

**ZEBULON
BOARD OF COMMISSIONERS
AGENDA
February 3, 2025
6:00pm**

1. PLEDGE OF ALLEGIANCE

2. APPROVAL OF AGENDA

3. SCHOOL RECOGNITION

- A. *Wakelon Elementary School*
 - i. Silvia Guterrez Leyva – Student
 - ii. Patrice Williams – Teacher

4. PROCLAMATION

- A. *Black History Month 2025*

5. PUBLIC COMMENT

6. CONSENT AGENDA

- A. *Minutes*
 - i. November 4, 2024 – regular meeting
 - ii. November 21, 2024 – work session
- B. *Finance*
 - i. Wake County Tax Report – November 2024
- C. *Police*
 - i. Wake County ABC Grant – Appropriation of Grant Proceeds – Ordinance 2025-23
- D. *Parks and Recreation*
 - i. 2025 Spring Fest and Rock the Block Street Closures for Events – Resolution 2025-09
- E. *Public Works*
 - i. Cadence Meadows – Phase I Infrastructure Acceptance – Resolution 2025-10

7. NEW BUSINESS

- A. *Public Works*
 - i. Traffic Signal Project – Construction Bid Award – Ordinance 2025-24

B. Administration

- i. Board Appointments

8. BOARD COMMENTS

9. MANAGER'S REPORT

Fiscal Year 2025 Monthly Financial Report Addendum (For Board's Information)

10.ADJOURN

PROCLAMATION BLACK HISTORY MONTH 2025

WHEREAS, During Black History Month, we celebrate the many achievements and contributions made by African Americans to our economic, cultural, spiritual and political development; and

WHEREAS, In 1915, Dr. Carter Godwin Woodson, noted Black scholar and son of former slaves, founded the Association for the Study of African American Life and History; and

WHEREAS, Dr. Woodson initiated Black History Week, February 12, 1926; and for many years, the second week of February, chosen to coincide with the birthdays of Frederick Douglas and Abraham Lincoln, was celebrated by African Americans in the United States; and

WHEREAS, In 1976, as part of the nation's bicentennial, Black History Week was expanded and became established as Black History Month, and is now celebrated all over North America; and

WHEREAS, African Americans have played significant roles in the history of Zebulon and North Carolina's economic, cultural, spiritual, and political development while working tirelessly to maintain and promote their culture and history; and

WHEREAS, Black History Month is a time for all Americans to remember the stories and teachings of those who helped build our nation, took a stance against prejudice to build lives of dignity and opportunity, advanced the cause of civil rights, and strengthened families and communities; and

WHEREAS, during Black History Month all Americans are encouraged to reflect on past successes and challenges of African Americans and look to the future to continue to improve society so that we live up to the ideals of freedom, equality, and justice;

NOW, THEREFORE, the Zebulon Board of Commissioners do hereby proclaim February 2025 as ***Black History Month*** in the Town of Zebulon and urge all citizens to celebrate our diverse heritage and culture and continue our efforts to create a world that is more just, peaceful and prosperous for all.

Adopted this 3rd day of February 2025.

Glenn L. York – Mayor

SEAL

Lisa M. Markland, CMC – Town Clerk

Zebulon Board of Commissioners
Minutes
November 4, 2024

Present: Mayor Glenn York, Jessica Harrison, Quentin Miles, Amber Davis, Shannon Baxter, Beverly Clark, Taiwo Jaiyeoba-Interim Town Manager, Lisa Markland-Human Resources Director, Chris Ray-Public Works, Jacqui Boykin-Police, Chris Perry-Fire, Sheila Long-Parks & Recreation, Bobby Fitts-Finance, Cate Farrell-Planning, Tonya Easterwood-IT, Kaleb Harmon-Communications, Eric Vernon-Town Attorney

Mayor York called the meeting to order at 6:00pm.

Mayor York stated there would be a moment of silence for those devastated by the storms in western North Carolina and Rocky Mount by the tornados.

PLEDGE OF ALLEGIANCE

The pledge of allegiance was led by Commissioner Clark.

APPROVAL OF AGENDA

Commissioner Harrison made a motion to approve the agenda.

Commissioner Baxter stated she wanted to add the Zebulon Bearcats to the agenda.

Mayor York stated he had Proclamations for HOSA Future Health Professionals Week and Operation Green Light for Veterans.

Commissioner Harrison amended her motion, second by Commissioner Baxter to approve the agenda as amended. There was no discussion and the motion passed unanimously.

RECOGNITIONS

Student Kendall Corbett and Teacher Lilian Cruz both from Zebulon Elementary School were recognized at the meeting.

PUBLIC COMMENT

Shirley Snelling, the President of the James E Shepard Alumni Association thanked Zebulon for funding the association for 2025.

Dale Beck spoke about how important it was for the transportation bond to pass.

Glenn Todd, Sr. stated his family had no objection to the rezoning at Mack Todd Road and the project would be good for the community.

Dwayne Porterfield, the school social worker for Zebulon Middle School, explained the vision for the school and was open to hearing ways the school and Town could work together for the students.

PROCLAMATIONS

Mayor York read the HOSA - Future Health Professionals Week Proclamation and Operation Green Light for Veterans Proclamation.

CONSENT

A. Minutes

Commissioner Baxter made a motion, second by Commissioner Harrison to approve the June 3, 2024 regular meeting minutes. There was no discussion and the motion passed unanimously.

Commissioner Baxter made a motion, second by Commissioner Harrison to approve the June 4, 2024 emergency called meeting minutes. There was no discussion and the motion passed unanimously.

Commissioner Baxter made a motion, second by Commissioner Harrison to approve the June 11, 2024 work session meeting minutes. There was no discussion and the motion passed unanimously.

Commissioner Baxter made a motion, second by Commissioner Harrison to approve the September 4, 2024 special called meeting minutes. There was no discussion and the motion passed unanimously.

B. Finance

Commissioner Baxter made a motion, second by Commissioner Harrison to approve the Wake County tax report for August 2024. There was no discussion and the motion passed unanimously.

C. Planning

Commissioner Baxter made a motion, second by Commissioner Miles to approve Resolution 2025-06 appointing the Plat Review Officer. There was no discussion and the motion passed unanimously.

OLD BUSINESS

A. Planning

i. 901 Mack Todd Road – Ordinance 2025-07

Cate Farrell stated the standards for Section 2.2.25.J were:

- Health, safety and welfare
- Appropriate for location
- Reasonable in the public interest
- Other relevant factors

The property is located at 901 Mack Todd Road. The applicant TMTLA asked that the 2.3 acres be zoned from R4-C to Planned Development. The current zoning, timeline, concept plan and future land use were shown. There were three urban open spaces proposed within the development as well as road improvements. The applicant received 60 points under the Utility Allocation Policy. Since the August meeting, the applicant met with the community concerned members about the project.

The Planning Board unanimously recommended approval of PD 2024-02 at their September 16, 2024 meeting. Staff also recommended approval of 901 Mack Todd Road – Ordinance 2025-07.

Pam Porter with TMTLA Associates explained the development was presented to the Board at the August meeting and was tabled so the applicant could meet with the Todd family who owned most of the land to the south and east of the property. Details from those meetings were given. The Todd family had concerns about rentals and the applicant stated they would prohibit short term rentals and limit the number of homes that could be purchased by a rental company. At the end of the second meeting the Todd family stated they were in support of the development.

Commissioner Miles made a motion, second by Commissioner Baxter to approve Ordinance 2025-07 rezoning 901 Mack Todd Road. There was no discussion and the motion passed unanimously.

NEW BUSINESS

A. Public Works

i. Zebulon Chamber Christmas Park – Resolution 2025-05

Chris Ray spoke about the street closure request made by the Chamber of Commerce to close the public right of way of W. McIver Street from 4:00pm to 7:00pm on December 12, 2024 to hold their annual block Christmas Party. The costs for personnel and equipment to close the right of way would be \$255. The applicant requested a fee waiver as the Chamber partners with the Town of economic development and promotion of the Town's initiatives.

Commissioner Baxter stated there would be approximately 50 to 60 people in attendance and alcohol would be served and wanted a police officer staffed at the event due to the proximity of N. Arendell Avenue. Jacqui Boykin stated an officer would be on site at the event.

Commissioner Miles made a motion, second by Commissioner Baxter to approve Resolution 2025-05 for the Zebulon Chamber Christmas Party with the fee waiver. There was no discussion and the motion passed unanimously.

ii. FY 2025 Five County Stadium – Third Lease Amendment

Chris Ray gave a general update on the discussions with the Carolina Mudcats/Milwaukee Brewers organization regarding termination of the existing Lease.

Negotiation Goals included:

1. Development of a third amendment to the lease that allowed the County and Town to move forward with securing a new tenant/partner to resume sporting, entertainment, and other events in the stadium as early as Spring 2026.
2. Development of a third amendment that provided the County and Town compensation greater than what we would have received if the Mudcats/Brewers remained locked in the lease through 2027.
3. Development of a third amendment that required the Mudcats/Brewers to remove its personal property at its cost and leave the stadium in good working condition within a reasonable timeframe to accommodate a new tenant. (There is a significant number of personal items, including repainting the elevated tank).

4. Development of a third amendment that guarantees that neither the County nor Town will have to make MLB-mandated or Mudcats/Brewers-requested improvements to the stadium that will not serve or benefit a new tenant/partner.

The next steps included County and Town consideration, discussion, and concurrence regarding the draft third amendment for early termination of the agreement with Carolina Mudcats/Brewers.

With the assistance of CAA, Icon, the Town and County are pulling together critical data such as zoning, the Town of Zebulon Comprehensive Plan, stadium data and as-built drawings, and other economic data for a request for proposals that will ultimately be negotiated and approved by both Wake County and the Town of Zebulon.

Emily Lucas with Wake County stated there would be a lease amendment for the Board's consideration at the December meeting.

B. Bearcats

George Roa thanked the Board for the fee waiver for the Bearcats' first season and spoke about the program.

MANAGER'S REPORT

Taiwo Jaiyeoba gave an update regarding medical, dental and vision insurance to the Board.

Jacqui Boykin gave a Police Strategic Plan Update. The Department's mission, core values, and fundamental goals were detailed.

BOARD COMMENTS

Commissioner Baxter stated the Town was in communication with NCDOT and the developer to ensure the light at Hwy 39 and Old 264 would be turned on within two weeks. Commissioner Baxter thanked veterans for their service and spoke about upcoming events like the Veterans Day Ceremony, Candy Cane Lane, and Christmas parade. The Board was attending the National League of Cities conference later this month.

Commissioner Miles encouraged citizens to vote.

Commissioner Harrison stated she was excited to chair the Youth Education and Family committee with the National League of Cities and encouraged everyone to vote.

Commissioner Clark asked everyone to vote.

Commissioner Davis wished everyone a Happy Thanksgiving season, asked everyone to vote in the upcoming election and thanked those who were involved in the recent events around Town.

Mayor York stated the Board would need a motion to go into Closed Session as allowed by GS § 143-318.11 (a)(6) for personnel discussions.

Board of Commissioners
Minutes
November 4, 2024

Commissioner Miles made a motion, second by Commissioner Clark to go into closed session. There was no discussion and the motion passed unanimously.

NOTE: In closed session, Commissioner Harrison made a motion, second by Commissioner Clark to come out of closed session. There was no discussion and the motion passed unanimously.

Commissioner Baxter made a motion, second by Commissioner Harrison to adjourn. There was no discussion and the motion passed unanimously.

Adopted this the 3rd day of February 2025.

Glenn L. York—Mayor

SEAL

Lisa M. Markland, CMC—Town Clerk

Zebulon Board of Commissioners
Work Session
Minutes
November 21, 2024

Present: Mayor Glenn York, Jessica Harrison, Beverly Clark, Quentin Miles, Shannon Baxter, Taiwo Jaiyeoba-Interim Town Manager, Lisa Markland-Town Clerk, Chris Ray-Public Works, Bobby Fitts-Finance, Jacqui Boykin-Police, Chris Perry-Fire, Sheila Long-Parks and Recreation, Matt Lower-Planning, Kaleb Harmon-Communications, Tonya Easterwood-IT, Shannon Johnson-Economic Development, Sam Slater-Attorney

Absent: Amber Davis

Mayor York called the meeting to order at 6:00pm.

APPROVAL OF AGENDA

Commissioner Baxter asked to add discussion about insurance benefits.

Commissioner Baxter made a motion, second by Commissioner Miles to approve the agenda as amended. There was no discussion and the motion passed unanimously.

PRESENTATION

A. Wake County Parks and Recreation – Open Space

Sheila Long introduced Chris Snow the Wake County Open Space Parks Director. Mr. Snow gave the history, funding sources, GIS Model, and request for properties selection process of Wake County’s Open Space Program. The goal of the program was to protect 30% of the County’s land through regulation, land development process or as park and conservation lands. Some of the funding sources included County funds, state and federal grants, and partners such as non-profits and state programs. There was detailed information given about the request for properties selection process.

Commissioner Baxter asked about the County’s involvement with areas around Little River. Mr. Snow stated almost 2,600 acres of land at Little River was purchased by the County on behalf of the City of Raleigh for a future water supply watershed. Little River was still being reevaluated for future plans. A concept plan was performed, and any future development could come in a future bond.

OLD BUSINESS

A. Parks and Recreation

i. Strategic Plan Grants

Sheil Long spoke about the Town’s current Strategic Plan Grant program which offered \$5,000 total in grants up to \$1,000. Per policy, these grants must meet a Strategic Plan Focus Areas and are available to 501(c)(3) organizations that have been operating for at least two years. At the March Work Session, the Board discussed increasing the budget. In June the Board adopted the budget increasing the budget to \$25,000. Then in September the Board awarded the original \$5,000

to five organizations and directions were provided for updating the grant to reflect the increased budget.

At the September work session, the Board engaged in discussion about the Strategic Plan Grants that allowed staff to draft updates to the grant program. Key takeaways from the Board's discussion:

- Priority projects would include services to youth and seniors, transportation, and education enhancements to meet grade level expectations, and family health
- Grants could be used to help startups to help accomplish the Town's vision
- Grant would be a resource to help organizations seeking to fill service gaps
- Projects would offer a direct impact that could be seen
- Organizations that receive a grant should provide project updates
- There should be data and metrics to measure success
- Consideration should be given to organizations that could support and/or engage Zebulon's Hispanic population and organizations.
- Board would like to distribute the remaining \$20,000 by offering five \$2,000 grants and two \$5,000 grants.
- Board would like to have the opportunity to review and consider applicants
- Board would like an opportunity for community members to serve on the scoring committee

A draft update to the policy was emailed to the Board on November 1, 2024 and after a legal review, minor updates were made to offer clarification.

There was discussion about giving a point to a non-profit that was already operating in the community and organizations could only receive a strategic plan grant once per fiscal year.

B. Christmas Parade Update

Chris Ray stated an update memo was provided to the Board prior to the meeting and staff was available to answer any questions.

Commissioner Baxter asked if the applicants' numbers for the parade had changed and what was still needed. Sheila Long stated there were 32 registered parade entries and 10 to 12 other Town based entries.

Mayor York asked for some information about liability. Sam Slater spoke about waiver considerations. Sheila Long explained staff was working on safety plans to protect all those at the parade as well as the Town.

NEW BUSINESS

A. Strategy/Visioning Session – Consultant Proposals

Taiwo Jaiyeoba stated the Board had expressed a desire to have a retreat, providing an opportunity to come together and discuss their vision for the Town of Zebulon, and how that would impact the Strategic Plan, budgets and projects in the future.

Mr. Jaiyeoba discussed the differences between the three proposals. The Board was asked about their desire to move forward with bringing in a consultant to help facilitate the discussion of the strategic vision for the future of the community.

B. Insurance Benefits

Commissioner Baxter stated she understood there would not be a price increase for the employees, but it looked like there would be an increase of \$26.31 per pay period. Lisa Markland explained there was no change to Plan B, which was free insurance coverage for employees. If the employee participated in the wellness program, they could receive a \$50 gift card per month or a \$50 credit on their family or dependent plan coverage. Insurance costs had risen and there would be a small cost for those electing Plan A coverage. Plan A was a true buy-up plan for better coverage.

Commissioner Baxter stated she wanted to get as close as possible to not charging employees for their health insurance. Staff was asked to have the discussion earlier to try to avoid the cost of insurance increases being placed on the employees. Lisa Markland stated an option available would be that the Town could remove the opt-out pay to offset the cost of insurance.

CLOSED SESSION

Mayor York stated the Board needed to go into closed session as allowed by GS § 143-318.11.

- a. Deacon Development Group, LLC vs. Town of Zebulon/Case #24-CVS-020692-910
- b. To consult with the attorney and preserve the Attorney-Client privilege

Commissioner Miles made a motion, second by Commissioner Baxter to go into closed session. There was no discussion and the motion passed unanimously.

NOTE: In closed session, Commissioner Miles made a motion, second by Commissioner Clark to come out of closed session. There was no discussion and the motion passed unanimously.

Commissioner Harrison made a motion, second by Commissioner Davis to adjourn. There was no discussion and the motion passed unanimously.

Adopted this the 3rd day of February 2025.

Glenn L. York—Mayor

SEAL

Lisa M. Markland, CMC—Town Clerk



Board of Commissioners

P.O. Box 550 • Raleigh, NC 27602

TEL 919 856 6180

FAX 919 856 5699

MATT CALABRIA, CHAIR
DON MIAL, VICE-CHAIR
VICKIE ADAMSON
SUSAN EVANS
CHERYL STALLINGS
SHINICA THOMAS
TARA WATERS

January 7, 2025

Ms. Lisa Markland
Town Clerk
Town of Zebulon
1003 North Arendell Avenue
Zebulon, North Carolina 27597

Dear Ms. Markland:

The Wake County Board of Commissioners, in regular session on January 6, 2025, approved and accepted the enclosed tax report for the Town of Zebulon.

The attached adopted actions are submitted for your review; no local board action is required.

Sincerely,

Yvonne Gilyard
Clerk to the Board

Wake County Board of Commissioners

Enclosure(s)

WAKE COUNTY TAX ADMINISTRATION

11/01/2024 - 11/30/2024

DATE 12/05/2024
TIME 1:59:02 PM

Rebate Detail Report

ZEBULON

REBATE NUM	PROPERTY TAG	CITY LIST	LATE INTEREST	BILLED	TOTAL REBATED	PROCESS DATE	ACCOUNT NUMBER	TAX YEAR	BILLING FOR TYPE	OWNER	
BUSINESS REAL ESTATE ACCOUNTS											
901129	4,133.36	0.00	0.00	0.00	4,133.36	11/22/2024	0000352494	2024	2024	000000	OLD 264 RETAIL LLC
901306	17,286.07	0.00	0.00	0.00	17,286.07	11/25/2024	0000057375	2024	2024	000000	SHEPARD GREENE LP
901127	3,091.74	0.00	0.00	0.00	3,091.74	11/22/2024	0000504607	2024	2024	000000	OLD 264 RETAIL, LLC
900306	13,419.17	0.00	0.00	0.00	13,419.17	11/18/2024	0000186160	2024	2024	000000	SILVER SPRING HOUSING ASSOC LLC
SUBTOTALS FOR BUSINESS REAL ESTATE ACCOUNTS					37,930.34		37,930.34		4	Properties Rebated	
INDIVIDUAL PROPERTY ACCOUNTS											
901463	5.77	0.00	0.58	0.00	6.35	11/26/2024	0007015902	2024	2024	000000	CURRIN, MATTHEW STEVEN
SUBTOTALS FOR INDIVIDUAL PROPERTY ACCOUNTS					5.77		6.35		1	Properties Rebated	
INDIVIDUAL REAL ESTATE ACCOUNT											
901559	259.65	0.00	0.00	0.00	259.65	11/26/2024	0000084369	2024	2024	000000	CARLTON, SHEERLENE ARTIS
899168	31.73	0.00	0.00	0.00	31.73	11/7/2024	0000081585	2024	2024	000000	BULLOCK, DIXIE B REVOCABLE LVNG TRS
SUBTOTALS FOR INDIVIDUAL REAL ESTATE ACCOUNTS					291.38		291.38		2	Properties Rebated	
TOTAL REBATED FOR ZEBULON					38,227.49		38,228.07		7	Properties Rebated for City	
GRAND TOTAL					687,884.55		170.00		1,551.82	439	Properties Rebated for all Cities

STAFF REPORT
ORDINANCE 2025-23
WAKE COUNTY ABC GRANT
APPROPRIATION OF GRANT PROCEEDS
FEBRUARY 3, 2025

Topic: Ordinance 2025-23 – Wake County ABC Grant – Appropriation of Grant Proceeds

Speaker: Bob Grossman, Interim Police Chief (if pulled from Consent)

Prepared by: Bob Grossman, Interim Police Chief
Bobby Fitts, Finance Director

Approved by: Gilbert Todd Jr., Town Manager

Executive Summary:

The appropriation of grant proceeds towards education programming of substance and/or alcohol abuse. The Board of Commissioners must recognize grant proceeds through a Budget Ordinance to appropriate grant funds towards their intended purpose. Adoption of the attached ordinance will appropriate funds toward purchasing the noted supplies.

Background:

North Carolina General Statute 18B-805(H) allows local ABC Boards across North Carolina to fund non-profit agencies with programming focused on the education, treatment, and/or research of substance and/or alcohol abuse. The Town applied, and received, a grant in the amount of \$7,500. Proceeds will be used to pay for clinical services, as our members and their families seek care for mental health issues, family and work stress, and substance abuse. We are partnering with culturally competent therapists at Cary Psychology to provide mental health and abuse treatment for our Police staff, their spouses and children, anonymously. Substance abuse treatment can be costly, with limits being placed on what will be covered by insurance. We will take the concern of costs out of the equation when employees are seeking care. Cary Psychology will provide monthly reports to indicate the number of staff and families attending, along with a general statement as to the nature of services provided (marital, financial, work stress, critical incident, addiction, etc). All the information provided will ensure the confidentiality of anyone seeking services.

Policy Analysis:

NCGS 159-15, as part of The Local Government Budget and Fiscal Control Act, allows amendments to the budget ordinance with Board approval.

Staff Recommendation:

Staff recommends approval of Ordinance 2025-23.

Attachments:

1. Ordinance 2025-23

ORDINANCE 2025-23

BE IT ORDAINED by the Board of Commissioners of the Town of Zebulon, that pursuant to North Carolina General Statutes 159-15, the following amendment be made to the annual budget ordinance for the fiscal year ending June 30, 2025.

Section 1. To amend the General Fund budget as follows:

	INCREASE	DECREASE
REVENUES		
Wake County ABC Grant	\$7,500.00	
EXPENDITURES		
Police – Contract Services		7,500.00

Section 2. Copies of this amendment shall be furnished to the Town Clerk, and to the Budget Officer, and to the Finance Officer for their direction.

Adopted: February 3, 2025

Effective: February 3, 2025

Glenn L. York - Mayor

ATTEST:

Lisa M. Markland, CMC - Town Clerk

STAFF REPORT
RESOLUTION 2025-09
2025 SPRING FEST & ROCK THE BLOCK
STREET CLOSURES FOR EVENTS
FEBRUARY 3, 2025

Topic: Resolution 2025-09 – 2025 Spring Fest & Rock the Block Street Closures for Events
Speaker: Sheila Long, Parks & Recreation Director (if pulled from Consent)
Prepared by: Sheila Long, Parks & Recreation Director
Approved by: Gilbert Todd Jr., Town Manager

Executive Summary:

The Board of Commissioners will consider a request to close roads and allow consumption of alcohol within the designated event boundary to host Spring Fest and Rock the Block.

Background:

The Town plans and implements street festivals and concert series downtown that require street closures. To support these events, closure of public right of way is required and Board action is needed. Staff will coordinate and communicate with NCDOT and businesses regarding street closures.

The following closures are requested:

Event	Date	Time	Closure Needed	Closure Time
Spring Fest	April 26	4-8 PM	<ul style="list-style-type: none"> Arendell Ave: Vance to Sycamore St Horton St: N. Church St to N. Poplar St. Downtown Public Lot 100 and 200 block of Arendell Alleyways Vance St: Arendell to N Church St 	10 AM- 11:59 PM
Rock the Block	August 8	6-9 PM	<ul style="list-style-type: none"> Horton St: N. Church St to Arendell Ave. Western 100 block of Arendell Alleyways 	10 AM- 11:30 PM
	September 12			
	October 10			

Policy Analysis:

Community surveys collected during the development of Zebulon’s 2030 Strategic Plan revealed an interest in “more community events/activities”. These events are consistent with the goals of the *Vibrant Downtown* and *Small-Town Life Focus Areas* of the *Zebulon 2030 Strategic Plan*. The proposed events replicate 2022, 2023, and 2024 downtown events and specifically address a recommendation of the *Play Zebulon Parks and Recreation Master Plan*: “Offer comprehensive services through programs, events, facilities, marketing, partnerships, and community engagement”.

STAFF REPORT
RESOLUTION 2025-09
2025 SPRING FEST & ROCK THE BLOCK
STREET CLOSURES FOR EVENTS
FEBRUARY 3, 2025

Fiscal Analysis:

Events within FY 2025 are currently budgeted. Street closures will not be implemented for events that do not move forward in FY 2026.

Staff Recommendation:

Staff recommends approval of Resolution 2025-09.

Attachments:

1. Resolution 2025-09

RESOLUTION 2025-09
STREET CLOSURE: 2025 SPRING FEST & ROCK THE BLOCK

WHEREAS, the *Zebulon 2030 Strategic Plan* includes a *Small-Town Life* goal to “promote more community events and festivals”, and a *Vibrant Downtown* goal to “develop events, entertainment, and cultural attractions to draw people downtown”; and

WHEREAS, the *Play Zebulon Parks and Recreation Master* recommends recreational programs that “offer comprehensive services through programs, events, facilities, marketing, partnerships, and community engagement”; and

WHEREAS, the Town has funded the installation of infrastructure, such as electric upgrades, and built place-making venues, such as the multiple phases of the Alley Activation projects, to support special events; and

WHEREAS, the Town has funded downtown events, including Candy Cane Lane and Tree Lighting Festival, Spring Fest, and Rock the Block featuring regional live music, local musicians and artist, youth performers, food trucks, vendors, and family friendly activities.

NOW, THEREFORE, BE IT RESOLVED, the Town of Zebulon will plan and implement events and authorize closure of public right of way as follows:

Event	Date	Time	Closure Needed	Closure Time
Spring Fest	April 26	4-8 PM	<ul style="list-style-type: none"> • Arendell Ave: Vance to Sycamore St • Horton St: N. Church St to N. Poplar St. • Downtown Public Lot • 100 and 200 block of Arendell Alleyways • Vance St: Arendell to N Church St 	10 AM- 11:59 PM
Rock the Block	August 8	6-9 PM	<ul style="list-style-type: none"> • Horton St: N. Church St to Arendell Ave. • Western 100 block of Arendell Alleyways 	10 AM- 11:30 PM
	September 12			
	October 10			

AND BE IT FURTHER RESOLVED THAT public consumption of alcohol is permitted within the festival boundary during the events’ operating hours. The Police Chief may alter closures as needed to safely implement both events.

Adopted the 3rd day of February 2025

SEAL

 Glenn L. York – Mayor

 Lisa M. Markland, CMC – Town Clerk

STAFF REPORT
RESOLUTION 2025-10
CADENCE MEADOWS PHASE 1
ROADWAY, AND STORM DRAINAGE ACCEPTANCE
FEBRUARY 3, 2025

Topic: Resolution 2025-10– Cadence Meadows-Phase 1- Infrastructure Acceptance

Prepared by: Joseph Collins, Interim Public Works Project Manager
Presented by: Joseph Collins, Interim Public Works Project Manager
Approved by: Gilbert Todd, Jr., Town Manager
Kellianne Williams, Assistant Town Manager

Executive Summary:

The Board of Commissioners will consider accepting roadway and storm-drainage infrastructure constructed in Cadence Meadows Phase 1 for ownership and maintenance by the Town of Zebulon.

The Board must accept the dedication of streets, curb and gutter, street signage, and storm drainage for ownership and maintenance if the dedicated work is consistent with the UDO and complies with the latest version of Town standards.

Background:

The Town of Zebulon follows a practice where the Board considers acceptance (i.e., ownership and maintenance) of roadway and storm drain infrastructure installed in new subdivisions. In advance of this consideration, Staff determines whether the infrastructure complies with and meets the conditions of permits and Town standards.

Meritage Homes has completed the construction of roadway and stormwater infrastructure in Cadence Meadows Phase 1. Cadence Meadows Phase 1 will include 106 single family lots. The plat was recorded with the Wake County Register of Deeds on November 12, 2024 (BM 2024: Page 02235). Staff and third-party inspectors/engineers have certified all completed work meets or exceeds Town standards and requirements, as well as City of Raleigh utility standards.

Policy Analysis:

The infrastructure was installed per Plan Development Subdivision # 635059, it complies with the latest version of the Town of Zebulon Street & Storm Drainage Standards and Specifications, and it is consistent with the Town of Zebulon Uniform Development Ordinance, section 6.10.4, for dedication of roadways.

Infrastructure Amount and Value

Cadence Meadows Phase 1 will dedicate five (5) streets totaling 5,596 linear feet (LF), which is approximately 1.05 miles, and 5,315 LF (approx. 1 mile) of storm drainage. The infrastructure is valued at \$1,446,570.61.

The infrastructure will be added to the Town’s capital assets (e.g., in the Annual Comprehensive Financial Report). Upon acceptance, the Town will own and maintain 41.84 miles of street and 32.41 miles of stormwater pipe.

STAFF REPORT
RESOLUTION 2025-10
CADENCE MEADOWS PHASE 1
ROADWAY, AND STORM DRAINAGE ACCEPTANCE
FEBRUARY 3, 2025

Maintenance Cost

The acceptance of this infrastructure does not represent a significant cost increase to the Town. It is also atypical for new roadway and stormwater infrastructure to need maintenance within the first few years.

The acceptance of Cadence Meadows Phase I increases the storm drain network by less than 3%. For reference, Staff perform annual inspections and cleanings, in addition to contracting the cleaning of approximately 10% of the Town's stormwater system, currently 3.24 miles. The FY 2025 budget for professional line cleaning services is \$40,000. This work is required under the "Pollution Prevention and Good Housekeeping" section of the Town's National Pollutant Discharge Elimination System (NPDES) permit # NCS000557 with the NC Department of Environmental Quality (DEQ), which regulates how the Town operates its stormwater system.

The acceptance of Cadence Meadows Phase I infrastructure increases the street network by less than 2.5%. Streets are designed to have a useful life of 20 years; therefore, the Town needs to repave approximately 2 miles of street annually, currently estimated at \$510,000.

Revenue Streams

Maintenance costs for street paving are supported by the following dedicated revenues:

- a) "Powell Bill" (gas tax) ~ \$295,000 (Zebulon's share of this revenue collected by the State has grown proportionally with increasing population and street mileage.)
- b) Vehicle Tag Fee ~ \$215,000 (this revenue will grow as new residents register their vehicles within the Town's limits.)

There are no dedicated revenue sources to support stormwater maintenance, though 0.7¢ on the property tax rate is dedicated toward stormwater capital improvements. Staff is reviewing options for the Board to consider a stormwater utility and fee.

Warranty and Insurance

The Town received a one-year warranty on all the dedicated assets. Staff will conduct an 11-month warranty inspection prior to the final asphalt overlay by the developer to ensure any issues or failures are repaired prior to the final overlay.

The Town received the following completion bonds:

- Subdivision Bond # 024277035 in the amount of \$1,200,000 from Liberty Mutual Insurance Company to ensure the final completion of outstanding items (e.g., final asphalt overlay, striping, signage, sidewalks, landscaping, etc.).
- Stormwater Control Measure (SCM) 1 and 2 Bond # DUA001269 in the amount of \$303,750 from AXIS Insurance Company for the conversion of the SCMs from temporary sediment basins to Stormwater Control Measures.

STAFF REPORT
RESOLUTION 2025-10
CADENCE MEADOWS PHASE 1
ROADWAY, AND STORM DRAINAGE ACCEPTANCE
FEBRUARY 3, 2025

- SCMs 3, 4, and 5 Bond # DUA001270 in the amount of \$227,500 from AXIS Insurance Company for the conversion of SCM from temporary sediment basins to Stormwater Control Measures
- Phase amenity area Bond # 7901181549 in the amount of \$1,830,000 from National Mutual Insurance Company for the construction of the amenity center for the subdivision.
- Asphalt base course Bond # 024279616 in the amount of \$185,000 from Liberty Mutual Insurance Company for the base course asphalt.
- Greenway Trail Bond # DUA001281 in the amount of \$220,000 from AXIS Insurance Company for the completion of the green way trail.

The final completion of these items are intentionally delayed to minimize the damage that may occur as individual lots are constructed. The Site Improvement Performance Bond is automatically renewed or revised annually to reflect items completed. The Site Improvement Performance Bond remains active until all items have been completed. All inspection and development fees of \$364,964, which were adjusted for offsite improvements, were collected from the developer.

