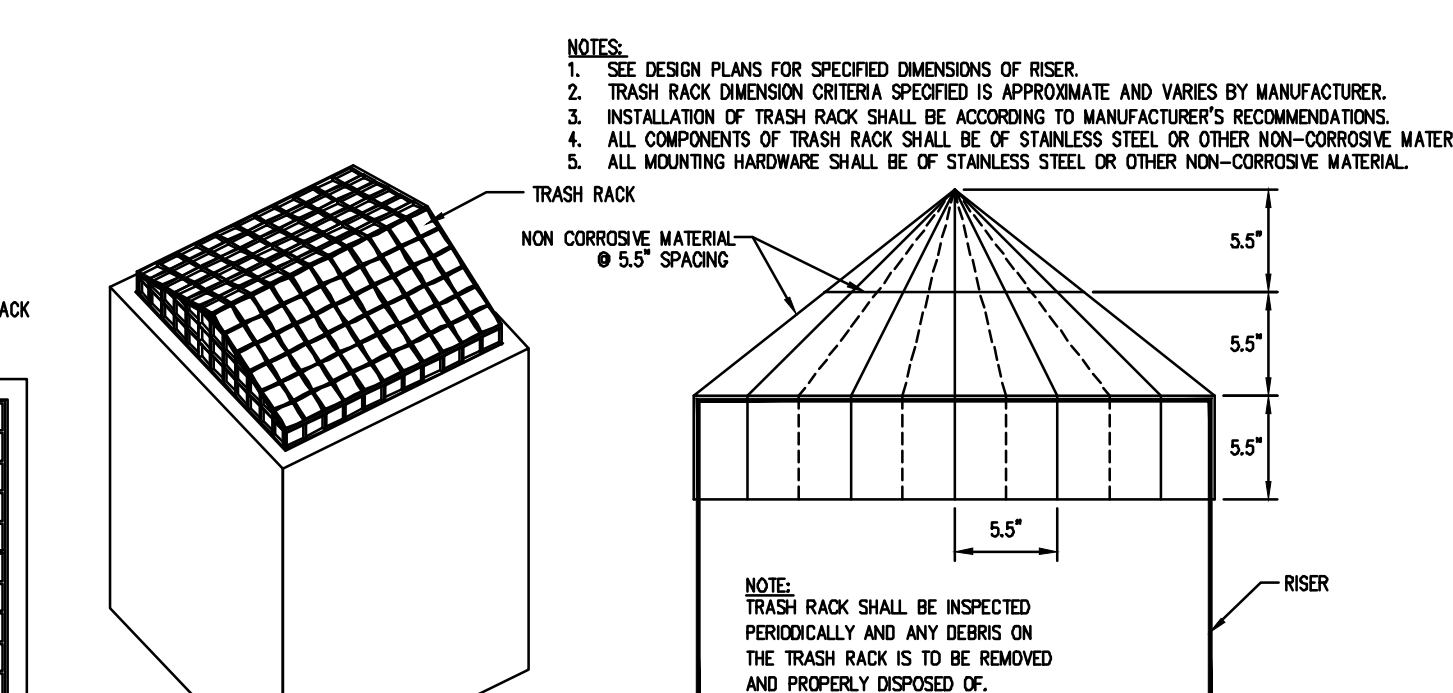
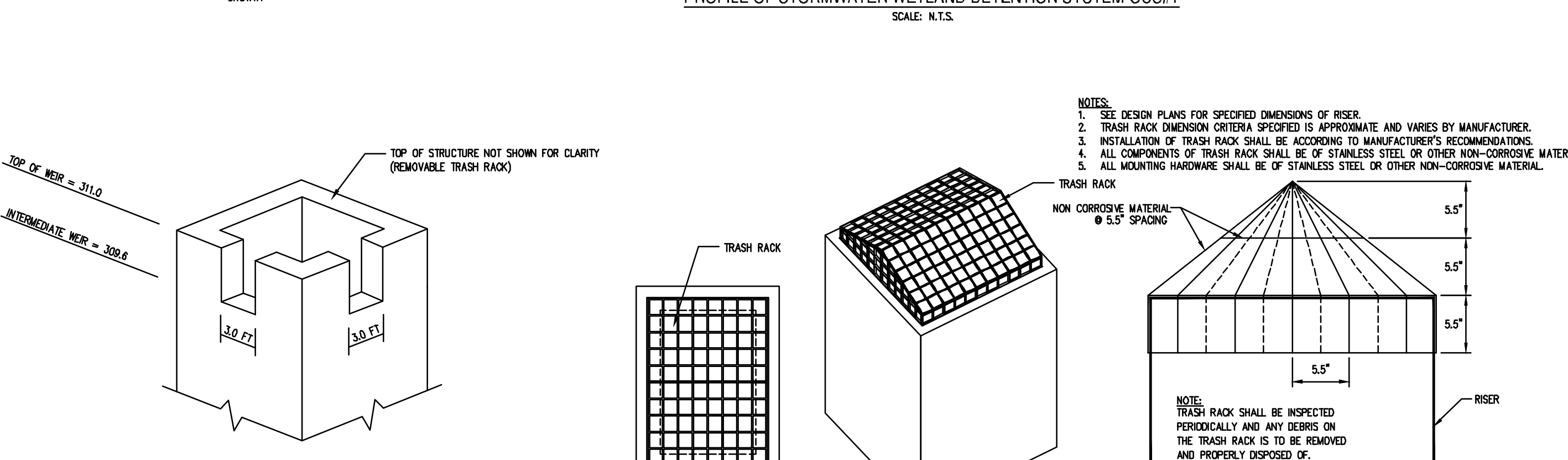
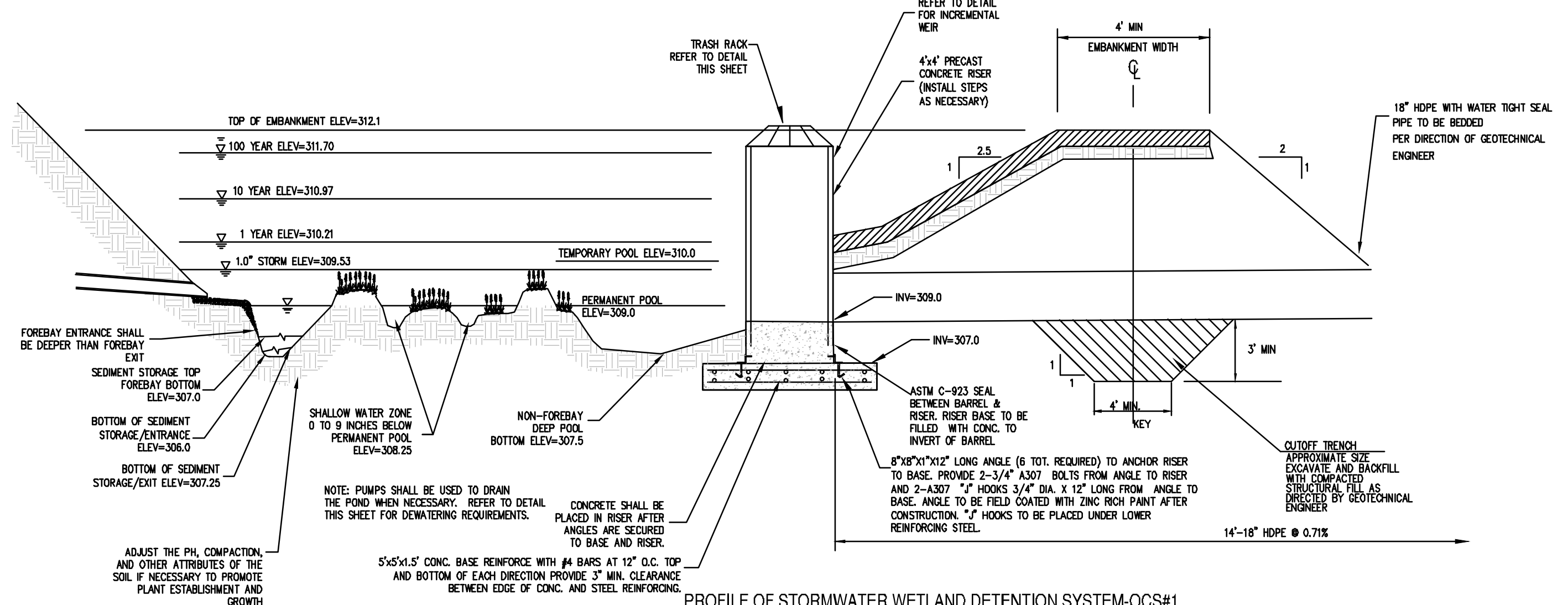
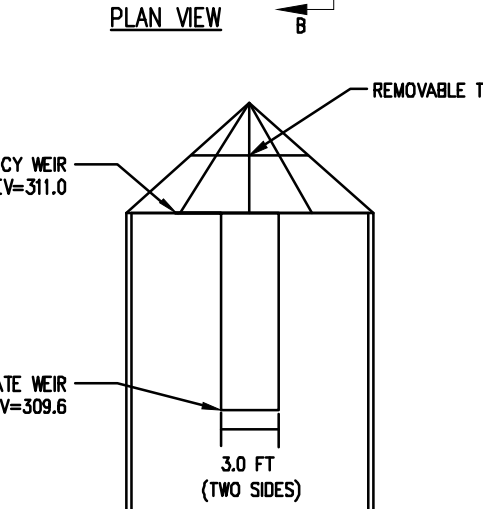
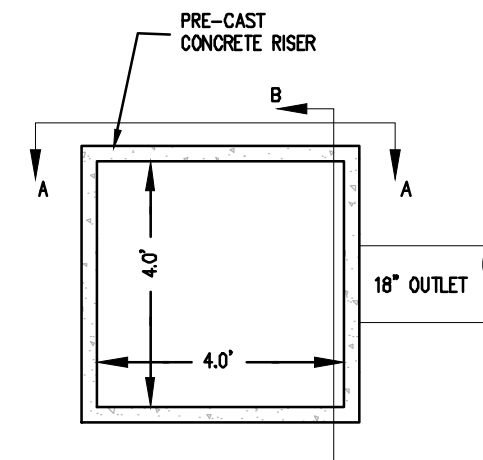
NO PORTION OF THE STORMWATER WETLAND DETENTION POND SHOULD BE FERTILIZED AFTER THE FIRST INITIAL FERTILIZATION THAT IS REQUIRED TO ESTABLISH THE PLANTS.

**LANDSCAPING NOTES:**

1. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES REGARDING LANDSCAPING.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A HEALTHY STAND OF GRASS ON ALL SEEDBED AREAS.
3. CONTRACTOR SHALL PROVIDE NATURAL TOPSOIL THAT IS FERTILE, FRIABLE, WITHOUT MIXTURE OF SUBSOIL MATERIALS, AND OBTAINED FROM A WELL DRAINED, AVAILABLE SITE. IT SHALL NOT CONTAIN SUBSTANCES WHICH MAY BE HARMFUL TO PLANT GROWTH. TOPSOIL SHALL BE SCREENED AND FREE FROM CLAY, LUMPS, STONES, ROOTS, PLANTS, OR SIMILAR SUBSTANCES 1" OR MORE IN DIAMETER, DEBRIS, OR OTHER OBJECTS WHICH WOULD BE A HINDERANCE TO PLANTING OPERATIONS. TOPSOIL SHALL CONTAIN AT LEAST 4-6% ORGANIC MATTER BY WEIGHT AND HAVE A PH RANGE OF 5.5 TO 7.0.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR THE WATERING AND THE MAINTENANCE OF ALL LANDSCAPED AREAS UNTIL THE LATER OF: (a) THIRTY (30) DAYS FOLLOWING THE PLANTING OF THE GRASS AND SHRUBS, OR (b) THE DATE THAT STATE OPENS FOR BUSINESS TO THE PUBLIC. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE SURVIVAL OF THE BMP PLANTING MATERIALS DURING THE TWO-YEAR WARRANTY PERIOD AND SHALL REPLACE ALL PLANTS THAT DO NOT SURVIVE AT THE END OF THE FIRST YEAR AND AT THE END OF THE SECOND YEAR OF THE WARRANTY PERIOD.
5. CONTRACTOR TO VERIFY QUANTITIES PRIOR TO COMMENCING WORK.
6. ANY DISTURBED AREAS NOT SCHEDULED FOR HARDSCAPE, PLANTINGS, OR MULCH SHALL BE SEEDED LAWN. REFER TO LANDSCAPE PLAN FOR LOCATION OF AREAS TO BE SOODED.
7. NO PLANT SUBSTITUTIONS ARE PERMITTED WITHOUT WRITTEN APPROVAL OF THE OWNERS REPRESENTATIVE.
8. FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL, SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 18" NEW TOPSOIL, OR TILL AND AMEND THE TOP 18" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES.
9. ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLANT 15' FROM ALL UNDERGROUND UTILITIES (SEWER AND STORM DRAINAGE, GAS, WATER, PHONE, AND ELECTRICAL LINES).

**STORMWATER MANAGEMENT NOTES:**

1. THE DEVELOPER OR HIS AGENT SHALL CONTACT THE DESIGN ENGINEER WHEN THE BEST MANAGEMENT PRACTICE(S) ARE CONSTRUCTED AND ABOUT TO BECOME OPERATIONAL SO A FINAL INSPECTION CAN BE PERFORMED TO DETERMINE COMPLIANCE WITH THE APPROVED PLAN CAN BE PERFORMED.
2. ANNUAL MAINTENANCE INSPECTION AND REPORT REQUIRED - THE OWNER OF A PERMITTED STRUCTURAL STORMWATER BMP/CONTROL SHALL ANNUALLY SUBMIT A MAINTENANCE AND INSPECTION REPORT FOR EACH BMP TO THE STORMWATER ADMINISTRATOR. ANNUAL INSPECTIONS SHALL BEGIN WITHIN ONE YEAR OF THE RECORDED OF ANY DEVICES SHOWING STORMWATER BMP/CONTROL STRUCTURES.
3. UPON COMPLETION OF THE PROJECT, AND BEFORE A CERTIFICATE OF OCCUPANCY SHALL BE GRANTED, THE ENGINEER OF RECORD SHALL CERTIFY THAT THE COMPLETED PROJECT IS IN ACCORDANCE WITH THE APPROVED STORMWATER MANAGEMENT PLAN AND DESIGN.
4. A FINAL INSPECTION OF THE SITE AND STORMWATER MANAGEMENT BMP/CONTROLS TO BE SCHEDULED WITH AND COMPLETED BY THE PROJECT ENGINEER.
5. NCDQ AND THEIR ASSIGNS HAVE RIGHT TO ACCESS THE STORMWATER CONTROL(S) FOR INSPECTIONS OR MAINTENANCE AS NECESSARY.
6. THE ENGINEER'S CERTIFICATION OF COMPLETION WILL BE REQUIRED PRIOR TO THE FINAL PLAT OR CERTIFICATE OF OCCUPANCY. THE STORMWATER CONTROL IS TO BE INSPECTED TO ENSURE IT IS FUNCTIONING AS DESIGNED AND HAS FULL DESIGN VOLUME PRIOR TO ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY.
7. THE PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING THE STORMWATER CONTROL(S) ACCORDING TO THE APPROVED MAINTENANCE PLAN AND DIRECTION OF NCDQ.