Staff Recommendation:

Staff recommends approval of Resolution 2025-10 to accept Cadence Meadows Phase I roadway and storm-drainage infrastructure, warranty, and site improvements bond.



STAFF REPORT
RESOLUTION 2025-10
CADENCE MEADOWS PHASE 1
ROADWAY, AND STORM DRAINAGE ACCEPTANCE
FEBRUARY 3, 2025

Attachments:

1. Closeout Documents
 - Engineer certification of roadway lengths and dedicated infrastructure values
 - Engineer Certification for Roadways and Stormwater (Also see as-built drawings for certification)
 - Engineering Estimate for Letter of Credit/Bond
 - Subdivision Bond - Liberty Mutual Insurance Company
 - Stormwater SCM 1&2 Bond-AXIS Insurance Company
 - Stormwater SCM 3, 4, and 5 Bond-AXIS Insurance Company
 - Phase Amenity Bond- National Mutual Insurance Company
 - Asphalt Base Course Bond- Liberty Mutual Insurance Company
 - Greenway Trail Bond-AXIS Insurance company
 - Developer warranty/guaranty– Stormwater/Roadway
 - Developer warranty/guaranty – water and sewer
 - Third party engineering reports for sub-grade, stone, and asphalt
 - Engineering certification – Water and sewer
 - Developer – Release of Lien
 - Contractor – Release of Lien
 - Notice of conditional acceptance – City of Raleigh
 - Proof of payment for streetlights
 - Proof of payment for Town inspections and fees
2. As-Built Drawings
3. Resolution 2025-10



January 16, 2025

Chris D. Ray
Zebulon Public Works Director
450 East Horton Street
Zebulon, NC 27597

Reference: 188673.08 Old Bunn Road/Proctor Street and Shepard School Road

Dear Mr. Ray:

We have reviewed the cost proposal, which was submitted on January 14, 2025, for the above referenced project. Cardinal Civil Contracting was one of the 6 bidders as a single prime contractor. It is our recommendation that the project to be awarded to Cardinal Civil Contracting based on their total bid of \$2,572,881.00.

The certified bid tab and a copy of Cardinal Civil Contracting proposal are enclosed.

If you have any questions or need additional information, please contact our office.

Sincerely,

WSP

A handwritten signature in blue ink that reads "Ronyell Thigpen". The signature is fluid and cursive, with a long horizontal stroke at the end.

Ronyell Thigpen, PE
Project Manager

WSP USA
434 Fayetteville Street
Suite 1500
Raleigh, NC 27601

Tel.: +1 (919) 836-4040
wsp.com

CADENCE MEADOWS
PHASE 1

01 ENGINEER CERTIFICATION
OF ROADWAY LENGTHS

August 1, 2024

Adam Culpepper
Senior Planner
Town of Zebulon
1003 North Arendell Avenue
Zebulon, NC 27597



*Reviewed
11/1/2024
JMC*

**Cadence Meadows
Roadway Quantities**

Adam,

Meritage Homes had asked us to develop a roadway length table for the Cadence Meadows. The following table for Private Alleys are:

Private Alley	Type of Street	Start Station	End Station	Lineal Footage	Easement Width	Back To Back of Curb	Phase
6	Alley	1000	1113	113	16	12	1
7	Alley	1000	1360	360	16	12	1
12	Alley	1000	1375	375	28	24	1
13	Alley	1000	1356	356	28	24	1
14	Alley	1000	1223	223	28	24	1
15	Alley	1000	1228	228	28	24	1
Total Phase 1				1655			
1	Alley	1000	2164	1164	16	12	4
2	Alley	1000	2565	1565	16	12	4
3	Alley	1000	1113	113	16	12	4
4	Alley	1000	1144	144	16	12	4
5	Alley	1000	1113	113	16	12	4
8	Alley	1000	1282	282	28	24	4
9	Alley	1000	1469	469	28	24	4
10	Alley	1000	1159	159	28	24	4
11	Alley	1000	1322	322	28	24	4
Total Phase 4				4331			

PRIVATE ALLEYS

PHASE 4 NOT COMPLETE

The following table for Public Roadways:

Public Street Name	Type of Street	Start Station	End Station	Lineal Footage	Sidewalk (LF)	ROW Width	Back To Back of Curb	Street Lights TOZ / HOA	Phase
Southland	Collector	3165	4560	1395	2790	60	35		1
Rosebush Dr	Local	1000	1025	25	50	50	26		1
Rosebush Dr	Local	3300	5010	1710	3420	50	26		1
Whitespire Way	Local	6080	6979	899	1798	50	26		1
Landen Creek Road	Local	1000	1550	550	1100	50	26		1
Chandler Stone Dr	Local	1000	1422	422	844	50	26		1
Total Phase 1			1595	595	1190	60	37		1
Southland	Collector	1000	3165	2165	4330	60	35	43/8	2
Azalea Dr	Local	1390	2110	720	1440	50	26		2
Rosewood Bluff north	Local	1000	2140	1140	2280	50	26		2
Arnette Rose Dr	Local	1450	1884	434	868	50	26		2
Total Phase 2			1884	4459	8918	50	26	32	2
Rosebush Dr	Local	1475	3300	2275	4550	50	26		3
Azalea Dr	Local	1000	1390	390	780	50	26		3
Rosewood Bluff South	Local	1000	1804	804	1782	50	26		3
Woodland Walk Way	Local	1000	1154	154	308	50	26		3
Arnette Rose Dr	Local	1000	1450	450	900	50	26		3
Total Phase 3			1450	4160	8910	50	26	30	3
Rosebush Dr	Local	5010	6080	1070	2140	50	26		4
Hunters Passage Dr	Local	1000	1594	594	1188	50	26		4
Total Phase 4			1594	1664	3328	50	26	24/3	4
Azalea Dr	Local	2110	2840	730	1460	50	26		5
Total Phase 5			2840	730	1460	50	26	6	5
TOTAL								123/11	

PHASE 2-5 NOT COMPLETE

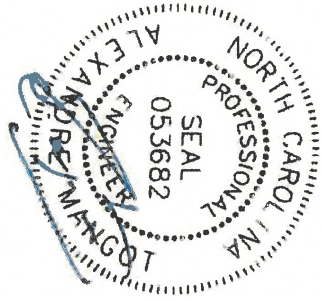
Headquarters Office
320 Executive Court, Hillsborough, NC 27278

919.732.3883 // www.summitde.com

Sincerely,

Mangot.

Alex Mangot, P.E.
Project Manager



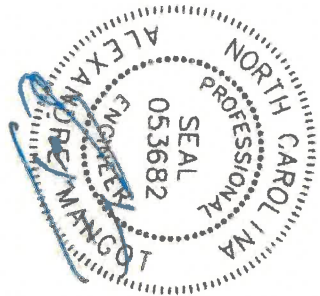
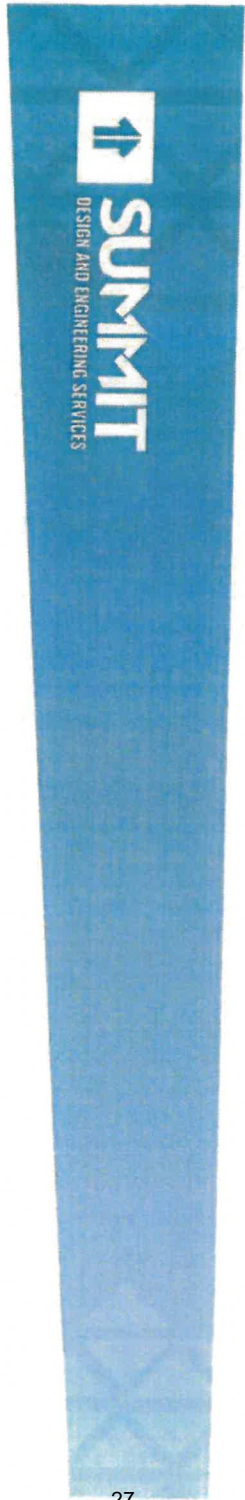
CADENCE MEADOWS
PHASE 1

02 ENGINEER
CERTIFICATION
OF FORMWORK
ACCEPTED
11/7/2024
JPC

August 1, 2024

Adam Culpepper
Senior Planner
Town of Zebulon
1003 North Arendell Avenue
Zebulon, NC 27597
Cadence Meadows Phase 1
Roadway Quantities
Adam,

Meritage Homes had asked us to develop a storm drainage length table for the Cadence Meadows. The following table for HOA maintained or Town of Zebulon (TOZ) are:



PHASES 2-5 NOT COMPLETE

PIPE SIZE	PHASE 1			PHASE 2			PHASE 3			PHASE 4			PHASE 5		
	HOA	TOZ	TOTAL	HOA	TOZ	TOTAL	HOA	TOZ	TOTAL	HOA	TOZ	TOTAL	HOA	TOZ	TOTAL
15"	931	1428	2361	732	1540	2272	324	773	1097	1263	560	1423		96	96
15" CL IV PIPE P-91		25	25												
18"	87	1225	1312	858	490	1348	111	807	918	547	477	1020			
24"	0	1423	1423	159	75	913	180	81	261	88	51	149			
30"	0	752	752	34	319	353	127	558	685	0	63	63			
36"	0	462	462	0	509	509				749	0	749			
42"		5315		0	293	293				123	0	123			
48"				0	184	184					203	332			
72"				0	340*	340*								61	61

5315' PHASE 1

DRAINAGE TOTAL
FOR TOZ MEASUREMENT

Headquarters Office
320 Executive Court, Hillsborough, NC 27278

919.732.3883 // www.summitde.com



November 14, 2024

Infrastructure Cost Estimate

Project:
Cadence Meadows Phase 1
Zebulon, NC

Owner:
Meritage Homes of the Carolinas,
INC
3300 Paramount Parkway Suite,
120
Morrisville, NC 27560

Engineers:
Summit Design & Engineering
320 Executive Court, Hillsborough, NC
27278

Storm Drain System

Unit	QTY	UM	Unit Price		Total
15" RCP	2361	LF	\$ 46.48	\$	109,739.28
15" CL IV	25	LF	\$ 58.33	\$	1,458.25
18"	1312	LF	\$ 55.45	\$	72,750.40
24"	1423	LF	\$ 76.17	\$	108,389.91
30"	752	LF	\$ 104.86	\$	78,854.72
36"	462	LF	\$ 134.93	\$	62,337.66
				\$	433,530.22

Street Paving and Curb & Gutter

Unit	QTY	UM	Unit Price		Total
CABC Stone Under Asphalt	19832	SY	\$ 15.71	\$	311,560.72
CABC Stone Under Curb	6795	SY	\$ 12.25	\$	83,238.75
Curb & Gutter	13590	LF	\$ 17.03	\$	231,437.70
Asphalt - Initial Lift	12375	SY	\$ 11.92	\$	147,510.00
Asphalt - Final Lift	7353	SY	\$ 12.32	\$	90,588.96
Adjust Manholes - First Lift	40	EA	\$ 393.34	\$	15,733.60
Adjust Manholes - Final Lift	51	EA	\$ 393.34	\$	20,060.34
Sidewalks	14411	SF	\$ 6.91	\$	99,580.01
HC Ramps	7	EA	\$ 1,904.33	\$	13,330.31
				\$	1,013,040.39

Total \$ 1,446,570.61

03 CADENCE MEADOWS
PHASE 1

ENGINEER ESTIMATE

- PLAT
- SCM 1+2
- SCM 3,4+5
- AMENITY
- BASE COURSE ASPHALT
- GREENWAY

May 20, 2024

Adam Culpepper
Senior Planner
Town of Zebulon
1003 North Arendell Avenue
Zebulon, NC 27597

Approved 11/7/2024
[Signature]

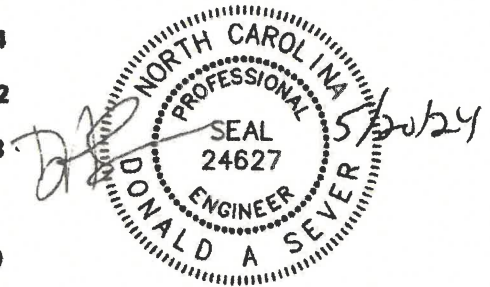
**Cadence Meadows Phase 1
Completion Bond Estimate**

Adam,

Meritage Homes had asked for us to develop a completion bond estimate for the Cadence Meadows. They expect Giant Construction to complete the infrastructure needed for the plat recordation and would like to get approval of the estimate to allow them time to obtain the surety.

The items that need to be bonded are:

Asphalt (final lift)	15,180 SY - \$13.54 per SY	\$205,537
Sidewalks	55,960 SF - \$6.91 per SF	\$386,684
Handicap Ramps	33 EA - \$1904 each	\$ 62,832
Landscaping	1 lump sum	\$267,338
	Subtotal	\$922,390
	Total (125%)	\$1,152,998 (\$1,200,000)



Sincerely,

Don Sever

Donald A. Sever, PE.

Senior Project Manager

June 10, 2024

Janet Boyer, PE
 Environmental Engineer Watershed Management
 Wake County Environmental Services Department / Water Quality Division
 333 Fayetteville Street
 Raleigh, NC 27602

Cadence Meadows SWF-069318-2021 SCM 1 and 2

Completion Bond Estimate

Janet,

Meritage Homes had asked for us to develop a completion bond estimate for the Cadence Meadows . They expect Giant Construction to complete the infrastructure needed for the plat recordation and would like to get approval of the estimate to allow them time to obtain the surety. The asbuilt certification includes Project Management Costs, Supervision, Engineering and Surveying in the lump sum line item for each pond.

The items that need to be bonded are:

Mobilization / GPS	2	ponds	\$6,000 each	\$ 12,000
Asbuilt Certification	2	ponds	\$10,000 each	\$20,000
SCM 1 Conversion	1	lump sum		\$131,000
SCM 2 Conversion	1	Lump Sum		\$ 80,000
			Subtotal	\$243,000
			Total (125%)	\$303,750

Sincerely,

Don Sever

Donald A. Sever, PE.

Senior Project Manager



June 10, 2024

**Janet Boyer, PE
 Environmental Engineer Watershed Management
 Wake County Environmental Services Department / Water Quality Division
 333 Fayetteville Street
 Raleigh, NC 27602**

**Cadence Meadows SWF-060319-2021 SCM 3, 4 and 5
 Completion Bond Estimate**

Janet,

Meritage Homes had asked for us to develop a completion bond estimate for the Cadence Meadows . They expect Giant Construction to complete the infrastructure needed for the plat recordation and would like to get approval of the estimate to allow them time to obtain the surety. The asbuil certification includes Project Management Costs, Supervision, Engineering and Surveying in the lump sum line item for each pond.

The items that need to be bonded are:

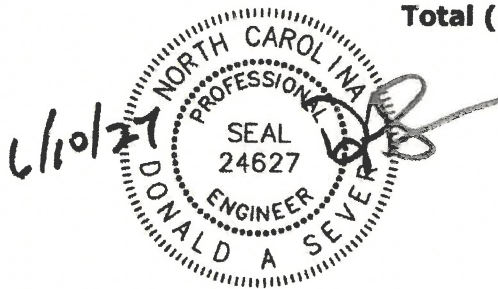
Mobilization / GPS	3	Ponds	\$6,000 each	\$ 18,000
Asbuil Certification	3	Ponds	\$10,000 each	\$ 30,000
SCM 3 Conversion	1	Lump Sum		\$ 37,000
SCM 4 Conversion	1	Lump Sum		\$ 53,000
SCM 5 Conversion	1	Lump Sum		\$ 44,000
			Subtotal	\$182,000
			Total (125%)	\$227,500

Sincerely,

Don Sever

Donald A. Sever, PE.

Senior Project Manager



Headquarters Office

320 Executive Court, Hillsborough, NC 27278

919.732.3883 // www.summitde.com

Mr. Joseph Collins
Town of Zebulon

August 6, 2024

Cadence Meadows – Amenity area
Bond Estimate

Meritage Homes asked for us to develop a completion bond estimate for the Cadence Meadows amenity area. We have reviewed the data provided by the third-party firm and is our opinion that the estimates are accurate. Please see details below for the certified bond estimates.

	QTY	UNIT	UNIT COST	TOTAL	125%
Amenity Items					
Subtotal	-	-	-	\$ 1,255,100	-
Sitework					
Subtotal	-	-	-	\$ 99,000	-
FF&E					
Subtotal	-	-	-	\$ 38,500	-
Adjusted budget				\$ 1,462,230.00	

TOTAL
(125%)

\$ 1,827,787.50

\$(1,830,000.00)

Best regards,

A Mangot.

Alex Mangot, PE, Project Manager



06/08/2024

Mr. Joseph Collins

August 2, 2024

Town of Zebulon

**Cadence Meadows
Bond Estimate**

Meritage Homes asked for us to develop a completion bond estimate for the Cadence Meadows Phase 1 plat. Please see below.

We have reviewed the data provided by the third-party testing firm, and is our opinion that the asphalt placed will meet the requirement of the Town Standards as described in the Town of Zebulon Specification (20 year life) and the Project Documents based on its expected use. We recommend that the entire roadway system be thoroughly proofrolled with a tandem-axle truck having a gross weight of at least 25 tons. Evaluate status of all pavements upon 80% completion of home construction and repair asphalt and subgrade as necessary to meet the Town requirements.

	QTY	UNIT	UNIT COST	TOTAL	125%
Streets					
Asphalt (initial lift) 1.5"	12375	SY	\$ 11.92	\$ 147,570	\$ 184,462

Subtotal \$ 147,570
TOTAL (125%) \$ 184,462 \$(185,000.00)



Best regards,

A Mangot

Alex Mangot, PE

Project Manager

Headquarters Office

320 Executive Court, Hillsborough, NC 27278

919.732.3883 // www.summitde.com



Mr. Joseph Collins
Town of Zebulon

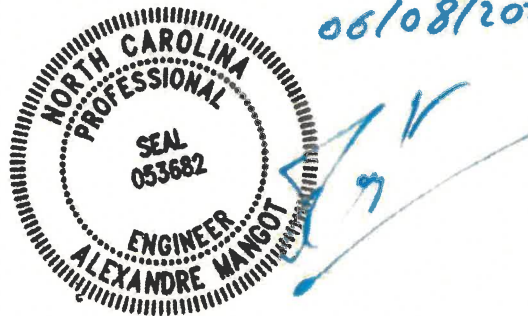
August 6, 2024

**Cadence Meadows – Amenity area
Bond Estimate**

Meritage Homes asked for us to develop a completion bond estimate for the Cadence Meadows amenity area. We have reviewed the data provided by the third-party firm and is our opinion that the estimates are accurate. Please see details below for the certified bond estimates.

	QTY	UNIT	UNIT COST	TOTAL	125%
Amenity Items					
Subtotal	-	-	-	\$ 1,255,100	-
Sitework					
Subtotal	-	-	-	\$ 99,000	-
FF&E					
Subtotal	-	-	-	\$ 38,500	-
Adjusted budget				\$ 1,462,230.00	

TOTAL
(125%) \$ 1,827,787.50 \$ (1,830,000.00)



Best regards,

A. Mangot

Alex Mangot, PE, Project Manager

Headquarters Office
320 Executive Court, Hillsborough, NC 27278

919.732.3883 // www.summitde.com

03 - CADENCE MEADOWS PHASE I
- GREEN WAY



Mr. Joseph Collins
Town of Zebulon

August 6, 2024

**Cadence Meadows – Greenway Multi-use Trail
Bond Estimate**

Meritage Homes asked for us to develop a completion bond estimate for the Cadence Meadows amenity area. We have reviewed the data provided by the general contractor and is our opinion that the estimates are accurate. Please see details below for the certified bond estimates details.

	QTY	UNIT	UNIT COST	TOTAL
Greenway - Multi-Use Trail				
Fine Grading	5266	SY	\$ 2.16	\$ 11,374.56
15" RCP Pipe	176	LF	\$ 46.48	\$ 8,180.48
ABC - 6"	5266	SY	\$ 12.80	\$ 67,404.80
Asphalt - 2" = SF9.5A	4382	SY	\$ 16.17	\$ 70,856.94
Concrete Approach	360	SF	\$ 12.09	\$ 4,352.40
Backfill Edge of Pavement	7950	LF	\$ 1.68	\$ 13,356.00

TOTAL \$ 175,525.18
 TOTAL (125%) \$ 219,406.48 \$ (220,000.00)

08/06/2024



Best regards,

A Mangot.

Alex Mangot, PE, Project Manager

Headquarters Office
320 Executive Court, Hillsborough, NC 27278

919.732.3883 // www.summitde.com

04 CADENCE MEADOWS

BONDS

- SUB DIVISION
- SCM 1-2
- SCM 3,4,5

BOND NO.: 024277035

PREMIUM: \$3,840.00

- AMENITY CENTER
- BARRICADE
- GREENWAY
- PARK

SUBDIVISION PERFORMANCE BOND

KNOW ALL MEN BY THESE PRESENTS:

That Meritage Homes of the Carolinas, Inc., as Principal and Liberty Mutual Insurance Company, a corporation licensed to transact surety business in the State of North Carolina, as Surety, are held and firmly bound unto the Town of Zebulon, as obligee, in the penal sum of One Million Two Hundred Thousand & 00/100 (\$1,200,000.00), for the payment of which sum well and truly to made, we bind ourselves, our heirs, executors, successors and assigns, jointly and severally by these presents.

THE CONDITION OF THE ABOVE OBLIGATION IS SUCH, that whereas said Principal, the owner of a tract of land representing a subdivision entitled Cadence Meadows Phase 1 and

WHEREAS, the map of said tract on which Principal desires to construct

Cadence Meadows Phase 1 - Final lift of asphalt, COS Landscaping, Sidewalk

hereinafter referred to as improvements, and petition the obligee to accept the improvements, and

WHEREAS, said obligee requires a bond conditioned for the improvements of said tract, and

WHEREAS, the Principal proposes at its own cost and expense to improve said tract within the limits of said subdivision.

NOW, THEREFORE, if the said Principal shall well and truly cause said improvements, as herein before specified, within the limits of said subdivision to be improved, then this obligation shall cease and be void, otherwise it shall remain in full force and effect, and the Surety on this bond binds itself to said Obligee, to the amount on the herein above stated penal sum, that said improvements shall be completed in accordance with the agreement between Principal and Obligee.

IN WITNESS WHEREOF, said Principal has hereunto set its hands and seals, and said Surety has caused these presents to be executed by its officers thereunto authorized this 30th day of May, 2024.

Meritage Homes of the Carolinas, Inc.

By: Glen Tull Glen Tull
VP - National Land Development
(Name & Title)

Liberty Mutual Insurance Company

By: Brenda Wong
Brenda Wong, Attorney-in-Fact



This Power of Attorney limits the acts of those named herein, and they have no authority to bind the Company except in the manner and to the extent herein stated.

Liberty Mutual Insurance Company
The Ohio Casualty Insurance Company
West American Insurance Company

Certificate No: 8208696-024017

POWER OF ATTORNEY

KNOWN ALL PERSONS BY THESE PRESENTS: That The Ohio Casualty Insurance Company is a corporation duly organized under the laws of the State of New Hampshire, that Liberty Mutual Insurance Company is a corporation duly organized under the laws of the State of Massachusetts, and West American Insurance Company is a corporation duly organized under the laws of the State of Indiana (herein collectively called the "Companies"), pursuant to and by authority herein set forth, does hereby name, constitute and appoint Tenzer V. Cunningham; Sokha Evans; Martha Gonzales; My Hua; Mechelle Larkin; Kathy R. Mair; Jeffrey Strassner; Brenda Wong

all of the city of Los Angeles state of CA each individually if there be more than one named, its true and lawful attorney-in-fact to make, execute, seal, acknowledge and deliver, for and on its behalf as surety and as its act and deed, any and all undertakings, bonds, recognizances and other surety obligations, in pursuance of these presents and shall be as binding upon the Companies as if they have been duly signed by the president and attested by the secretary of the Companies in their own proper persons.

IN WITNESS WHEREOF, this Power of Attorney has been subscribed by an authorized officer or official of the Companies and the corporate seals of the Companies have been affixed thereto this 7th day of September, 2022.



Liberty Mutual Insurance Company
The Ohio Casualty Insurance Company
West American Insurance Company

By: David M. Carey, Assistant Secretary

State of PENNSYLVANIA
County of MONTGOMERY ss

On this 7th day of September, 2022 before me personally appeared David M. Carey, who acknowledged himself to be the Assistant Secretary of Liberty Mutual Insurance Company, The Ohio Casualty Company, and West American Insurance Company, and that he, as such, being authorized so to do, execute the foregoing instrument for the purposes therein contained by signing on behalf of the corporations by himself as a duly authorized officer.

IN WITNESS WHEREOF, I have hereunto subscribed my name and affixed my notarial seal at Plymouth Meeting, Pennsylvania, on the day and year first above written.



Commonwealth of Pennsylvania - Notary Seal
Teresa Pastella, Notary Public
Montgomery County
My commission expires March 28, 2025
Commission number 1126044
Member, Pennsylvania Association of Notaries

By: Teresa Pastella, Notary Public

This Power of Attorney is made and executed pursuant to and by authority of the following By-laws and Authorizations of The Ohio Casualty Insurance Company, Liberty Mutual Insurance Company, and West American Insurance Company which resolutions are now in full force and effect reading as follows:

ARTICLE IV - OFFICERS: Section 12. Power of Attorney.

Any officer or other official of the Corporation authorized for that purpose in writing by the Chairman or the President, and subject to such limitation as the Chairman or the President may prescribe, shall appoint such attorneys-in-fact, as may be necessary to act in behalf of the Corporation to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations. Such attorneys-in-fact, subject to the limitations set forth in their respective powers of attorney, shall have full power to bind the Corporation by their signature and execution of any such instruments and to attach thereto the seal of the Corporation. When so executed, such instruments shall be as binding as if signed by the President and attested to by the Secretary. Any power or authority granted to any representative or attorney-in-fact under the provisions of this article may be revoked at any time by the Board, the Chairman, the President or by the officer or officers granting such power or authority.

ARTICLE XIII - Execution of Contracts: Section 5. Surety Bonds and Undertakings.

Any officer of the Company authorized for that purpose in writing by the chairman or the president, and subject to such limitations as the chairman or the president may prescribe, shall appoint such attorneys-in-fact, as may be necessary to act in behalf of the Company to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations. Such attorneys-in-fact subject to the limitations set forth in their respective powers of attorney, shall have full power to bind the Company by their signature and execution of any such instruments and to attach thereto the seal of the Company. When so executed such instruments shall be as binding as if signed by the president and attested by the secretary.

Certificate of Designation - The President of the Company, acting pursuant to the Bylaws of the Company, authorizes David M. Carey, Assistant Secretary to appoint such attorneys-in-fact as may be necessary to act on behalf of the Company to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations.

Authorization - By unanimous consent of the Company's Board of Directors, the Company consents that facsimile or mechanically reproduced signature of any assistant secretary of the Company, wherever appearing upon a certified copy of any power of attorney issued by the Company in connection with surety bonds, shall be valid and binding upon the Company with the same force and effect as though manually affixed.

I, Renee C. Llewellyn, the undersigned, Assistant Secretary, The Ohio Casualty Insurance Company, Liberty Mutual Insurance Company, and West American Insurance Company do hereby certify that the original power of attorney of which the foregoing is a full, true and correct copy of the Power of Attorney executed by said Companies, is in full force and effect and has not been revoked.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed the seals of said Companies this 30 day of May, 2021



By: Renee C. Llewellyn, Assistant Secretary

Not valid for mortgage, no loan, letter of credit, currency rate, interest rate or residual value guarantees.

For bond and/or Power of Attorney (POA) verification inquiries, please call 610-832-8240 or email HOSUR@libertymutual.com.

CHANGE RIDER

To be attached to and form a part of Bond No. 024277035

in the amount of \$1,200,000.00 issued by Liberty Mutual Insurance Company

on behalf of Meritage Homes of the Carolinas, Inc.

in favor of Town of Zebulon

in consideration of the mutual agreements herein contained the Principal and the Surety hereby consent to adding the underlined verbiage as noted in the following:

NOW, THEREFORE, if the said Principal shall well and truly cause said improvements, as herein before specified, within the limits of said subdivision to be improved, then this obligation shall cease and be void, otherwise it shall remain in full force and effect, and the Surety on this bond binds itself to said Oblige, to the amount on the herein above stated penal sum, that said improvements shall be completed in accordance with the agreement between Principal and Oblige. As part of the obligations secured hereby and in addition to the principal amount of the bond, there shall be included costs, reasonable expenses and fees, including reasonable attorney's fees, incurred by Oblige, but these costs shall not exceed ten percent (10%) of the penal sum of the bond.

It is expressly understood and agreed that this bond will continue until released by the Oblige upon written agreement to the Principal.

IN WITNESS WHEREOF, said Principal has hereunto set its hands and seals, and said Surety has caused these presents to be executed by its officers thereunto authorized this 30th day of May, 2024.

It is further expressly understood and agreed that the aggregate liability of the _____

Liberty Mutual Insurance Company under said bond to the obligee

herein mentioned shall not exceed the amount stated above.

Nothing herein contained shall be held to vary, alter, waive, or extend any of the terms, agreements, conditions or limitations of the above-mentioned bond, other than as above stated.

Signed, sealed and dated this 10th day of June, 2024.

Liberty Mutual Insurance Company



BY: _____

Brenda Wong

Brenda Wong

Attorney-in-Fact



This Power of Attorney limits the acts of those named herein, and they have no authority to bind the Company except in the manner and to the extent herein stated.

Liberty Mutual Insurance Company
The Ohio Casualty Insurance Company
West American Insurance Company

Certificate No: 8204866

POWER OF ATTORNEY

KNOWN ALL PERSONS BY THESE PRESENTS: That The Ohio Casualty Insurance Company is a corporation duly organized under the laws of the State of New Hampshire, that Liberty Mutual Insurance Company is a corporation duly organized under the laws of the State of Massachusetts, and West American Insurance Company is a corporation duly organized under the laws of the State of Indiana (herein collectively called the "Companies"), pursuant to and by authority herein set forth, does hereby name, constitute and appoint, Brenda Wong

all of the city of Los Angeles, state of California each individually if there be more than one named, its true and lawful attorney-in-fact to make, execute, seal, acknowledge and deliver, for and on its behalf as surety and as its act and deed, any and all undertakings, bonds, recognizances and other surety obligations, in pursuance of these presents and shall be as binding upon the Companies as if they have been duly signed by the president and attested by the secretary of the Companies in their own proper persons.

IN WITNESS WHEREOF, this Power of Attorney has been subscribed by an authorized officer or official of the Companies and the corporate seals of the Companies have been affixed thereto this 15th day of February, 2021

Liberty Mutual Insurance Company
The Ohio Casualty Insurance Company
West American Insurance Company



By: [Signature of David M. Carey]

David M. Carey, Assistant Secretary

STATE OF PENNSYLVANIA ss
COUNTY OF MONTGOMERY

On this 15th day of February, 2021, before me personally appeared David M. Carey, who acknowledged himself to be the Assistant Secretary of Liberty Mutual Insurance Company, The Ohio Casualty Company, and West American Insurance Company, and that he, as such, being authorized so to do, execute the foregoing instrument for the purposes therein contained by signing on behalf of the corporations by himself as a duly authorized officer.

IN WITNESS WHEREOF, I have hereunto subscribed my name and affixed my notarial seal at King of Prussia, Pennsylvania, on the day and year first above written.



Commonwealth of Pennsylvania - Notary Seal
Teresa Pastella, Notary Public
Montgomery County
My commission expires March 28, 2025
Commission number 1126044
Member - Pennsylvania Association of Notaries

By: [Signature of Teresa Pastella]
Teresa Pastella, Notary Public

This Power of Attorney is made and executed pursuant to and by authority of the following By-laws and Authorizations of The Ohio Casualty Insurance Company, Liberty Mutual Insurance Company, and West American Insurance Company which resolutions are now in full force and effect reading as follows:

ARTICLE IV - OFFICERS: Section 12 Power of Attorney.

Any officer or other official of the Corporation authorized for that purpose in writing by the Chairman or the President, and subject to such limitation as the Chairman or the President may prescribe, shall appoint such attorneys-in-fact, as may be necessary to act in behalf of the Corporation to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations. Such attorneys-in-fact, subject to the limitations set forth in their respective powers of attorney, shall have full power to bind the Corporation by their signature and execution of any such instruments and to attach thereto the seal of the Corporation. When so executed, such instruments shall be as binding as if signed by the President and attested to by the Secretary. Any power or authority granted to any representative or attorney-in-fact under the provisions of this article may be revoked at any time by the Board, the Chairman, the President or by the officer or officers granting such power or authority.

ARTICLE XIII - Execution of Contracts: Section 5 Surety Bonds and Undertakings.

Any officer of the Company authorized for that purpose in writing by the chairman or the president, and subject to such limitations as the chairman or the president may prescribe, shall appoint such attorneys-in-fact, as may be necessary to act in behalf of the Company to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations. Such attorneys-in-fact, subject to the limitations set forth in their respective powers of attorney, shall have full power to bind the Company by their signature and execution of any such instruments and to attach thereto the seal of the Company. When so executed such instruments shall be as binding as if signed by the president and attested by the secretary.

Certificate of Designation - The President of the Company, acting pursuant to the Bylaws of the Company, authorizes David M. Carey, Assistant Secretary to appoint such attorneys-in-fact as may be necessary to act on behalf of the Company to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations.

Authorization - By unanimous consent of the Company's Board of Directors, the Company consents that facsimile or mechanically reproduced signature of any assistant secretary of the Company, wherever appearing upon a certified copy of any power of attorney issued by the Company in connection with surety bonds, shall be valid and binding upon the Company with the same force and effect as though manually affixed.

I, Renee C. Llewellyn, the undersigned, Assistant Secretary, of Liberty Mutual Insurance Company, The Ohio Casualty Insurance Company, and West American Insurance Company do hereby certify that this power of attorney executed by said Companies is in full force and effect and has not been revoked.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed the seals of said Companies this 10th day of June 2024



By: [Signature of Renee C. Llewellyn]

Renee C. Llewellyn, Assistant Secretary

Not valid for mortgage, note, letter of credit, currency rate, interest rate or residual value guarantees.

For bond and/or Power of Attorney (POA) verification inquiries, please call 610-832-8240 or email HOSUR@libertymutual.com.

SUBDIVISION BOND

Bond No.: DUA001269

Principal Amount: \$303,750.00

KNOW ALL MEN BY THESE PRESENTS, that we
Meritage Homes of the Carolinas, Inc.
3300 Paramount Pkwy, Suite 120, Morrisville, NC 27560
as Principal, and
AXIS Insurance Company
10000 Avalon Blvd., Suite 200, Alpharetta, GA 30009 a IL
Corporation, as Surety, are held and firmly bound unto
Town of Zebulon,
100 North Arendell Avenue, Zebulon, NC 27597
as Obligee, in the penal sum of
Three Hundred Three Thousand Seven Hundred Fifty and 00/100
(Dollars) (\$ 303,750.00), lawful money of the
United States of America, for the payment of which well and truly to be made, we bind ourselves,
our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these
presents.

WHEREAS, Meritage Homes of the Carolinas, Inc. has agreed to construct in
Cadence Meadow's Subdivision, in Zebulon, NC the following
improvements:

SCM 1 & SCM 2 Conversions

NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION IS SUCH, that if the said
Principal shall construct, or have constructed, the improvements herein described, and shall save the
Obligee harmless from any loss, cost or damage by reason of its failure to complete said work, then
this obligation shall be null and void, otherwise to remain in full force and effect, and the Surety,
upon receipt of a resolution of the Obligee indicating that the improvements have not been installed
or completed, will complete the improvements or pay to the Obligee such amount up to the
Principal amount of this bond which will allow the Obligee to complete the improvements.

Upon approval by the Obligee, this instrument may be proportionately reduced as the public
improvements are completed.

Signed, sealed and dated, this 13th day of June, 2024

Meritage Homes of the Carolinas, Inc.

Principal

By:

Glen Tulk
Glen Tulk
VP - National Land Development

AXIS Insurance Company

Surety

By:

Martin Moss
Martin Moss Attorney-in-Fact

STATE OF ILLINOIS

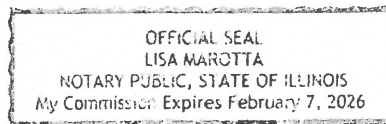
COUNTY OF DUPAGE}

On June 13, 2024, before me, Lisa Marotta, a Notary Public in and for said County and State, residing therein, duly commissioned and sworn, personally appeared, Martin Moss known to me to be Attorney-in-Fact of AXIS Insurance Company the corporation described in and that executed the within and foregoing instrument, and known to me to be the person who executed the said instrument in behalf of the said corporation, and duly acknowledged to me that such corporation executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year stated in this certificate above.

My Commission Expires, February 7, 2026

Commission No. 946275


Lisa Marotta, Notary Public

DUA001269

POWER OF ATTORNEY

Know All Men by These Presents: That AXIS Insurance Company, an Illinois property and casualty company, (the "Company") does hereby appoint:

Amy Wickett, Jack Hanson, Martin Moss, Stasha King and Stephen Kazmer.

as its true and lawful Attorney(s)-In-Fact, to make, execute, seal and deliver for and on its behalf as surety, bonds and undertakings, such documents to be valid as though executed by the Company on its own behalf. The Company may revoke this appointment at any time.

EXCEPTION: NO AUTHORITY is granted to make, execute, seal and deliver bonds or undertakings that guarantee the payment or collection of any promissory note, check, draft or letter of credit.

This Power of Attorney is signed, sealed and certified under and by the authority of resolutions adopted by unanimous written consent of the Board of Directors of the Company on September 27, 2023:

RESOLVED, that in connection with the Agreements, any one of the Chief Executive Officer, President, any Executive Vice President, any Senior Vice President of the Company, or any Vice President - Surety (each an "Authorized Officer"), acting singly, shall have the power and authority to appoint and revoke Attorneys-In-Fact, and to allow such Attorneys-In-Fact to further delegate their power and authority pursuant to appropriate written agreements, to make, execute, seal and deliver for and on behalf of the Company as surety, bonds and undertakings, such documents to be valid as though executed by the Company on its own behalf, and

RESOLVED FURTHER, that each of the each of the Authorized Officers and any Secretary or Assistant Secretary of the Company, hereby is, acting singly, authorized, empowered and directed to perform such acts and things as may be necessary or appropriate to carry out the foregoing resolution and the transactions contemplated thereby.

In Witness Whereof, AXIS Insurance Company has caused this instrument to be signed and its corporate seal to be affixed by a duly elected and qualified officer, this 10th day of October, 2023.

Attested and Certified
AXIS Insurance Company

By: [Signature]
Printed Name: Andrew M. Weissert
Title: Senior Vice President



STATE OF GEORGIA
COUNTY OF FULTON

Before me personally came Andrew M. Weissert, Senior Vice President of AXIS Insurance Company, to me known to be the individual and officer described herein, who acknowledged that they, being duly authorized, signed, sealed with the corporate seal and delivered the foregoing instrument by the authority and direction of said Company.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal

[Signature]
Notary Public



CERTIFICATION

I, Frances R. Mathis, Assistant Secretary of AXIS Insurance Company, do hereby certify that the attached Power of Attorney the 10th day of October, 2023, on behalf of the person(s) as listed above is a true and correct copy and the same has been in full force and effect since the date thereof and is in full force and effect on the date of this certificate; and I do further certify that the said Andrew M. Weissert, who executed the Power of Attorney, was a duly elected Senior Vice President of AXIS Insurance Company on the date of the execution of the attached Power of Attorney.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed the corporate seal of AXIS Insurance Company on this the 13th day of June, 2024.

By: [Signature]
Printed Name: Frances R. Mathis
Title: Assistant Secretary



SUBDIVISION BOND

Bond No.: DUA001270

Principal Amount: \$227,500.00

KNOW ALL MEN BY THESE PRESENTS, that we
Meritage Homes of the Carolinas, Inc.
3300 Paramount Pkwy, Suite 120, Morrisville, NC 27560
as Principal, and
AXIS Insurance Company
10000 Avalon Blvd., Suite 200, Alpharetta, GA 30009 a IL
Corporation, as Surety, are held and firmly bound unto
Town of Zebulon
100 North Arendell Avenue, Zebulon, NC 27597
as Obligee, in the penal sum of
Two Hundred Twenty Seven Thousand Five Hundred and 00/100
(Dollars) (\$ 227,500.00), lawful money of the
United States of America, for the payment of which well and truly to be made, we bind ourselves,
our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these
presents.

WHEREAS, Meritage Homes of the Carolinas, Inc. has agreed to construct in
Cadence Meadow's Subdivision, in Zebulon, NC the following
improvements:

SCM 3, SCM 4, & SCM 5 Conversions

NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION IS SUCH, that if the said
Principal shall construct, or have constructed, the improvements herein described, and shall save the
Obligee harmless from any loss, cost or damage by reason of its failure to complete said work, then
this obligation shall be null and void, otherwise to remain in full force and effect, and the Surety,
upon receipt of a resolution of the Obligee indicating that the improvements have not been installed
or completed, will complete the improvements or pay to the Obligee such amount up to the
Principal amount of this bond which will allow the Obligee to complete the improvements.

Upon approval by the Obligee, this instrument may be proportionately reduced as the public
improvements are completed.

Signed, sealed and dated, this 13th day of June, 2024

Meritage Homes of the Carolinas, Inc.

Principal

By:

Glen Yulk
Glen Yulk

VP-National Land Development

AXIS Insurance Company

Surety

By:

Martin Moss

Martin Moss Attorney-in-Fact

STATE OF ILLINOIS

COUNTY OF DUPAGE}

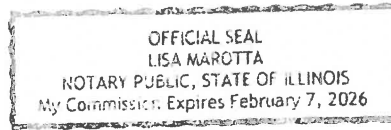
On June 13, 2024, before me, Lisa Marotta, a Notary Public in and for said County and State, residing therein, duly commissioned and sworn, personally appeared, Martin Moss known to me to be Attorney-in-Fact of AXIS Insurance Company the corporation described in and that executed the within and foregoing instrument, and known to me to be the person who executed the said instrument in behalf of the said corporation, and duly acknowledged to me that such corporation executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year stated in this certificate above.

My Commission Expires, February 7, 2026

Commission No. 946275



Lisa Marotta, Notary Public

DUA001270

POWER OF ATTORNEY

Know All Men by These Presents: That AXIS Insurance Company, an Illinois property and casualty company, (the "Company") does hereby appoint:

Amy Wickert, Jack Hanson, Martin Moes, Stasha King and Stephen Kazmer.

as its true and lawful Attorney(s)-In-Fact, to make, execute, seal and deliver for and on its behalf as surety, bonds and undertakings, such documents to be valid as though executed by the Company on its own behalf. The Company may revoke this appointment at any time.

EXCEPTION: NO AUTHORITY is granted to make, execute, seal and deliver bonds or undertakings that guarantee the payment or collection of any promissory note, check, draft or letter of credit.

This Power of Attorney is signed, sealed and certified under and by the authority of resolutions adopted by unanimous written consent of the Board of Directors of the Company on September 27, 2023:

RESOLVED, that in connection with the Agreements, any one of the Chief Executive Officer, President, any Executive Vice President, any Senior Vice President of the Company, or any Vice President - Surety (each an "Authorized Officer"), acting singly, shall have the power and authority to appoint and revoke Attorneys-In-Fact, and to allow such Attorneys-In-Fact to further delegate their power and authority pursuant to appropriate written agreements, to make, execute, seal and deliver for and on behalf of the Company as surety, bonds and undertakings, such documents to be valid as though executed by the Company on its own behalf; and

RESOLVED FURTHER, that each of the each of the Authorized Officers and any Secretary or Assistant Secretary of the Company, hereby is, acting singly, authorized, empowered and directed to perform such acts and things as may be necessary or appropriate to carry out the foregoing resolution and the transactions contemplated thereby.

In Witness Whereof, AXIS Insurance Company has caused this instrument to be signed and its corporate seal to be affixed by a duly elected and qualified officer, this 10th day of October, 2023

Attested and Certified
AXIS Insurance Company

By: [Signature]
Printed Name: Andrew M. Weissert
Title: Senior Vice President



STATE OF GEORGIA
COUNTY OF FULTON

Before me personally came Andrew M. Weissert, Senior Vice President of AXIS Insurance Company, to me known to be the individual and officer described herein, who acknowledged that they, being duly authorized, signed, sealed with the corporate seal and delivered the foregoing instrument by the authority and direction of said Company.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal.

[Signature]
Notary Public



CERTIFICATION

I, Frances R. Mathis, Assistant Secretary of AXIS Insurance Company, do hereby certify that the attached Power of Attorney the 10th day of October, 2023, on behalf of the person(s) as listed above is a true and correct copy and the same has been in full force and effect since the date thereof and is in full force and effect on the date of this certificate; and I do further certify that the said Andrew M. Weissert, who executed the Power of Attorney, was a duly elected Senior Vice President of AXIS Insurance Company on the date of the execution of the attached Power of Attorney.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed the corporate seal of AXIS Insurance Company on this the 13th day of June, 2024.

By: [Signature]
Printed Name: Frances R. Mathis
Title: Assistant Secretary



SUBDIVISION BOND

Bond No.: 7901181549

Principal Amount: \$1,830,000.00

KNOW ALL MEN BY THESE PRESENTS, that we
Meritage Homes of the Carolinas, Inc.
3300 Paramount Pkwy, Suite 120, Morrisville, NC 27560
as Principal, and
Nationwide Mutual Insurance Company
1100 Locust Street, Dept. 2006, Des Moines, IA 50391-2006 a OH
Corporation, as Surety, are held and firmly bound unto
Town of Zebulon
1003 North Arendell Avenue, Zebulon, NC 27597
as Obligee, in the penal sum of
One Million Eight Hundred Thirty Thousand and 00/100
(Dollars) (\$ 1,830,000.00), lawful money of the
United States of America, for the payment of which well and truly to be made, we bind ourselves,
our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these
presents.

WHEREAS, Meritage Homes of the Carolinas, Inc. has agreed to construct in
Cadence Meadows Subdivision, in Zebulon, NC the following
improvements:

Amenity Center & Pool

NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION IS SUCH, that if the said
Principal shall construct, or have constructed, the improvements herein described, and shall save the
Obligee harmless from any loss, cost or damage by reason of its failure to complete said work, then
this obligation shall be null and void, otherwise to remain in full force and effect, and the Surety,
upon receipt of a resolution of the Obligee indicating that the improvements have not been installed
or completed, will complete the improvements or pay to the Obligee such amount up to the
Principal amount of this bond which will allow the Obligee to complete the improvements.

Upon approval by the Obligee, this instrument may be proportionately reduced as the public
improvements are completed.

Signed, sealed and dated, this 21st day of August, 2024

Meritage Homes of the Carolinas, Inc.

Principal

By:

Glen Tuik
Glen Tuik

SVP-National Land Development

Nationwide Mutual Insurance Company

Surety

By:

James I Moore
James I Moore Attorney-in-Fact

STATE OF ILLINOIS

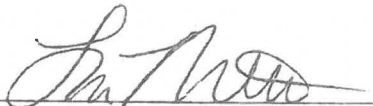
COUNTY OF DUPAGE}

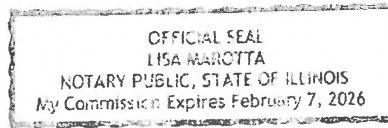
On August 21, 2024, before me, Lisa Marotta, a Notary Public in and for said County and State, residing therein, duly commissioned and sworn, personally appeared, James I Moore known to me to be Attorney-in-Fact of Nationwide Mutual Insurance Company the corporation described in and that executed the within and foregoing instrument, and known to me to be the person who executed the said instrument in behalf of the said corporation, and duly acknowledged to me that such corporation executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year stated in this certificate above.

My Commission Expires, February 7, 2026

Commission No. 946275


Lisa Marotta, Notary Public



Power of Attorney

KNOW ALL MEN BY THESE PRESENTS THAT:

Nationwide Mutual Insurance Company, an Ohio corporation

hereinafter referred to severally as the "Company" and collectively as "the Companies" does hereby make, constitute and appoint:

JAMES I MOORE, STEPHEN T KAZMER, DAWN L MORGAN, MELISSA SCHMIDT, AMY WICKETT, KELLY A GARDNER, JENNIFER J MCCOMB, TARIESE M PISCIOOTTO, DIANE M RUBRIGHT, MARTIN MOSS

each in their individual capacity, its true and lawful attorney-in-fact, with full power and authority to sign, seal, and execute on its behalf any and all bonds and undertakings, and other obligatory instruments of similar nature, in penalties not exceeding the sum of

UNLIMITED

and to bind the Company thereby, as fully and to the same extent as if such instruments were signed by the duly authorized officers of the Company, and all acts of said Attorney pursuant to the authority given are hereby ratified and confirmed.

This power of attorney is made and executed pursuant to and by authority of the following resolution duly adopted by the board of directors of the Company:

"RESOLVED, that the president, or any vice president be, and each hereby is, authorized and empowered to appoint attorneys-in-fact of the Company, and to authorize them to execute and deliver on behalf of the Company any and all bonds, forms, applications, memorandums, undertakings, recognizances, transfers, contracts of indemnity, policies, contracts guaranteeing the fidelity of persons holding positions of public or private trust, and other writings obligatory in nature that the business of the Company may require, and to modify or revoke, with or without cause, any such appointment or authority; provided, however, that the authority granted hereby shall in no way limit the authority of other duly authorized agents to sign and countersign any of said documents on behalf of the Company."

"RESOLVED FURTHER, that such attorneys-in-fact shall have full power and authority to execute and deliver any and all such documents and to bind the Company subject to the terms and limitations of the power of attorney issued to them, and to affix the seal of the Company thereto; provided, however, that said seal shall not be necessary for the validity of any such documents."

This power of attorney is signed and sealed under and by the following bylaws duly adopted by the board of directors of the Company.

Execution of Instruments. Any vice president, any assistant secretary or any assistant treasurer shall have the power and authority to sign or attest all approved documents, instruments, contracts, or other papers in connection with the operation of the business of the company in addition to the chairman of the board, the chief executive officer, president, treasurer or secretary; provided, however, the signature of any of them may be printed, engraved, or stamped on any approved document, contract, instrument, or other papers of the Company.

IN WITNESS WHEREOF, the Company has caused this instrument to be sealed and duly attested by the signature of its officer the 20th day of August, 2021.

[Handwritten signature of Antonio C. Albanese]

Antonio C. Albanese, Vice President of Nationwide Mutual Insurance Company

ACKNOWLEDGMENT

STATE OF NEW YORK COUNTY OF NEW YORK: ss

On this 20th day of August, 2021, before me came the above-named officer for the Company aforesaid, to me personally known to be the officer described in and who executed the preceding instrument, and he acknowledged the execution of the same, and being by me duly sworn, deposes and says, that he is the officer of the Company aforesaid, that the seal affixed hereto is the corporate seal of said Company, and the said corporate seal and his signature were duly affixed and subscribed to said instrument by the authority and direction of said Company



Stephanie Rubino McArthur
Notary Public, State of New York
No. 02MC6270117
Qualified in New York County
Commission Expires October 19, 2024

[Handwritten signature of Stephanie Rubino McArthur]

Notary Public
My Commission Expires
October 19, 2024

CERTIFICATE

I, Laura B. Guy, Assistant Secretary of the Company, do hereby certify that the foregoing is a full, true and correct copy of the original power of attorney issued by the Company; that the resolution included therein is a true and correct transcript from the minutes of the meetings of the boards of directors and the same has not been revoked or amended in any manner; that said Antonio C. Albanese was on the date of the execution of the foregoing power of attorney the duly elected officer of the Company, and the corporate seal and his signature as officer were duly affixed and subscribed to the said instrument by the authority of said board of directors; and the foregoing power of attorney is still in full force and effect.

IN WITNESS WHEREOF, I have hereunto subscribed my name as Assistant Secretary, and affixed the corporate seal of said Company this 21st day of August, 2024

[Handwritten signature of Laura B. Guy]

Assistant Secretary

BOND NO.: 024279616
PREMIUM: \$590.00

SUBDIVISION PERFORMANCE BOND

KNOW ALL MEN BY THESE PRESENTS:

That Meritage Homes of the Carolinas, Inc. as Principal and Liberty Mutual Insurance Company a corporation licensed to transact surety business in the State of North Carolina, as Surety, are held and firmly bound unto the Town of Zebulon, as obligee, in the penal sum of One Hundred Eighty-four Thousand Four Hundred Sixty-two & 43/100 (\$184,462.43), for the payment of which sum well and truly to made, we bind ourselves, our heirs, executors, successors and assigns, jointly and severally by these presents.

THE CONDITION OF THE ABOVE OBLIGATION IS SUCH, that whereas said Principal, the owner of a tract of land representing a subdivision entitled Cadence Meadows and

WHEREAS, the map of said tract on which Principal desires to construct

Streets - Base Course Asphalt

hereinafter referred to as improvements, and petition the obligee to accept the improvements, and

WHEREAS, said obligee requires a bond conditioned for the improvements of said tract, and

WHEREAS, the Principal proposes at its own cost and expense to improve said tract within the limits of said subdivision.

NOW, THEREFORE, if the said Principal shall well and truly cause said improvements, as herein before specified, within the limits of said subdivision to be improved, then this obligation shall cease and be void, otherwise it shall remain in full force and effect, and the Surety on this bond binds itself to said Obligee, to the amount on the herein above stated penal sum, that said improvements shall be completed in accordance with the agreement between Principal and Obligee.

IN WITNESS WHEREOF, said Principal has hereunto set its hands and seals, and said Surety has caused these presents to be executed by its officers thereunto authorized this 5th day of August 2024.

Meritage Homes of the Carolinas, Inc.

By: Glen Turk VP-National Lead Dev. (Name & Title)

Liberty Mutual Insurance Company

By: Brenda Wong Brenda Wong, Attorney-in-Fact



This Power of Attorney limits the acts of those named herein, and they have no authority to bind the Company except in the manner and to the extent herein stated.

Liberty Mutual Insurance Company
The Ohio Casualty Insurance Company
West American Insurance Company

Certificate No 8204866

POWER OF ATTORNEY

KNOWN ALL PERSONS BY THESE PRESENTS: That The Ohio Casualty Insurance Company is a corporation duly organized under the laws of the State of New Hampshire, that Liberty Mutual Insurance Company is a corporation duly organized under the laws of the State of Massachusetts, and West American Insurance Company is a corporation duly organized under the laws of the State of Indiana (herein collectively called the "Companies"), pursuant to and by authority herein set forth, does hereby name, constitute and appoint

Brenda Wong

all of the city of Los Angeles, state of California each individually if there be more than one named, its true and lawful attorney-in-fact to make, execute, seal, acknowledge and deliver, for and on its behalf as surety and as its act and deed, any and all undertakings, bonds, recognizances and other surety obligations, in pursuance of these presents and shall be as binding upon the Companies as if they have been duly signed by the president and attested by the secretary of the Companies in their own proper persons.

IN WITNESS WHEREOF, this Power of Attorney has been subscribed by an authorized officer or official of the Companies and the corporate seals of the Companies have been affixed thereto this 1st day of July, 2024.

Liberty Mutual Insurance Company
The Ohio Casualty Insurance Company
West American Insurance Company



By: [Signature]
Nathan J Zangerle, Assistant Secretary

Not valid for mortgage, note, loan, letter of credit, currency rate, interest rate or residual value guarantees.

For bond and/or Power of Attorney (POA) verification inquiries, please call 610-832-8240 or email HOSUR@libertymutual.com.

STATE OF PENNSYLVANIA ss
COUNTY OF MONTGOMERY

On this 1st day of July, 2024, before me personally appeared Nathan J. Zangerle, who acknowledged himself to be the Assistant Secretary of Liberty Mutual Insurance Company, The Ohio Casualty Company, and West American Insurance Company, and that he, as such, being authorized so to do, execute the foregoing instrument for the purposes therein contained by signing on behalf of the corporations by himself as a duly authorized officer.

IN WITNESS WHEREOF, I have hereunto subscribed my name and affixed my notarial seal at Plymouth Meeting, Pennsylvania, on the day and year first above written.



Commonwealth of Pennsylvania - Notary Seal
Teresa Pastella, Notary Public
Montgomery County
My commission expires March 28, 2025
Commission number 1126044
Member, Pennsylvania Association of Notaries

By: [Signature]
Teresa Pastella, Notary Public

This Power of Attorney is made and executed pursuant to and by authority of the following By-laws and Authorizations of The Ohio Casualty Insurance Company, Liberty Mutual Insurance Company, and West American Insurance Company which resolutions are now in full force and effect reading as follows:

ARTICLE IV - OFFICERS: Section 12. Power of Attorney.

Any officer or other official of the Corporation authorized for that purpose in writing by the Chairman or the President, and subject to such limitation as the Chairman or the President may prescribe, shall appoint such attorneys-in-fact, as may be necessary to act in behalf of the Corporation to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations. Such attorneys-in-fact, subject to the limitations set forth in their respective powers of attorney, shall have full power to bind the Corporation by their signature and execution of any such instruments and to attach thereto the seal of the Corporation. When so executed, such instruments shall be as binding as if signed by the President and attested to by the Secretary. Any power or authority granted to any representative or attorney-in-fact under the provisions of this article may be revoked at any time by the Board, the Chairman, the President or by the officer or officers granting such power or authority.

ARTICLE XIII - Execution of Contracts: Section 5. Surety Bonds and Undertakings.

Any officer of the Company authorized for that purpose in writing by the chairman or the president, and subject to such limitations as the chairman or the president may prescribe, shall appoint such attorneys-in-fact, as may be necessary to act in behalf of the Company to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations. Such attorneys-in-fact, subject to the limitations set forth in their respective powers of attorney, shall have full power to bind the Company by their signature and execution of any such instruments and to attach thereto the seal of the Company. When so executed such instruments shall be as binding as if signed by the president and attested by the secretary.

Certificate of Designation - The President of the Company, acting pursuant to the Bylaws of the Company, authorizes Nathan J. Zangerle, Assistant Secretary to appoint such attorneys-in-fact as may be necessary to act on behalf of the Company to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations.

Authorization - By unanimous consent of the Company's Board of Directors, the Company consents that facsimile or mechanically reproduced signature of any assistant secretary of the Company, wherever appearing upon a certified copy of any power of attorney issued by the Company in connection with surety bonds, shall be valid and binding upon the Company with the same force and effect as though manually affixed.

I, Renee C. Llewellyn, the undersigned, Assistant Secretary, of Liberty Mutual Insurance Company, The Ohio Casualty Insurance Company, and West American Insurance Company do hereby certify that this power of attorney executed by said Companies is in full force and effect and has not been revoked.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed the seals of said Companies this 5th day of August 2024



By: [Signature]
Renee C. Llewellyn, Assistant Secretary

SUBDIVISION BOND

Bond No.: DUA001281

Principal Amount: \$220,000.00

KNOW ALL MEN BY THESE PRESENTS, that we

Meritage Homes of the Carolinas, Inc.
3300 Paramount Pkwy, Suite 120, Morrisville, NC 27560

as Principal, and

AXIS Insurance Company
10000 Avalon Blvd., Suite 200, Alpharetta, GA 30009 a IL

Corporation, as Surety, are held and firmly bound unto

Town of Zebulon
1003 North Arendell Ave, Zebulon, NC 27597

as Obligee, in the penal sum of

Two Hundred Twenty Thousand and 00/100

(Dollars) (\$ 220,000.00), lawful money of the United States of America, for the payment of which well and truly to be made, we bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, Meritage Homes of the Carolinas, Inc. has agreed to construct in

Cadence Meadows Subdivision, in Zebulon, NC the following improvements:

Greenway Trail

NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION IS SUCH, that if the said Principal shall construct, or have constructed, the improvements herein described, and shall save the Obligee harmless from any loss, cost or damage by reason of its failure to complete said work, then this obligation shall be null and void, otherwise to remain in full force and effect, and the Surety, upon receipt of a resolution of the Obligee indicating that the improvements have not been installed or completed, will complete the improvements or pay to the Obligee such amount up to the Principal amount of this bond which will allow the Obligee to complete the improvements.

Upon approval by the Obligee, this instrument may be proportionately reduced as the public improvements are completed.

Signed, sealed and dated, this 7th day of November, 2024

Meritage Homes of the Carolinas, Inc.

Principal
By: Glen Tuik
Glen Tuik
SVP-National Land Development

AXIS Insurance Company

Surety
By: Martin Moss
Martin Moss Attorney-in-Fact

State of Illinois}
 } ss.
County of DuPage}

On November 7, 2024, before me, a Notary Public in and for said County and State, residing therein, duly commissioned and sworn, personally appeared Martin Moss known to me to be Attorney-in-Fact of AXIS Insurance Company the corporation described in and that executed the within and foregoing instrument, and known to me to be the person who executed the said instrument on behalf of the said corporation, and he duly acknowledged to me that such corporation executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year stated in this certificate above.

My Commission Expires: May, 24, 2025

Cynthia A. Schwinn

Cynthia A. Schwinn, Notary Public
Commission No. 932502



POWER OF ATTORNEY

Know All Men by These Presents: That AXIS Insurance Company, an Illinois property and casualty company, (the "Company") does hereby appoint:

Amy Wickett, Jack Hanson, Martin Moss and Stasha King.

as its true and lawful Attorney(s)-In-Fact, to make, execute, seal and deliver for and on its behalf as surety, bonds and undertakings, such documents to be valid as though executed by the Company on its own behalf. The Company may revoke this appointment at any time.

EXCEPTION: NO AUTHORITY is granted to make, execute, seal and deliver bonds or undertakings that guarantee the payment or collection of any promissory note, check, draft or letter of credit.

This Power of Attorney is signed, sealed and certified under and by the authority of resolutions adopted by unanimous written consent of the Board of Directors of the Company on September 27, 2023:

RESOLVED, that in connection with the Agreements, any one of the Chief Executive Officer, President, any Executive Vice President, any Senior Vice President of the Company, or any Vice President - Surety (each an "Authorized Officer"), acting singly, shall have the power and authority to appoint and revoke Attorneys-In-Fact, and to allow such Attorneys-In-Fact to further delegate their power and authority pursuant to appropriate written agreements, to make, execute, seal and deliver for and on behalf of the Company as surety, bonds and undertakings, such documents to be valid as though executed by the Company on its own behalf; and

RESOLVED FURTHER, that each of the each of the Authorized Officers and any Secretary or Assistant Secretary of the Company, hereby is, acting singly, authorized, empowered and directed to perform such acts and things as may be necessary or appropriate to carry out the foregoing resolution and the transactions contemplated thereby.

In Witness Whereof, AXIS Insurance Company has caused this instrument to be signed and its corporate seal to be affixed by a duly elected and qualified officer, this 10th day of October, 2023.

Attested and Certified
AXIS Insurance Company

By: _____

Printed Name: Andrew M. Weissert

Title: Senior Vice President



STATE OF GEORGIA
COUNTY OF FULTON

Before me personally came Andrew M. Weissert, Senior Vice President of AXIS Insurance Company, to me known to be the individual and officer described herein, who acknowledged that they, being duly authorized, signed, sealed with the corporate seal and delivered the foregoing instrument by the authority and direction of said Company.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal.

Angela Grubbs
Notary Public



CERTIFICATION

I, Frances R. Mathis, Assistant Secretary of AXIS Insurance Company, do hereby certify that the attached Power of Attorney the 10th day of October, 2023, on behalf of the person(s) as listed above is a true and correct copy and the same has been in full force and effect since the date thereof and is in full force and effect on the date of this certificate; and I do further certify that the said Andrew M. Weissert, who executed the Power of Attorney, was a duly elected Senior Vice President of AXIS Insurance Company on the date of the execution of the attached Power of Attorney.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed the corporate seal of AXIS Insurance Company on this the 7th day of November, 2024.

Frances R. Mathis
Printed Name: Frances R. Mathis

Title: Assistant Secretary



05 CADENCE MEADOWS
PHASE 1
DEVELOPER GUARANTEE
STREETS + STORMWATER

ACCEPTED *[Signature]*
11/7/2024



Meritage Homes of The Carolinas, INC
3300 Paramount Parkway, Suite 120
Morrisville, NC 27560

DEVELOPERS GUARANTEE

Attn: Town Of Zebulon, N.C
Cadence Meadows Phase 1

Meritage Homes of The Carolinas, INC provides the following statement of warranty for the below referenced project:

Cadence Meadows Phase 1

Meritage Homes of The Carolinas guarantees and warrants that all roadways and storm sewer infrastructure installed within the Cadence Meadows Phase 1 Subdivision conforms with the Town of Zebulon requirements, and this warranty remain in full force and effect for a period of one year from the date of the acceptance of the work. Meritage Homes of The Carolinas, INC hereby agrees to indemnify, defend and hold harmless to the Town of Zebulon from and against all costs, loss, and damages, including attorney fees, arising from the failure of the work to conform to the Town of Zebulon standards

Meritage Homes of The Carolinas, INC has executed this guarantee on the 25 day of Jun 2024.

Scott Roylance, Division President
Meritage Homes of the Carolinas, LLC

Wake County, North Carolina

I Hunter Queen certify that the following person(s) personally appeared before me this day, each acknowledging to me that he or she signed the foregoing document:

Scott Roylance

Name(s) of principal(s)

Date: 07/23/24
(Official Seal)

Notary Public

My commission expires: 10/15/28



06 CADENCE MEADOWS
PHASE 1
DEVELOPERS WARRANTY
WATER + SEWER

ACCEPTED *[Signature]*
11/7/2021



Meritage Homes of The Carolinas, INC
3300 Paramount Parkway, Suite 120
Morrisville, NC 27560

DEVELOPERS GUARANTEE

Attn: Mike Fowler
City OF Raleigh Inspections

Re: Cadence Meadows - Phase 1

Meritage Homes of The Carolinas, INC provides the following statement of warranty for the below referenced project:

Cadence Meadows Phase 1

Meritage Homes of The Carolinas guarantees and warrants that all public water, public sewer, and mains infrastructure installed within the Cadence Meadows Phase 1 Subdivision conforms with the City of Raleigh requirements, and this warranty remain in full force and effect for a period of one year from the date of the acceptance of the work. Meritage Homes of The Carolinas, INC hereby agrees to indemnify, defend, and hold harmless to the City of Raleigh from and against all costs, loss, and damages, including attorney fees, arising from the failure of the work to conform to the City of Raleigh standards.