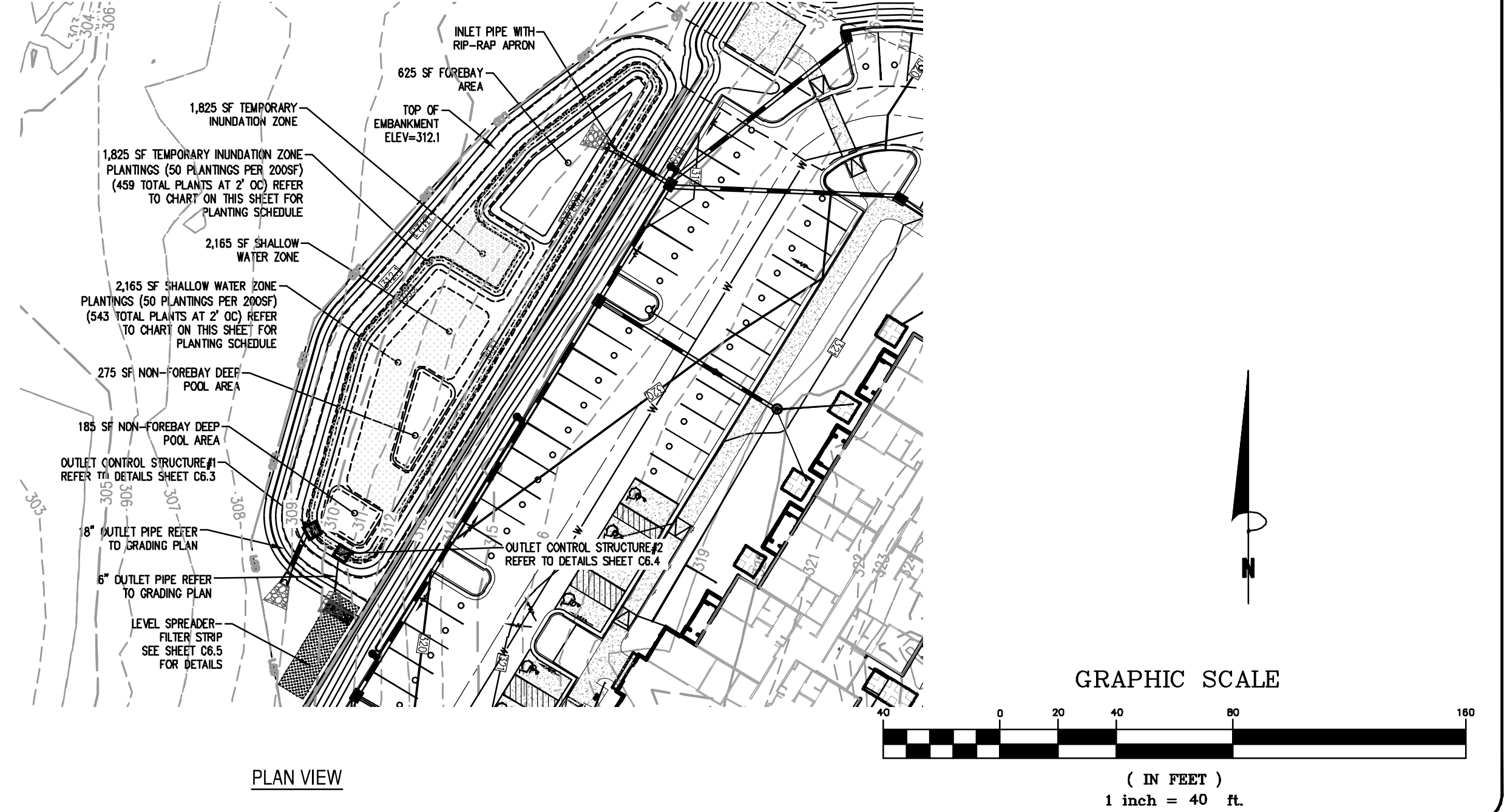


| STAGE (FT) | ELEVATION (FT) | CONTOUR AREA (SF) | INCREMENTAL STORAGE (CF) | TOTAL STORAGE (CF) |
|------------|----------------|-------------------|--------------------------|--------------------|
| 0.0        | 390.0          | 4745              | 0                        | 0                  |
| 0.5        | 309.5          | 5375              | 2530                     | 2530               |
| 1.0        | 310.0          | 5905              | 2620                     | 5150 (INV)         |
| 1.25       | 310.25         | 6580              | 1561                     | 6711               |
| 2.0        | 311.0          | 7405              | 5244                     | 12155              |
| 3.0        | 312.0          | 8545              | 7975                     | 20130              |
| 3.1        | 312.1          | 8655              | 860                      | 20990              |

|   |                                |                                      |                                      |                                      |
|---|--------------------------------|--------------------------------------|--------------------------------------|--------------------------------------|
| RIVER BASIN:                            | NEUSE                          |                                      |                                      |                                      |
| RECEIVING STREAM:                       | LITTLE RIVER (TARPLEYS POND)   |                                      |                                      |                                      |
| STREAM INDEX:                           | 27-57-(6.5)                    |                                      |                                      |                                      |
| STREAM CLASS:                           | WE-VANW                        |                                      |                                      |                                      |
| HUC:                                    | 030202015                      |                                      |                                      |                                      |
| PROJECT COORDINATES:                    | 35.818308N, -78.328950W        |                                      |                                      |                                      |
| POUND DESIGN SUMMARY:                   |                                |                                      |                                      |                                      |
| DRAINAGE AREA TO POND:                  | 2.46 ACRES                     |                                      |                                      |                                      |
| SITE IMPERVIOUS AREA TO POND:           | 1.45 ACRES                     |                                      |                                      |                                      |
| Q7-SITE DESIGN IMPERVIOUS AREA TO POND: | 0.0 ACRES                      |                                      |                                      |                                      |
| TOTAL DESIGN IMPERVIOUS AREA TO POND:   | 1.45 ACRES                     |                                      |                                      |                                      |
| DRAINAGE AREA:                          | PRE-DEVELOPED TO POND: 2.87 AC | POST-DEVELOPED THROUGH POND: 2.46 AC | POST DEVELOPED THROUGH POND: 0.41 AC | POST DEVELOPED THROUGH POND: 0.41 AC |
| CURVE NUMBER:                           | 77.0                           | 90.6                                 | 80.4                                 | 80.4                                 |
| TIME OF CONCENTRATION:                  | 11.7 MIN                       | 5 MIN                                | 10 MIN                               | 10 MIN                               |
| 1.0" STORM EVENT:                       |                                | 0.684 CFS                            | 0.018 CFS                            |                                      |
| 1-YEAR STORM EVENT:                     | 3.943 CFS                      | 7.712 CFS                            | 2.930 CFS                            | 0.885 CFS                            |
| 10-YEAR STORM EVENT:                    | 11.39 CFS                      | 15.82 CFS                            | 7.910 CFS                            | 1.808 CFS                            |
| 100-YEAR STORM EVENT:                   | 21.65 CFS                      | 25.78 CFS                            | 11.86 CFS                            | 3.292 CFS                            |

| SCIENTIFIC NAME                 | COMMON NAME        | PLANTING ZONE | QUANTITY | HEIGHT            | IDEAL DEPTH | NURSERY CONTAINER TYPE | SPACING | PLANTING SEASON |
|---------------------------------|--------------------|---------------|----------|-------------------|-------------|------------------------|---------|-----------------|
| <i>Juncus effusus</i>           | Common Rush        | SHALLOW WATER | 181      | 9" FOLIAGE HEIGHT | 0-2"        | 4" TEA POT             | 2' O.C. | SPRING/SUMMER   |
| <i>Utricularia carolinensis</i> | Carolina Crosswort | SHALLOW WATER | 181      | 9" FOLIAGE HEIGHT | 0-9"        | 4" TEA POT             | 2' O.C. | SPRING/SUMMER   |
| <i>Scheuchzeria palustris</i>   | Softstem Bulrush   | SHALLOW WATER | 181      | 9" FOLIAGE HEIGHT | 0-6"        | 4" TEA POT             | 2' O.C. | SPRING/SUMMER   |

| SCIENTIFIC NAME              | COMMON NAME          | PLANTING ZONE | QUANTITY | HEIGHT            | NURSERY CONTAINER TYPE | SPACING | PLANTING SEASON |
|------------------------------|----------------------|---------------|----------|-------------------|------------------------|---------|-----------------|
| <i>Eutrochium dubium</i>     | Coastal Jay Pwe Weed | SHALLOW LAND  | 153      | 9" FOLIAGE HEIGHT | 4" TEA POT             | 2' O.C. | SPRING/SUMMER   |
| <i>Eupatorium erofolium</i>  | Boesert              | SHALLOW LAND  | 153      | 9" FOLIAGE HEIGHT | 4" TEA POT             | 2' O.C. | SPRING/SUMMER   |
| <i>Rhynchospora colorata</i> | Starush Whitetop     | SHALLOW LAND  | 153      | 9" FOLIAGE HEIGHT | 4" TEA POT             | 2' O.C. | SPRING/SUMMER   |



**PLANTINGS**

10/29/21 11ST SUBMISSION

2/9/22 PER TOWN REVIEW

3/18/22 PER TOWN REVIEW

5/2/22 PER TOWN REVIEW

DATE DESCRIPTION

MEL DESIGN MEL DRAWN XXX CHKD

SCALE H: 1" = 40' V:

JOB No. 000000-00-000

DATE October 29, 2021

FILE No. 000000-0-CP-000

SHEET C6.5

**Bowman**

Bowman North Carolina Ltd.  
4006 BARRIETT DR  
Suite 104  
RALEIGH, NC 27609  
Phone: (919)555-6570  
bowman.com  
Bowman North Carolina Ltd.

**Wake County**

**Zebulon, NC**

**The Carrington**  
303 Pony Road

**STORMWATER MANAGEMENT DETAILS**

**PRELIMINARY DO NOT USE FOR CONSTRUCTION**

**PLAN STATUS**

10/29/21 11ST SUBMISSION

2/9/22 PER TOWN REVIEW

3/18/22 PER TOWN REVIEW

5/2/22 PER TOWN REVIEW

**DATE DESCRIPTION**

MEL DESIGN MEL DRAWN XXX CHKD

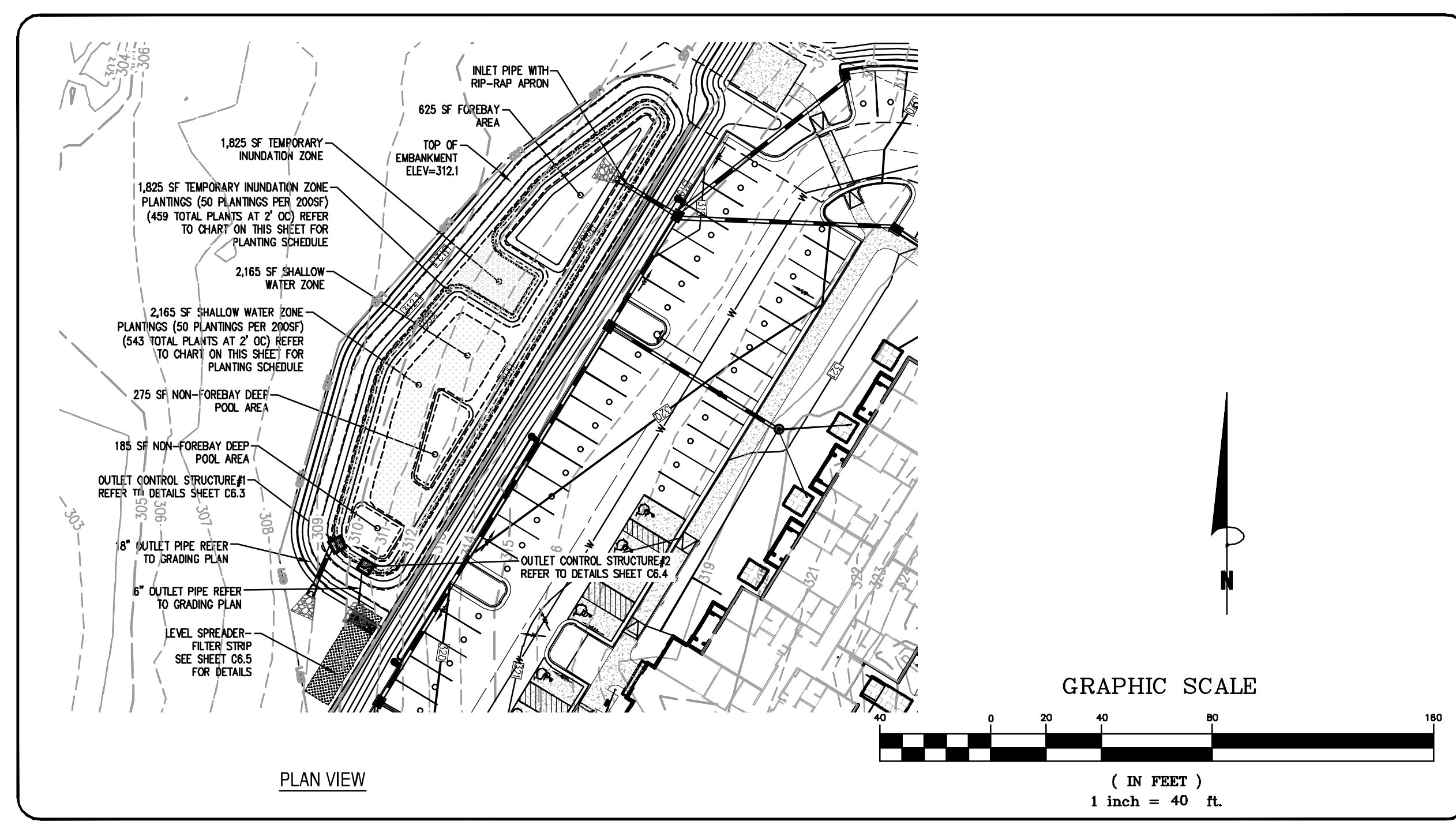
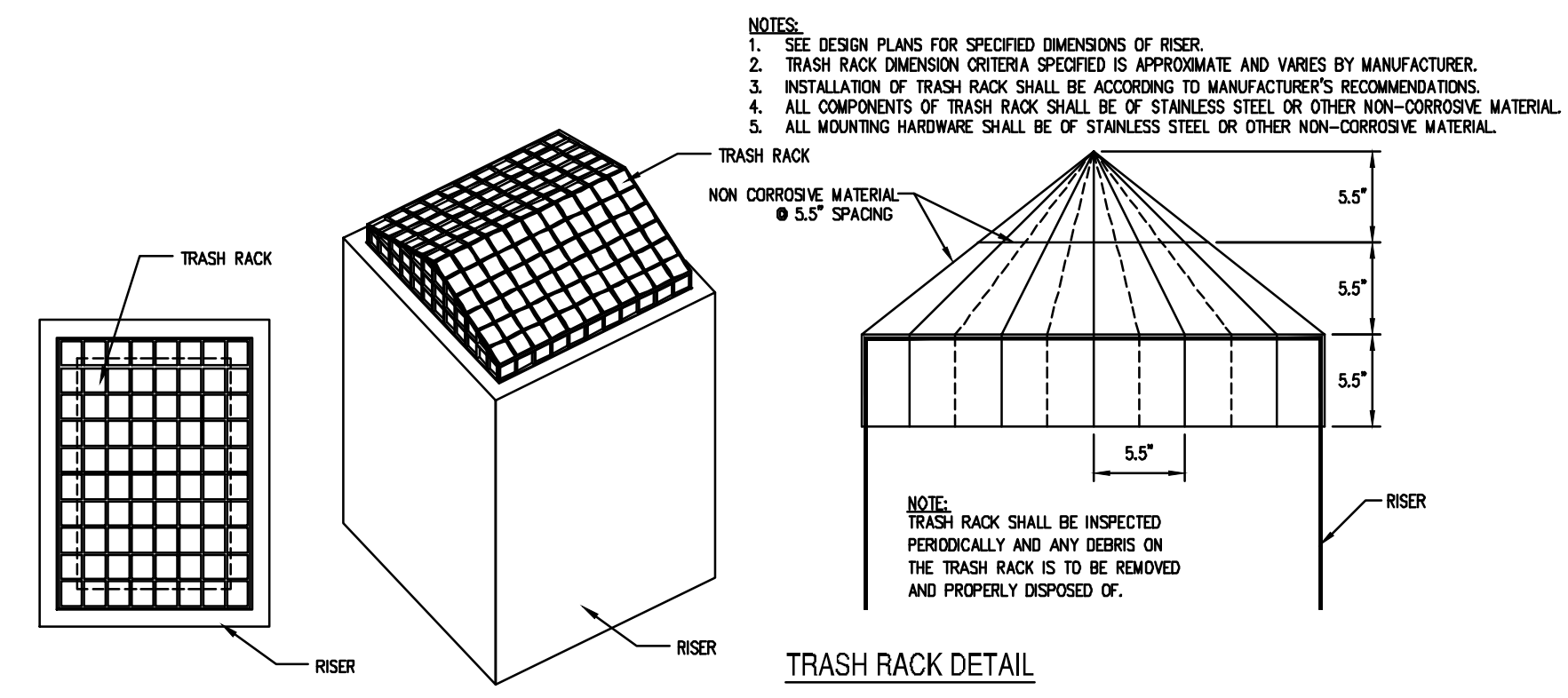
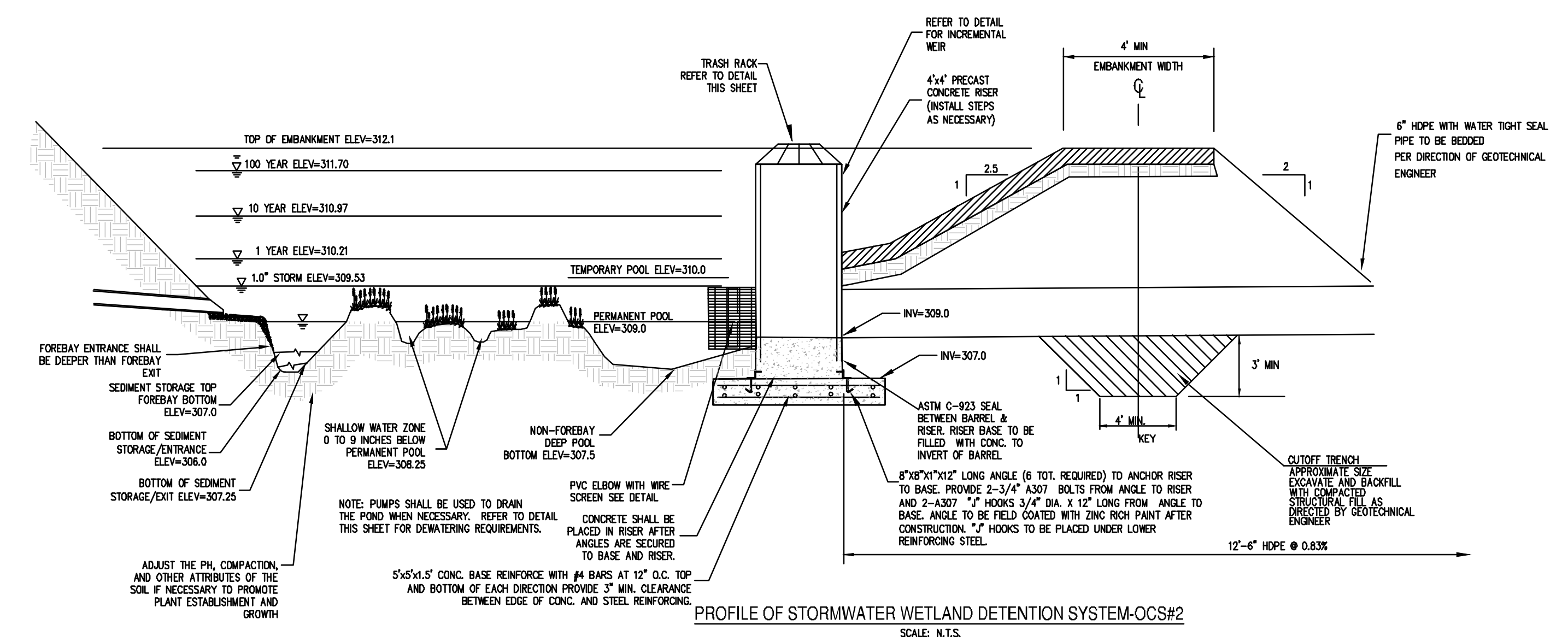
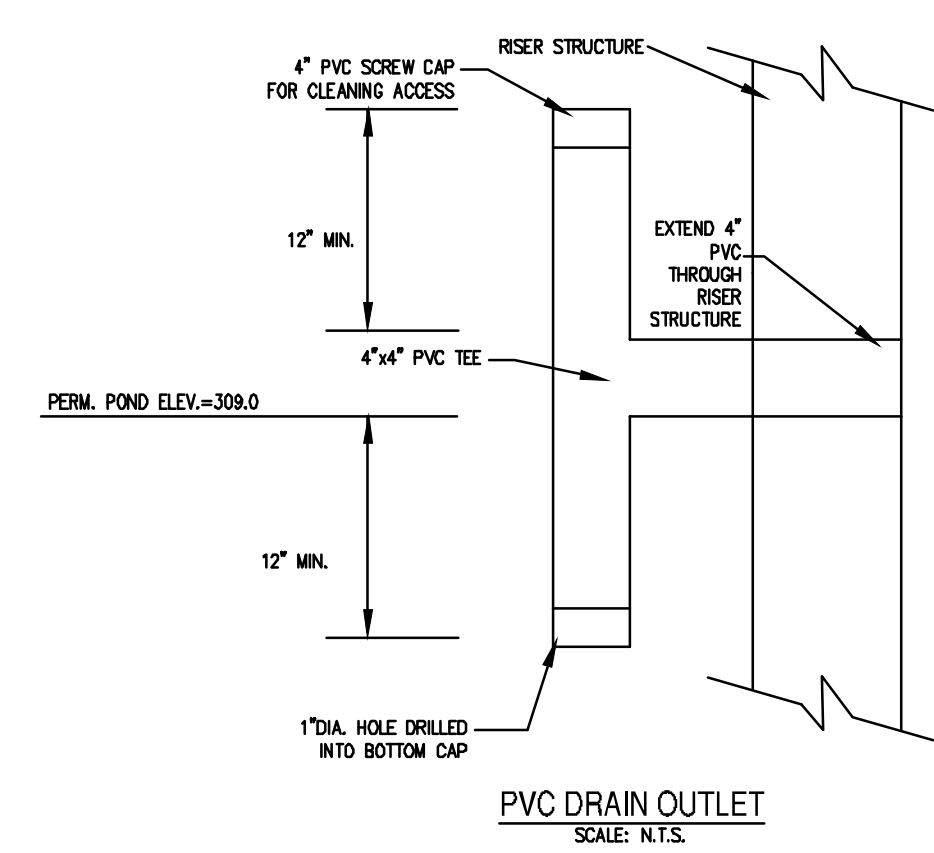
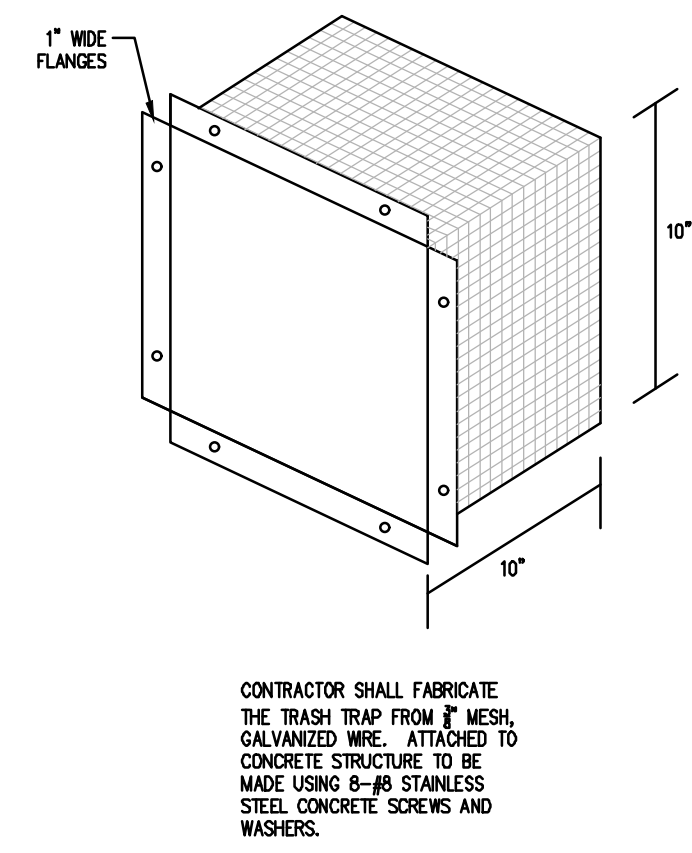
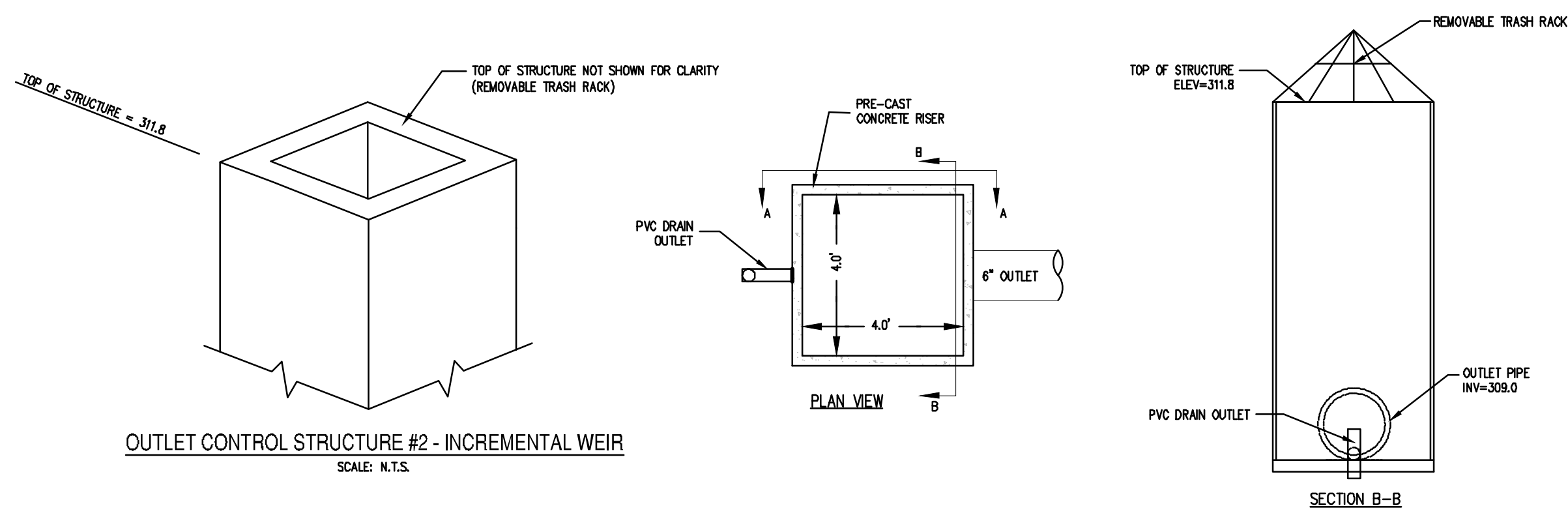
SCALE H: 1" = 40' V:

JOB No. 000000-00-000

DATE October 29, 2021

FILE No. 000000-0-CP-000

SHEET C6.5



# Bowman

Bowman North Carolina Ltd.  
4006 BARRETT DR  
Suite 104  
RALEIGH, NC 27609  
Phone: (919)555-6570  
bowman.com  
Bowman North Carolina Ltd.

STORMWATER MANAGEMENT DETAILS

The Carrington  
303 Pony Road

Wake County

Zebulon, NC

PRELIMINARY  
DO NOT  
USE FOR  
CONSTRUCTION



| DATE     | DESCRIPTION     |
|----------|-----------------|
| 10/29/21 | 1ST SUBMISSION  |
| 2/9/22   | PER TOWN REVIEW |
| 3/18/22  | PER TOWN REVIEW |
| 5/2/22   | PER TOWN REVIEW |

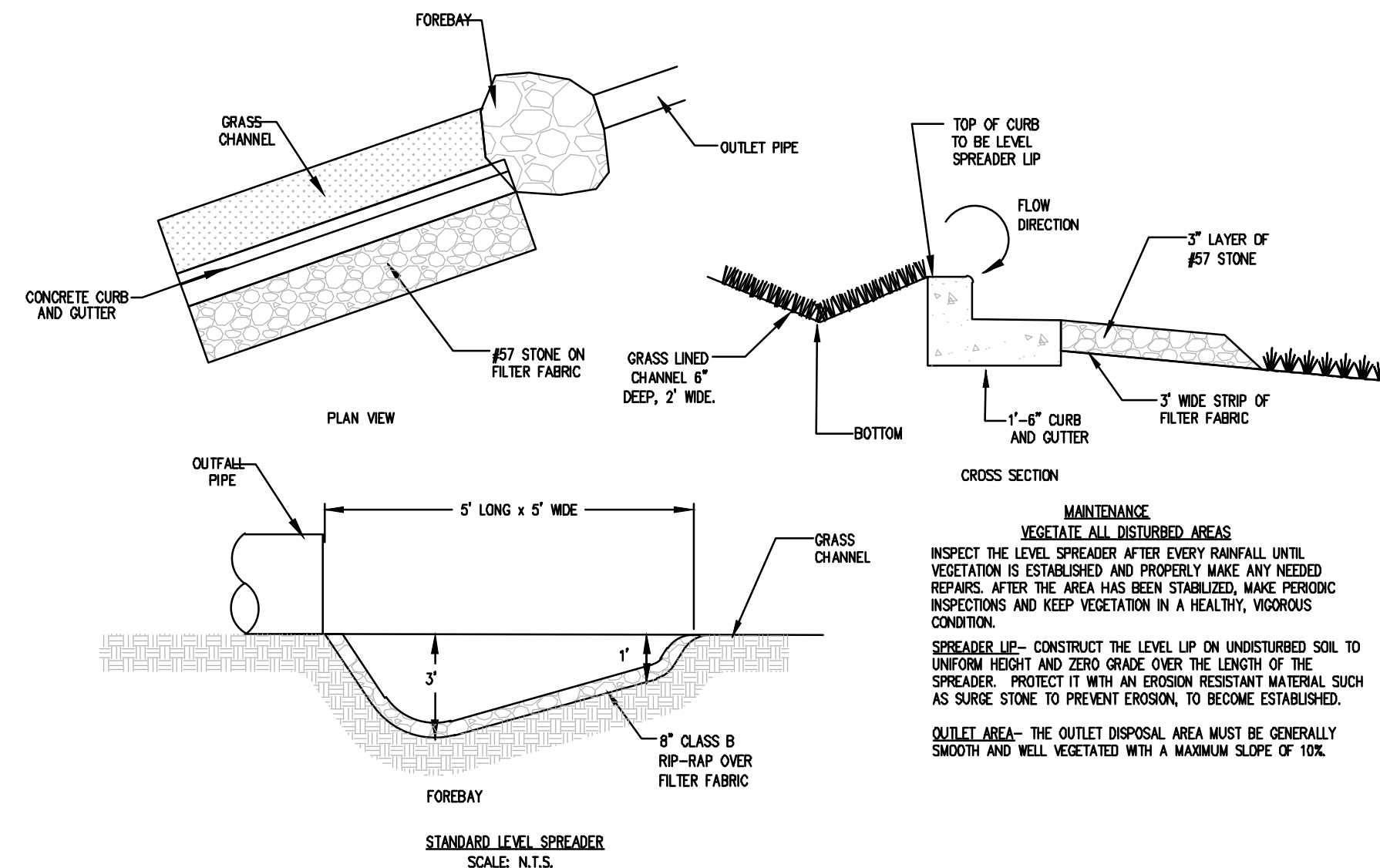
| DATE   | DESIGN | SCALE | DESCRIPTION |
|--------|--------|-------|-------------|
| MEL    | MEL    | XXX   | CHKD        |
| DESIGN | DRAWN  | CHKD  |             |
| SCALE  |        |       |             |