Meritage Homes of The Carolinas, INC has executed this guarantee on the 23 day of June 2024.

[Signature]

Scott Roylance, Division President
Meritage Homes of the Carolinas, LLC

Wake County, North Carolina

I, Hunter Queen certify that the following person(s) personally appeared before me this day,
each acknowledging to me that he or she signed the foregoing document:

Scott Roylance

Name(s) of principal(s)

Date: 07/23/24
(Official Seal)

[Signature]
Notary Public

My commission expires: 10/15/28



07 ENGINEER CERTIFICATION
OF MANGOT

Mr. Joseph Collins

January 16, 2025

Town of Zebulon



**Cadence Meadows
Bond Estimate**

Meritage Homes asked for us to develop a completion bond estimate for the Cadence Meadows Phase 1 final plat. Please see below.

We have reviewed the data provided by the third-party testing firm, and is our opinion that the asphalt placed, excluding areas bonded for base course asphalt and describe in the attached bond letter dated 10/23/2024, meets the requirement of the Town of Zebulon Specifications and standards as described in the Town of Zebulon Specification (20 year life) and the Project Documents based on its expected use.

Best regards,

A Mangot.

Alex Mangot, PE

Project Manager



07A
BASE COURSE
ASPHALT



320 Executive Court, Hillsborough, NC 27278
Phone // 919.732.3883 Web // www.summitde.net

DAILY FIELD REPORT

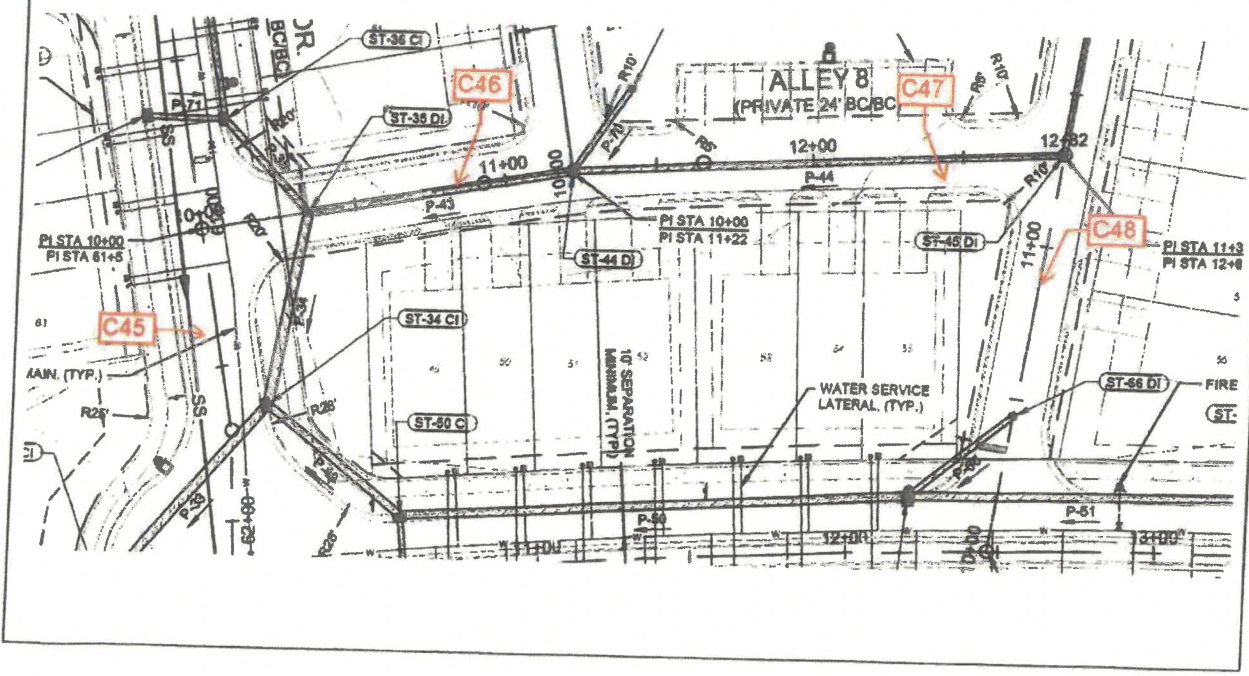
PROJECT NO: 23-0167.010	CLIENT: Meritage Homes of the Carolinas, Inc
PROJECT: 200.04 Cadence Meadows Lot Matrix	WEATHER/TEMP: Sunny/70-80s F

DATE	START TIME	END TIME	TOTAL HOURS
09/03/2024	0830	1430	6.0

FIELD TESTS PERFORMED
Asphalt Coring Samples

REMARKS:

Inspector arrived on site to observe Asphalt coring samples for 2" thick of 1st lift surface course mix RS9.5C, JMF 23-0026-151. Core C-45 taken from Rosebush dr., Core C-46 and C-47 taken from Alley 8, and C-48 taken from Alley 11 and one from Rosebush dr. Total of 4 cores were also obtained approx. every 300 linear feet, following the Town of Zebulon guidelines, and will be delivered to Summit's laboratory for thickness and specific gravity testing. Please see the attached plan drawing with selected area for the approximately location below.



TECHNICIAN'S NAME: Ibrahim Gorgy

TECHNICIAN'S SIGNATURE: *Ibrahim Gorgy*

INFORMATION STATED ON THIS REPORT IS SUBJECT TO ENGINEERING REVIEW AND COMMENT.

NORTH CAROLINA DEPARTMENT OF TRANSPORTATION

WORKSHEET FOR ROADWAY CORE SAMPLE DENSITY DETERMINATION & COMPARISON

PROJECT NUMBER: 23-0167.010

TYPE MIX: RS9.5C

MIN. % COMPACTION REQ: 92

CONTRACTOR: Giant Development, Inc

PLANT LOCATION:

DATE PLACED	JMF No.	SAMPLE No.	SAMPLE THICKNESS	DRY WT.	SSD WT.	IN WATER WT.	QA SP. GR.	QC SP. GR.	TARGET SP. GR.	QA %	QC %	LIMITS OF PRECISION (Y/N)	* QA /QC TECHNICIAN SIGNATURE
8/30/24	23-0026-151	C45	2 1/2	2278.7	2281.4	1282.7		2.282	2.459		92.8		
8/30/24	23-0026-151	C46	2 3/4	2651.8	2655.2	1514.0		2.324	2.459		94.5		
8/30/24	23-0026-151	C47	2 1/8	2354.0	2358.7	1287.2		2.197	2.459		89.3		
8/30/24	23-0026-151	C48	2 7/8	2534.2	2540.2	1385.7		2.195	2.459		89.3		

NOTE: QC TO FAX CURRENT FORM TO QA DAILY DURING PRODUCTION.

* BY PROVIDING THIS DATA UNDER MY SIGNATURE AND /OR HIGAMS CERTIFICATION NUMBER, I ATTEST TO THE ACCURACY AND VALIDITY OF THE DATA CONTAINED ON THIS FORM AND CERTIFY THAT NO DELIBERATE MISREPRESENTATION OF TEST RESULTS, IN ANY MANNER, HAS OCCURRED.



320 Executive Court, Hillsborough, NC 27278
 Phone // 919.732.3883 Web // www.summitde.net

DAILY FIELD REPORT

PROJECT NO: 23-0167.010	CLIENT: Meritage Homes of the Carolinas, Inc
PROJECT: 200.04 Cadence Meadows Lot Matrix	WEATHER/TEMP: Clear/80s

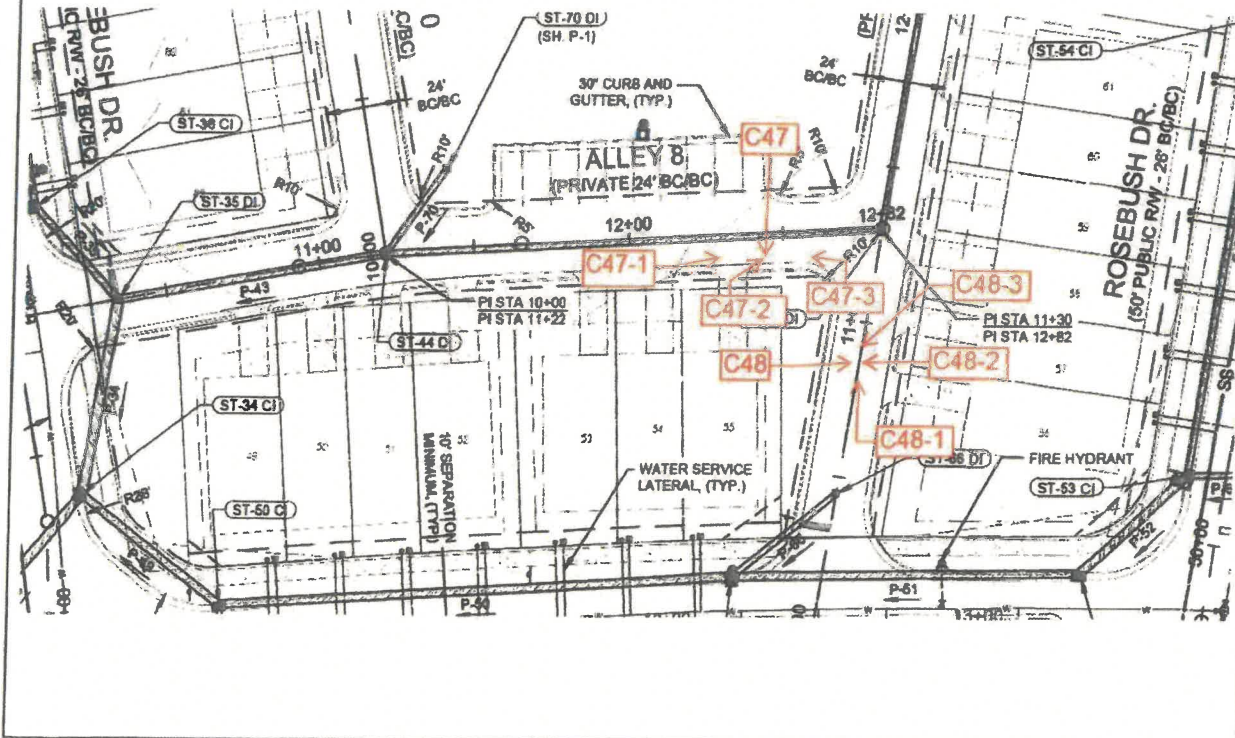
DATE	START TIME	END TIME	TOTAL HOURS
09/10/24	1115	1615	5.0

FIELD TESTS PERFORMED

Asphalt Coring Check Samples

REMARKS:

Inspector arrived on site to obtain asphalt check samples for the 1st lift of surface mix RS9.5C, JMF 23-0026-151 that was previously placed on 8-30-24. Laboratory testing indicated two cores did not meet the minimum specified density: C-47 taken from Alley 8, and C-48 taken from Alley 11. Check cores were obtained in general accordance with NCDOT procedures. Cores were delivered to Summit's laboratory for specific gravity testing and density comparison.



TECHNICIAN'S NAME: Ben Jackson

TECHNICIAN'S SIGNATURE: *Ben Jackson*

INFORMATION STATED ON THIS REPORT IS SUBJECT TO ENGINEERING REVIEW AND COMMENT.

QAQC-5 (revised)

NORTH CAROLINA DEPARTMENT OF TRANSPORTATION

WORKSHEET FOR ROADWAY CORE SAMPLE DENSITY DETERMINATION & COMPARISON

PROJECT NUMBER: 23-0167.010

TYPE MIX: RS9.5C

MIN. % COMPACTION REQ: 92%

CONTRACTOR: Giant Development, Inc

PLANT LOCATION: _____

DATE PLACED	JMF No.	SAMPLE No.	SAMPLE THICKNESS	DRY WT.	SSD WT.	IN WATER WT.	QA SP. GR.	QC SP. GR.	TARGET SP. GR.	QA %	QC %	LIMITS OF PRECISION (Y/A)	* QA /QC TECHNICIAN SIGNATURE
8/30/24	23-0026-151	C47-1	2 1/2"	2311.4	2316.0	1275.9		2.222	2.453		90.6		
8/30/24	23-0026-151	C47-2	2 9/16"	2248.0	2252.4	1221.2		2.180	2.453		88.9		
8/30/24	23-0026-151	C47-3	2 3/4"	2509.3	2512.4	1399.3		2.254	2.453		91.9		
8/30/24	23-0026-151	C48-1	2 5/16"	2087.5	2090.3	1145.6		2.210	2.453		90.1		
8/30/24	23-0026-151	C48-2	2 7/8"	2572.8	2575.9	1411.1		2.209	2.453		90.1		
8/30/24	23-0026-151	C48-3	2 11/16"	2444.2	2448.7	1350.2		2.225	2.453		90.7		

NOTE: QC TO FAX CURRENT FORM TO QA DAILY DURING PRODUCTION.

* BY PROVIDING THIS DATA UNDER MY SIGNATURE AND /OR HICAMS CERTIFICATION NUMBER, I ATTEST TO THE ACCURACY AND VALIDITY OF THE DATA CONTAINED ON THIS FORM AND CERTIFY THAT NO DELIBERATE MISREPRESENTATION OF TEST RESULTS, IN ANY MANNER, HAS OCCURRED.



320 Executive Court, Hillsborough, NC 27278
 Phone // 919.732.3883 Web // www.summitde.net

DAILY FIELD REPORT

PROJECT NO: 23-0167.010	CLIENT: Meritage Homes of the Carolinas, Inc
PROJECT: 200.04 Cadence Meadows Lot Matrix	WEATHER/TEMP: Sunny/70-80s F

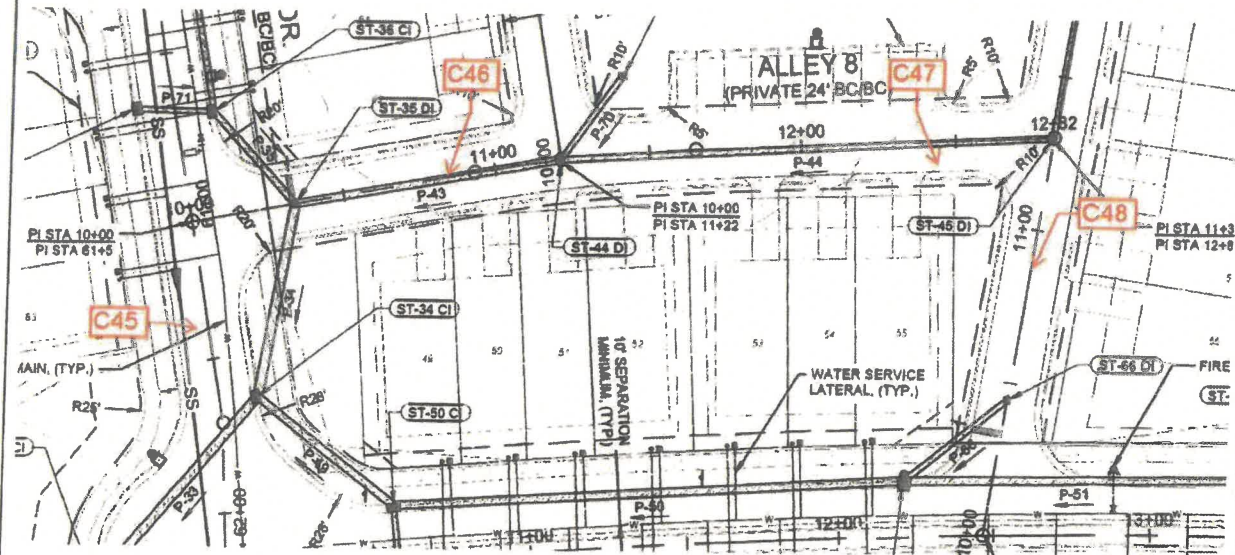
DATE	START TIME	END TIME	TOTAL HOURS
09/03/2024	0830	1430	6.0

FIELD TESTS PERFORMED

Asphalt Coring Samples

REMARKS:

Inspector arrived on site to observe Asphalt coring samples for 2" thick of 1st lift surface course mix RS9.5C, JM F 23-0026-151. Core C-45 taken from Rosebush dr., Core C-46 and C-47 taken from Alley 8, and C-48 taken from Alley 11 and one from Rosebush dr. Total of 4 cores were also obtained approx. every 300 linear feet, following the Town of Zebulon guidelines, and will be delivered to Summit's laboratory for thickness and specific gravity testing.
 Please see the attached plan drawing with selected area for the approximately location below.



TECHNICIAN'S NAME: Ibrahim Gorgy

TECHNICIAN'S SIGNATURE: *Ibrahim Gorgy*

INFORMATION STATED ON THIS REPORT IS SUBJECT TO ENGINEERING REVIEW AND COMMENT.

NORTH CAROLINA DEPARTMENT OF TRANSPORTATION

WORKSHEET FOR ROADWAY CORE SAMPLE DENSITY DETERMINATION & COMPARISON

PROJECT NUMBER: 23-0167.010 TYPE MIX: RS9.5C MIN. % COMPACTION REQ.: 92

CONTRACTOR: Giant Development, Inc PLANT LOCATION: _____

DATE PLACED	JMF No.	SAMPLE No.	SAMPLE THICKNESS	DRY WT.	SSD WT.	IN WATER WT.	QA SP. GR.	QC SP. GR.	TARGET SP. GR.	QA %	QC %	LIMITS OF PRECISION (Y/N)	* QA /QC TECHNICIAN SIGNATURE
8/30/24	23-0026-151	C45	2 1/2	2278.7	2281.4	1282.7		2.282	2.459		92.8		
8/30/24	23-0026-151	C46	2 3/4	2651.8	2655.2	1514.0		2.324	2.459		94.5		
8/30/24	23-0026-151	C47	2 1/8	2354.0	2358.7	1287.2		2.197	2.459		89.3		
8/30/24	23-0026-151	C48	2 7/8	2534.2	2540.2	1385.7		2.195	2.459		89.3		

NOTE: QC TO FAX CURRENT FORM TO QA DAILY DURING PRODUCTION.
 * BY PROVIDING THIS DATA UNDER MY SIGNATURE AND /OR HiCAMS CERTIFICATION NUMBER, I ATTEST TO THE ACCURACY AND VALIDITY OF THE DATA CONTAINED ON THIS FORM AND CERTIFY THAT NO DELIBERATE MISREPRESENTATION OF TEST RESULTS, IN ANY MANNER, HAS OCCURRED.



320 Executive Court, Hillsborough, NC 27278
 Phone // 919.732.3883 Web // www.summitde.net

DAILY FIELD REPORT

PROJECT NO: 23-0167.010	CLIENT: Meritage Homes of the Carolinas, Inc
PROJECT: 200.04 Cadence Meadows Lot Matrix	WEATHER/TEMP: Clear/80s

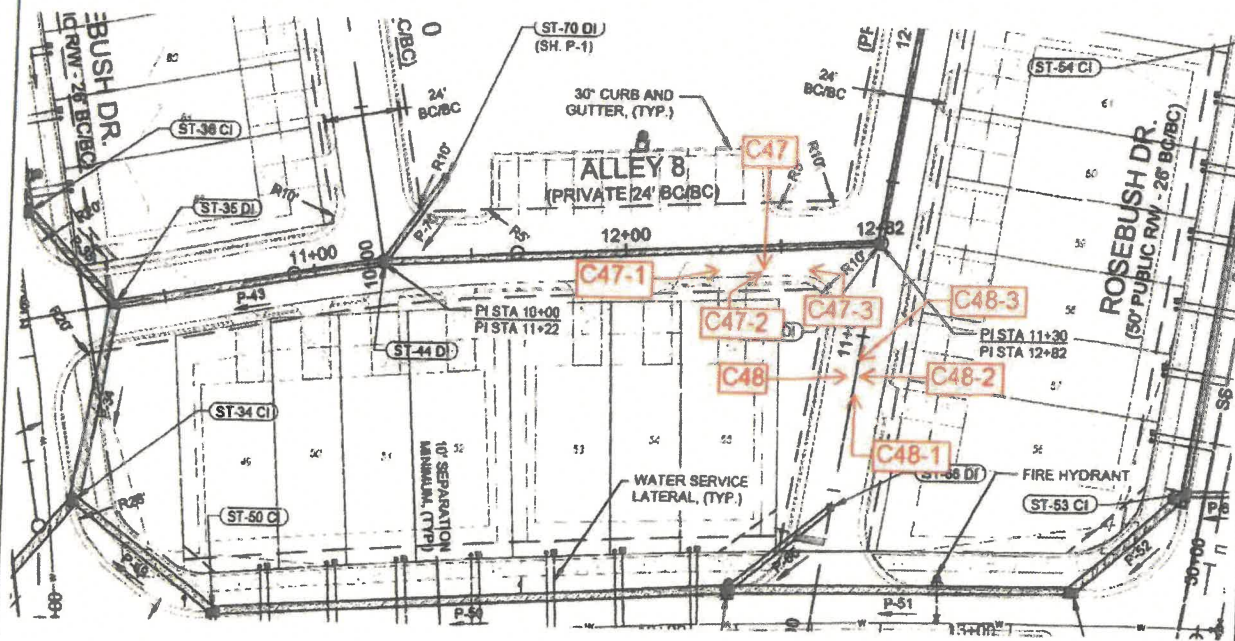
DATE	START TIME	END TIME	TOTAL HOURS
09/10/24	1115	1615	5.0

FIELD TESTS PERFORMED

Asphalt Coring Check Samples

REMARKS:

Inspector arrived on site to obtain asphalt check samples for the 1st lift of surface mix RS9.5C, JMF 23-0026-151 that was previously placed on 8-30-24. Laboratory testing indicated two cores did not meet the minimum specified density: C-47 taken from Alley 8, and C-48 taken from Alley 11. Check cores were obtained in general accordance with NCDOT procedures. Cores were delivered to Summit's laboratory for specific gravity testing and density comparison.



TECHNICIAN'S NAME: Ben Jackson

TECHNICIAN'S SIGNATURE: *Ben Jackson*

INFORMATION STATED ON THIS REPORT IS SUBJECT TO ENGINEERING REVIEW AND COMMENT.

NORTH CAROLINA DEPARTMENT OF TRANSPORTATION

WORKSHEET FOR ROADWAY CORE SAMPLE DENSITY DETERMINATION & COMPARISON

PROJECT NUMBER: 23-0167.010

TYPE MIX: RS9.5C

MIN. % COMPACTION REQ: 92%

CONTRACTOR: Giant Development, Inc

PLANT LOCATION: _____

DATE PLACED	JMF No.	SAMPLE No.	SAMPLE THICKNESS	DRY WT.	SSD WT.	IN WATER WT.	QA SP. GR.	QC SP. GR.	TARGET SP. GR.	QA %	QC %	LIMITS OF PRECISION (Y / N)	* QA / QC TECHNICIAN SIGNATURE
8/30/24	23-0026-151	C47-1	2 1/2"	2311.4	2316.0	1275.9		2.222	2.453		90.6		
8/30/24	23-0026-151	C47-2	2 9/16"	2248.0	2252.4	1221.2		2.180	2.453		88.9		
8/30/24	23-0026-151	C47-3	2 3/4"	2509.3	2512.4	1399.3		2.254	2.453		91.9		
8/30/24	23-0026-151	C48-1	2 5/16"	2087.5	2090.3	1145.6		2.210	2.453		90.1		
8/30/24	23-0026-151	C48-2	2 7/8"	2572.8	2575.9	1411.1		2.209	2.453		90.1		
8/30/24	23-0026-151	C48-3	2 11/16"	2444.2	2448.7	1350.2		2.225	2.453		90.7		

NOTE: QC TO FAX CURRENT FORM TO QA DAILY DURING PRODUCTION.

* BY PROVIDING THIS DATA UNDER MY SIGNATURE AND /OR HICAMS CERTIFICATION NUMBER, I ATTEST TO THE ACCURACY AND VALIDITY OF THE DATA CONTAINED ON THIS FORM AND CERTIFY THAT NO DELIBERATE MISREPRESENTATION OF TEST RESULTS, IN ANY MANNER, HAS OCCURRED.

ENGINEERING CERTIFICATION

08 CADENCE MEADOWS
PHASE 1
- ENGINEER CERTIFICATION

Permittee: Meritage Homes of the Carolinas, Inc.

Permit No: SWF-069318-2021 & SWF-069319-2021 (Storm) and S-4937 (Sewer) W-3863 (Water)

Project Name: Cadence Meadows Phase 1

ACCEPTED SEE
11/2/24

FOR PARTIAL CERTIFICATION OF THE PROJECT (PHASE 1 ONLY)

PERMITTEE'S CERTIFICATION

I, the undersigned agent for the Permittee, hereby state that to the best of my knowledge, this project has been constructed pursuant to the applicable standards & requirements, and the Professional Engineer below has provided applicable design/construction information to the Permittee, and the Permittee is prepared to operate & maintain the wastewater collection system permitted herein or portions thereof.

ALEX MANGOT, PROJECT MANAGER

2024/09/05

Printed Name, Title

Signature

Date

ENGINEER'S CERTIFICATION

I, ALEX MANGOT, as a duly registered Professional Engineer in the State of North Carolina, having been authorized to observe periodically, weekly, full time) the construction of the project name and location as referenced above for the above Permittee hereby state that, to the best of my knowledge, due care and diligence was used in the observation of the construction of the subject permit, such that the construction was observed to be built within substantial compliance of the associated permits; the City of Raleigh Public Utilities ordinances, and the Town of Zebulon's ordinances; as well as the project plans, specifications, and other supporting materials as subsequently filed and approved.

North Carolina Professional Engineer's Seal w/signature & date:

Final Partial (include description)



Notes/Qualifiers:

For storm drainage, water, and sanitary sewer phase 1. Including Sanitary sewer gravity outfall to the Western connection of Southland Dr. And internal site storm drainage outfall outside of the phase 1 boundary for drainage purposes.

CADENCE
MEADOWS
PHASE 1

09 DEVELOPER
LEIN RELEASE

file
1/16/25



01/15/2024

Mr. Joseph Collins
Town of Zebulon
1003 North Arendell Avenue
Zebulon, N.C. 27597
Ref: Town of Zebulon Release of Lein

Dear Mr. Collins,

Meritage Homes of the Carolinas, Inc. has completed the installation of the water, sanitary sewer, storm sewer, roadways in Phase 1. This work was installed and inspected by the Town of Zebulon & City of Raleigh. Meritage Homes of the Carolinas, Inc. has paid all subcontractors and vendors for phase 1 PLAT requirements.

Sincerely,

Scott Roylance
Division President

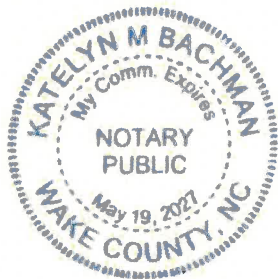
Wake County, North Carolina

I certify that the following person(s) personally appeared before me this day, each acknowledging to me that he or she signed the foregoing document:

Name(s) of principal(s)

Date: 1/15/25
(Official Seal)

Official Signature of Notary



Katelyn M Bachman Notary Public
Notary's printed or typed name

My commission expires: May 19th 2027

10 - CADENCE MEADOWS
PHASE 1
CONTRACTOR LIEN WAIVER
ALDRICH [Signature]
11/5/2024

LIEN WAIVER AND RELEASE

I, the undersigned, am a general contractor, subcontractor, materialman, or other person furnishing services or labor or materials pursuant to any and all contract (s) with Meritage Homes, as indicated by my respective signature below, in the construction or repair of improvements upon real estate owned by Meritage Homes, and described as follows:

All work related to the installation of street infrastructure located within Cadence Meadows Phase 1 as shown on construction plans prepared by Summit Design & Engineering Services.

In consideration of the sum of \$1.00 to me in hand paid, receipt whereof is hereby acknowledged, and other benefits accruing to me, and acknowledging that I have been fully paid under said contract (s) with respect to any work done on, or materials furnished to, the above described land and improvements and intending to be legally bound hereby, I do hereby waive, release and quit-claim all right that I may now or hereafter have to lien upon the land and improvements above described; and I do further warrant that I have not and will not assign my claims for payment, nor my right to perfect a lien against said property, and that I have the right to execute this waiver and release thereof.

I respectively warrant that all laborers employed by me upon the aforesaid premises have been fully paid and that none of such laborers have any claim, demand, or lien against said premises.

It is understood and agreed that my signature hereto is for all services rendered, work done, and material furnished heretofore by the signer in any and all capacities.

Witness the following signature and seal this 11TH day of JULY, 2024.

Contractor/Subcontractor/Materialman

[Signature] (Signature)
Name: DONALD T WRENN
Title: ENGINEER
Company: Giant Development Inc.

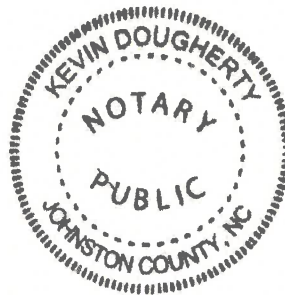
State of North Carolina; County/City of Wake County.

Subscribed and sworn to before me this 11th day of July, 2024

[Signature]
Notary Public

My commission expires: 12 OCT 2027

Subdivision: Cadence Meadows Phase 1





12. CADENCE MEADOWS
PHASE 1
CONDITIONAL ACCEPTANCE
COR
ACCEPTED 11/7/2024
[Signature]

Notification of Conditional Acceptance

of Water and Wastewater Infrastructure in Raleigh Water Merger Communities
(Garner, Knightdale, Rolesville, Wake Forest, Wendell, Zebulon)

Project Name: CADENCE MEADOWS
Project Phase: PHASE 1

Permit Number(s): W - 3863
S - 4937

The City of Raleigh Water Department has completed field inspections and testing on the water and/or wastewater infrastructure associated with the development project/phase referenced above. Installation meets Raleigh Water specifications and the infrastructure is available for use. This preliminary acceptance is conditional on a final review of digital as-built data, project records and other submitted documentation. Formal notification of acceptance is pending and will be provided on successful completion of the conditional review.

Inspector Name: MICHAEL R. FOWLER

Date: 10 / 30 / 2024

Comments:

FINAL / SIGNED ACCEPTANCE LETTER TO FOLLOW

Notes on Project Phasing: Acceptance occurs after water and sewer infrastructure in an approved phase is installed, inspected/tested and the required supporting documentation has been received. Phases of construction must extend from and/or connect to existing (or concurrently accepted) infrastructure to be considered for acceptance. Acceptance boundaries are defined by the limits identified in the Raleigh Water approved utility phasing plan(s). Acceptance of unapproved sub-phases and/or partially complete phases will not be considered. Additional information can be found in the Raleigh Water Handbook at www.raleighnc.gov.

Municipal Building | 222 West Hargett Street | Raleigh, North Carolina 27601
One Exchange Plaza | 1 Exchange Plaza | Raleigh, North Carolina 27601
Mailing address: City of Raleigh | Post Office Box 590 | Raleigh, North Carolina 27602-0590

Confirmation

11 CADENCE MEADOWS
PHASE 1
STREET L&L INT PETS

Thank You! Your payment has been made.

ACCEPTED 
11/5/2024

MERITAGE HOMES OF THE CAR INC

Payment Date	8/1/2024
Payment Method	Visa ****4534
Total Payment	\$86,670.00

Payments confirmed before Thursday, August 01, 2024 8:00 PM EST will be posted on Thursday, August 01, 2024. Payments confirmed after Thursday, August 01, 2024 8:00 PM EST will be posted on Friday, August 02, 2024.

If you have any further questions about payments to Duke Energy, please contact our office at 877-700-3853 .

Description	Customer Number	Confirmation #	Payment Amount	Number of Invoices
DE_PROGRESS	000316942	3111560129	\$86,670.00	1

[Enroll With Your Current Information](#)

[Return to Home](#)

[Log Out](#)

Confirmation

Thank You! Your payment has been made.

MERITAGE HOMES OF THE CAR INC

Payment Date	8/1/2024
Payment Method	Visa *****4534
Total Payment	\$86,670.00

Payments confirmed before Thursday, August 01, 2024 8:00 PM EST will be posted on Thursday, August 01, 2024. Payments confirmed after Thursday, August 01, 2024 8:00 PM EST will be posted on Friday, August 02, 2024.

If you have any further questions about payments to Duke Energy, please contact our office at 877-700-3853.