JOB No. 000000-00-000  
DATE October 29, 2021  
FILE No. 000000-0-CP-000

SHEET C6.5

2 STORMWATER MANAGEMENT SYSTEM DETAILS  
NOT TO SCALE

| SCM element                                     | Potential problem  | How to remediate the problem  |
|---|--|---|
| <b>The entire LS-FS</b>                         | Trash/debris is present.   | Remove the trash/debris.  |
| <b>The flow splitter device (if applicable)</b> | The flow splitter device is clogged.   | Unclog the conveyance and dispose of any sediment off-site.   |
|   | The flow splitter device is damaged.   | Make any necessary repairs or replace if damage is too large for repair.  |
| <b>The blind swale</b>                          | The swale is clogged with sediment.  | Remove the sediment and dispose of it off-site.   |
|   | The swale is overgrown with vegetation.  | Mow vegetation. Re-grade and vegetate if the swale has become silted in.  |
| <b>The LS</b>                                   | The level lip is cracked, settled, undercut, eroded or otherwise damaged.                    | Repair or replace lip.  |
|   | There is erosion around the end of the level spreader that shows stormwater has bypassed it. | Regrade the soil to create a berm that is higher than the level lip, and then plant a ground cover and water until it is established. Provide lime and a one-time fertilizer application. |
|   | Trees or shrubs have begun to grow on the swale or just downslope of the level lip.          | Remove them.  |
| <b>The bypass channel</b>                       | Areas of bare soil and/or erosive gullies have formed.                                       | Regrade the soil if necessary to remove the gully, and then reestablish proper erosion control.   |
|   | Turf reinforcement is damaged or riprap is rolling downhill.                                 | Study the site to see if a larger bypass channel is needed (enlarge if necessary). After this, reestablish the erosion control material.  |
| <b>The FS</b>                                   | Grass is too short or too long (if applicable).  | Maintain grass at a height of approximately three to six inches.  |
|   | Areas of bare soil and/or erosive gullies have formed.                                       | Regrade the soil if necessary to remove the gully, and then plant a ground cover and water until it is established. Provide lime and a one-time fertilizer application.                   |
|   | Sediment is building up on the filter strip.   | Remove the sediment and restabilize the soil with vegetation if necessary. Provide lime and a one-time fertilizer application.  |
|   | Grass is dead, diseased or dying.  | Determine the source of the problem: soils, hydrology, disease, etc. Remedy the problem and replace plants. Provide a one-time fertilizer application.                                    |
|   | Nuisance vegetation is choking out grass.  | Remove vegetation by hand if possible. If pesticides are used, do not allow it to get into the receiving water.   |
| <b>The receiving water</b>                      | Erosion or other signs of damage have occurred.  | Contact the NC Division of Water Resources.   |



**CONSTRUCTION SPECIFICATIONS**

1. THE MATTING SHOULD BE A MINIMUM OF 4 FEET WIDE EXTENDING 6 INCHES OVER THE LIP AND BURIED 6 INCHES DEEP IN A VERTICAL TRENCH ON THE LOWER EDGE. THE UPPER EDGE SHOULD BUTT AGAINST SMOOTHLY CUT SOIL AND BE SECURELY HELD IN PLACE WITH CLOSELY SPACED HEAVY DUTY WIRE STAPLES AT LEAST 12 INCHES LONG.
2. ENSURE THAT THE SPREADER IS LEVEL, FOR UNIFORM SPREADING OF STORM RUNOFF.
3. CONSTRUCT THE LEVEL SPREADER ON UNDISTURBED SOIL (NOT ON FILL).
4. CONSTRUCT A 20 FOOT TRANSITION SECTION FROM THE DIVERSION CHANNEL TO BLEND SMOOTHLY WITH THE WIDTH AND DEPTH OF THE LEVEL SPREADER.
5. DISPERSE RUNOFF FROM THE SPREADER ACROSS A PROPERLY STABILIZED SLOPE, NOT TO EXCEED 10%. MAKE SURE THAT THE SLOPE IS SUFFICIENTLY SMOOTH TO KEEP THE FLOW FROM CONCENTRATING.
6. IMMEDIATELY AFTER ITS CONSTRUCTION, APPROPRIATELY SEED AND MULCH THE ENTIRE DISTURBED AREA OF THE LEVEL SPREADER.

**MAINTENANCE**  
VEGETATE ALL DISTURBED AREAS  
INSPECT THE LEVEL SPREADER AFTER EVERY RAINFALL UNTIL VEGETATION IS ESTABLISHED AND PROPERLY MAKE ANY NEEDED REPAIRS. AFTER THE AREA HAS BEEN STABILIZED, MAKE PERIODIC INSPECTIONS AND KEEP VEGETATION IN A HEALTHY, WOODED CONDITION.  
SPREADER LIP— CONSTRUCT THE LEVEL LIP ON UNDISTURBED SOIL TO UNIFORM HEIGHT AND ZERO GRADE OVER THE LENGTH OF THE SPREADER. PROTECT IT WITH AN EROSION RESISTANT MATERIAL SUCH AS SURE STONE TO PREVENT EROSION, TO BECOME ESTABLISHED.  
OUTLET AREA— THE OUTLET DISPOSAL AREA MUST BE GENERALLY SMOOTH AND WELL VEGETATED WITH A MAXIMUM SLOPE OF 10%.

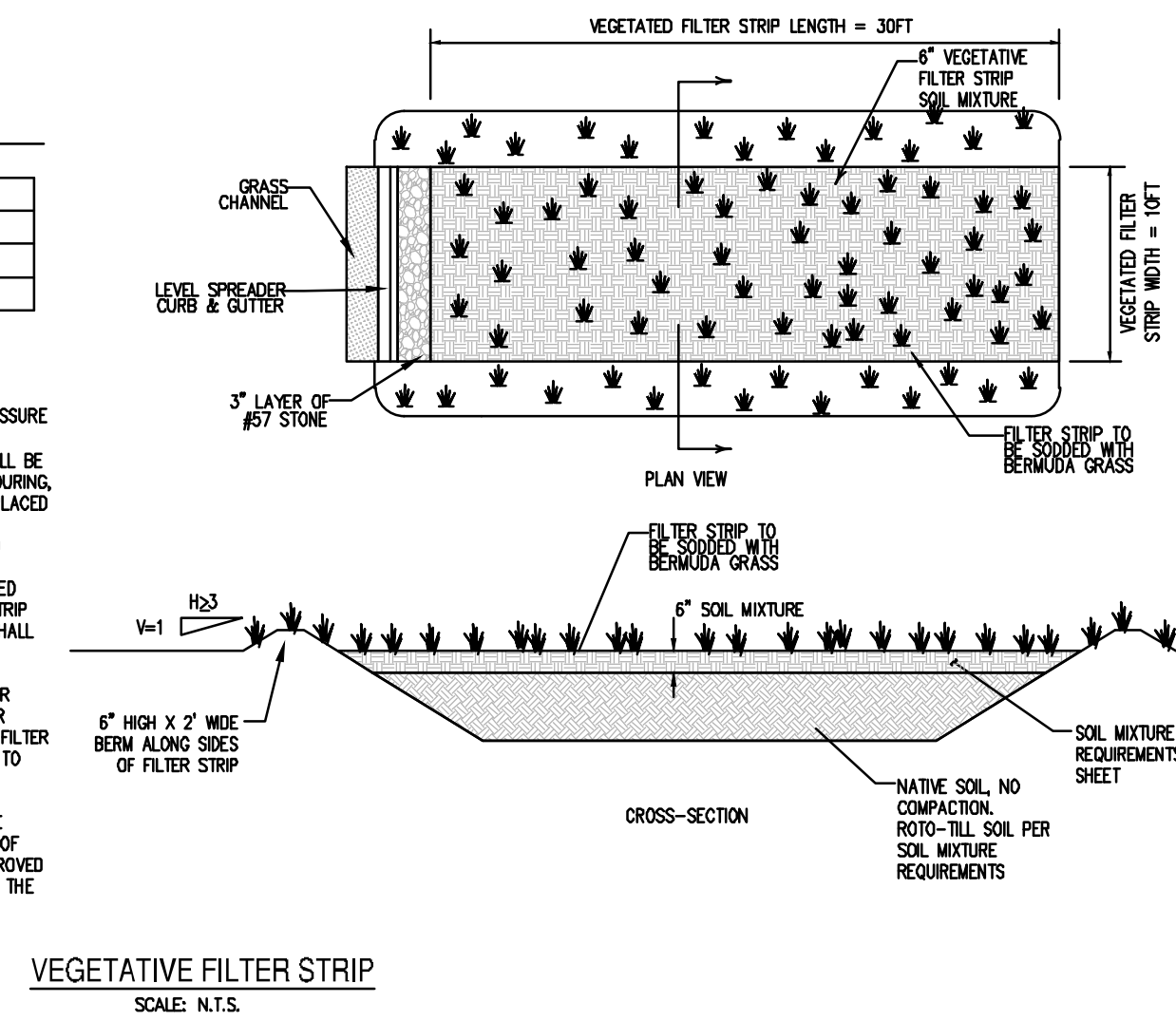
**VEGETATIVE FILTER STRIP - SOIL MIXTURE**

| ITEM           | PERCENT BY WEIGHT | MATERIAL          |
|----------------|-------------------|-------------------|
| SAND           | 85-88%            | CONSTRUCTION SAND |
| FINES          | 8%-12%            | SILT              |
| ORGANIC MATTER | 3%-5%             | COMPOST/PEAT MOSS |

SOIL MIXTURE SHALL BE PLACED AND GRADED USING LOW GROUND-CONTACT PRESSURE EQUIPMENT OR BY EXCAVATORS AND/OR BACKHOES OPERATING ON THE GROUND ADJACENT TO THE VEGETATIVE FILTER STRIP FACILITY. NO HEAVY EQUIPMENT SHALL BE USED WITHIN THE PERIMETER OF THE VEGETATIVE FILTER STRIP FACILITY BEFORE, DURING, OR AFTER THE PLACEMENT OF THE SOIL MIXTURE. THE SOIL MIXTURE SHALL BE PLACED IN HORIZONTAL LAYERS NOT TO EXCEED 4 INCHES FOR THE ENTIRE AREA OF THE VEGETATIVE FILTER STRIP FACILITY. IF THE SOIL MIXTURE BECOMES CONTAMINATED DURING THE CONSTRUCTION OF THE VEGETATIVE FILTER STRIP FACILITY, THE CONTAMINATED MATERIAL SHALL BE REMOVED AND REPLACED WITH UNCONTAMINATED MATERIAL AT NO ADDITIONAL COST. FINAL GRADING OF THE VEGETATIVE FILTER STRIP SHALL BE PERFORMED AFTER A 24-HOUR SETTLING PERIOD. FINAL ELEVATIONS SHALL BE WITHIN 2 INCHES OF ELEVATIONS SHOWN ON THE CONTRACT PLANS.

THE SOIL MIXTURE SHALL BE A UNIFORM MIX FREE OF STONES, STUMPS, ROOTS OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES EXCLUDING MULCH. NO OTHER MATERIALS OR SUBSTANCES SHALL BE MIXED OR DUMPED WITHIN THE VEGETATIVE FILTER STRIP AREA THAT MAY BE HARMFUL TO PLANT GROWTH, OR PROVE A HINDRANCE TO THE PLANTING OR MAINTENANCE OPERATIONS.

PRIOR TO PLACING THE SOIL MIXTURE, THE BOTTOM OF THE EXCAVATION SHALL BE ROTO-TILLED TO A MINIMUM DEPTH OF 6 INCHES TO ALLEVIATE ANY COMPACTION OF THE FACILITY BOTTOM. ANY SUBSTITUTE METHOD FOR ROTO-TILING MUST BE APPROVED BY THE ENGINEER PRIOR TO USE. ANY PONDING WATER SHALL BE REMOVED FROM THE BOTTOM OF THE FACILITY AND THE SOIL SHALL BE FRABLE BEFORE ROTO-TILING.



**VEGETATIVE FILTER STRIP**  
SCALE: N.T.S.

**OPERATION & MAINTENANCE**

North Carolina storm water rules require annual inspections by the regulating agency of level spreader-filter strip areas as a minimum. More frequent inspections by the land owner or system operator are strongly encouraged to ensure the proper operation of level spreader-filter strip areas.

**A. Rainfall Event**

1. Inspect the SCM after every runoff-producing rainfall event.

**B. Monthly Inspection**

1. Inspect the SCM monthly.
2. Check the level spreader-filter strip area side slopes; remove trash and repair eroded areas before the next rainfall event.
3. Check the vegetative and rock filters for sediment accumulation, erosion and proper operation of the flow spreader mechanism and repair as necessary.
4. Visually inspect and repair soil erosion on a monthly basis.
5. Remediate any void area whenever necessary. Replacement of mulch layers may be necessary every two or three years. Mulch should be replaced in the spring. When the mulch layer is replaced, the previous layer should be removed first.
6. Remove and replace all dead and diseased vegetation considered beyond treatment. This should be done twice a year, once in the spring and once in the fall. Treat all diseased trees and shrubs that are not beyond treatment as needed.

**C. Quarterly Inspection**

1. Inspect the collection system (i.e. catch basins, pipes and grass swales) for proper functioning. Clear accumulated trash from both grates and both bottoms. Check piping for obstructions.
2. Check SCM inlet pipes for undersizing, replace rip-rap and repair broken pipes.
3. Re-seed grassed areas, including the vegetative filter if applicable, twice a year as necessary. Repair eroded areas immediately.

**D. Six Month Inspection**

1. Remove accumulated sediment from the bottom of the outlet structure or other areas where accumulated sediment is noted.
2. Inspect the embankment taking note of any wet areas where water may be seeping through the soil.

**E. General Inspection**

1. Maximum grass height is to be 6in.
2. No woody vegetation shall be allowed to grow in the bio-retention area.
3. Debris shall be removed from blocking the inlet and outlet structures and from areas of potential clogging.
4. Periodic removal of dead vegetation shall be accomplished.
5. All components of the level spreader-filter strip system must be kept in good working order.

**GRASS NOTE:**  
GRASS SHALL BE EITHER HYBRID BERMUDA GRASS OR CENTIPEDE

**3 STORMWATER MANAGEMENT SYSTEM DETAILS**  
NOT TO SCALE

**Bowman**

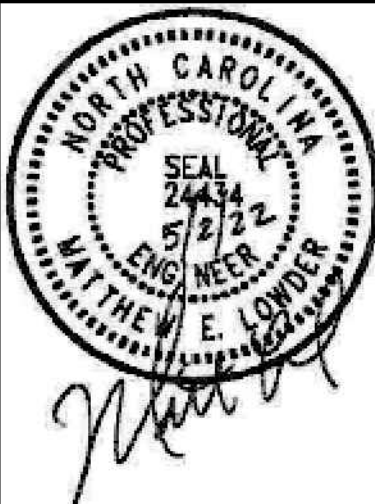
Bowman North Carolina Ltd.  
4006 BARRETT DR  
Suite 104  
RALEIGH, NC 27609  
Phone: (919) 555-6570  
bowman.com

**STORMWATER MANAGEMENT DETAILS**

The Carrington  
303 Pony Road  
Zebulon, NC

Wake County

PRELIMINARY  
DO NOT  
USE FOR  
CONSTRUCTION



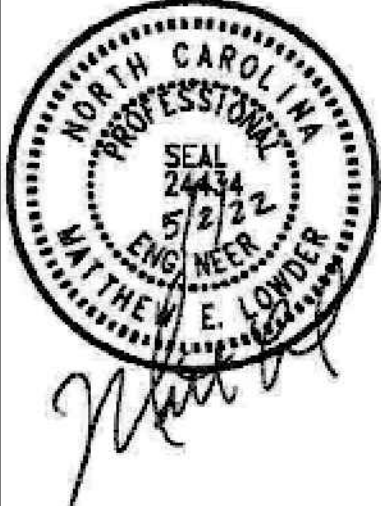
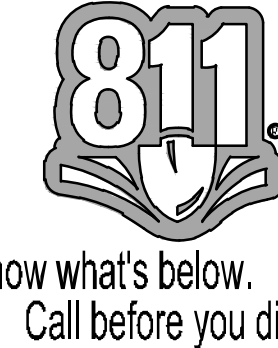
**PLAN STATUS**

|          |                 |
|----------|-----------------|
| 10/29/21 | 1ST SUBMISSION  |
| 2/9/22   | PER TOWN REVIEW |
| 3/18/22  | PER TOWN REVIEW |
| 5/2/22   | PER TOWN REVIEW |

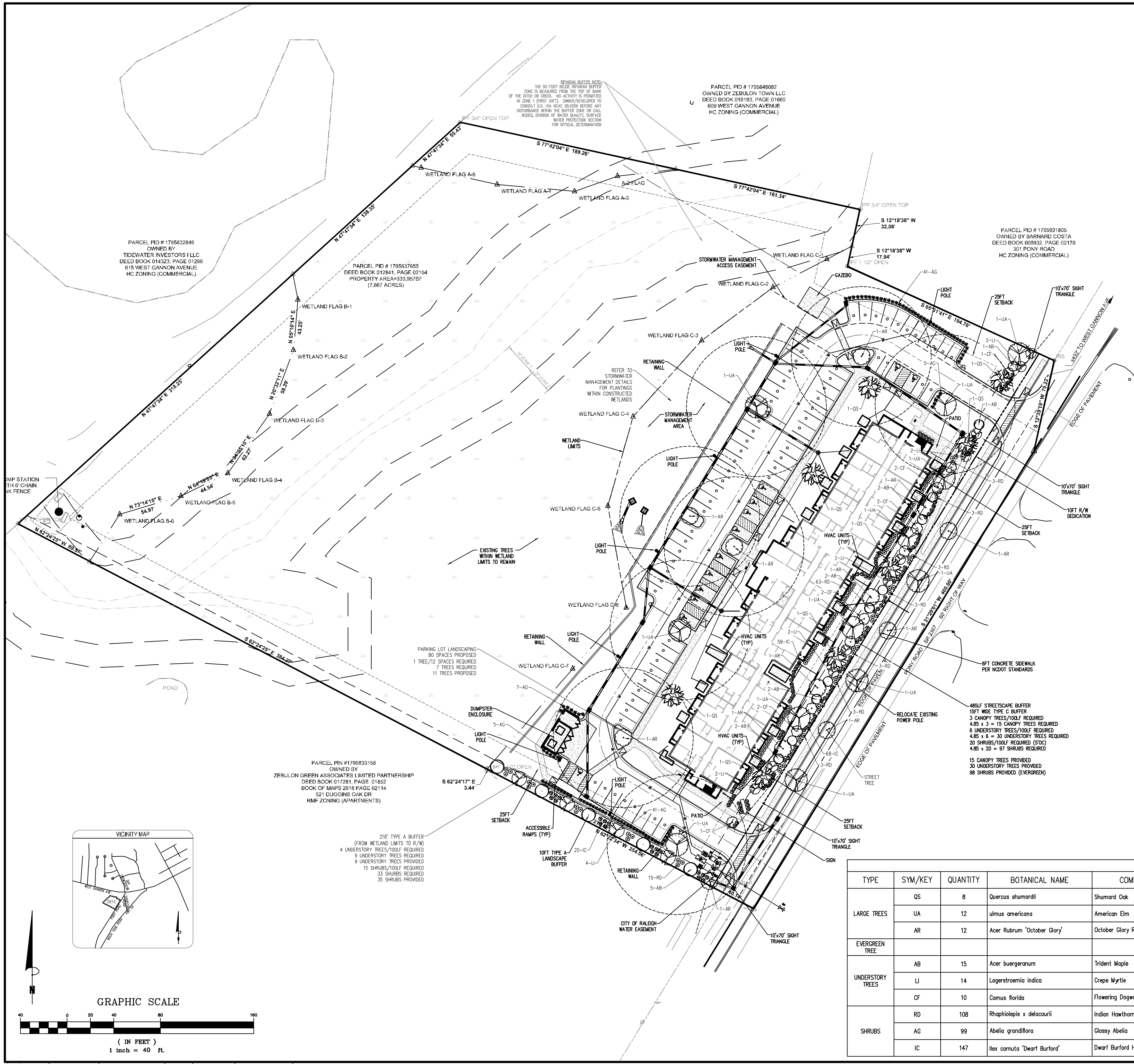
| DATE       | DESCRIPTION        |
|------------|--------------------|
| MEL DESIGN | MEL DRAWN XXX CHKD |
| SCALE      | H: 1" = 40'<br>V:  |

JOB No. 000000-00-000  
DATE October 29, 2021  
FILE No. 000000-0-CP-000

SHEET **C6.7**



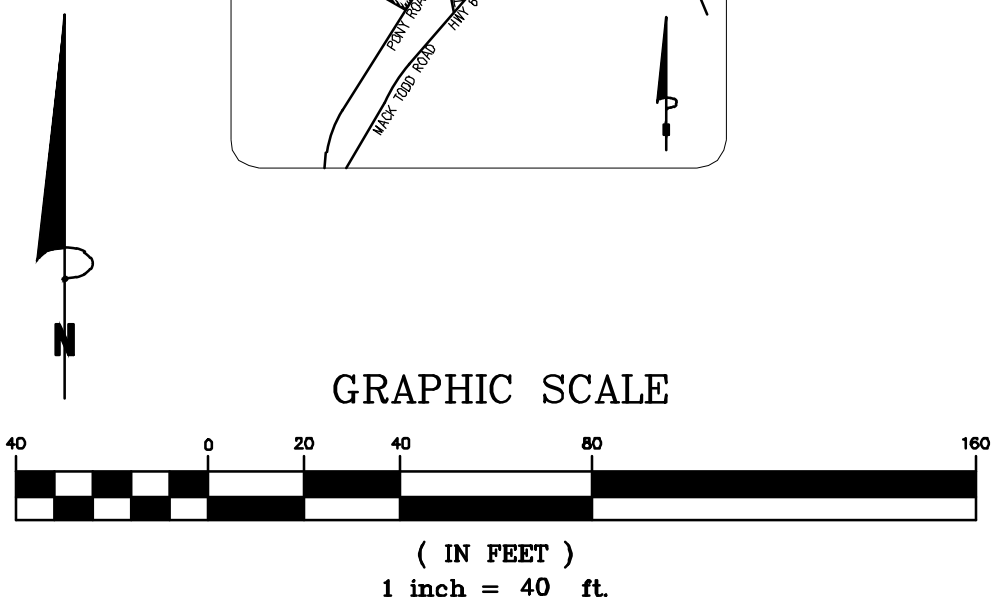
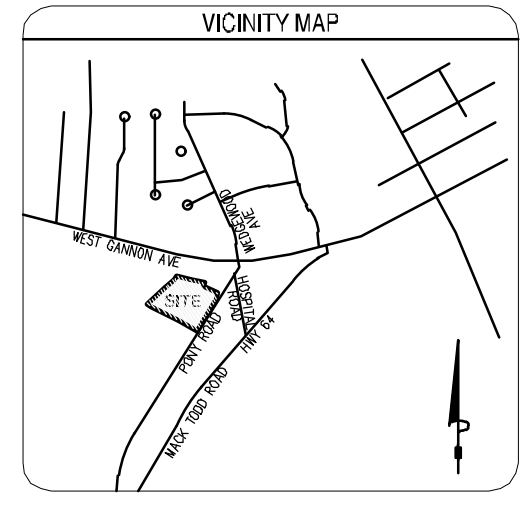
| DATE       | DESCRIPTION                 |
|------------|-----------------------------|
| 10/29/21   | 1ST SUBMISSION              |
| 2/9/22     | PER TOWN REVIEW             |
| 3/18/22    | PER TOWN REVIEW             |
| 5/2/22     | PER TOWN REVIEW             |
| DATE       | DESCRIPTION                 |
| MEL DESIGN | MEL DRAWN XXX CHKD          |
| SCALE      | H: 1" = 40'<br>V: 1" = XXX' |
| JOB No.    | 000000-00-000               |
| DATE       | October 29, 2021            |
| FILE No.   | 000000-0-CP-000             |

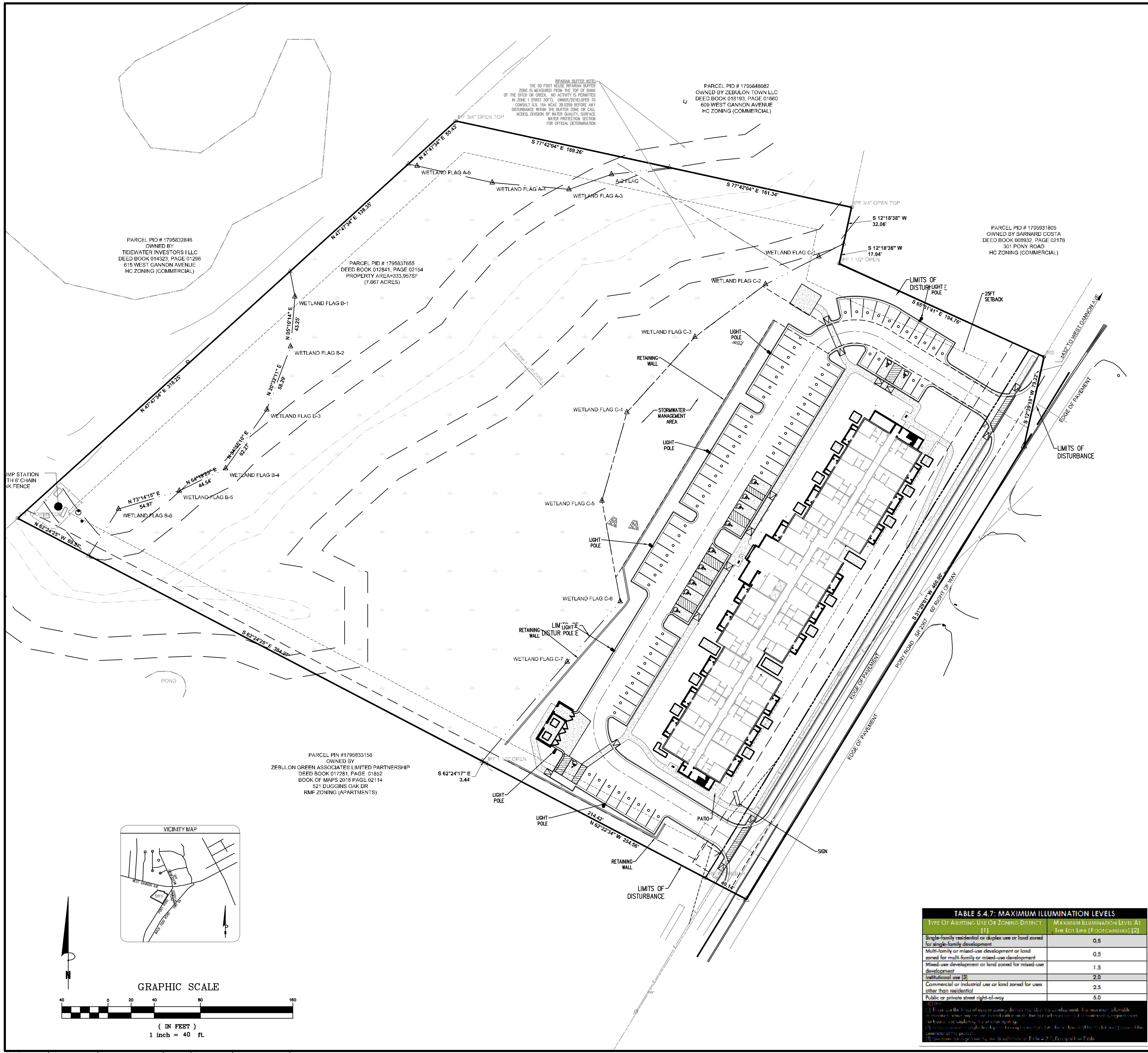


- LANDSCAPING NOTES:**
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING ALL REQUIRED LANDSCAPING FOR THE ENTIRE SITE, TO INCLUDE BUT NOT LIMITED TO: SOODED/SEEDED AREAS, SHRUB BEDS, PARKING LOT ISLANDS, ROADSIDE SIGN BASE(S) AND MONUMENT PLANTERS.
  - CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES REGARDING LANDSCAPING.
  - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A HEALTHY STAND OF GRASS ON ALL SEEDED AREAS.
  - IN THE EVENT THAT PLANTING BEDS AND MULCH ARE REQUIRED, THE CONTRACTOR SHALL INSTALL BLACK FABRIC WEED BLOCK LANDSCAPE MESH UNDER THE MULCH TO PREVENT WEED GROWTH.
  - CONTRACTOR SHALL PROVIDE NATURAL TOPSOIL THAT IS FERTILE, FRIABLE, WITHOUT MIXTURE OF SUBSOIL MATERIALS, AND OBTAINED FROM A WELL DRAINED, AVAILABLE SITE. IT SHALL NOT CONTAIN SUBSTANCES WHICH MAY BE HARMFUL TO PLANT GROWTH. TOPSOIL SHALL BE SCREENED AND FREE FROM CLAY, LUMPS, STONES, ROOTS, PLANTS, OR SIMILAR SUBSTANCES 1" OR MORE IN DIAMETER, DEBRIS, OR OTHER OBJECTS WHICH MIGHT BE A HINDERANCE TO PLANTING OPERATIONS. TOPSOIL SHALL CONTAIN AT LEAST 4-6% ORGANIC MATTER BY WEIGHT AND HAVE A PH RANGE OF 5.5 TO 7.0.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR THE WATERING AND THE MAINTENANCE OF ALL LANDSCAPED AREAS UNTIL THE LATER OF: (a) THIRTY (30) DAYS FOLLOWING THE PLANTING OF THE GRASS AND SHRUBS, OR (b) THE DATE THAT BUILDINGS OPEN FOR BUSINESS TO THE PUBLIC.
  - GENERAL CONTRACTOR IS TO CLEAN ENTIRE SITE OF ALL CONSTRUCTION DEBRIS AND RAKE ALL GRASS AREAS.
  - PROVIDE LANDSCAPE PLANS TO OWNER AND AS REQUIRED BY LOCAL JURISDICTION TO THE BLDG. DEPT. FOR REVIEW AND APPROVAL PRIOR TO START OF WORK.
  - ALL LANDSCAPING, TREES, SHRUBS, ETC. SHALL NOT INTERFERE WITH THE VISIBILITY OF PROJECT SIGNAGE.
  - CONTRACTOR TO VERIFY QUANTITIES PRIOR TO COMMENCING WORK.
  - OPEN AREAS WITHIN PLANTING BEDS SHALL BE MULCHED.