FDI Description	Customer Number	Confirmation #	Invoice Date	Invoice Number	Due Date	Balance Amount	Paym Amount
DE_PROGRESS	000316942	3111560129	7/10/2024	N5433710801	8/9/2024	\$86,670.00	\$86,670



INVOICE

Invoice: N5433710801
 Invoice Date: 7/10/2024
 Page: 1 of 1

Email sent to customer on 07/10/2024

Bill to: MERITAGE HOMES OF THE CAR INC
 3005 CARRINGTON MILL BLVD STE 100
 HUNTER QUEEN
 MORRISVILLE NC 27560

Customer ID: 000316942
 PO / Contract No:
 Payment Terms: Net 30
 Due Date: 8/9/2024

Amount Due: \$86,670.00

Invoice for work or services performed at: 705 Pony Rd ZEBULON NC CADENCE MEADOWS

For questions about your invoice, please contact Lindsay, Ryan at 919/257-9871

Line	Date of Charge	Description	Net Amount
1	07/09/2024	UL UG for Lighting UPFRONT UNDERGROUND FEES 135 POLES	\$81,000.00
2	07/09/2024	TAX FOR UPFRONT UG FEES 135 POLES	\$5,670.00
Amount Due:			\$86,670.00

To pay electronically, please allow 24 hours from the time this invoice is received and use website <https://www.e-billxpress.com/ebpp/DukeEnergy>. Enter your customer ID and billing zip code from above.

TO AVOID SERVICE INTERRUPTION, PLEASE DO NOT SEND MONTHLY UTILITY ACCOUNT PAYMENTS TO THIS ADDRESS

Please detach and return with your payment. Please indicate invoice number on check.

Payment Coupon

Please make check payable to:

Duke Energy Progress
 PO Box 602874
 Charlotte NC 28260-2874

ACH Instructions:

Wells Fargo - Progress
 121000248
 Duke Energy Progress
 002062660000020

Invoice Number:

N5433710801

Corporation Code:

50126

Please Pay By:

8/9/2024

Customer ID:

000316942

Total Amount Due:

\$86,670.00

Fed Tax ID # 56-2155481

MERITAGE HOMES OF THE CAR INC
 3005 CARRINGTON MILL BLVD STE
 100
 HUNTER QUEEN
 MORRISVILLE NC 27560

Amount Enclosed



1814353433333731303830310000300086670003

15- CADENCE MEADOWS
 INSPECTION / PLANNING FEES AND
 REBATED 11/21/2024 JRE



Town of Zebulon
 1003 N. ARENDELL AVENUE
 ZEBULON, NC 27597
 (919)823-1806

INVOICE #
 25-00079

YOU CAN PAY ONLINE BY CREDIT/DEBIT/ACH:
 WWW.EDMUNDSGOV.PAY.COM/ZEBULON
 YOU WILL NEED YOUR ACCOUNT ID AND PIN

ACCOUNT ID: HUNTE005 PIN: 652688
 INVOICE DATE: 09/23/24
 DUE DATE: 10/07/24

Hunter Queen-Meritage Homes
 3300 Paramount Parkway
 120
 Morrisville, NC 27560

PAID
 NOV 12 2024
 DEPOSITED
 CWOODS

QUANTITY/UNIT	SERVICE ID	DESCRIPTION	UNIT PRICE	AMOUNT
Cadence Meadows Phase 1				
1.0000	MAJORSUB	MAJOR SUBDIVISION FINAL PLAT	300.000000	300.00
112.0000/LOT	PLAT PER	MAJ SUBDIVISION PLAT FEE/LOT	10.000000	1,120.00
0.0000	RECIMPSF	106 RESIDENTIAL 6 OPEN SPACE RECREATION IMPACT FEE - SINGLE Recreation Impact Fee	0.000000	0.00
106.0000	RECIMPSF	RECREATION IMPACT FEE - SINGLE Recreation Impact Fee	3,000.000000	318,000.00
480.9300	TRANSPOR	Transportation Impact Fee Transportation Impact SFD x 51 Cancellation: 11/08/24	221.530000	106,540.42
396.0000	TRANSPOR	Transportation Impact Fee Transportation Impact SFA x 55 Cancellation: 11/08/24	221.530000	-106,540.42 87,725.88
11192.0000/LF	STREETCU	Streets/Curb/Gutter Constr Ins Curb and Gutter Construction	2.950000	-87,725.88 33,016.40
5315.0000/LF	STORMMAP	STORMWATER MAPPING FEES Stormwater Mapping	1.750000	9,301.25
11192.0000/LF	SIDEWALK	Sidewalk Construction Inspecti Sidewalk Inspection Fee	1.200000	13,430.40
5315.0000/LF	STORMDRA	Storm Drainage Constr. Inspect Storm Drainage Inspection Fee	1.200000	6,378.00
TOTAL DUE:				\$ 381,546.05

PAYMENT COUPON - PLEASE DETACH AND RETURN THIS PORTION ALONG WITH YOUR PAYMENT

Town of Zebulon
 1003 N. ARENDELL AVENUE
 ZEBULON, NC 27597
 (919)823-1806

INVOICE #: 25-00079
 DESCRIPTION: Cadence Meadows Phase 1
 ACCOUNT ID: HUNTE005 PIN: 652688
 DUE DATE: 10/07/24
 TOTAL DUE: See Last Page

Hunter Queen-Meritage Homes
 3300 Paramount Parkway
 120
 Morrisville, NC 27560





Town of Zebulon
 1003 N. ARENDELL AVENUE
 ZEBULON, NC 27597
 (919)823-1806

INVOICE #
25-00079

YOU CAN PAY ONLINE BY CREDIT/DEBIT/ACH:
 WWW.EDMUNDSGOVPAY.COM/ZEBULON
 YOU WILL NEED YOUR ACCOUNT ID AND PIN

ACCOUNT ID: HUNTE005 PIN: 652688
 INVOICE DATE: 09/23/24
 DUE DATE: 10/07/24

Hunter Queen-Meritage Homes
 3300 Paramount Parkway
 120
 Morrisville, NC 27560

QUANTITY/UNIT	SERVICE ID	DESCRIPTION	UNIT PRICE	AMOUNT
---------------	------------	-------------	------------	--------

Prn Payment: 11/12/24 CK 70105825

-381,546.05

BALANCE: \$ 0.00

*Note: \$16,551.95 credit
 was received for Double
 Billing LF of Streets.
 -etd*

NET FEES -> 364,964.10

PAYMENT COUPON - PLEASE DETACH AND RETURN THIS PORTION ALONG WITH YOUR PAYMENT

Town of Zebulon
 1003 N. ARENDELL AVENUE
 ZEBULON, NC 27597
 (919)823-1806

INVOICE #: 25-00079
 DESCRIPTION: Cadence Meadows Phase 1
 ACCOUNT ID: HUNTE005 PIN: 652688
 DUE DATE: 10/07/24
 TOTAL DUE: \$ 0.00

Hunter Queen-Meritage Homes
 3300 Paramount Parkway
 120
 Morrisville, NC 27560



AS-BUILTS DRAWINGS
FOR
CADENCE MEADOWS
PHASE 1

(PONY ROAD REZONING # 4961187)
(IDT PROJECT # 635059)
S&E PERMIT NUMBER SEC-069323-2021
SWF-069318-2021 & SWF-069319-2021

705 PONY ROAD
ZEBULON, NC
1ST SUBMITTAL: SEPTEMBER 5, 2024

SHEET INDEX

C-1
C-2C
P-11, P-23
P-1, P-4

COVER SHEET
STORM DRAINAGE AS-BUILTS DATA PHASE 1
STRUCTURE DATA
ROADWAY PLAN & PROFILE
STORM PROFILES

WATERLINE / SANITARY SEWER CONNECTIONS:

Public Street Name	# of Connections
Sanitary	1388
Water	629
Sanitary	100
Water	100
Sanitary	100
Water	100
Sanitary	100
Water	100
Sanitary	100
Water	100
Sanitary	100
Water	100
Sanitary	100
Water	100
Sanitary	100
Water	100
Sanitary	100
Water	100
Sanitary	100
Water	100

ATTENTION CONTRACTORS:

1. VERIFY EXISTING UTILITIES AND DEPTH INFORMATION AND REPORT APPROX. AND DEPTH INFORMATION TO THE CONTRACTOR.
2. VERIFY EXISTING UTILITIES AND DEPTH INFORMATION AND REPORT APPROX. AND DEPTH INFORMATION TO THE CONTRACTOR.
3. VERIFY EXISTING UTILITIES AND DEPTH INFORMATION AND REPORT APPROX. AND DEPTH INFORMATION TO THE CONTRACTOR.

SOIL WASTE COLLECTION NOTES:

1. SOIL WASTE COLLECTION NOTES AND DEPTH INFORMATION AND APPROX. AND DEPTH INFORMATION TO THE CONTRACTOR.
2. SOIL WASTE COLLECTION NOTES AND DEPTH INFORMATION AND APPROX. AND DEPTH INFORMATION TO THE CONTRACTOR.

ADDITIONAL CONTRACTORS:

1. VERIFY EXISTING UTILITIES AND DEPTH INFORMATION AND REPORT APPROX. AND DEPTH INFORMATION TO THE CONTRACTOR.
2. VERIFY EXISTING UTILITIES AND DEPTH INFORMATION AND REPORT APPROX. AND DEPTH INFORMATION TO THE CONTRACTOR.

ADDITIONAL CONTRACTORS:

1. VERIFY EXISTING UTILITIES AND DEPTH INFORMATION AND REPORT APPROX. AND DEPTH INFORMATION TO THE CONTRACTOR.
2. VERIFY EXISTING UTILITIES AND DEPTH INFORMATION AND REPORT APPROX. AND DEPTH INFORMATION TO THE CONTRACTOR.

ADDITIONAL CONTRACTORS:

1. VERIFY EXISTING UTILITIES AND DEPTH INFORMATION AND REPORT APPROX. AND DEPTH INFORMATION TO THE CONTRACTOR.
2. VERIFY EXISTING UTILITIES AND DEPTH INFORMATION AND REPORT APPROX. AND DEPTH INFORMATION TO THE CONTRACTOR.

ADDITIONAL CONTRACTORS:

1. VERIFY EXISTING UTILITIES AND DEPTH INFORMATION AND REPORT APPROX. AND DEPTH INFORMATION TO THE CONTRACTOR.
2. VERIFY EXISTING UTILITIES AND DEPTH INFORMATION AND REPORT APPROX. AND DEPTH INFORMATION TO THE CONTRACTOR.

ADDITIONAL CONTRACTORS:

1. VERIFY EXISTING UTILITIES AND DEPTH INFORMATION AND REPORT APPROX. AND DEPTH INFORMATION TO THE CONTRACTOR.
2. VERIFY EXISTING UTILITIES AND DEPTH INFORMATION AND REPORT APPROX. AND DEPTH INFORMATION TO THE CONTRACTOR.

ADDITIONAL CONTRACTORS:

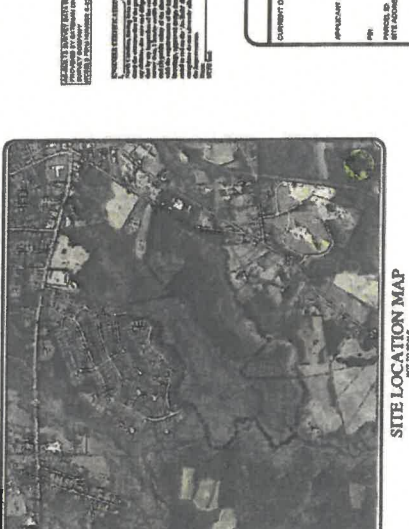
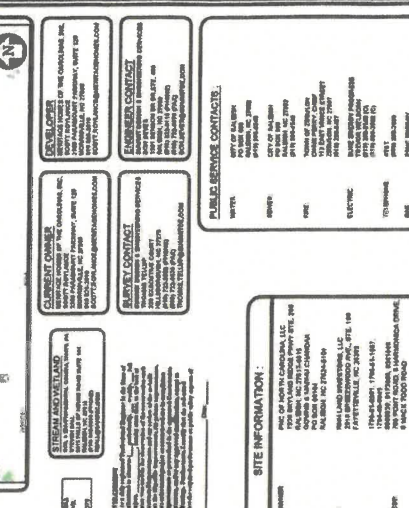
1. VERIFY EXISTING UTILITIES AND DEPTH INFORMATION AND REPORT APPROX. AND DEPTH INFORMATION TO THE CONTRACTOR.
2. VERIFY EXISTING UTILITIES AND DEPTH INFORMATION AND REPORT APPROX. AND DEPTH INFORMATION TO THE CONTRACTOR.

ADDITIONAL CONTRACTORS:

1. VERIFY EXISTING UTILITIES AND DEPTH INFORMATION AND REPORT APPROX. AND DEPTH INFORMATION TO THE CONTRACTOR.
2. VERIFY EXISTING UTILITIES AND DEPTH INFORMATION AND REPORT APPROX. AND DEPTH INFORMATION TO THE CONTRACTOR.

ADDITIONAL CONTRACTORS:

1. VERIFY EXISTING UTILITIES AND DEPTH INFORMATION AND REPORT APPROX. AND DEPTH INFORMATION TO THE CONTRACTOR.
2. VERIFY EXISTING UTILITIES AND DEPTH INFORMATION AND REPORT APPROX. AND DEPTH INFORMATION TO THE CONTRACTOR.



SITE INFORMATION:

CLIENT: CHAMBERLAIN

PROJECT: CADENCE MEADOWS PHASE 1

PROJECT ADDRESS: 705 PONY ROAD, ZEBULON, NC 27592

PROJECT CONTACT: JOHN CHAMBERLAIN, PROJECT MANAGER, 705 PONY ROAD, ZEBULON, NC 27592

PROJECT PHONE: 919.712.4499

PROJECT EMAIL: JCHAMBER@SUMMITENGINEERS.COM

PROJECT WEBSITE: WWW.SUMMITENGINEERS.COM

PROJECT SOCIAL MEDIA: @SUMMITENGINEERS

PROJECT OFFICE: 1000 SOUTH MAIN STREET, SUITE 100, RALEIGH, NC 27601

PROJECT PHONE: 919.712.4499

PROJECT FAX: 919.712.4498

PROJECT EMAIL: INFO@SUMMITENGINEERS.COM

PROJECT WEBSITE: WWW.SUMMITENGINEERS.COM

PROJECT SOCIAL MEDIA: @SUMMITENGINEERS

CADENCE MEADOWS AS-BUILTS PHASE 1

COVER SHEET

DATE: 09/05/2024

PROJECT: CADENCE MEADOWS PHASE 1

PROJECT ADDRESS: 705 PONY ROAD, ZEBULON, NC 27592

PROJECT CONTACT: JOHN CHAMBERLAIN, PROJECT MANAGER, 705 PONY ROAD, ZEBULON, NC 27592

PROJECT PHONE: 919.712.4499

PROJECT EMAIL: JCHAMBER@SUMMITENGINEERS.COM

PROJECT WEBSITE: WWW.SUMMITENGINEERS.COM

PROJECT SOCIAL MEDIA: @SUMMITENGINEERS

PROJECT OFFICE: 1000 SOUTH MAIN STREET, SUITE 100, RALEIGH, NC 27601

PROJECT PHONE: 919.712.4499

PROJECT FAX: 919.712.4498

PROJECT EMAIL: INFO@SUMMITENGINEERS.COM

PROJECT WEBSITE: WWW.SUMMITENGINEERS.COM

PROJECT SOCIAL MEDIA: @SUMMITENGINEERS

CONTRACTOR LIST:

CONTRACTOR NAME: CHAMBERLAIN

CONTRACTOR ADDRESS: 705 PONY ROAD, ZEBULON, NC 27592

CONTRACTOR PHONE: 919.712.4499

CONTRACTOR EMAIL: JCHAMBER@SUMMITENGINEERS.COM

CONTRACTOR WEBSITE: WWW.SUMMITENGINEERS.COM

CONTRACTOR SOCIAL MEDIA: @SUMMITENGINEERS

CONTRACTOR OFFICE: 1000 SOUTH MAIN STREET, SUITE 100, RALEIGH, NC 27601

CONTRACTOR PHONE: 919.712.4499

CONTRACTOR FAX: 919.712.4498

CONTRACTOR EMAIL: INFO@SUMMITENGINEERS.COM

CONTRACTOR WEBSITE: WWW.SUMMITENGINEERS.COM

CONTRACTOR SOCIAL MEDIA: @SUMMITENGINEERS

CONTRACTOR LIST:

CONTRACTOR NAME: CHAMBERLAIN

CONTRACTOR ADDRESS: 705 PONY ROAD, ZEBULON, NC 27592

CONTRACTOR PHONE: 919.712.4499

CONTRACTOR EMAIL: JCHAMBER@SUMMITENGINEERS.COM

CONTRACTOR WEBSITE: WWW.SUMMITENGINEERS.COM

CONTRACTOR SOCIAL MEDIA: @SUMMITENGINEERS

CONTRACTOR OFFICE: 1000 SOUTH MAIN STREET, SUITE 100, RALEIGH, NC 27601

CONTRACTOR PHONE: 919.712.4499

CONTRACTOR FAX: 919.712.4498

CONTRACTOR EMAIL: INFO@SUMMITENGINEERS.COM

CONTRACTOR WEBSITE: WWW.SUMMITENGINEERS.COM

CONTRACTOR SOCIAL MEDIA: @SUMMITENGINEERS

811

Now when you dig,
Call before you dig.

COVER SHEET

PROJECT: CADENCE MEADOWS PHASE 1

PROJECT ADDRESS: 705 PONY ROAD, ZEBULON, NC 27592

PROJECT CONTACT: JOHN CHAMBERLAIN, PROJECT MANAGER, 705 PONY ROAD, ZEBULON, NC 27592

PROJECT PHONE: 919.712.4499

PROJECT EMAIL: JCHAMBER@SUMMITENGINEERS.COM

PROJECT WEBSITE: WWW.SUMMITENGINEERS.COM

PROJECT SOCIAL MEDIA: @SUMMITENGINEERS

PROJECT OFFICE: 1000 SOUTH MAIN STREET, SUITE 100, RALEIGH, NC 27601

PROJECT PHONE: 919.712.4499

PROJECT FAX: 919.712.4498

PROJECT EMAIL: INFO@SUMMITENGINEERS.COM

PROJECT WEBSITE: WWW.SUMMITENGINEERS.COM

PROJECT SOCIAL MEDIA: @SUMMITENGINEERS

STORMWATER UTILITY ASBUE IS FOR
 Customer: Henderson, Thomas I
 Location: Wake County, Little River Township

RHL Land Developers, LLC
 2913 Brentwood Ave. Ste 100
 Cary, NC 27513

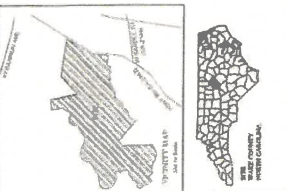
Bateman Civil Survey Company
 Engineers & Surveyors & Planners
 2524 Robinson Ave. Apt. 104
 Raleigh, NC 27608
 Phone: 919.277.1040 Fax: 919.277.1041
 NCE&S PERM No. C-2379



GENERAL NOTES

1. ALL STRUCTURES SHALL BE CAST IRON UNLESS OTHERWISE NOTED.
2. ALL STRUCTURES SHALL BE 18" DEEP UNLESS OTHERWISE NOTED.
3. ALL STRUCTURES SHALL BE 18" DEEP UNLESS OTHERWISE NOTED.
4. ALL STRUCTURES SHALL BE 18" DEEP UNLESS OTHERWISE NOTED.
5. ALL STRUCTURES SHALL BE 18" DEEP UNLESS OTHERWISE NOTED.
6. ALL STRUCTURES SHALL BE 18" DEEP UNLESS OTHERWISE NOTED.
7. ALL STRUCTURES SHALL BE 18" DEEP UNLESS OTHERWISE NOTED.
8. ALL STRUCTURES SHALL BE 18" DEEP UNLESS OTHERWISE NOTED.
9. ALL STRUCTURES SHALL BE 18" DEEP UNLESS OTHERWISE NOTED.
10. ALL STRUCTURES SHALL BE 18" DEEP UNLESS OTHERWISE NOTED.

PRELIMINARY
 THIS PLAN IS PRELIMINARY AND NOT FOR CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CLIENT TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



AS-BUILTS PHASE I
CADENCE MEADOWS
915 PONY ROAD
GREENSBORO, NC 27409

PROJECT NO: 19-0013
DATE: 12/02/2019

SUMMIT
ENGINEERING AND CONSTRUCTION SERVICES
1000 S. WILSON AVENUE
GREENSBORO, NC 27409
TEL: 336.733.4400

Professional Engineer
No. 19003
Exp. 12/31/2021
JAMES L. HARRIS
Civil Engineering

STORM DRAINAGE STRUCTURE DATA

NO.	DATE	REVISIONS
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		
21		
22		
23		
24		
25		
26		
27		
28		
29		
30		
31		
32		
33		
34		
35		
36		
37		
38		
39		
40		
41		
42		
43		
44		
45		
46		
47		
48		
49		
50		
51		
52		
53		
54		
55		
56		
57		
58		
59		
60		
61		
62		
63		
64		
65		
66		
67		
68		
69		
70		
71		
72		
73		
74		
75		
76		
77		
78		
79		
80		
81		
82		
83		
84		
85		
86		
87		
88		
89		
90		
91		
92		
93		
94		
95		
96		
97		
98		
99		
100		

STRUCTURE DATA	STRUCTURE DATA	STRUCTURE DATA	STRUCTURE DATA	STRUCTURE DATA	STRUCTURE DATA	STRUCTURE DATA	STRUCTURE DATA
<p>STRUCTURE DATA</p> <p>11-001 P18 MANUFACTURER: HANSON TYPE: 18" DIA. CONCRETE INVERT: 10.00 FLOW: 1.50 CFS SLOPE: 0.00</p>	<p>STRUCTURE DATA</p> <p>11-002 P19 MANUFACTURER: HANSON TYPE: 18" DIA. CONCRETE INVERT: 10.00 FLOW: 1.50 CFS SLOPE: 0.00</p>	<p>STRUCTURE DATA</p> <p>11-003 P20 MANUFACTURER: HANSON TYPE: 18" DIA. CONCRETE INVERT: 10.00 FLOW: 1.50 CFS SLOPE: 0.00</p>	<p>STRUCTURE DATA</p> <p>11-004 P21 MANUFACTURER: HANSON TYPE: 18" DIA. CONCRETE INVERT: 10.00 FLOW: 1.50 CFS SLOPE: 0.00</p>	<p>STRUCTURE DATA</p> <p>11-005 P22 MANUFACTURER: HANSON TYPE: 18" DIA. CONCRETE INVERT: 10.00 FLOW: 1.50 CFS SLOPE: 0.00</p>	<p>STRUCTURE DATA</p> <p>11-006 P23 MANUFACTURER: HANSON TYPE: 18" DIA. CONCRETE INVERT: 10.00 FLOW: 1.50 CFS SLOPE: 0.00</p>	<p>STRUCTURE DATA</p> <p>11-007 P24 MANUFACTURER: HANSON TYPE: 18" DIA. CONCRETE INVERT: 10.00 FLOW: 1.50 CFS SLOPE: 0.00</p>	<p>STRUCTURE DATA</p> <p>11-008 P25 MANUFACTURER: HANSON TYPE: 18" DIA. CONCRETE INVERT: 10.00 FLOW: 1.50 CFS SLOPE: 0.00</p>

NOTES:
1. SEE NOTES ON GENERAL NOTES SHEET FOR MATERIALS.
2. ALL STRUCTURES SHALL BE CONSTRUCTED PER THE LATEST EDITIONS OF THE MNCDD SPECIFICATIONS.
3. ALL STRUCTURES SHALL BE CONSTRUCTED PER THE LATEST EDITIONS OF THE MNCDD SPECIFICATIONS.

CONCRETE CENTER NOTES:
1. ALL CONCRETE SHALL BE CAST AND FINISHED PER THE LATEST EDITIONS OF THE MNCDD SPECIFICATIONS.
2. ALL CONCRETE SHALL BE CAST AND FINISHED PER THE LATEST EDITIONS OF THE MNCDD SPECIFICATIONS.
3. ALL CONCRETE SHALL BE CAST AND FINISHED PER THE LATEST EDITIONS OF THE MNCDD SPECIFICATIONS.





PROJECT: CADENCE MEADOWS PHASE 1
SOUTHLAND DRIVE
SHEET NO. PP-3
DATE: 08/14/19

NO.	REVISIONS	DATE
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		



SOUTHLAND DR. PROFILE
STA. 30+00 TO 41+00
60' PUBLIC ROW

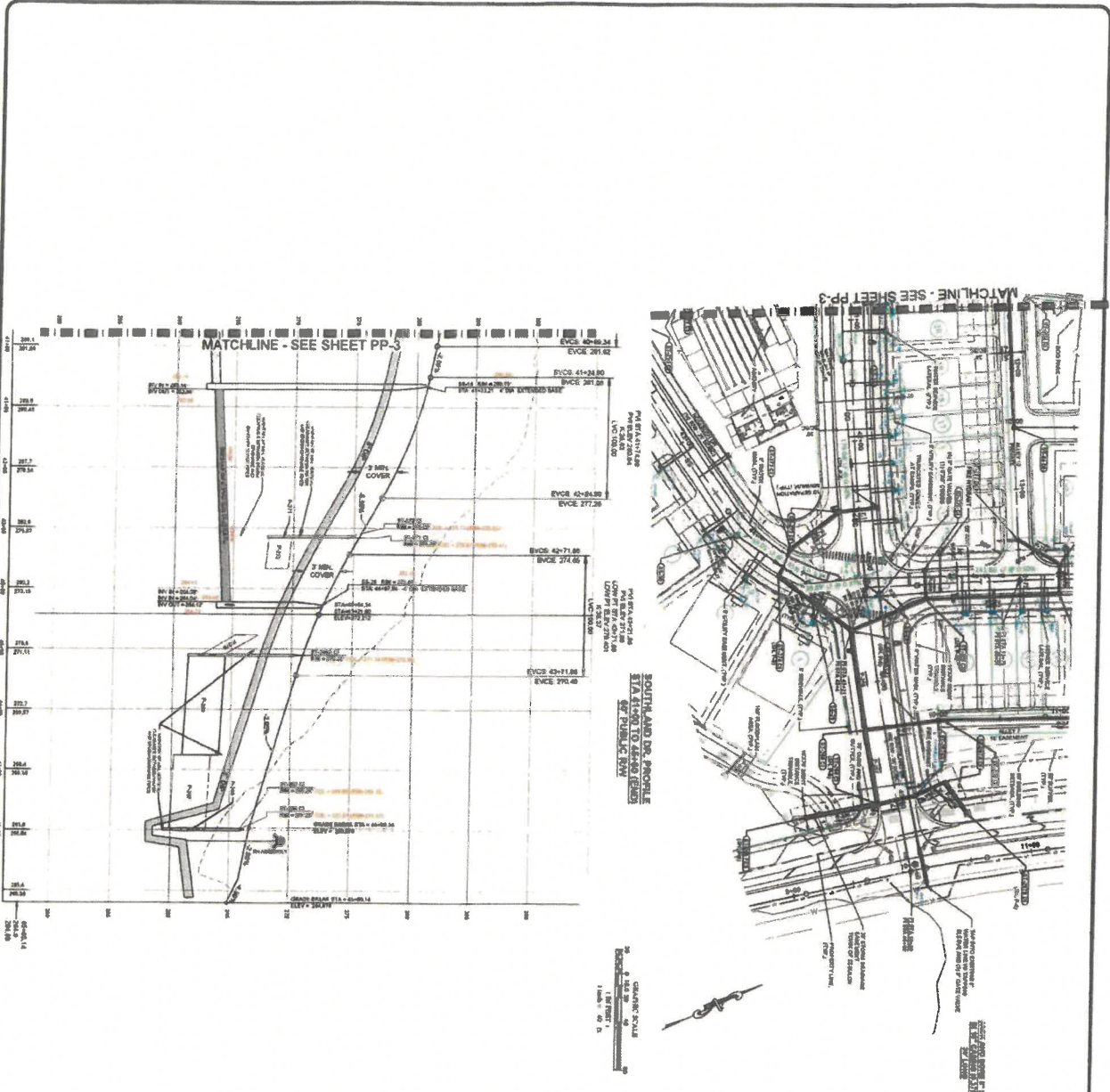
MATCHLINE - SEE SHEET PP-2

MATCHLINE - SEE SHEET PP-4

MATCHLINE - SEE SHEET PP-3

NOTES:
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES.
2. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
3. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
4. THE CONTRACTOR SHALL MAINTAIN THE PROPOSED GRADES AND ELEVATIONS THROUGHOUT THE PROJECT.
5. THE CONTRACTOR SHALL MAINTAIN THE PROPOSED PUBLIC ROW.
6. THE CONTRACTOR SHALL MAINTAIN THE PROPOSED DRAINAGE SYSTEM.
7. THE CONTRACTOR SHALL MAINTAIN THE PROPOSED LANDSCAPING AND PLANTING.
8. THE CONTRACTOR SHALL MAINTAIN THE PROPOSED LIGHTING AND SIGNAGE.
9. THE CONTRACTOR SHALL MAINTAIN THE PROPOSED SAFETY FEATURES.
10. THE CONTRACTOR SHALL MAINTAIN THE PROPOSED ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES.
11. THE CONTRACTOR SHALL MAINTAIN THE PROPOSED ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES.
12. THE CONTRACTOR SHALL MAINTAIN THE PROPOSED ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES.
THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
THE CONTRACTOR SHALL MAINTAIN THE PROPOSED GRADES AND ELEVATIONS THROUGHOUT THE PROJECT.
THE CONTRACTOR SHALL MAINTAIN THE PROPOSED PUBLIC ROW.
THE CONTRACTOR SHALL MAINTAIN THE PROPOSED DRAINAGE SYSTEM.
THE CONTRACTOR SHALL MAINTAIN THE PROPOSED LANDSCAPING AND PLANTING.
THE CONTRACTOR SHALL MAINTAIN THE PROPOSED LIGHTING AND SIGNAGE.
THE CONTRACTOR SHALL MAINTAIN THE PROPOSED SAFETY FEATURES.
THE CONTRACTOR SHALL MAINTAIN THE PROPOSED ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES.
THE CONTRACTOR SHALL MAINTAIN THE PROPOSED ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES.
THE CONTRACTOR SHALL MAINTAIN THE PROPOSED ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES.



**SOUTHLAND DR. PROFILE
STA 41+00 TO 42+00 (PLAN)**

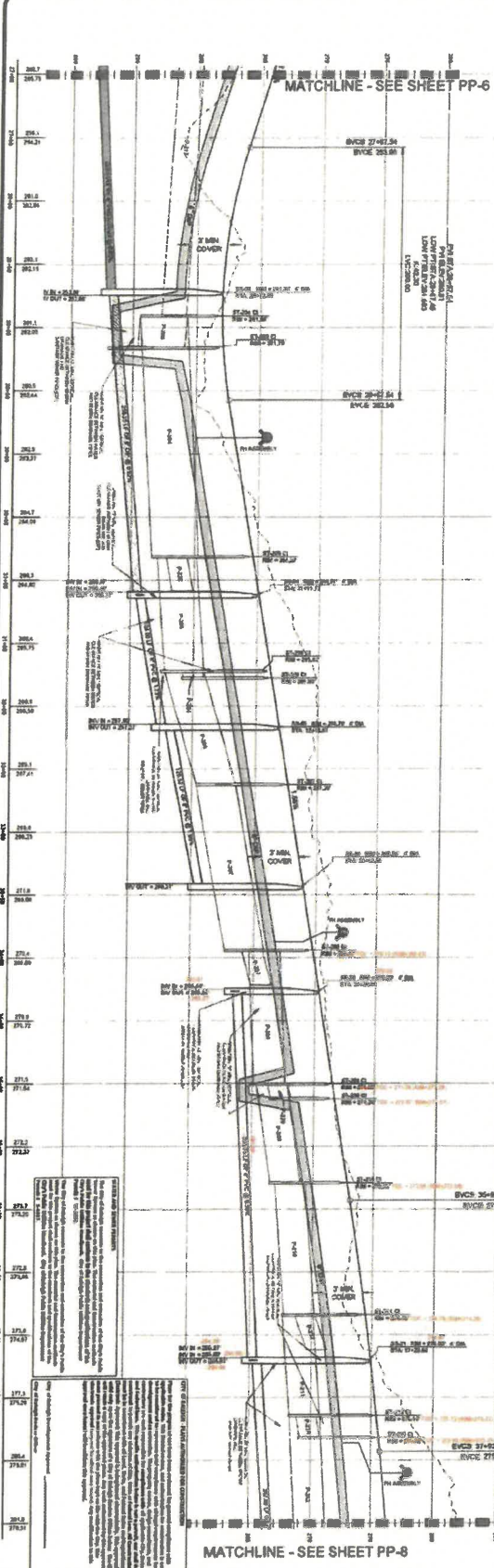
GRAPHIC SCALE
1" = 40' HORIZONTAL
1" = 10' VERTICAL

ENGINEER CERTIFICATION STATEMENT
I, the undersigned, being a duly licensed Professional Engineer in the State of North Carolina, hereby certify that I am the author of the design and construction of the above described project, and that the design and construction of the same were prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer in the State of North Carolina. I further certify that I am a duly licensed Professional Engineer in the State of North Carolina.