- GENERAL LANDSCAPE NOTES:**
- ANY DISTURBED AREAS NOT SCHEDULED FOR HARDSCAPE, PLANTINGS, OR MULCH SHALL BE SEEDED LAWN.
  - NO PLANT SUBSTITUTIONS ARE PERMITTED WITHOUT WRITTEN APPROVAL OF THE OWNERS REPRESENTATIVE.
  - ALL PLANT AND BED LINE LOCATIONS SHALL BE STAKED IN THE FIELD AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
  - ALL PLANTINGS SHALL BE INSTALLED WITH THE SPECIFIED LAYER OF MULCH. REFERENCE DETAILS AND SPECIFICATIONS FOR DEPTH AND TYPE OF MULCH. ALL TREES AND SHRUBS SHALL BE PLANTED IN MULCH BEDS AND SHALL BE SEPARATED FROM TURF GRASS AREAS.
  - GRASS COVERAGE TO EXTEND FROM PROPERTY LINES TO BACK OF CITY SIDEWALKS AND/OR CURBS.
  - MINIMUM TREE SIZE AT PLANTING IS 2" CALIPER (FOR SINGLE STEM TREES). ALL MULTI-STEM PLANTS MUST BE TREE FORM, MAXIMUM 3 TO 5 TRUNKS, AND MINIMUM 8 FEET TALL.
  - ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.
  - FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 18" NEW TOPSOIL, OR TILL AND AMEND THE TOP 18" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES.
  - LARGE MATURING TREES MAY NOT BE PLANTED WHERE THERE ARE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
  - ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLANT 15' FROM ALL UNDERGROUND UTILITIES (SEWER AND STORM DRAINAGE, GAS, WATER, PHONE, AND ELECTRICAL LINES.)
  - ATTENTION LANDSCAPER: NOTIFY OWNER OF ANY SIGN, POWER LINE, OR OTHER CONFLICTS BEFORE PLANTING NEW TREES.

| MASTER PLANT LIST |         |          |                              |                                 |        |         |         |        |       |          |       |
|-------------------|---------|----------|------------------------------|---------------------------------|--------|---------|---------|--------|-------|----------|-------|
| TYPE              | SYM/KEY | QUANTITY | BOTANICAL NAME               | COMMON NAME                     | SYMBOL | CALIPER | HEIGHT  | SPREAD | ROOT  | SPACING  | OTHER |
| LARGE TREES       | OS      | 8        | Quercus shumardii            | Shumard Oak                     |        | 2.5"    | 8' MIN  |        | B&B   | AS SHOWN |       |
|                   | UA      | 12       | ulmus americana              | American Elm                    |        | 2.5"    | 8' MIN  |        | B&B   | AS SHOWN |       |
|                   | AR      | 12       | Acer Rubrum 'October Glory'  | October Glory Red Maple         |        | 2.5"    | 8' MIN  |        | B&B   | AS SHOWN |       |
| EVERGREEN TREE    |         |          |                              |                                 |        |         | 6' MIN  |        |       |          |       |
| UNDERSTORY TREES  | AB      | 15       | Acer buergeranum             | Trident Maple                   |        | 1.5"    | 4' MIN  |        | B&B   | AS SHOWN |       |
|                   | LI      | 14       | Lagerstroemia indica         | Crape Myrtle                    |        | -       | 4' MIN  |        | B&B   | AS SHOWN |       |
|                   | CF      | 10       | Camus florida                | Flowering Dogwood               |        | 1.5"    | 4' MIN  |        | B&B   | AS SHOWN |       |
| SHRUBS            | RD      | 108      | Rhaphiolepis x delacourii    | Indian Hawthorn, Yeddo Hawthorn |        | -       | 18" MIN |        | 3 GAL | AS SHOWN |       |
|                   | AG      | 99       | Abelia grandiflora           | Glossy Abelia                   |        | -       | 18" MIN |        | 3 GAL | AS SHOWN |       |
|                   | IC      | 147      | Ilex cornuta 'Dwarf Burford' | Dwarf Burford Holly             |        | -       | 18" MIN |        | 3 GAL | AS SHOWN |       |



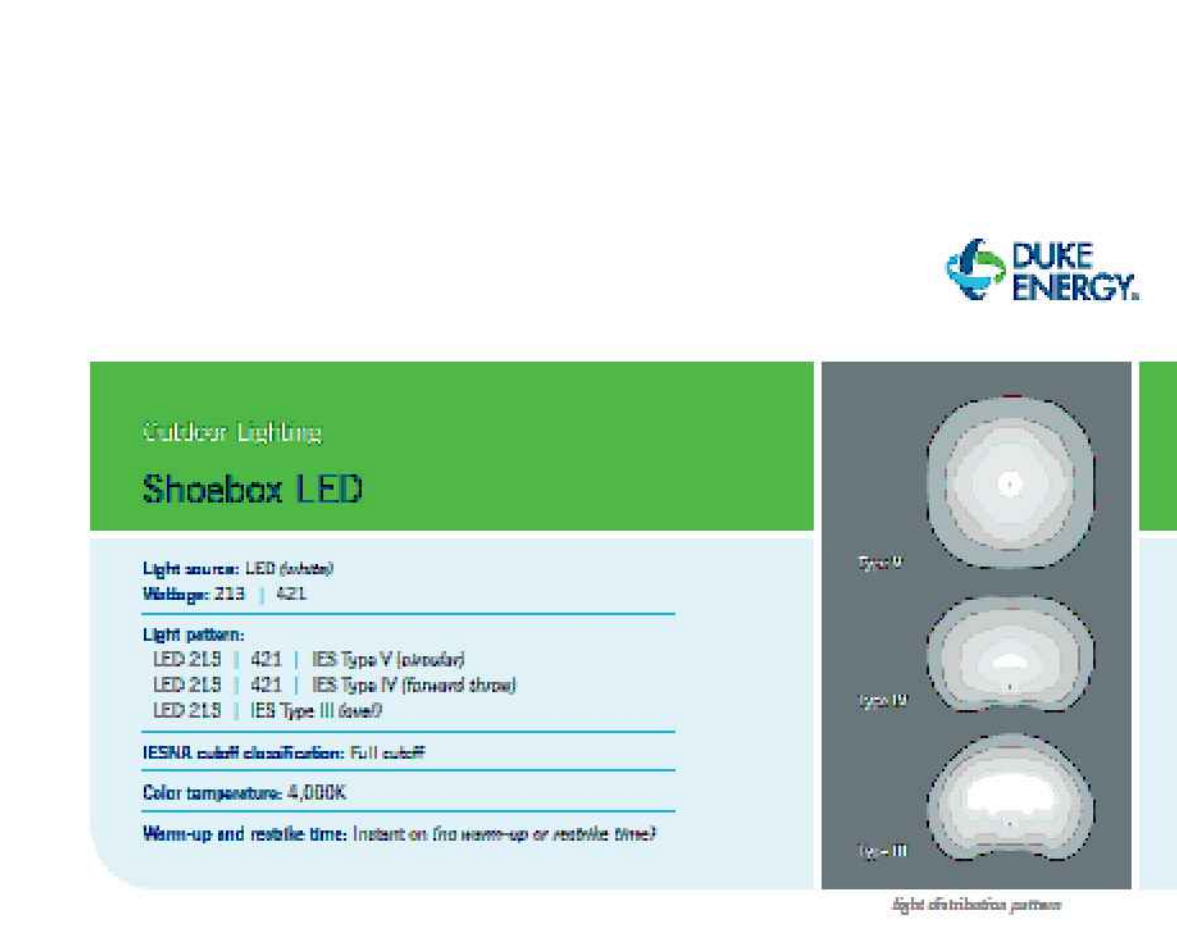


**Shoobox LED**

The energy-efficient Shoobox LED is a green solution and great fit for commercial parking lots, malls, office buildings and streets providing a "white light" that will enhance the appearance of your site. The Shoobox LED delivers light where it is needed, while increasing visibility and reducing spill light to adjoining properties. Selected to be an alternative to the metal halide light fixture, this fixture provides a white light source that will enhance colors, adding to visual acuity and improving area uniformity.

|                            |   |
|----------------------------|---|
| LED (light-emitting diode) | 213   421 watts                               |
| Mounting height            | 20' - 35'<br>30FT MAX. MOUNTING HEIGHT        |
| Color                      | Dark bronze<br>Black                          |
| Poles                      | Tenon top concrete<br>Promenade concrete      |
| Applications               | Neighborhoods<br>Roadways<br>Shopping centers |

For additional information, visit us at [dual-energy.com/DualLEDLighting](http://dual-energy.com/DualLEDLighting) or call us toll-free at 866.763.6457.



**Shoobox LED**

Light source: LED (white)  
Wattage: 213 | 421

Light patterns:  
LED 213 | 421 | IES Type V (vertical)  
LED 213 | 421 | IES Type IV (forward throw)  
LED 213 | 421 | IES Type III (wide)

IESNA color classification: Full cutoff  
Color temperature: 4,000K  
Warm-up and restrike time: Instant on (no warm-up or restrike time)

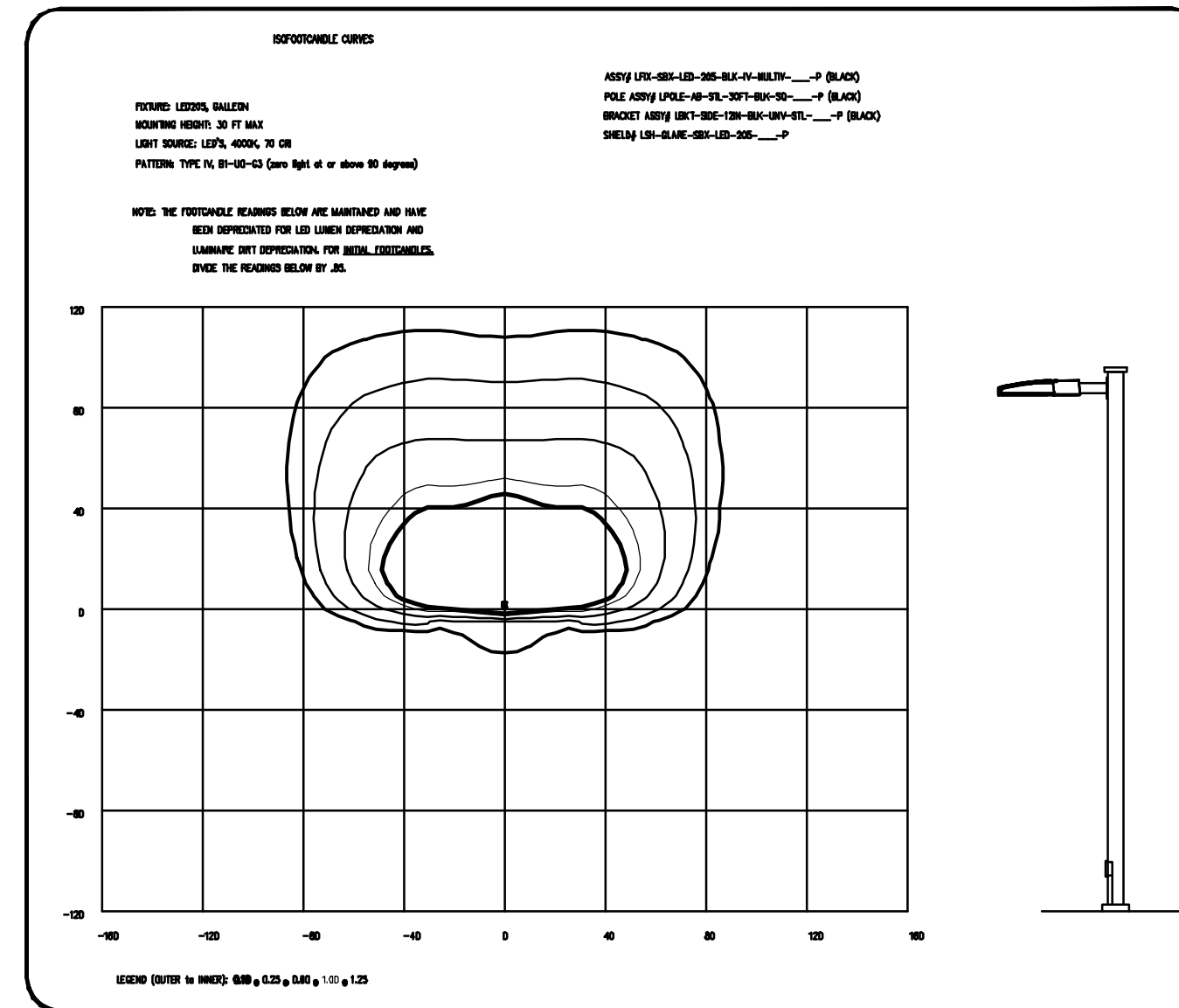
| Poles available:   | Mounting Height                        | Color  |
|--------------------|--|--------|
| Tenon top concrete | 20' - 35'<br>30FT MAX. MOUNTING HEIGHT | Gray   |
| Promenade concrete | 20' - 35'<br>30FT MAX. MOUNTING HEIGHT | Bronze |

| Features   | Benefits   |
|--|--|
| Little or no installation cost                     | Free up capital for other projects               |
| Design services by lighting professionals included | Meets industry standards and lighting ordinances |
| Maintenance included                               | Eliminates high and unexpected repair bills      |
| Electricity included                               | Less expensive than standard service             |
| Warranty included                                  | Worry-free                                       |
| One low monthly cost on your electric bill         | Convenience and savings for you                  |
| Turnkey operation                                  | Provides hassle-free installation and service    |
| Backed by over 40 years of experience              | A name you can trust today... and tomorrow       |

**TABLE 5.4.7: MAXIMUM ILLUMINATION LEVELS**

| Type of Adjoining Use or Zoning District [1]  | Maximum Illumination Level At The Lot Line (Footcandles) [2] |
|---|--|
| Single-family residential or duplex use or land zoned for single-family development           | 0.5  |
| Multi-family or mixed-use development or land zoned for multi-family or mixed-use development | 0.5  |
| Mixed-use development or land zoned for mixed-use development                                 | 1.5  |
| Institutional use [3]   | 2.0  |
| Commercial or industrial use or land zoned for uses other than residential                    | 2.5  |
| Public or private street right-of-way   | 5.0  |

1. The maximum illumination level shall be determined by the maximum illuminance of the lighting fixture at the lot line. The maximum illuminance shall be determined by the manufacturer's data. The maximum illuminance shall be determined by the manufacturer's data. The maximum illuminance shall be determined by the manufacturer's data.



# Bowman

Bowman North Carolina Ltd.  
4006 BARRETT DR  
Suite 104  
RALEIGH, NC 27609  
Phone: (919) 555-6570  
bowman.com  
Bowman North Carolina Ltd.

Wake County  
Zebulon, NC  
303 Pony Road  
The Carrington

PRELIMINARY  
DO NOT  
USE FOR  
CONSTRUCTION

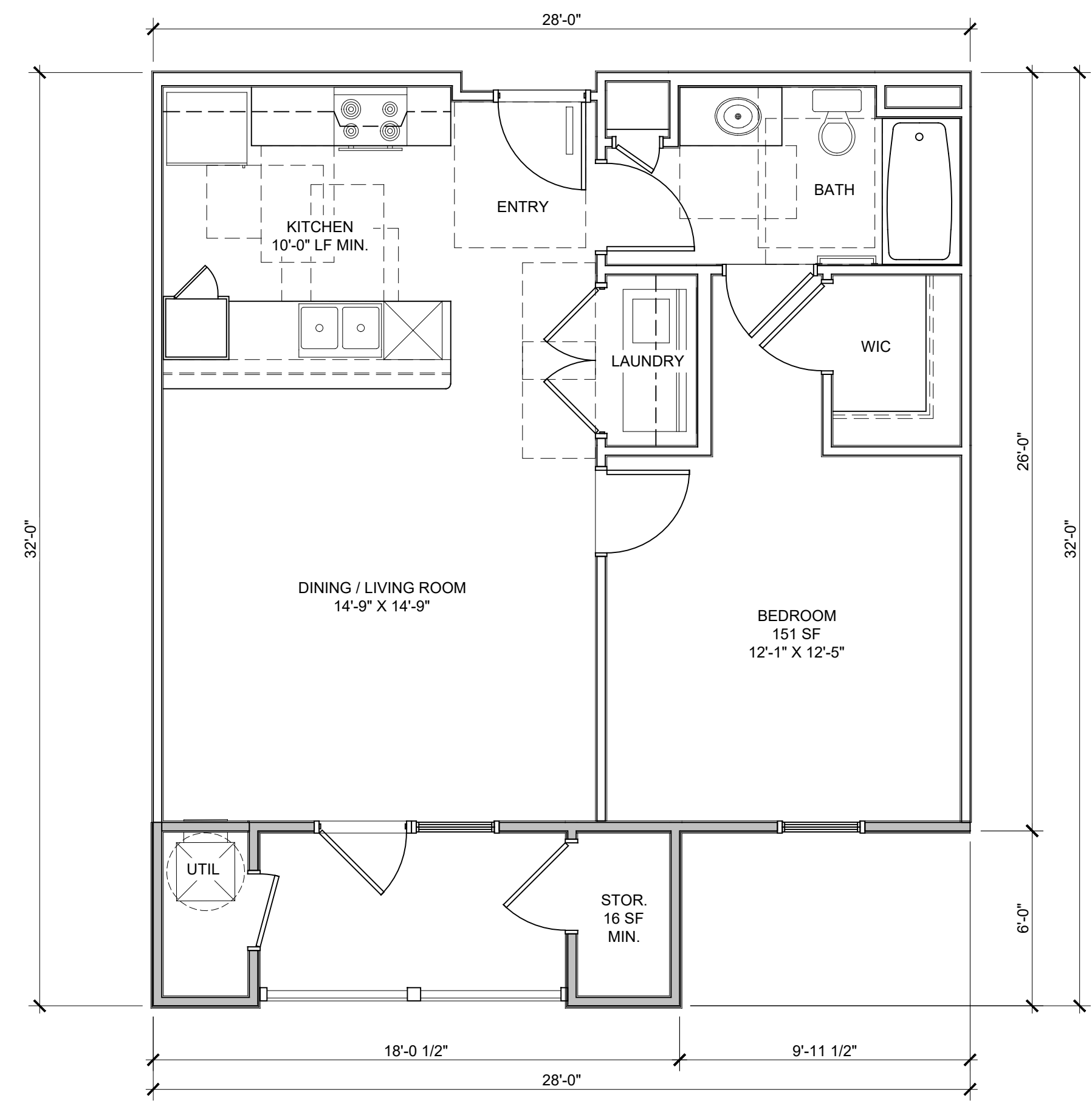


| DATE     | DESCRIPTION     |
|----------|-----------------|
| 10/29/21 | 1ST SUBMISSION  |
| 2/9/22   | PER TOWN REVIEW |
| 3/18/22  | PER TOWN REVIEW |
| 5/2/22   | PER TOWN REVIEW |

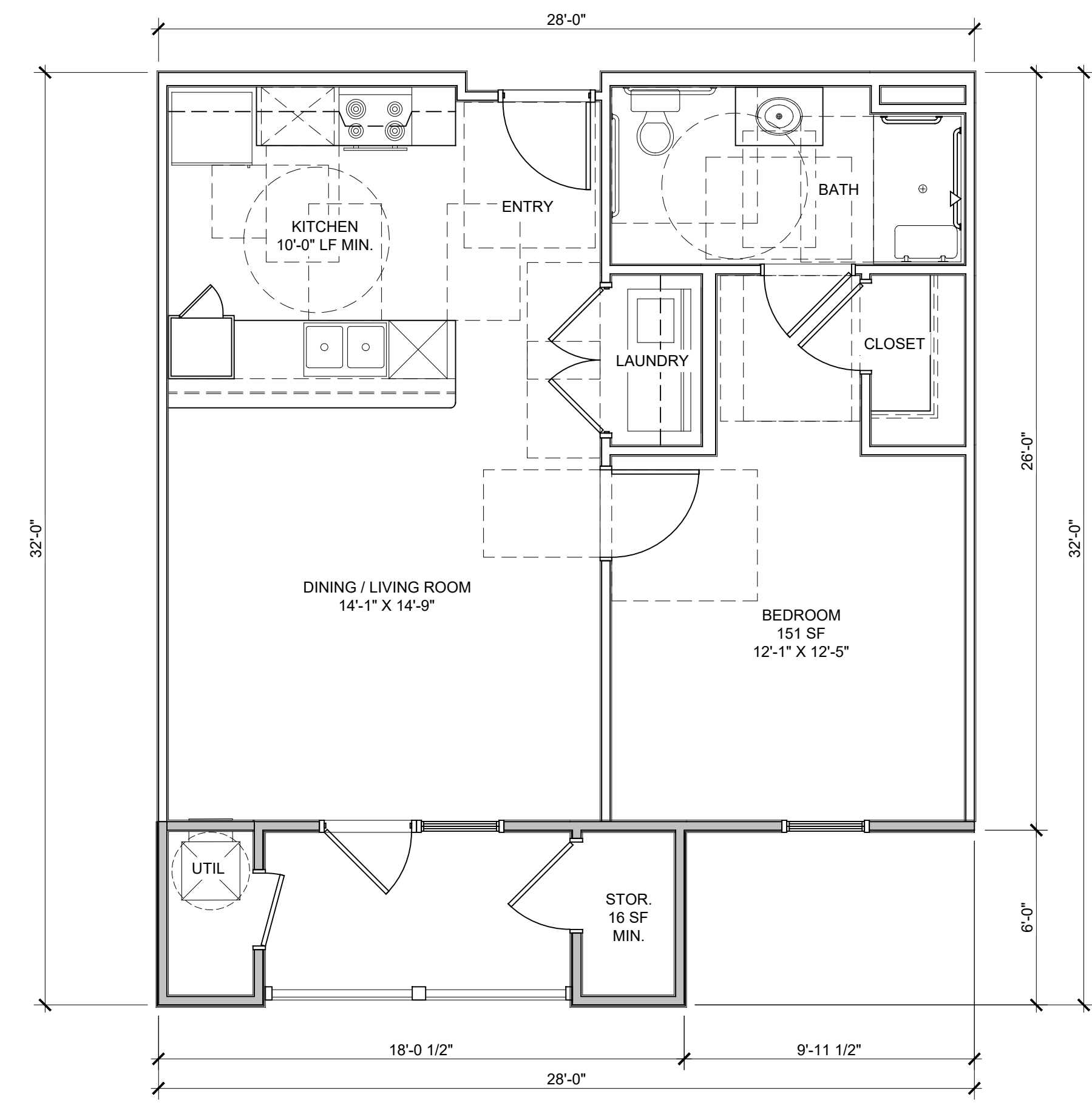
| DATE       | DESCRIPTION                 |
|------------|-----------------------------|
| MEL DESIGN | MEL DRAWN XXX CHKD          |
| SCALE      | H: 1" = 40'<br>V: 1" = XXX' |
| JOB No.    | 000000-00-000               |
| DATE       | October 29, 2021            |
| FILE No.   | 000000-0-CP-000             |

SHEET C7.1

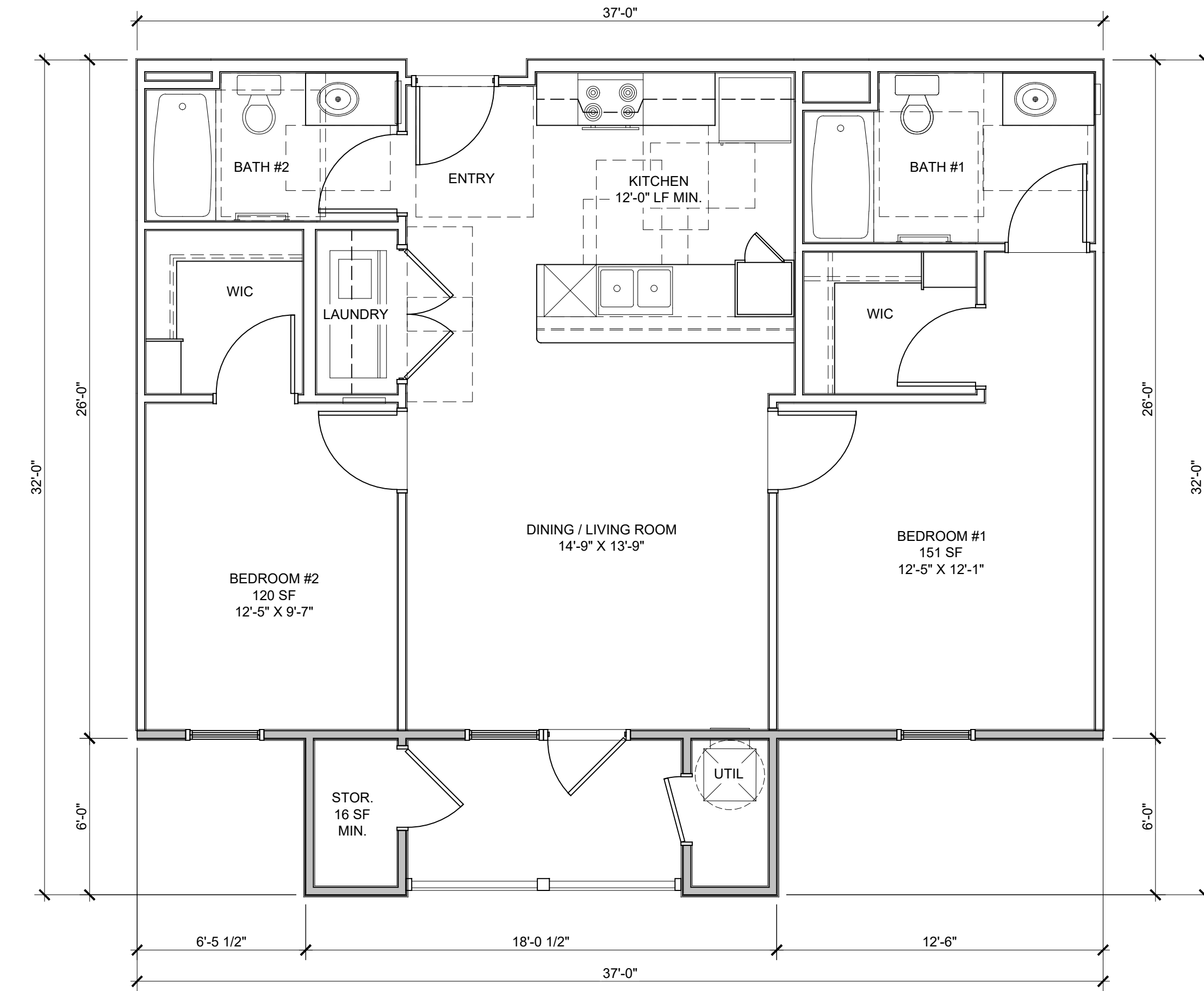
THIS DRAWING IS THE PROPERTY OF PARKS-PLAYER ARCHITECTURE & PLANNING, LLC AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART. IT IS ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST.



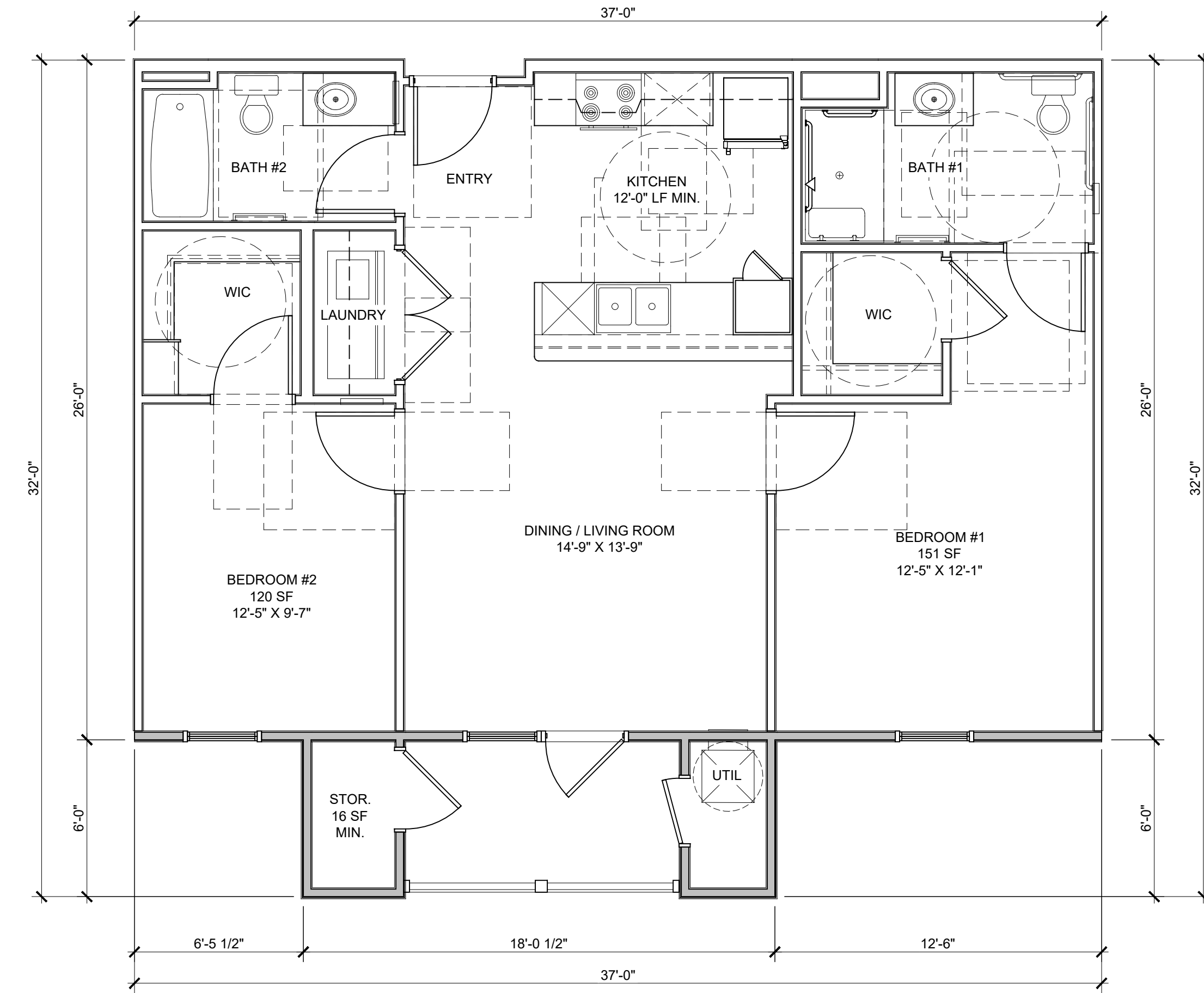
1 1 BR UNIT FLOOR PLAN  
1/4" = 1'-0" NET HEATED SQ FT = 685



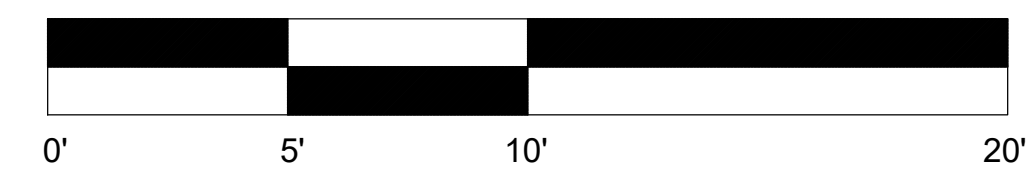
2 1 BR HC UNIT FLOOR PLAN  
1/4" = 1'-0" NET HEATED SQ FT = 685



3 2 BR UNIT FLOOR PLAN  
1/4" = 1'-0" NET HEATED SQ FT = 910



4 2 BR HC UNIT FLOOR PLAN  
1/4" = 1'-0" NET HEATED SQ FT = 910



PLANS MEET THE "APPENDIX B" DESIGN QUALITY STANDARDS AND REQUIREMENTS SET FORTH BY THE 2021 NC GAP

| No. | Date     | Description |
|-----|----------|-------------|
|     | 02.03.22 |             |

Job Number: 20-31  
File Reference:

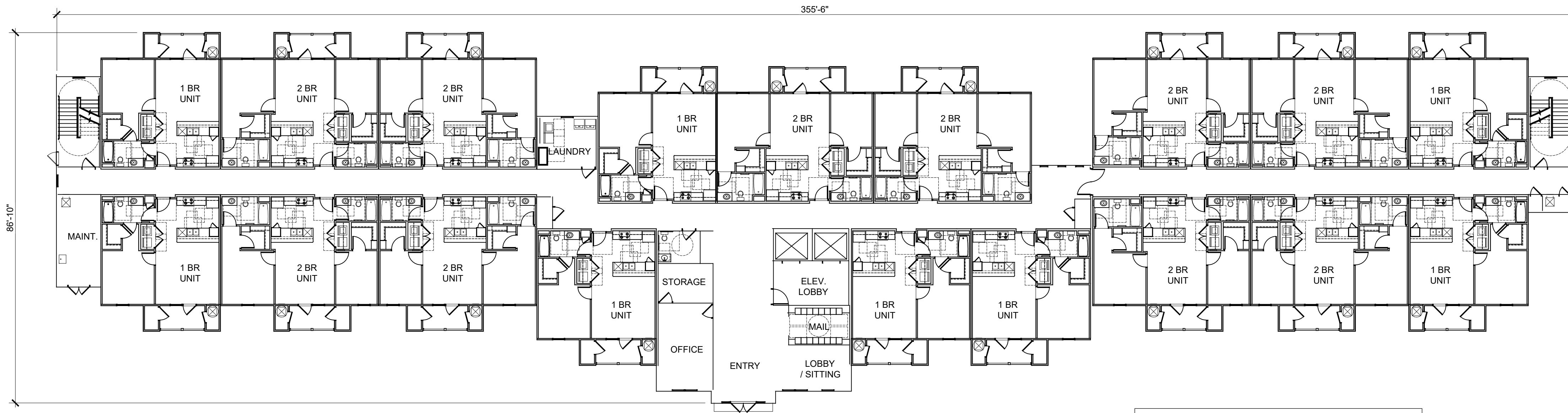
Scale: 1/4" = 1'