NOTICE TO THE PUBLIC
This drawing is a contract document. It is to be used only in connection with the contract documents and is not to be construed as a contract. The contract documents are the complete and final agreement between the parties. The drawings shall be used to explain and illustrate the contract documents, but shall not be used to modify or alter the contract documents. The drawings shall be used to explain and illustrate the contract documents, but shall not be used to modify or alter the contract documents.



<p>19-0103 PROJECT NO.</p>	<p>AS-BUILTS PHASE I CADENCE MEADOWS 915 PONY ROAD ZEBULON, NC</p>	<p>SUMMIT ENGINEERING AND CONSULTING SERVICES</p> <p>State License # 74529 222 Business Court Wilmington, NC 27676 Voice (919) 952-1662 Fax (919) 952-4474 www.summitinc.com</p>	<p>PROJECT #19-0103-AS-BUILT AS-BUILT PHASE I PROJECT NUMBER DRAWN BY CHECKED BY DATE</p>	<p>COMPANY # 104 SUMMIT GROUP, LLC PROJECTING DEPT 1100 GARDNER DRIVE WELLSVILLE, VA 22691 TEL (540) 339-9911 WWW.SUMMITINC.COM</p>	<table border="1"> <thead> <tr> <th>NO.</th> <th>REVISIONS</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	NO.	REVISIONS	DATE	BY																																																
NO.	REVISIONS	DATE	BY																																																						



ROSEBUSH DRIVE PROFILE
 STA 27+00 TO 38+50
 1/2\"/>

DATE: 08/21/13
 DRAWN BY: J. B. BROWN
 CHECKED BY: J. B. BROWN
 LVS: 20/24

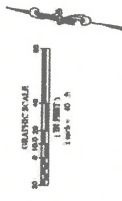
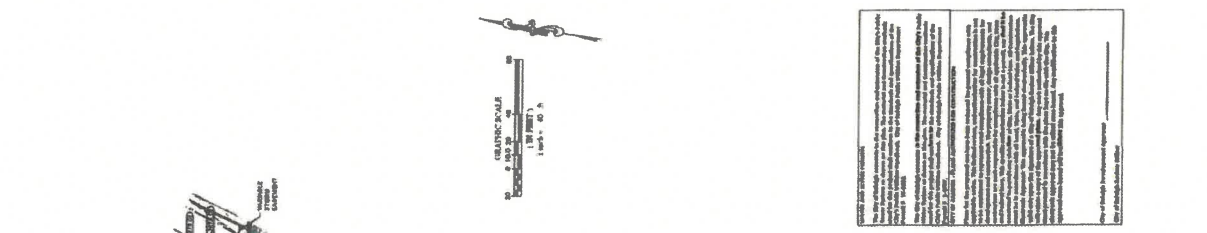
<p>AS-BUILTS PHASE 1 CADENCE MEADOWS 815 PONY ROAD ZEBULON, NC</p>	<p>SUMMIT DESIGN AND CONSTRUCTION SERVICES</p> <p>Steve Larson P. 2339 229 Edwards Court Hillsborough, NC 27528 Mobile: (919) 332-3823 Fax: (919) 332-6678 www.summit-nc.com</p>	<p>PROJECT: 2013-01-01-001 ALL PLANS: 2013-01-01-001 PROJECT MANAGER: ALL PLANS: 2013-01-01-001</p> <p>DESIGNED BY: ALL PLANS: 2013-01-01-001</p> <p>PROJECT SHEET: ALL PLANS: 2013-01-01-001</p>	<p>DATE: 08/21/13</p> <p>BY: [Signature]</p> <p>REVISIONS: [Table with 3 columns: No., Description, Date]</p>
--	--	--	---

SUMMIT
SURVEYING AND ENGINEERING SERVICES
1000 S. W. 10th St.
Burlington, NC 27225
Phone: (773) 122-4800

STATE OF NORTH CAROLINA
SURVEYING BOARD
REGISTERED PROFESSIONAL SURVEYOR
No. 10181
JAMES W. HARRIS

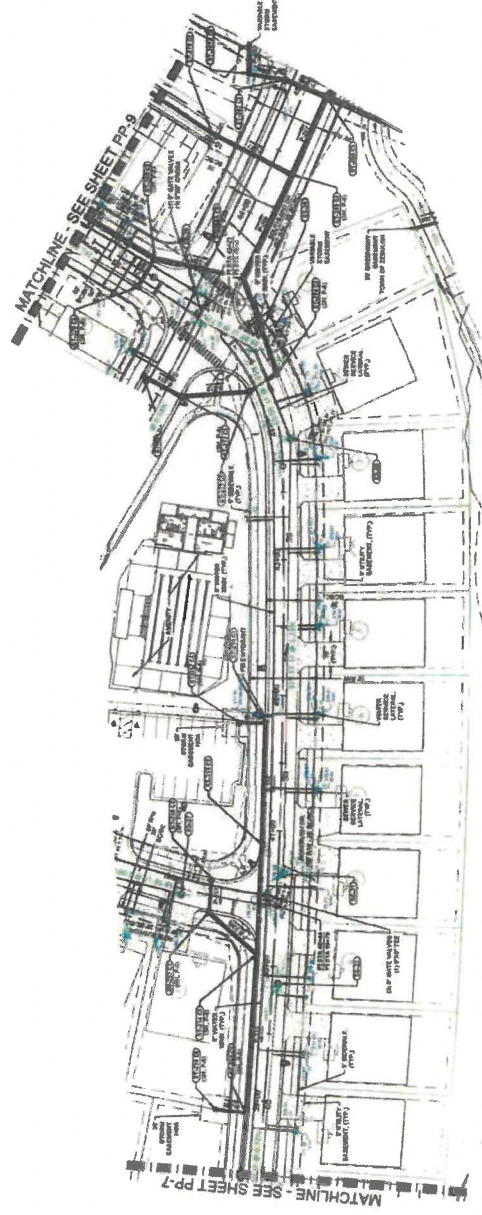
CONTRACTOR'S SEAL
PROJECT NUMBER: 1810181
DATE: 08/14/2018

NO.	REVISIONS	DATE	BY
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			
16			
17			
18			
19			
20			



NOTES:

1. THIS DRAWING IS A PART OF A PROJECT AND IS NOT TO BE USED SEPARATELY FROM THE OTHER PARTS OF THE PROJECT.
2. THE INFORMATION CONTAINED HEREIN IS BASED ON THE DATA PROVIDED BY THE CLIENT AND IS NOT TO BE USED FOR ANY OTHER PURPOSE.
3. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND THE DATA TO BE REASONABLY ACCURATE.
4. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND THE DATA TO BE REASONABLY ACCURATE.
5. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND THE DATA TO BE REASONABLY ACCURATE.
6. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND THE DATA TO BE REASONABLY ACCURATE.
7. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND THE DATA TO BE REASONABLY ACCURATE.
8. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND THE DATA TO BE REASONABLY ACCURATE.
9. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND THE DATA TO BE REASONABLY ACCURATE.
10. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS FOUND THE DATA TO BE REASONABLY ACCURATE.

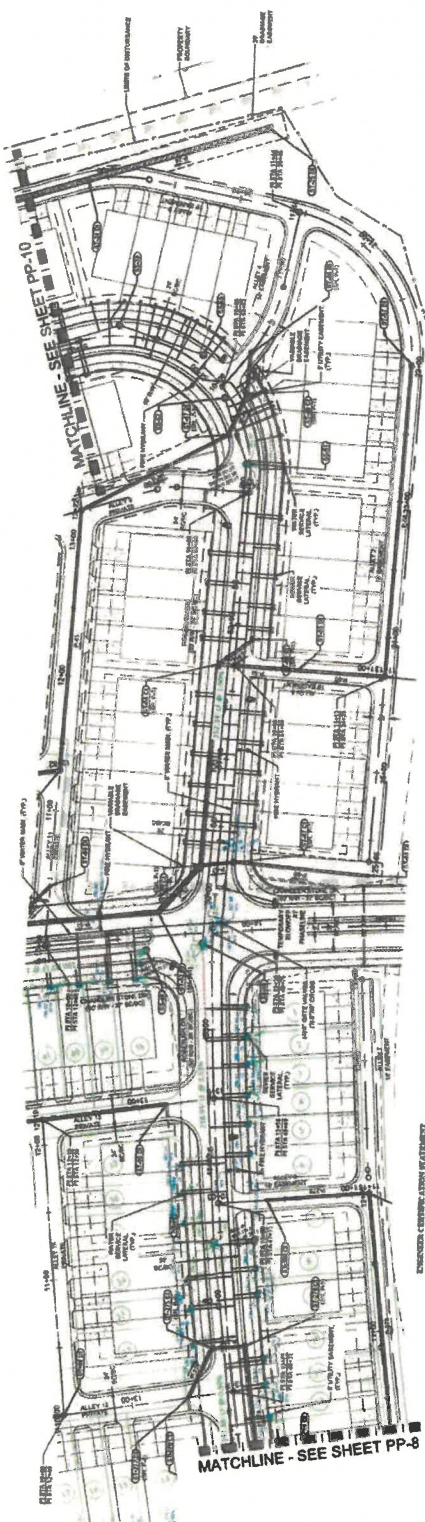


**ROSEBUSH DR. PROFILE
STA 38+50 TO 46+00
BY PUBLIC INV.**

ENGINEER'S CERTIFICATE OF STATEMENT
I, James W. Harris, a duly registered Professional Engineer in the State of North Carolina, being sworn, depose and say that I am the Engineer of Record for the project described herein and that I have prepared the drawings and specifications therefor and that I am a duly licensed Professional Engineer in the State of North Carolina. I have not been convicted of any crime involving moral turpitude and I have not been disciplined by any professional board or organization. I have not been convicted of any crime involving moral turpitude and I have not been disciplined by any professional board or organization. I have not been convicted of any crime involving moral turpitude and I have not been disciplined by any professional board or organization.

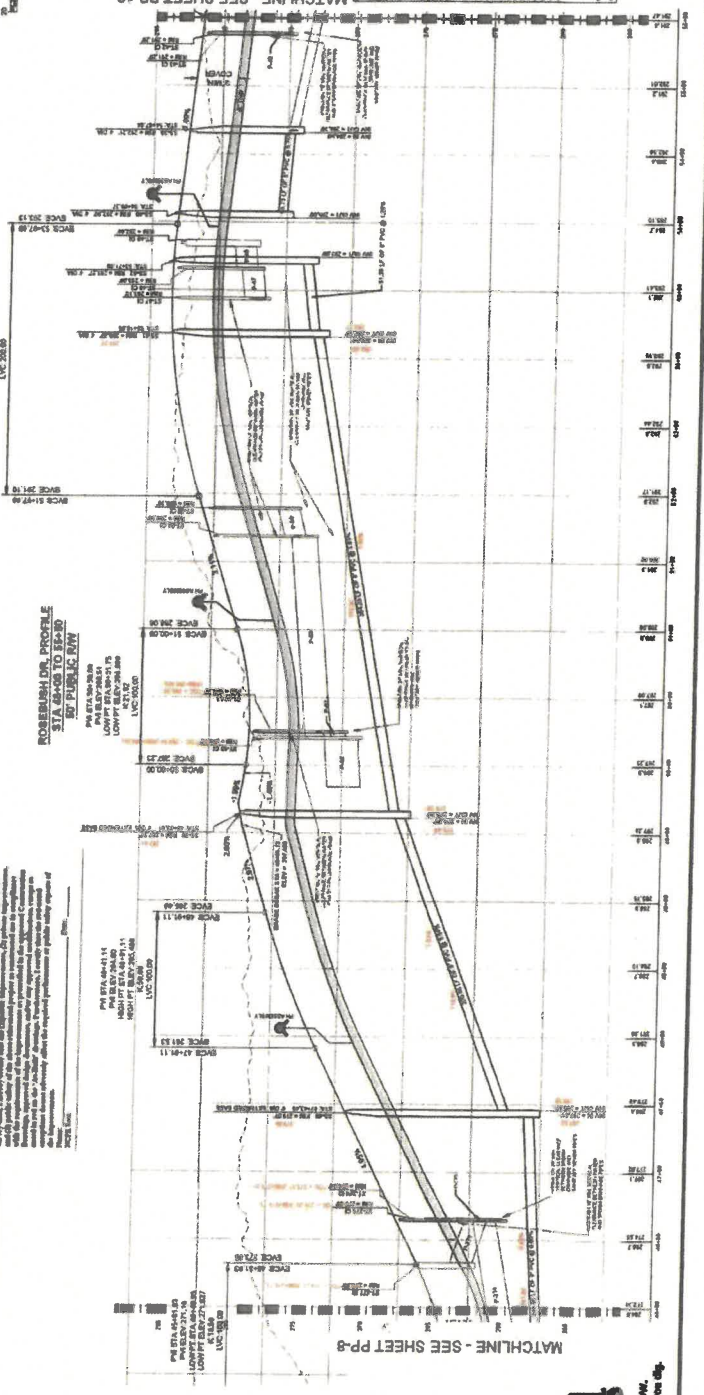


<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>MEMBERSHIP</th> <th>DATE</th> <th>BY</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	MEMBERSHIP	DATE	BY																							<p>SUMMIT ENGINEERING & CONSTRUCTION, INC. 1000 S. HARRIS DR. MARTIN, NC 27557 Tel: 919.286.1234 Fax: 919.286.1235</p>	<p>AS-BUILT'S PHASE I CADENCE MEADOWS SECTION NO. 915 RYAN ROAD 19-01013 SHEET NO. PP-9</p>	<p>PLAN & PROFILE - ROSEBUSH DR. STA 46+00 TO 55+50</p>
MEMBERSHIP	DATE	BY																										

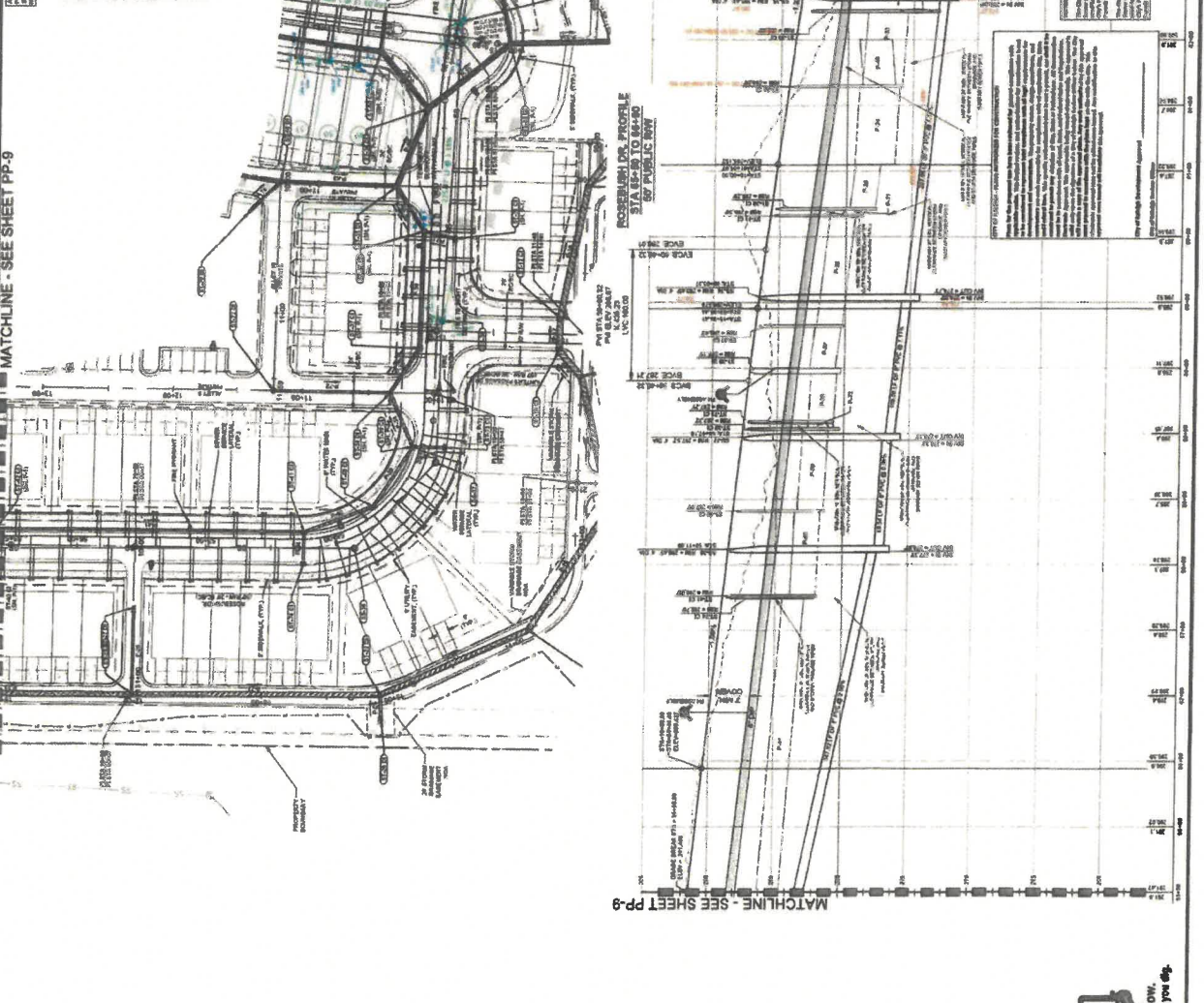
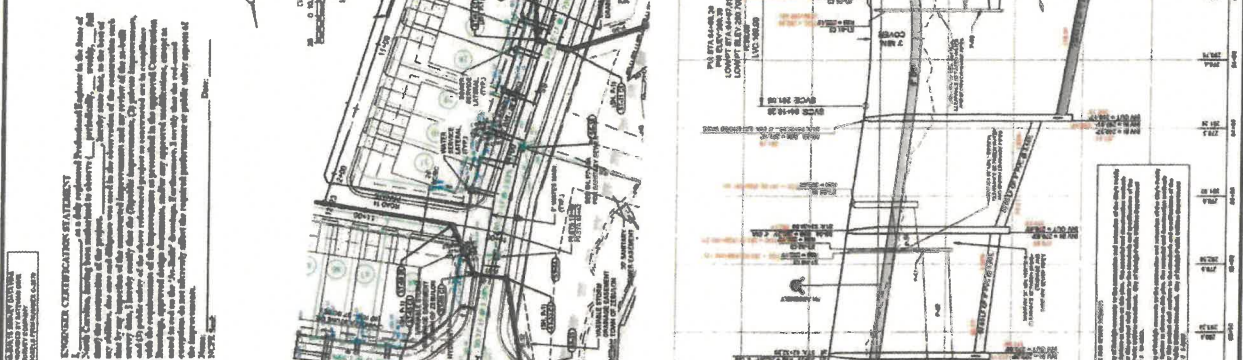


ROSEBUSH DR. PROFILE
STA 46+00 TO 55+50
BY PUBLIC BUREAU

PROPOSED CURBLINE ELEVATION (PPE) is shown at 1' intervals. Proposed finished grade (FG) is shown at 1' intervals. Proposed existing ground (EG) is shown at 1' intervals. Proposed existing ground (EG) is shown at 1' intervals. Proposed existing ground (EG) is shown at 1' intervals.



	SUMMIT ENGINEERS AND ARCHITECTS 1000 S. UNIVERSITY AVENUE SUITE 100 RICHMOND, VA 23261 TEL: (804) 771-1200 FAX: (804) 771-1201	PROJECT: AS-BUILT PHASE I CLIENT: SUMMIT PROJECT LOCATION: 115 POINT ROAD RICHMOND, VA DRAWING NO.: 19-101-61
PLAN & PROFILE CADENCE MEADOWS ROSEBUSH DR. - STA 55+50 TO 66+00		



KNOWLEDGE CERTIFICATION STATEMENT

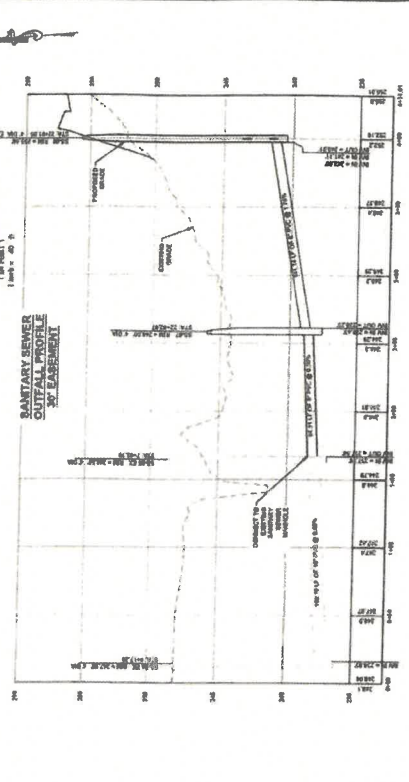
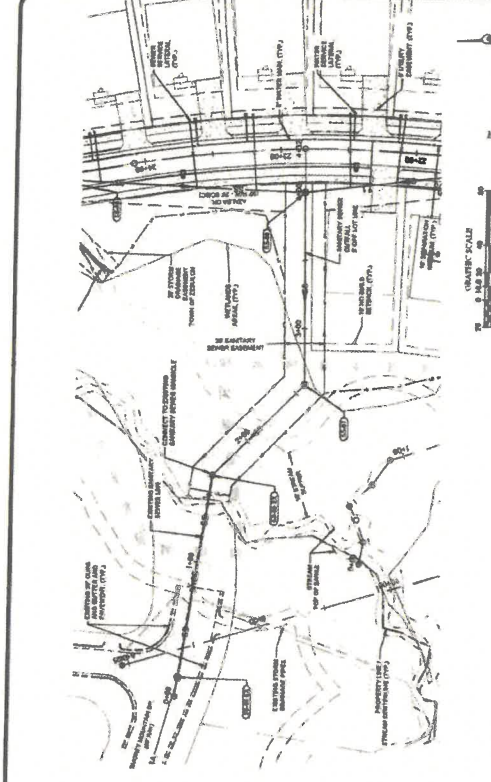
I, the undersigned, being a duly registered Professional Engineer in the State of Virginia, do hereby certify that I am the author of the design and content of this drawing and that I am a duly licensed Professional Engineer in the State of Virginia. I am not aware of any falsification of information or any other act that would constitute a violation of the Virginia Engineering Code of Ethics. I am not aware of any other act that would constitute a violation of the Virginia Engineering Code of Ethics. I am not aware of any other act that would constitute a violation of the Virginia Engineering Code of Ethics.

DATE: _____

Signature: _____

REVISIONS	DATE	BY





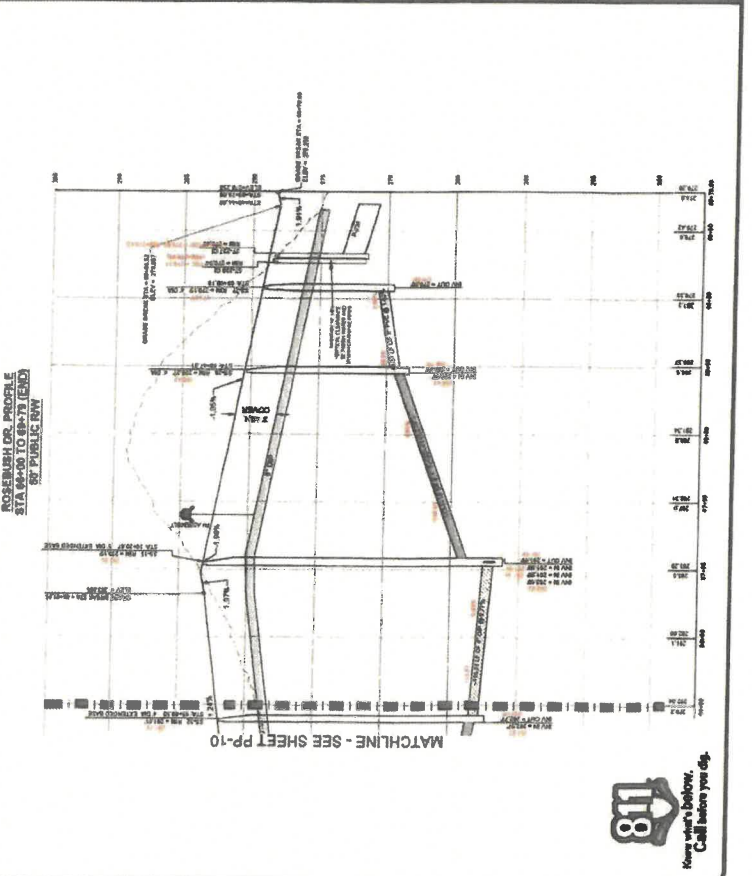
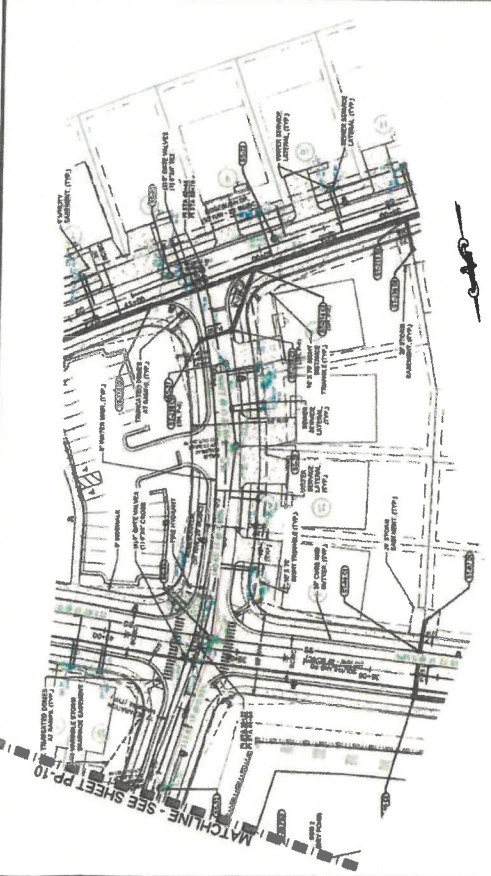
ENGINEER CERTIFICATION STATEMENT

I, _____, as a duly registered Professional Engineer in the State of Indiana, certify that the information provided herein is true and correct to the best of my knowledge and belief, and that I have not been convicted of any crime involving moral turpitude within the last ten years.

I have prepared the information herein in accordance with the requirements of the Indiana Professional Engineers Act, and I have not been suspended or restricted from practicing as a Professional Engineer in the State of Indiana.

I have not been convicted of any crime involving moral turpitude within the last ten years, and I have not been suspended or restricted from practicing as a Professional Engineer in the State of Indiana.

I have not been convicted of any crime involving moral turpitude within the last ten years, and I have not been suspended or restricted from practicing as a Professional Engineer in the State of Indiana.



118
 Home what's below.
 Call before you dig.

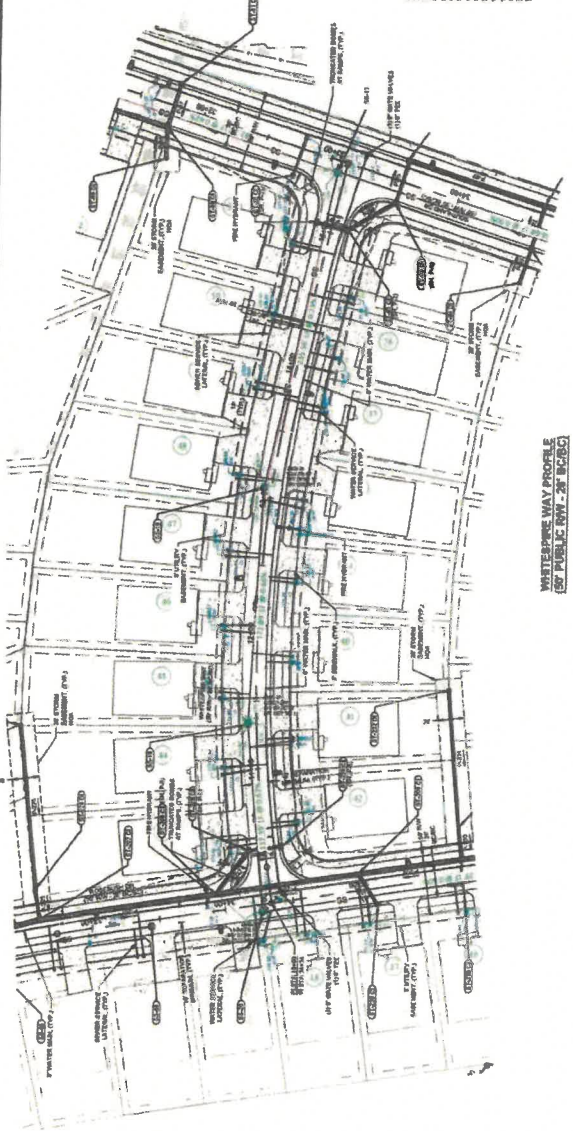


REVISION	DATE	BY
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

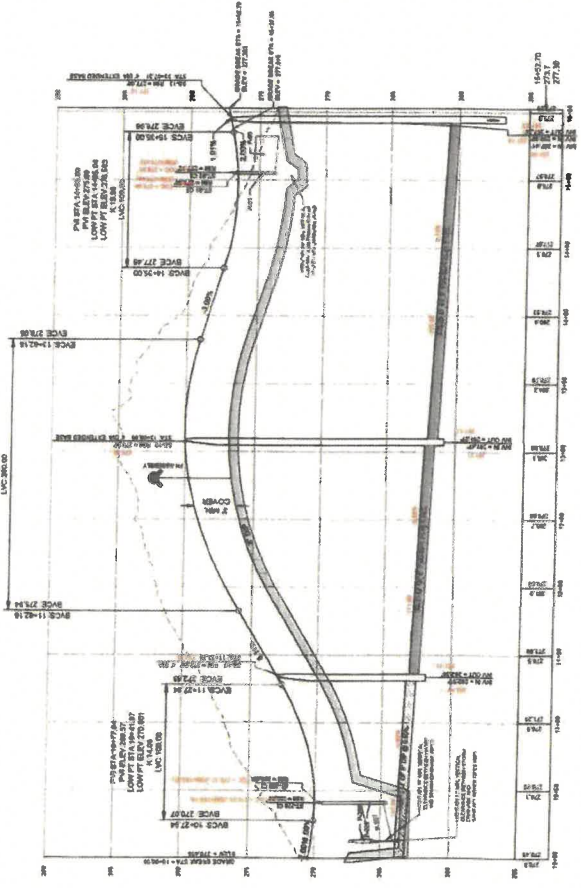
NOTES:
 1. THIS DRAWING IS A PART OF A CONTRACT AND SHALL BE USED ONLY FOR THE PROJECT AND SITE IDENTIFIED HEREON.
 2. NO PART OF THIS DRAWING IS TO BE REPRODUCED, COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.
 3. THE DESIGNER SHALL BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF THE INFORMATION PROVIDED TO THE CONTRACTOR.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL FIELD DATA AND CONDITIONS PRIOR TO CONSTRUCTION.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL NEIGHBORHOODS AND THE ENVIRONMENT.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND UTILITIES.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND UTILITIES.



AS-BUILTS PHASE I
 This drawing shows the final construction of the project. It includes all necessary details for the construction of the project. It is the contractor's responsibility to verify the accuracy of all field data and conditions prior to construction.



WHITESPIRE WAY PROFILE
 (SEE PUBLIC WORK - 26-36382)





THE INFORMATION SHOWN ON THIS PLAN AND PROFILE WAS OBTAINED FROM THE FIELD SURVEY AND THE RECORD DRAWING ON WHICH THIS PLAN AND PROFILE IS BASED. THE SURVEY AND THE RECORD DRAWING ON WHICH THIS PLAN AND PROFILE IS BASED ARE THE SOLE BASIS FOR THE INFORMATION SHOWN ON THIS PLAN AND PROFILE. THE INFORMATION SHOWN ON THIS PLAN AND PROFILE IS NOT TO BE USED FOR ANY OTHER PURPOSES. THE INFORMATION SHOWN ON THIS PLAN AND PROFILE IS NOT TO BE USED AS EVIDENCE IN ANY COURT OF LAW. THE INFORMATION SHOWN ON THIS PLAN AND PROFILE IS NOT TO BE USED FOR ANY OTHER PURPOSES. THE INFORMATION SHOWN ON THIS PLAN AND PROFILE IS NOT TO BE USED AS EVIDENCE IN ANY COURT OF LAW.

PP-18
 PROJECT NO. 19-0103
 DATE 12-12-2019
 DRAWN BY J.M.

LANDEN CREEK LANE PLAN & PROFILE
 915 PONY ROAD
 ZEPHURUS, NC

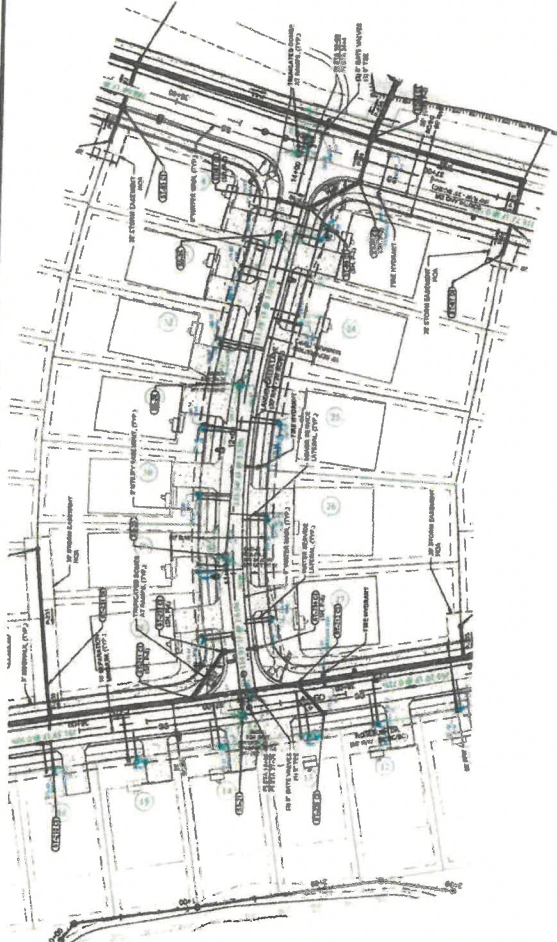
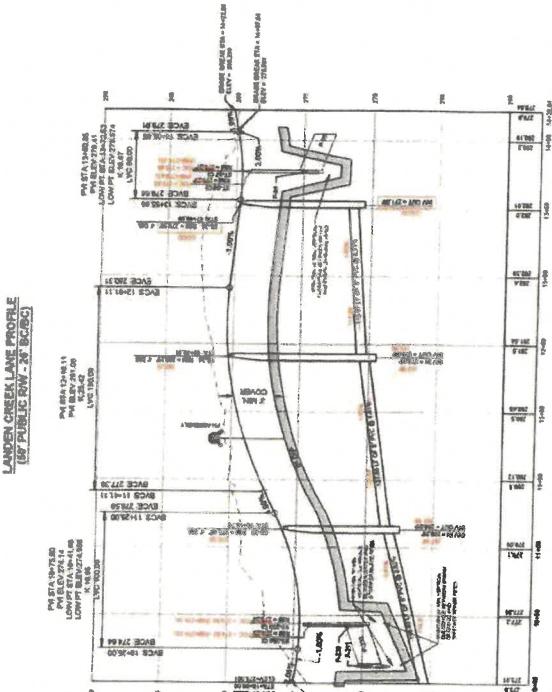
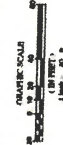
SUMMIT
 LAND AND SURVEYING SERVICES
 440 S. BRUNSWICK ST., SUITE 100
 ZEPHURUS, NC 27586
 TEL: 919.323.1234
 WWW.SUMMITLANDSURVEYING.COM



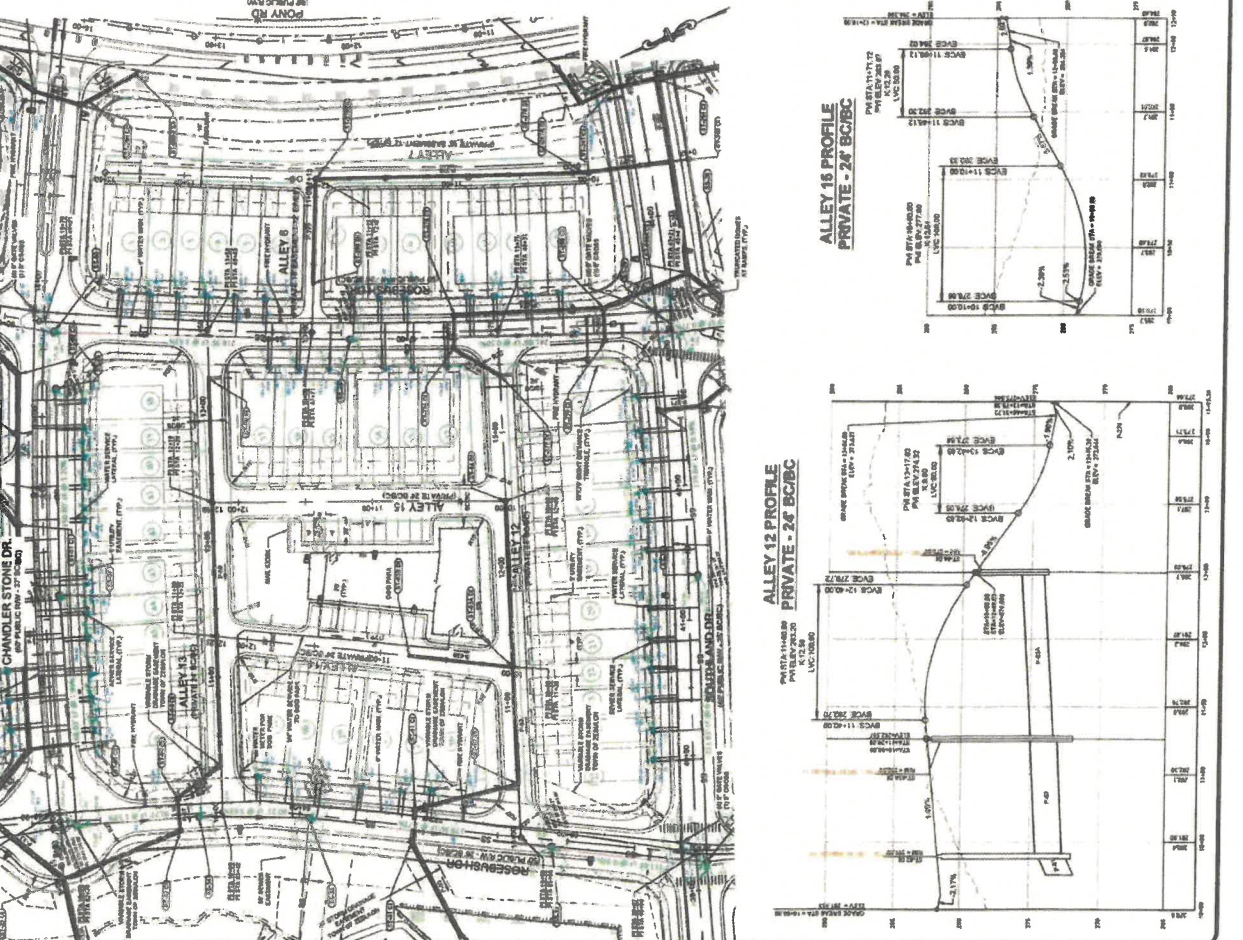
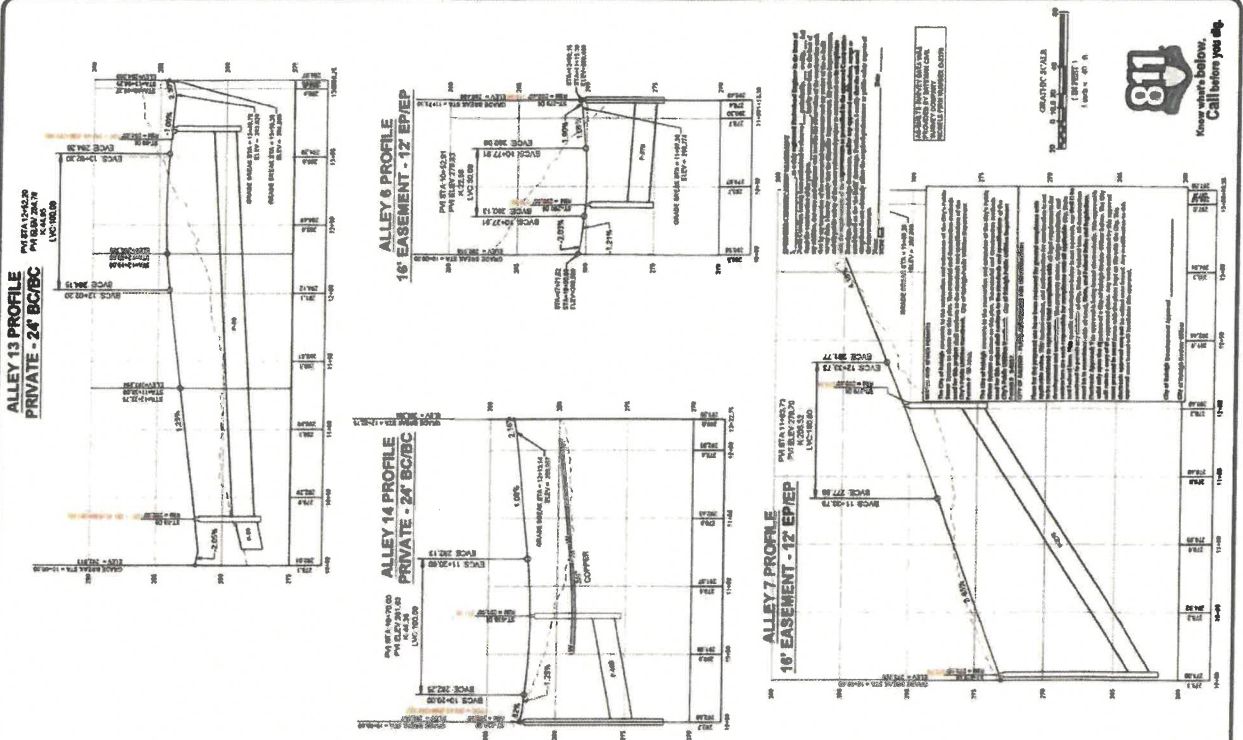
PROJECT ENGINEER	JAMES E. WILLIAMS
DATE	12/12/19
REVISED	
DATE	
REVISED	
DATE	
REVISED	

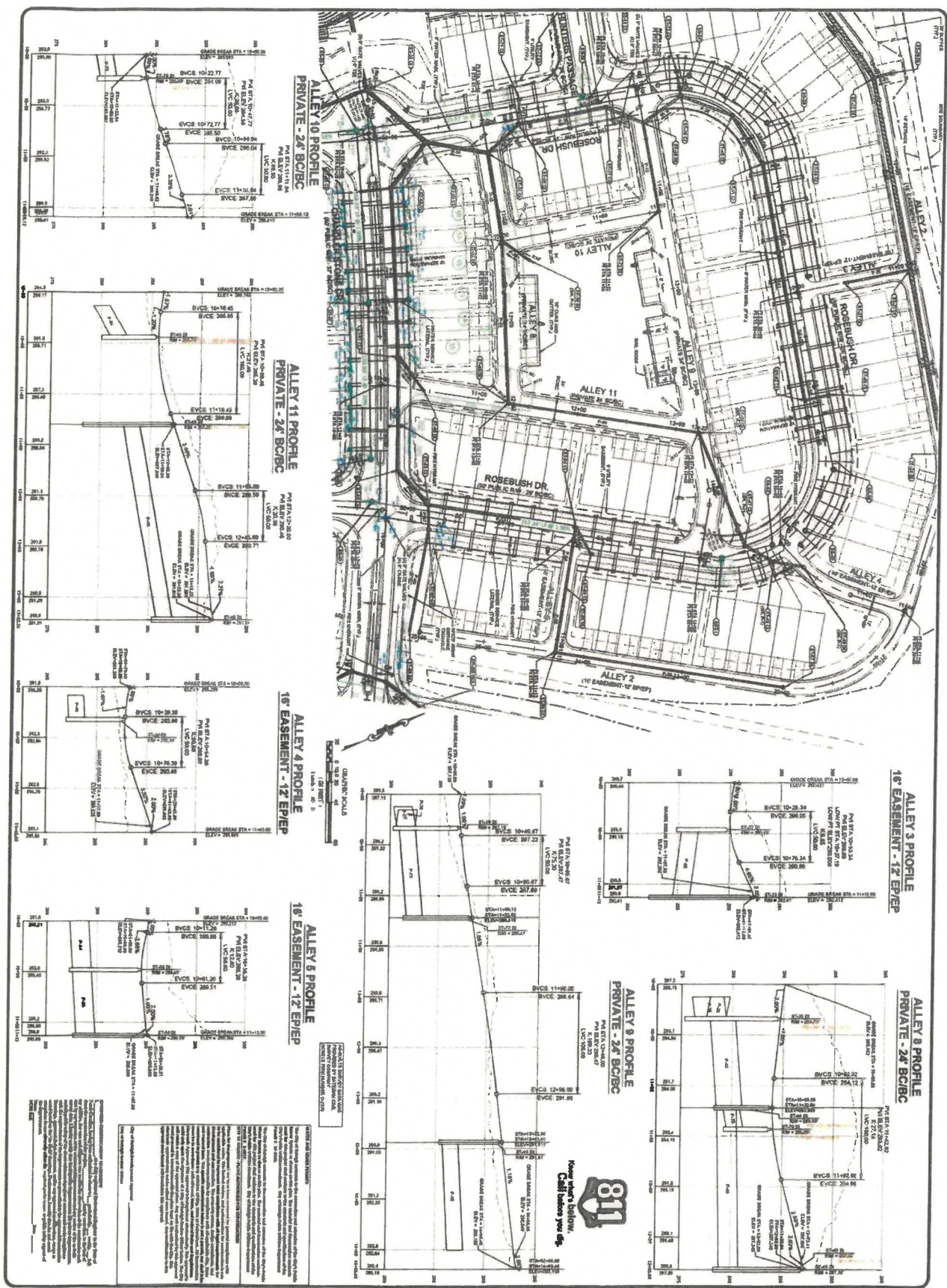
PROJECT ENGINEER	JAMES E. WILLIAMS
DATE	12/12/19
REVISED	
DATE	
REVISED	
DATE	
REVISED	

ENGINEER'S CERTIFICATION STATEMENT
 I, the undersigned, being a duly Licensed Professional Engineer in the State of North Carolina, hereby certify that I am the author or creator of the design and calculations shown on this drawing, and that I am a duly Licensed Professional Engineer in the State of North Carolina. I am the holder of License No. 34445, Mechanical Engineering. I have prepared this drawing and the calculations shown hereon in accordance with the laws and regulations of the State of North Carolina. I have also prepared the calculations shown hereon in accordance with the laws and regulations of the State of North Carolina. I have also prepared the calculations shown hereon in accordance with the laws and regulations of the State of North Carolina.



LANDEN CREEK LANE PROFILE
 (BY PUBLIC ROW - 20' BUFFER)





**AS-BUILTS PHASE 1
CADENCE MEADOWS**
916 PONY ROAD
ZEBULON, NC

**PLAN & PROFILE - ALLEYS 3, 4, 5, 7
ALLEYS 3, 4, 5, 8, 9, 10, AND 11**

18-0703
18-0703-01
18-0703-02
18-0703-03
18-0703-04
18-0703-05
18-0703-06
18-0703-07
18-0703-08
18-0703-09
18-0703-10
18-0703-11
18-0703-12
18-0703-13
18-0703-14
18-0703-15
18-0703-16
18-0703-17
18-0703-18
18-0703-19
18-0703-20
18-0703-21
18-0703-22
18-0703-23
18-0703-24
18-0703-25
18-0703-26
18-0703-27
18-0703-28
18-0703-29
18-0703-30
18-0703-31
18-0703-32
18-0703-33
18-0703-34
18-0703-35
18-0703-36
18-0703-37
18-0703-38
18-0703-39
18-0703-40
18-0703-41
18-0703-42
18-0703-43
18-0703-44
18-0703-45
18-0703-46
18-0703-47
18-0703-48
18-0703-49
18-0703-50
18-0703-51
18-0703-52
18-0703-53
18-0703-54
18-0703-55
18-0703-56
18-0703-57
18-0703-58
18-0703-59
18-0703-60
18-0703-61
18-0703-62
18-0703-63
18-0703-64
18-0703-65
18-0703-66
18-0703-67
18-0703-68
18-0703-69
18-0703-70
18-0703-71
18-0703-72
18-0703-73
18-0703-74
18-0703-75
18-0703-76
18-0703-77
18-0703-78
18-0703-79
18-0703-80
18-0703-81
18-0703-82
18-0703-83
18-0703-84
18-0703-85
18-0703-86
18-0703-87
18-0703-88
18-0703-89
18-0703-90
18-0703-91
18-0703-92
18-0703-93
18-0703-94
18-0703-95
18-0703-96
18-0703-97
18-0703-98
18-0703-99
18-0703-100

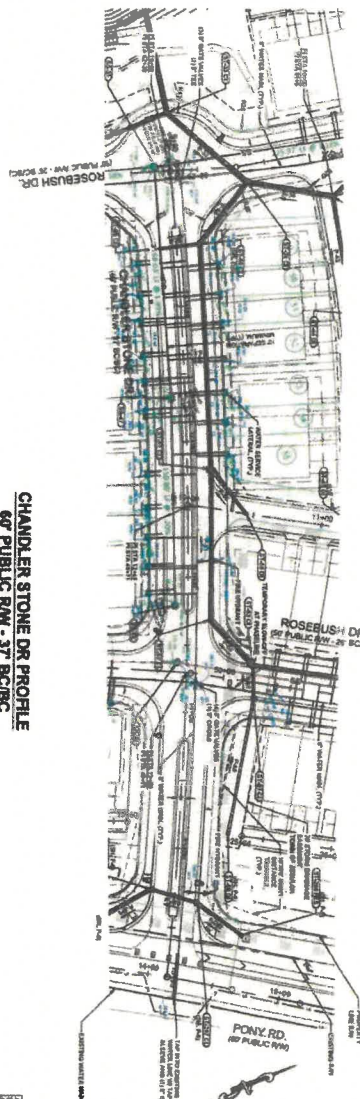
SUMMIT
DESIGN AND ENGINEERING SERVICES

State License # P4650
JDR Structural Const
14400 WOODHOLLOW PKWY
WALKER, NC 27579
Tel: (919) 752-3882 Fax: (919) 122-6476
www.summitnc.com

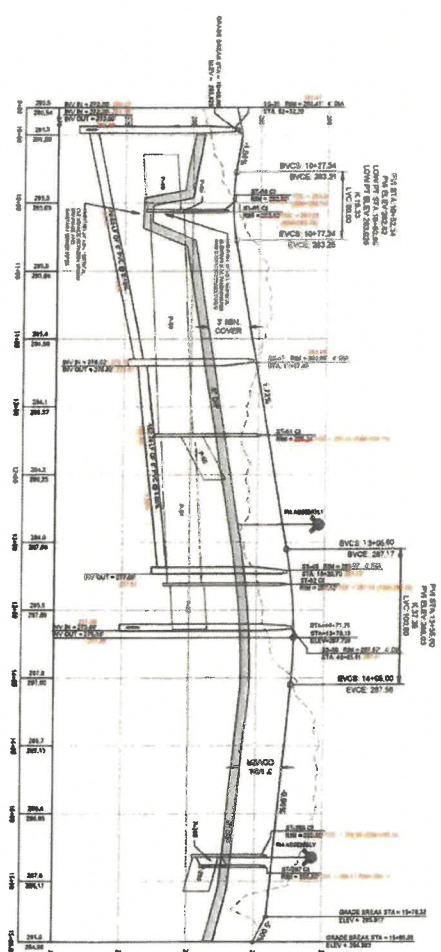
811
Know what's below.
Call before you dig.

PROJECT: 18-0703-01 (18-0703-01)
DRAWING: 18-0703-01 (18-0703-01)
DATE: 11/15/2018
DRAWN BY: JDR
CHECKED BY: JDR
PROJECT MANAGER: JDR
PROJECT LOCATION: 916 PONY ROAD, ZEBULON, NC

NO.	REVISIONS	DATE	BY
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			
16			
17			
18			
19			
20			
21			
22			
23			
24			
25			
26			
27			
28			
29			
30			
31			
32			
33			
34			
35			
36			
37			
38			
39			
40			
41			
42			
43			
44			
45			
46			
47			
48			
49			
50			
51			
52			
53			
54			
55			
56			
57			
58			
59			
60			
61			
62			
63			
64			
65			
66			
67			
68			
69			
70			
71			
72			
73			
74			
75			
76			
77			
78			
79			
80			
81			
82			
83			
84			
85			
86			
87			
88			
89			
90			
91			
92			
93			
94			
95			
96			
97			
98			
99			
100			



CHANDLER STONE DR PROFILE
 60' PUBLIC R/W - 37' BC/BIC



CADENCE CREATION/CONSTRUCTION
 11800 Old Highway 101, Suite 101
 Raleigh, NC 27617
 (919) 870-0000
 www.cadencecreation.com

CONTRACTOR'S CERTIFICATION OF EXPERIENCE
 The undersigned hereby certifies that the person(s) named herein are the person(s) who have been employed by the undersigned for the period of time stated herein, and that the person(s) named herein are the person(s) who have been employed by the undersigned for the period of time stated herein, and that the person(s) named herein are the person(s) who have been employed by the undersigned for the period of time stated herein.



PROJECT NO: 18-0103 DATE: 10/01/2018 DRAWING NO: PP-21A	AS-BUILTS PHASE 1 CADENCE MEADOWS 216 PONY ROAD ZEBULON, NC	 SUMMIT DESIGN AND ENGINEERING SERVICES 3500 Lakeside Dr. # 400 Raleigh, NC 27617 Phone: (919) 333-3862 Fax: (919) 333-4474 www.summit-es.com	PROJECT ENGINEER/PROJECT MANAGER AM.FELDMAN@SUMMITDESIGN.COM AM.FELDMAN@SUMMITDESIGN.COM	COPYRIGHT © 2018 SUMMIT DESIGN AND ENGINEERING SERVICES, INC. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SUMMIT DESIGN AND ENGINEERING SERVICES, INC.	REVISIONS DATE BY
	PLAN & PROFILE - CHANDLER STONE DR		DRAWN BY: AM.FELDMAN CHECKED BY: AM.FELDMAN PROJECT DATE: 2018-05		1 2 3 4 5 6 7 8 9 10

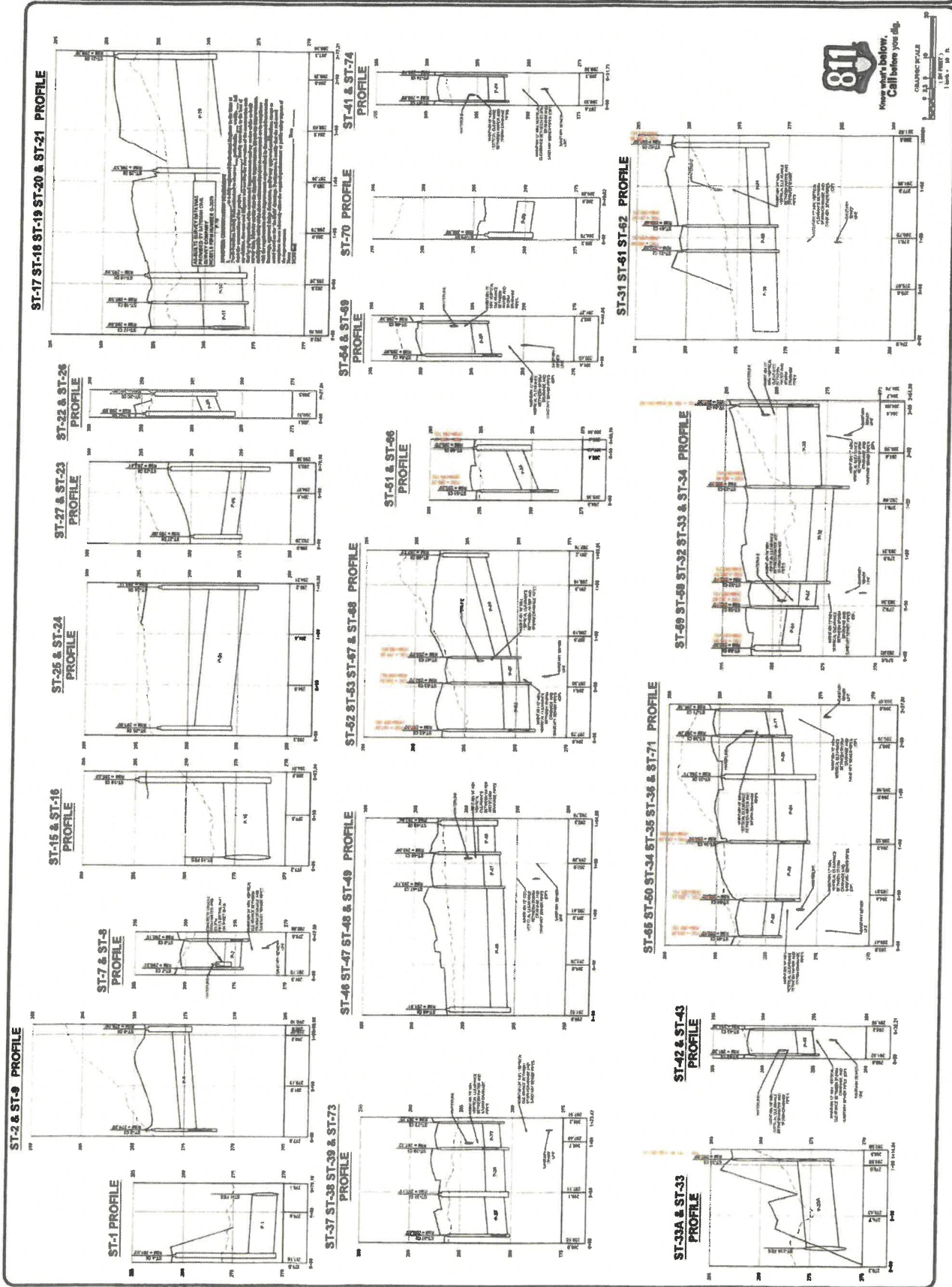
REV.	DATE	BY
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

PROJECT: 15-0103
 15-0103_P1 Stormwater Management
 15-0103_P1 Stormwater Management
 15-0103_P1 Stormwater Management

SUMMIT
 STORMWATER CONSULTING SERVICES
 15000 N. 10th Street, Suite 100
 Phoenix, AZ 85020
 Tel: 602.998.3333
 Fax: 602.998.3344

811
 Call before you dig.
 1-800-4-A-DIG
 1-800-427-4747
 1-800-427-4747

**AS-BUILT PHASE I
 CADENCE MEADOWS
 STORM PROFILES**



DATE	BY	REVISIONS

PROJECT: AS-BUILT PHASE I
 CAPENCE MEADOWS
 STORM PROFILES

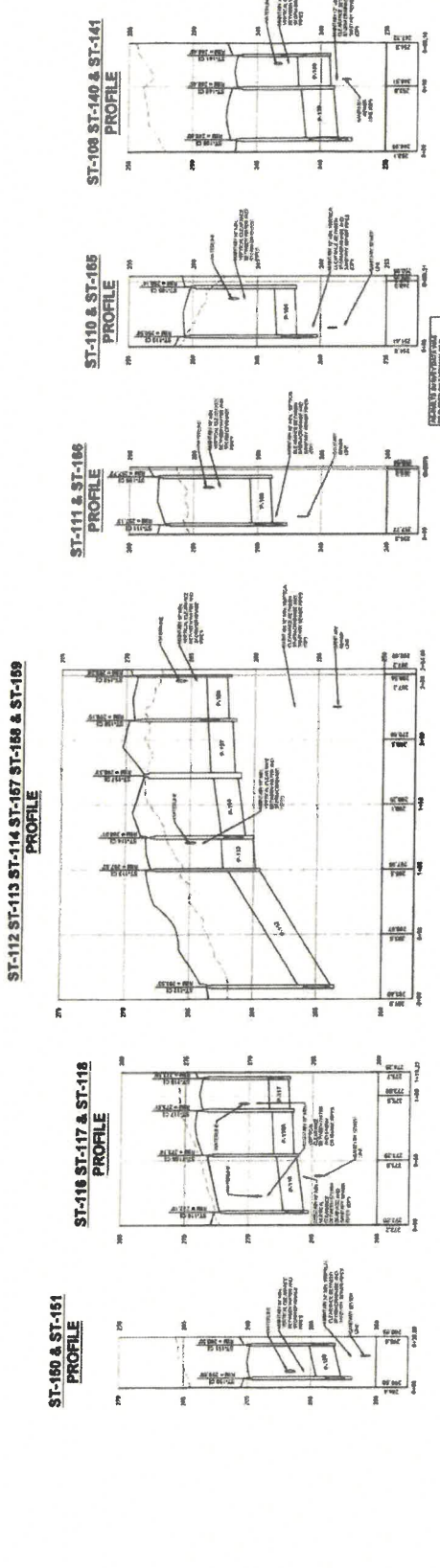
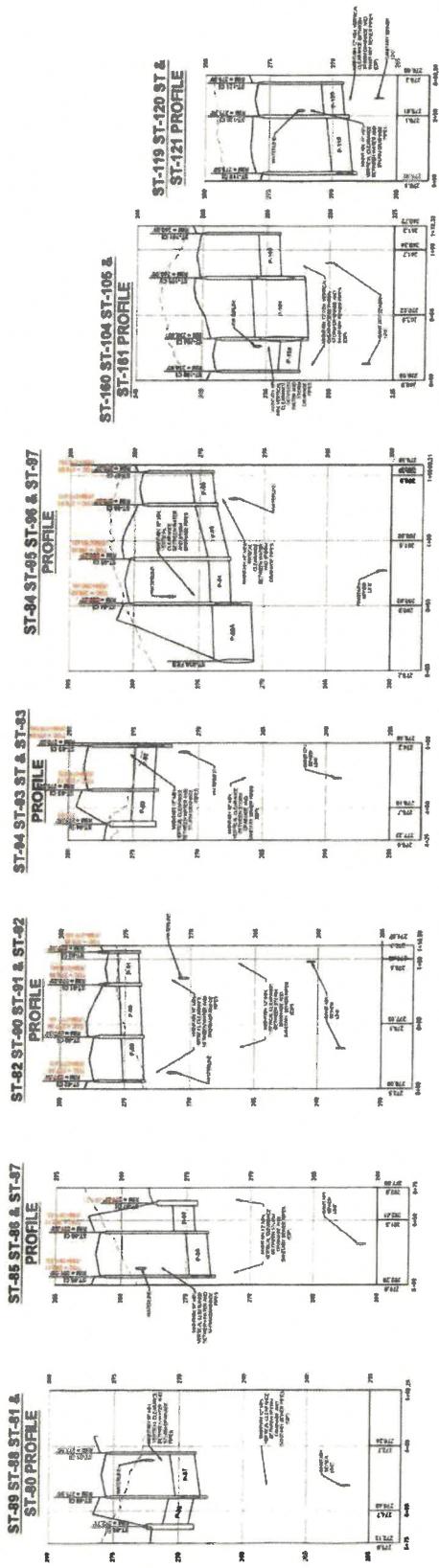
DATE: 10/19/11
 DRAWN BY: J. W. WATSON
 CHECKED BY: J. W. WATSON
 PROJECT MANAGER: J. W. WATSON



SUMMIT
 ENGINEERING & ARCHITECTURE
 100 N. WASHINGTON ST.
 CHICAGO, IL 60610
 TEL: 312.555.1234

AS-BUILT PHASE I
CAPENCE MEADOWS
STORM PROFILES

PROJECT NO: 19-0103
 DRAWING NO: STORM
 SHEET NO: P-2



GRAPHIC SCALE
 1" = 10' H
 1" = 100' V

NOTE: THE INFORMATION CONTAINED HEREON IS THE PROPERTY OF SUMMIT ENGINEERING & ARCHITECTURE. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SUMMIT ENGINEERING & ARCHITECTURE.