**THE CARRINGTON**  
APARTMENTS  
ZEBULON, NORTH CAROLINA

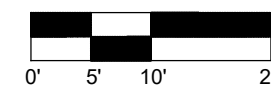
**PARKS-PLAYER**  
ARCHITECTURE  
& PLANNING, LLC  
315 EAST BROAD STREET  
GREENVILLE, SC 29601  
(864) 382-5000

1 AND 2 BEDROOM  
UNIT FLOOR PLANS

Sheet Number:  
**A-1**

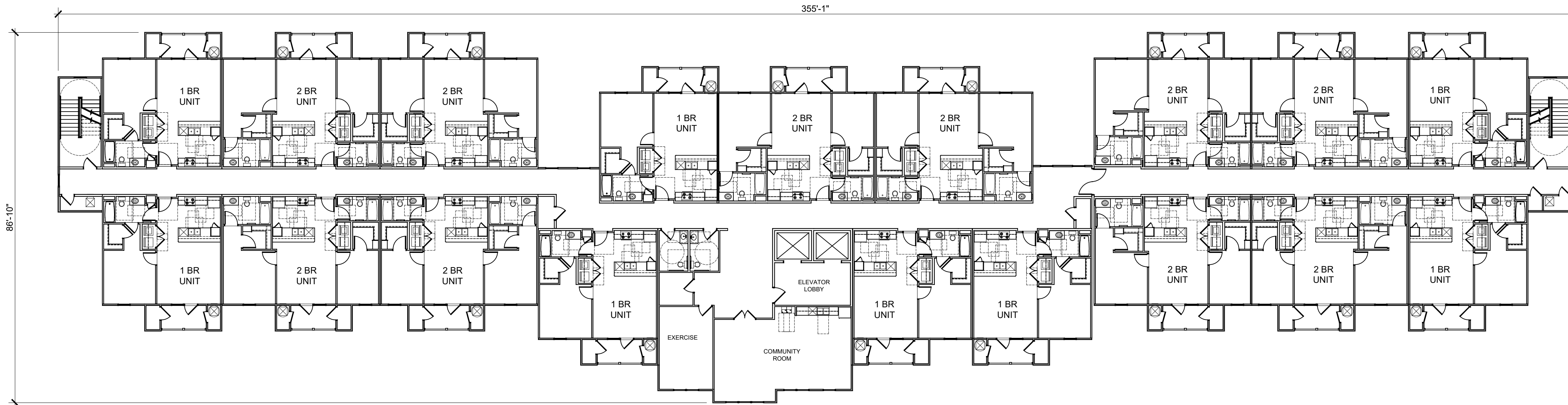


**1 BUILDING GROUND FLOOR PLAN**  
1/16" = 1'-0"



PLANS MEET THE "APPENDIX B" DESIGN QUALITY STANDARDS AND REQUIREMENTS SET FORTH BY THE 2021 NC QAP

**UNIT MIX:**  
 1ST FLOOR = 8-1 BED UNITS / 10-2 BED UNITS  
 2ND FLOOR = 8-1 BED UNITS / 10-2 BED UNITS  
 3RD FLOOR = 8-1 BED UNITS / 10-2 BED UNITS  
 4TH FLOOR = 8-1 BED UNITS / 10-2 BED UNITS  
 TOTAL - 32 - 1 BED UNITS / 40-2 BED UNITS = 72 TOTAL UNITS  
 1ST FLOOR = 22,472 GROSS HEATED SF  
 2ND FLOOR = 22,118 GROSS HEATED SF  
 3RD FLOOR = 21,176 GROSS HEATED SF  
 4TH FLOOR = 21,176 GROSS HEATED SF  
 TOTAL GROSS HEATED SF = 86,942



**2 BUILDING SECOND FLOOR PLAN**  
1/16" = 1'-0"

| No. | Date     | Description |
|-----|----------|-------------|
|     | 02.03.22 |             |

Job Number: 20-31

File Reference:

Scale: 1/8" = 1'

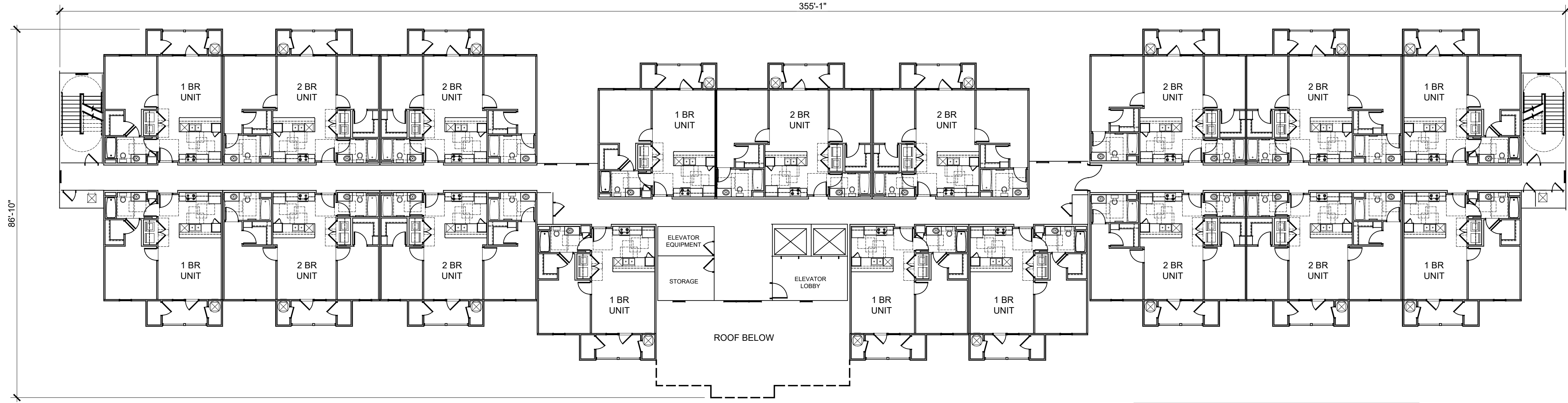
**THE CARRINGTON**  
APARTMENTS  
ZEBULON, NORTH CAROLINA

**PARKS-PLAYER**  
ARCHITECTURE  
& PLANNING, LLC  
315 EAST BROAD STREET  
GREENVILLE, SC 29601  
(864) 382-5000

BUILDING 1ST &  
2ND FLOOR PLANS

Sheet Number:  
**A-2**

THIS DRAWING IS THE PROPERTY OF PARKS-PLAYER ARCHITECTURE & PLANNING, LLC AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART. IT IS ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST.



**1 BUILDING THIRD FLOOR PLAN**  
1/16" = 1'-0"

UNIT MIX:

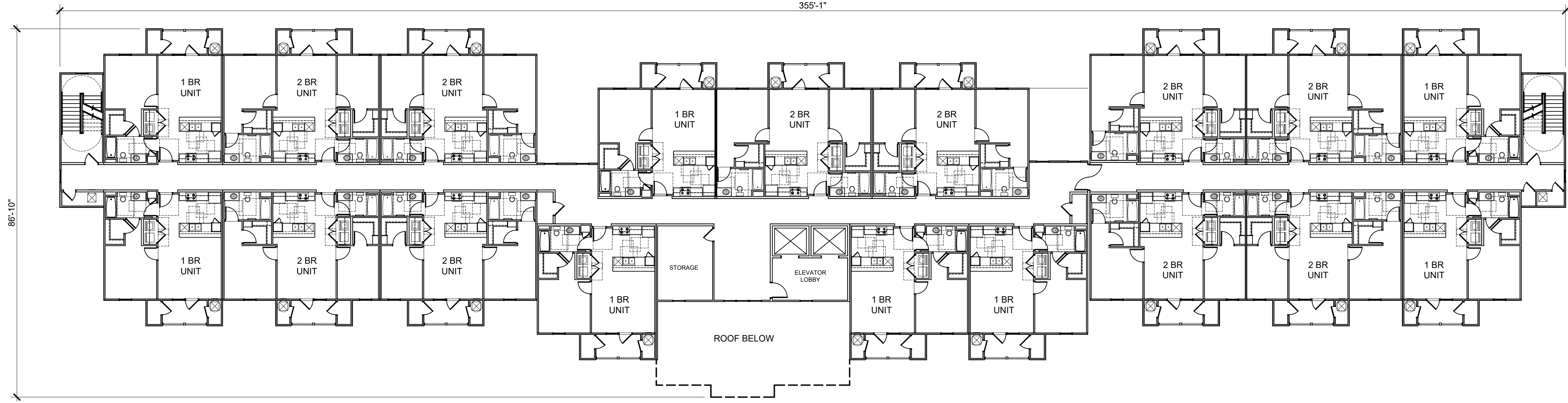
|  |
|--|
| 1ST FLOOR = 8-1 BED UNITS / 10-2 BED UNITS |
| 2ND FLOOR = 8-1 BED UNITS / 10-2 BED UNITS |
| 3RD FLOOR = 8-1 BED UNITS / 10-2 BED UNITS |
| 4TH FLOOR = 8-1 BED UNITS / 10-2 BED UNITS |

TOTAL - 32 - 1 BED UNITS / 40-2 BED UNITS = 72 TOTAL UNITS

|                                    |
|------------------------------------|
| 1ST FLOOR = 22,472 GROSS HEATED SF |
| 2ND FLOOR = 22,118 GROSS HEATED SF |
| 3RD FLOOR = 21,176 GROSS HEATED SF |
| 4TH FLOOR = 21,176 GROSS HEATED SF |

TOTAL GROSS HEATED SF = 86,942

PLANS MEET THE "APPENDIX B" DESIGN QUALITY STANDARDS  
AND REQUIREMENTS SET FORTH BY THE 2021 NC QAP



**2 BUILDING FOURTH FLOOR PLAN**  
1/16" = 1'-0"

| No. | Date     | Description |
|-----|----------|-------------|
|     | 02.03.22 |             |

Job Number: 20-31

File Reference:

Scale: 1/8" = 1'

**THE CARRINGTON**  
APARTMENTS  
ZEBULON, NORTH CAROLINA

**PARKS-PLAYER**  
ARCHITECTURE  
& PLANNING, LLC  
315 EAST BROAD STREET  
GREENVILLE, SC 29601  
(864) 382-5000

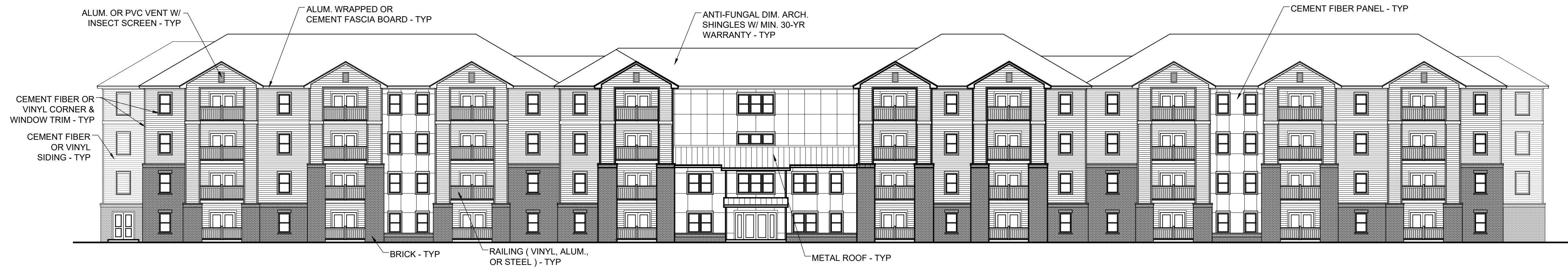
BUILDING 3RD &  
4TH FLOOR PLANS

Sheet Number:  
**A-3**

THIS DRAWING IS THE PROPERTY OF PARKS-PLAYER ARCHITECTURE & PLANNING, LLC AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART. IT IS ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST.



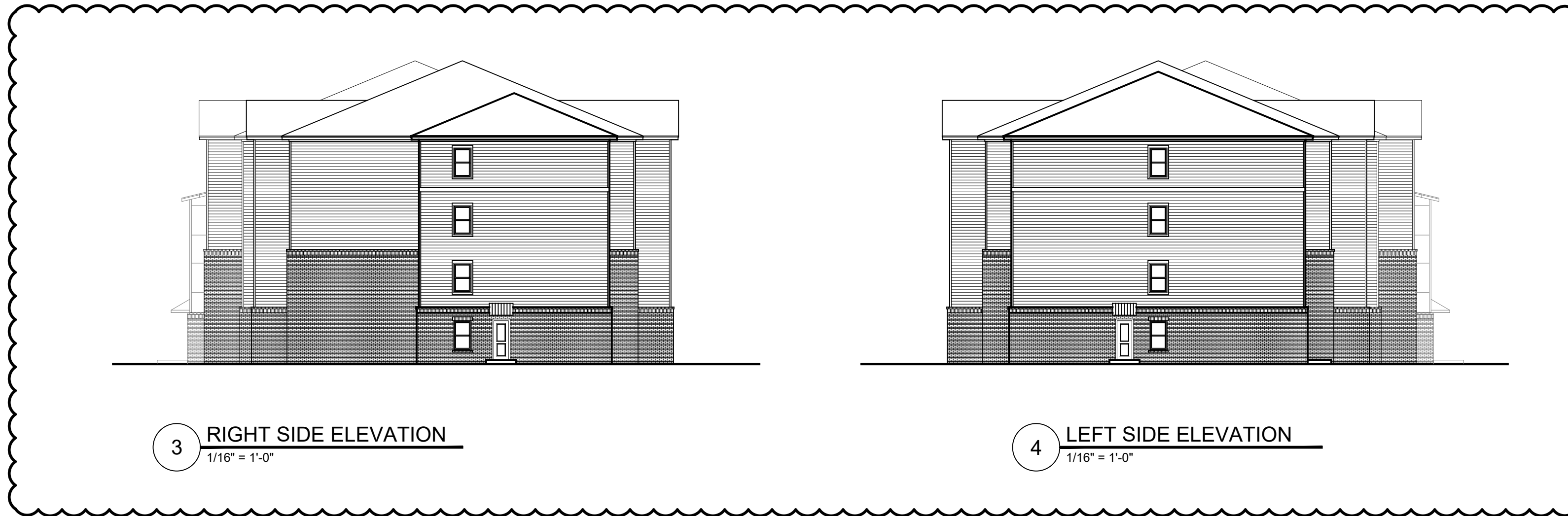
THIS DRAWING IS THE PROPERTY OF PARKS-PLAYER ARCHITECTURE & PLANNING, LLC AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART. IT IS ONLY TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE USED ON ANY OTHER PROJECT. IT IS TO BE RETURNED UPON REQUEST.



1 FRONT ELEVATION  
1/16" = 1'-0"

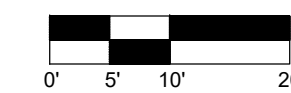


2 REAR ELEVATION  
1/16" = 1'-0"



3 RIGHT SIDE ELEVATION  
1/16" = 1'-0"

4 LEFT SIDE ELEVATION  
1/16" = 1'-0"



PLANS MEET THE "APPENDIX B" DESIGN QUALITY STANDARDS  
AND REQUIREMENTS SET FORTH BY THE 2021 NC OAP

| No. | Date     | Description |
|-----|----------|-------------|
|     | 04.26.22 |             |
|     |          |             |
|     |          |             |
|     |          |             |

Job Number: 20-31

File Reference:

Scale: 1/8" = 1'

THE CARRINGTON  
APARTMENTS

ZEBULON, NORTH CAROLINA

PARKS-PLAYER  
ARCHITECTURE  
& PLANNING, LLC

315 EAST BROAD STREET  
GREENVILLE, SC 29601  
(864) 382-5000

BUILDING  
ELEVATIONS

Sheet Number:

A-4