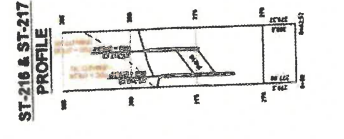
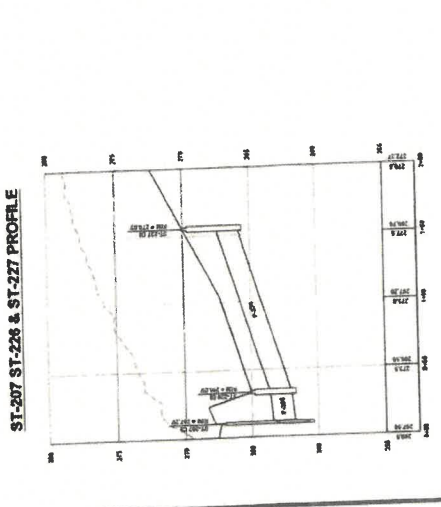
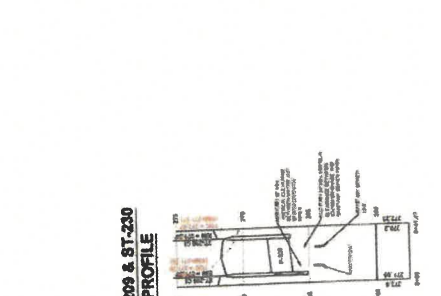
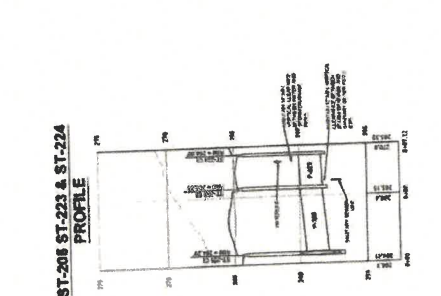
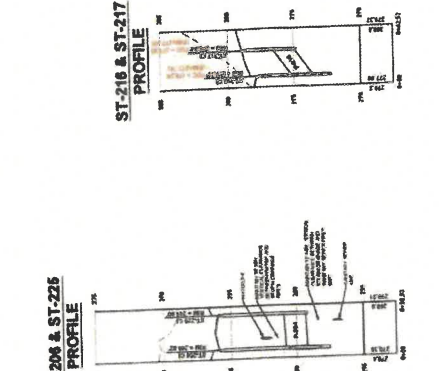
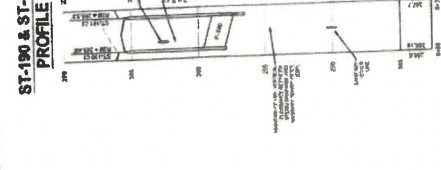
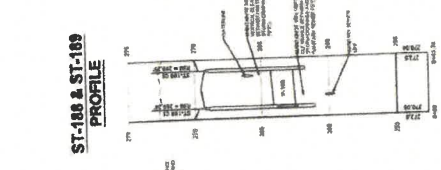
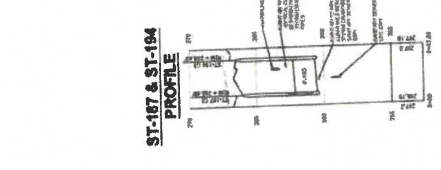
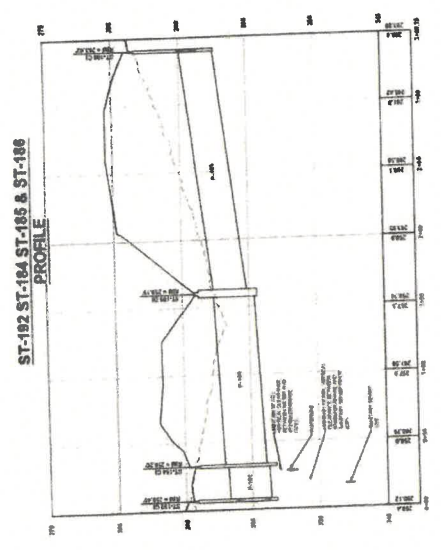
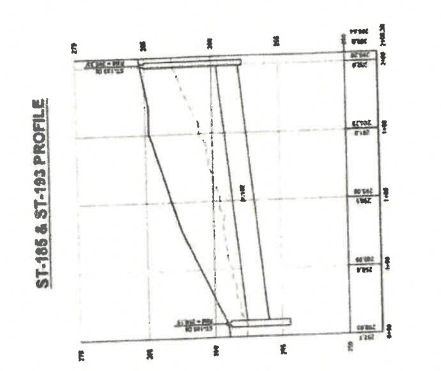
AS-BUILTS PHASE I
CADENCE MEADOWS
 STORM PROFILES

SUMMIT
 Surveying and Engineering Services
 225 Main Street
 Raleigh, NC 27601
 Phone: (919) 724-8470

DATE:
 BY:
 REVISIONS:

NO.	DATE	BY	REVISIONS

PROJECT: CADENCE MEADOWS
 1515 PONY ROAD
 ZEPHULON, NC
 28785
 18-0103
 18-0103-D-01-0001-01
 SHEET NO. **P-4**



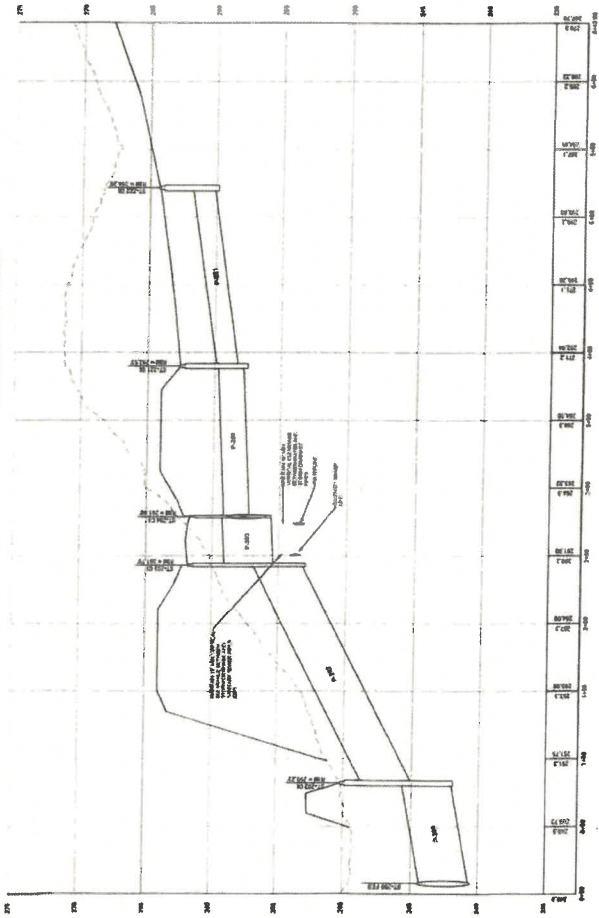
GENERAL NOTES:

1. ALL ELEVATIONS ARE IN FEET.
2. PROPOSED ELEVATIONS ARE SHOWN WITH DASHED LINES.
3. EXISTING ELEVATIONS ARE SHOWN WITH SOLID LINES.
4. THE PROPOSED PROFILE IS BASED ON THE ASSUMPTION THAT ALL STRUCTURES WILL BE CONSTRUCTED TO THE PROPOSED ELEVATIONS.
5. THE PROPOSED PROFILE IS BASED ON THE ASSUMPTION THAT ALL STRUCTURES WILL BE CONSTRUCTED TO THE PROPOSED ELEVATIONS.
6. THE PROPOSED PROFILE IS BASED ON THE ASSUMPTION THAT ALL STRUCTURES WILL BE CONSTRUCTED TO THE PROPOSED ELEVATIONS.

DATE:
 DRAWN BY:
 CHECKED BY:
 SCALE:
 SHEET NO. **P-4**



ST-200 ST-201 ST-202 ST-203 ST-204 ST-221 & ST-222 PROFILE



CONSENT FOR CONSTRUCTION
 I, the undersigned, hereby consent to the construction of the above-described project in accordance with the approved plans and specifications, and I understand that the construction of the project is subject to the approval of the appropriate regulatory agencies.

ENGINEER CERTIFICATION STATEMENT
 I, the undersigned, as a duly registered Professional Engineer in the State of California, hereby certify that the above-described project is in accordance with the approved plans and specifications, and I understand that the construction of the project is subject to the approval of the appropriate regulatory agencies.

I, the undersigned, as a duly registered Professional Engineer in the State of California, hereby certify that the above-described project is in accordance with the approved plans and specifications, and I understand that the construction of the project is subject to the approval of the appropriate regulatory agencies.

NO.	REVISIONS	DATE	BY
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

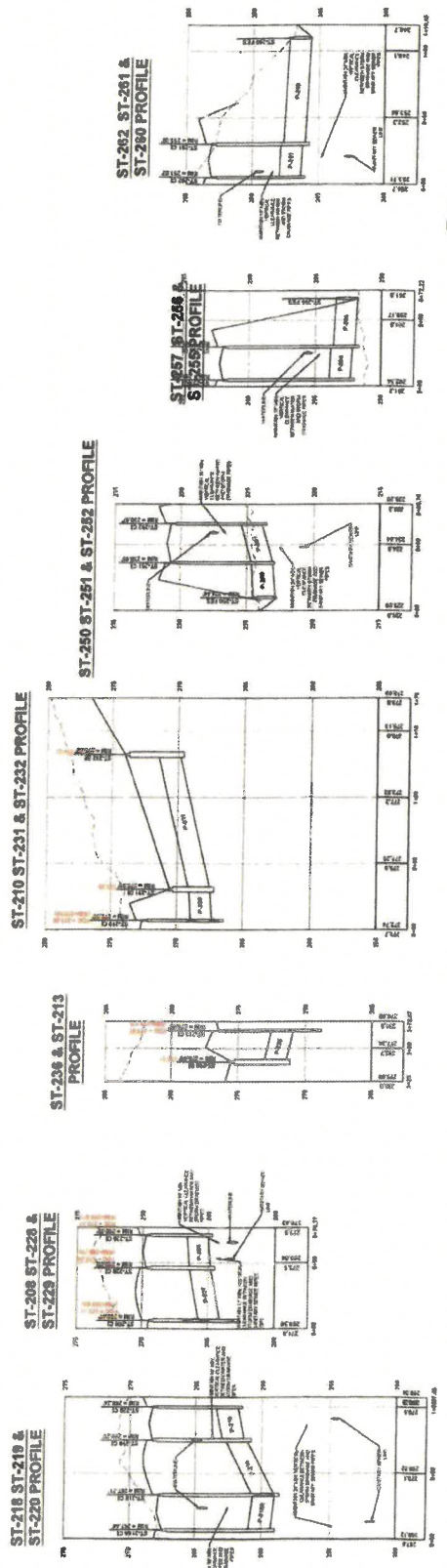
PROJECT INFORMATION
 PROJECT NAME: AS-BURTS PHASE 1
 PROJECT NUMBER: 19-0103
 PROJECT LOCATION: 815 PONY ROAD, CADENCE MEADOWS, ST. LOUIS, MO 63114
 CLIENT: [REDACTED]
 DATE: [REDACTED]



SUMMIT
 ENGINEERING SERVICES, INC.
 2000 Rockwood Court
 St. Louis, MO 63114
 Phone: (314) 221-1000
 Fax: (314) 221-1001

STORM PROFILES
 AS-BURTS PHASE 1
 CADENCE MEADOWS
 815 PONY ROAD
 ST. LOUIS, MO 63114
 PROJECT NO. 19-0103

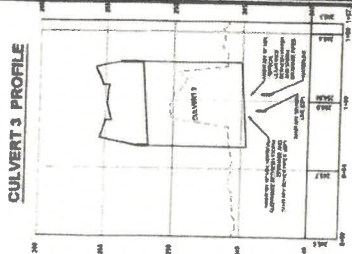
P-5
 19-0103_01
 19-0103_01



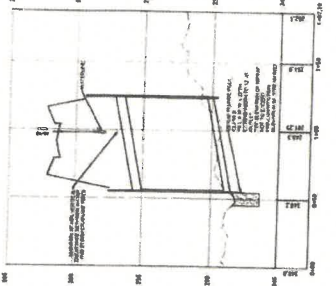
811
 Keep what's below.
 Call before you dig.
 1-800-4-A-DIG
 1-800-472-4343

	AS-BUILT PHASE I CADENCE MEADOWS 515 PONY ROAD STURTON, IN 46782 PROJECT NO. 19-0103 DATE: 12/15/19	STORM PROFILES	P-6 DRAWN BY: J. J. J. J. CHECKED BY: J. J. J. J. DATE: 12/15/19
--	--	-----------------------	--

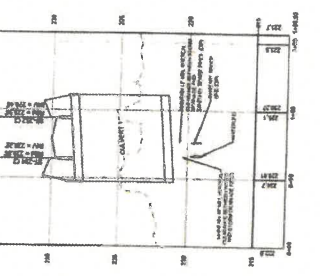
CULVERT 1 PROFILE



CULVERT 2 PROFILE

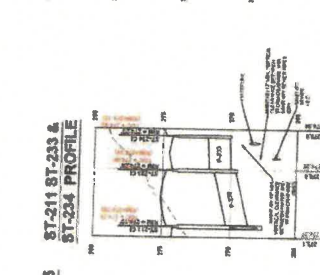


CULVERT 3 PROFILE

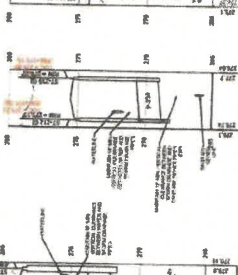


ENGINEER CERTIFICATION STATEMENT
 I, the undersigned, being a duly registered Professional Engineer in the State of North Carolina, being licensed in the State of North Carolina, and being duly qualified in the construction of the project, I hereby certify that the information shown on the accompanying drawings and specifications is true and correct to the best of my knowledge and belief, and that I am not providing any false or misleading information. I understand that any false or misleading information provided to the public is a violation of the laws of the State of North Carolina and may result in the suspension or revocation of my license. I understand that any false or misleading information provided to the public is a violation of the laws of the State of North Carolina and may result in the suspension or revocation of my license. I understand that any false or misleading information provided to the public is a violation of the laws of the State of North Carolina and may result in the suspension or revocation of my license.

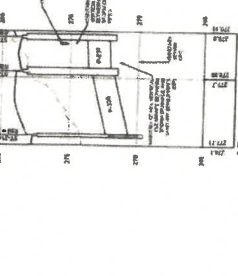
ST-214 ST-237 & ST-238 PROFILE



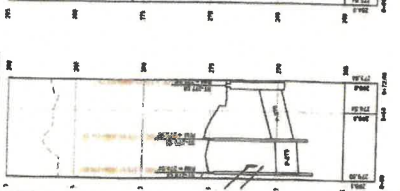
ST-212 & ST-236 PROFILE



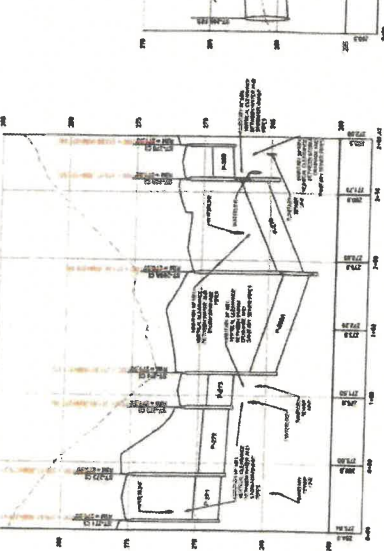
ST-211 ST-233 & ST-234 PROFILE



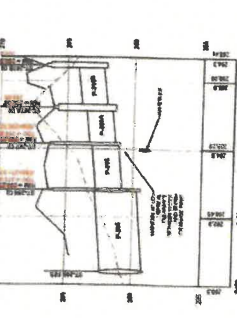
ST-276 ST-275 & ST-277 PROFILE



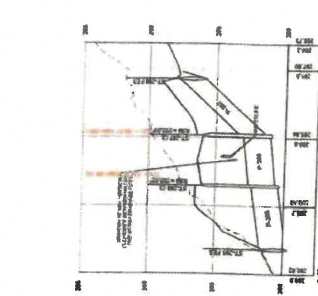
ST-268 ST-269 ST-270 ST-271 ST-272 ST-273 & ST-274 PROFILE



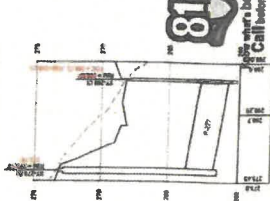
ST-285 ST-286 & ST-287 PROFILE



ST-285 & ST-286 PROFILE



ST-278 & ST-268 PROFILE



SCALE: 1" = 10'-0"
 DATE: 12/15/19
 DRAWN BY: J. J. J. J.
 CHECKED BY: J. J. J. J.

**RESOLUTION 2025-10
ACCEPTING ROADWAY, AND STORM DRAINAGE
INFRASTRUCTURE FOR CADENCE MEADOWS PHASE 1**

WHEREAS, Meritage Homes the developers of Cadence Meadows Phase 1 requests the Town of Zebulon assume ownership and maintenance of the roadway and storm drainage infrastructure within the public right-of-way or dedicated easements of Cadence Meadows Phase 1 consisting of 5,315 linear feet (LF) of drainage infrastructure, and 5,596 LF of roadway:

- 1,395 LF of Southland
- 2,634 LF of Rosebush
- 550 LF of Whitespire Way
- 422 LF of Laden Creek Road
- 595 LF of Chandler Stone Dr

WHEREAS, the Town of Zebulon has inspected said infrastructure; and

WHEREAS, Meritage Homes has completed all punch list tasks; and

WHEREAS, the Town of Zebulon has received all required documentation needed for Dedication and Warranty; and

WHEREAS, the Town of Zebulon has received the following Bonds:

- Subdivision Bond # 024277035 in the amount of \$1,200,000.00 from Liberty Mutual Insurance Company to ensure the final completion of outstanding items (e.g., final asphalt overlay, striping, signage, sidewalks, landscaping etc.).
- Stormwater Control Measure (SCM) 1 and 2 Bond# DUA001269 in the amount of \$303,750 from Axis Insurance Company for the conversion of SCM from temporary sediment basins to Stormwater Control Measures.
- Stormwater Control Measure (SCM) 3, 4, and 5 Bond# DUA001270 in the amount of \$227,500 from Axis Insurance Company for the conversion of SCM from temporary sediment basins to Stormwater Control Measures
- Phase amenity area Bond # 7901181549 in the amount of \$1,830,000 from National Mutal Insurance Company for the construction of the amenity center for the subdivision.
- Asphalt base course Bond # 024279616 in the amount of \$ 185,000 from Liberty Mutual Insurance Company for the base course asphalt.
- Greenway Trail Bond # DUA001281 in the amount of \$ 220,000 from AXIS Insurance Company for the completion of the green way trail

WHEREAS, the Town of Zebulon may accept an offer of dedication of streets, sidewalks, curb and gutter, and storm drainage by resolution of the Board of Commissioners per the Town of Zebulon Uniform Development Ordinance section 6.10.4.

NOW, THEREFORE, BE IT RESOLVED that the Board of Commissioners of the Town of Zebulon accepts dedication of the roadway, and storm drainage.

Adopted this 3rd day of February, 2025.

Glenn L. York – Mayor

SEAL

Lisa M. Markland, CMC - Town Clerk

STAFF REPORT
ORDINANCE 2025-24
SHEPARD SCHOOL AND OLD BUNN SIGNAL
& ROADWAY IMPROVEMENTS PROJECT
CONSTRUCTION BID AWARD
FEBRUARY 3, 2025

Topic: Traffic Signal Project – Construction Bid Award
Prepared by: Mary Duffy, Administrative Contracts Manager
Presented by: Mary Duffy, Administrative Contracts Manager
Approved by: Gilbert Todd, Jr., Town Manager
Kellianne Williams, Assistant Town Manager

Executive Summary:

The Board of Commissioners will consider bids for the construction of the Shepard School and Old Bunn Signal and Roadway Improvements Project and appropriation of funds to complete construction.

The options before the Board include the following:

1. Appropriate additional construction funding by transferring \$330,000 from the Jones Street Connector project and \$200,000 from the Judd and Arendell Signal project, which have not been designed or constructed to date. The balance of \$80,792.00 would come from the General Fund Balance.
2. Appropriate additional construction funding from the General Fund Balance in the amount of \$610,792.00. Ordinance 2025-24
3. Award the construction bid to the lowest, responsive, responsible bidder – Cardinal Civil Contracting at \$2,572,881.00
4. Reject all bids and readvertise at a later date (not recommended).

Background:

In March 2019, the Town of Zebulon requested a Transportation Impact Study be completed by WSP, a consulting engineering firm, to review the constructability of installing a traffic signal at the intersection of Shepard School Road (SR 2406) and Old Bunn Road (SR 2340).

The analysis revealed the most cost-effective means to mitigate the current traffic operational issues would be to construct a traffic signal at the intersection of Shepard School Road and Old Bunn Road, including dedicated left- and right-turn lanes for all quadrants of the intersection.

In October 2020, the Town entered into a contract with WSP to complete the design and secure the necessary permits to construct and install a traffic signal.

On January 4, 2021, the Zebulon Board of Commissioners entered into a traffic review and inspections agreement that outlines the roles and responsibilities of the North Carolina Department of Transportation (NCDOT) and the Town of Zebulon for design, construction, and maintenance of the traffic signal.

STAFF REPORT
ORDINANCE 2025-24
SHEPARD SCHOOL AND OLD BUNN SIGNAL
& ROADWAY IMPROVEMENTS PROJECT
CONSTRUCTION BID AWARD
FEBRUARY 3, 2025

The project was designed to NCDOT standards, and NCDOT issued an encroachment agreement on April 9, 2024. The NC Department of Environmental Quality (DEQ) issued an erosion control permit in May 2023 for the construction of the project. As part of this project, the Town required eight separate properties to allow for construction (easement acquisition), which was finalized in November 2024.

As part of the project, Duke Energy has begun the relocation of major utility transmission lines to outside of the construction area, and staff has coordinated with all other utilities within the corridor.

The project was advertised as follows:

1. News and Observer – Sunday, November 17th, 2024
2. The Carolinian – Thursday, November 14th, 2024
3. Qué Pasa Media Network – Wednesday, November 13th, 2024
4. Town of Zebulon Website – Friday, November 15th, 2024
5. NC Department of Administration (DOA) Office for Historically Underutilized Businesses (HUB) – Thursday, Nov. 14th, 2024
6. Direct Contact to 11 NCDOT-approved contractors

A pre-bid meeting was held at 2:00 pm on December 5th, 2024, at the Zebulon Public Works office. Ten (10) firms attended the mandatory meeting.

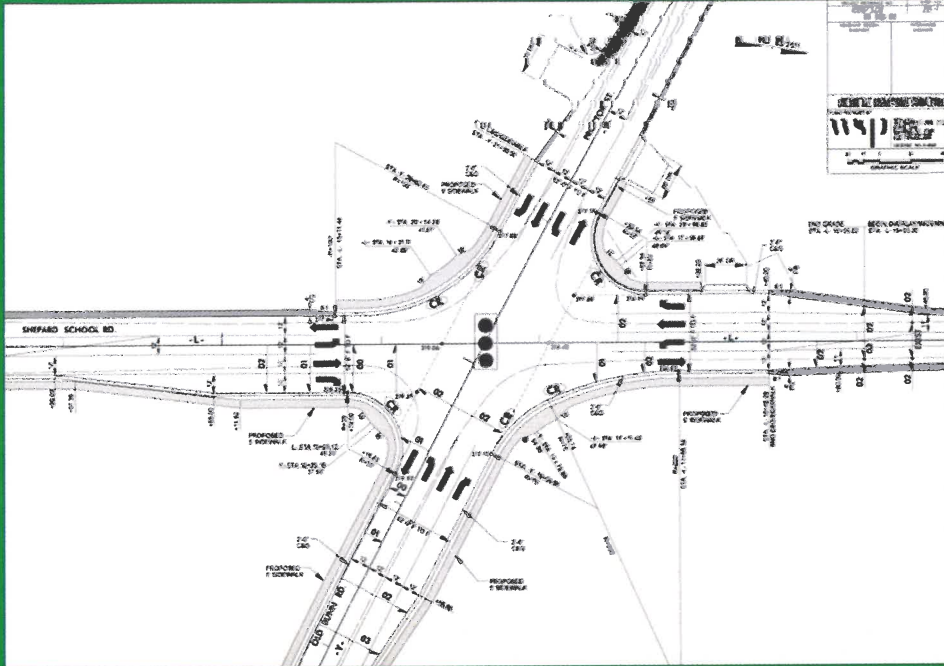
Fiscal Analysis:

Bids were received from six (6) contractors on January 14, 2025, at the Zebulon Public Works office. The low bid was received from Cardinal Civil Contracting at \$2,572,881.00. The project was estimated at \$ 2.3 million to fully construct.

The project came in over budget, due to increased construction costs and the additional soft costs of engineering inspection, construction administration, contingency, and geotechnical testing. Bid details are available in the attachments. Staff is working with the contractor and the engineering team on possible value engineering options.

STAFF REPORT
ORDINANCE 2025-24
SHEPARD SCHOOL AND OLD BUNN SIGNAL
& ROADWAY IMPROVEMENTS PROJECT
CONSTRUCTION BID AWARD
FEBRUARY 3, 2025

Shepard School Road/Old Bunn Road/Proctor Street



Type of Work-
Roadway and
signal
improvements
Construction
Cost - \$2.3M
Project Manager:
Chris Ray

Budget Breakdown:

	Firm/Item	Scope	Cost
1	Cardinal Civil – Prime Contractor	Construction	\$2,572,881.00
2	WSP, USA Inc	CEI/CA	\$226,725.00
3	Geotechnical Allow.–Third Party	Testing/Lab Work	\$10,000.00
4	Construction Contingency - 10%	Unforeseen items	\$258,000.00
5	Inspection Contingency - 10%	Unforeseen items	\$23,000.00
6	Project Board	Project Communication	\$500.00
	Total Estimated Construction costs		\$3,091,106.00
	Recommended Budget Amount		\$3,092,000.00
	Available Funds		\$2,481,208.00
	Shortfall (Funds Needed)		(\$610,792.00)

To date, the project is funded by Transportation Impact Fees and Autumn Lakes' Fee-in-Lieu. The Town of Zebulon's unassigned fund balance is \$6,719,295.



STAFF REPORT
ORDINANCE 2025-24
SHEPARD SCHOOL AND OLD BUNN SIGNAL
& ROADWAY IMPROVEMENTS PROJECT
CONSTRUCTION BID AWARD
FEBRUARY 3, 2025

Policy Analysis:

The Shepard School Road (SR 2406) and Old Bunn Road (SR 2340) Signal and Roadway Improvements Project is consistent with the following plans and goals:

- *Town of Zebulon Transportation Plan*: denoted as a priority intersection for improvements
- *Town of Zebulon Comprehensive Plan*: Consistent with aligning land use and transportation planning to meet the needs of a well-connected community.
- *Zebulon 2030 Strategic Plan*: planning for and meeting the transportation needs of the growing community

Staff Recommendation:

- 1) Staff recommends approval of Capital Project Budget Ordinance 2025-24 to fund the construction of the project.
- 2) Staff recommends awarding the contract to Cardinal Civil Contracting as it provided the lowest, responsive, responsible bid to perform the scope of work. The contractor has met all the bid requirements, including providing the bid bond, and it has met the DBE participation goal of 10% (MBE-1, MBE- 2, and MBE-4). The prime contractor and its subcontractors are properly licensed with NCDOT. Staff has conducted an item-by-item review of the bids and concluded that Cardinal Civil Contracting has properly prepared its bid with no irregularities and no questionable prices. See attached bid summary and detailed bid tabulations.

Attachments:

- 1) Detailed Bid Tabulation
- 2) Engineer Letter of Recommendation
- 3) Budget Ordinance – 2025-24 Option 1
- 4) Budget Ordinance – 2025-24 Option 2

Summary table with columns: Contractor, Engineer's Estimate, Cardinal Civil Contracting, State Contracting, Naron Contracting, Inc, Browne Construction Company, Inc, Fred Smith Company, S.T. Woosen Corporation. Includes bid bond form, attachments, project bid, and percent over/under engineer's estimate.

Main bid item table with columns: LINE ITEM, QTY, UNIT PRICE, TOTAL AMOUNT, UNIT PRICE, TOTAL AMOUNT, UNIT PRICE, TOTAL AMOUNT, UNIT PRICE, TOTAL AMOUNT, UNIT PRICE, TOTAL AMOUNT, UNIT PRICE, TOTAL AMOUNT. Lists various construction materials and services such as Mobilization, Excavation, Pipe, Culvert, and concrete structures.

LN	QTY	UOM	DESCRIPTION	UNITS	UNIT PRICE	TOTAL PRICE	TAX	TOTAL
65	50	EA	3/4" IRON NUT	50	\$11.40	\$570.00		\$570.00
66	50	EA	3/4" IRON WASH	50	\$11.40	\$570.00		\$570.00
67	50	EA	3/4" IRON WASHER	50	\$11.40	\$570.00		\$570.00
68	50	EA	3/4" IRON WASH	50	\$11.40	\$570.00		\$570.00
69	50	EA	3/4" IRON WASHER	50	\$11.40	\$570.00		\$570.00
70	50	EA	3/4" IRON WASH	50	\$11.40	\$570.00		\$570.00
71	50	EA	3/4" IRON WASHER	50	\$11.40	\$570.00		\$570.00
72	50	EA	3/4" IRON WASH	50	\$11.40	\$570.00		\$570.00
73	50	EA	3/4" IRON WASHER	50	\$11.40	\$570.00		\$570.00
74	50	EA	3/4" IRON WASH	50	\$11.40	\$570.00		\$570.00
75	50	EA	3/4" IRON WASHER	50	\$11.40	\$570.00		\$570.00
76	50	EA	3/4" IRON WASH	50	\$11.40	\$570.00		\$570.00
77	50	EA	3/4" IRON WASHER	50	\$11.40	\$570.00		\$570.00
78	50	EA	3/4" IRON WASH	50	\$11.40	\$570.00		\$570.00
79	50	EA	3/4" IRON WASHER	50	\$11.40	\$570.00		\$570.00
80	50	EA	3/4" IRON WASH	50	\$11.40	\$570.00		\$570.00
81	50	EA	3/4" IRON WASHER	50	\$11.40	\$570.00		\$570.00
82	50	EA	3/4" IRON WASH	50	\$11.40	\$570.00		\$570.00
83	50	EA	3/4" IRON WASHER	50	\$11.40	\$570.00		\$570.00
84	50	EA	3/4" IRON WASH	50	\$11.40	\$570.00		\$570.00
85	50	EA	3/4" IRON WASHER	50	\$11.40	\$570.00		\$570.00
86	50	EA	3/4" IRON WASH	50	\$11.40	\$570.00		\$570.00
87	50	EA	3/4" IRON WASHER	50	\$11.40	\$570.00		\$570.00
88	50	EA	3/4" IRON WASH	50	\$11.40	\$570.00		\$570.00
89	50	EA	3/4" IRON WASHER	50	\$11.40	\$570.00		\$570.00
90	50	EA	3/4" IRON WASH	50	\$11.40	\$570.00		\$570.00
91	50	EA	3/4" IRON WASHER	50	\$11.40	\$570.00		\$570.00
92	50	EA	3/4" IRON WASH	50	\$11.40	\$570.00		\$570.00
93	50	EA	3/4" IRON WASHER	50	\$11.40	\$570.00		\$570.00
94	50	EA	3/4" IRON WASH	50	\$11.40	\$570.00		\$570.00
95	50	EA	3/4" IRON WASHER	50	\$11.40	\$570.00		\$570.00
96	50	EA	3/4" IRON WASH	50	\$11.40	\$570.00		\$570.00
97	50	EA	3/4" IRON WASHER	50	\$11.40	\$570.00		\$570.00
98	50	EA	3/4" IRON WASH	50	\$11.40	\$570.00		\$570.00
99	50	EA	3/4" IRON WASHER	50	\$11.40	\$570.00		\$570.00
100	50	EA	3/4" IRON WASH	50	\$11.40	\$570.00		\$570.00
101	50	EA	3/4" IRON WASHER	50	\$11.40	\$570.00		\$570.00
102	50	EA	3/4" IRON WASH	50	\$11.40	\$570.00		\$570.00
103	50	EA	3/4" IRON WASHER	50	\$11.40	\$570.00		\$570.00
104	50	EA	3/4" IRON WASH	50	\$11.40	\$570.00		\$570.00
105	50	EA	3/4" IRON WASHER	50	\$11.40	\$570.00		\$570.00
106	50	EA	3/4" IRON WASH	50	\$11.40	\$570.00		\$570.00
107	50	EA	3/4" IRON WASHER	50	\$11.40	\$570.00		\$570.00
108	50	EA	3/4" IRON WASH	50	\$11.40	\$570.00		\$570.00
109	50	EA	3/4" IRON WASHER	50	\$11.40	\$570.00		\$570.00
110	50	EA	3/4" IRON WASH	50	\$11.40	\$570.00		\$570.00
111	50	EA	3/4" IRON WASHER	50	\$11.40	\$570.00		\$570.00
112	50	EA	3/4" IRON WASH	50	\$11.40	\$570.00		\$570.00
113	50	EA	3/4" IRON WASHER	50	\$11.40	\$570.00		\$570.00
114	50	EA	3/4" IRON WASH	50	\$11.40	\$570.00		\$570.00

DocuSigned by:
Roughcut
1/16/2025 4:58:04 PM DBE447...

1/16/2025 4:58:04 PM DBE447...

By: _____ Date: _____

BID BOND FORM

KNOW ALL MEN BY THESE PRESENTS, that we,

Cardinal Civil Contracting, LLC

(Bidder's Name)

100 E Six Forks Road, of Raleigh, NC 27609

(Street Address)

(City, State, Zip)

hereinafter called the Principal, and

West Bend Insurance Company of

(Surety's Name)

The City of West Bend, Wisconsin, a Corporation duly organized, and existing under the laws of the State of Wisconsin and authorized to transact business in the State of North Carolina, as Surety, hereinafter

called the Surety, are held and firmly bound unto the Town of Zebulon as Owner, hereinafter called the Obligee, in the Penal sum of five percent (5%) of the amount bid, good and lawful money of the United States of America, for the payment for which the Principal and the Surety, bind ourselves, their heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents. This bid bond is submitted in lieu of submitting cash, a cashier's check, or a certified check pursuant to G.S. 143- 129.

WHEREAS, the Principal has submitted a Bid for the construction of _____

(Project Name)

OLD BUNN ROAD / PROCTOR STREET AND SHEPARD SCHOOL ROAD INTERSECTION IMPROVEMENTS

NOW THEREFORE, if the Obligee shall accept the Bid of the Principal and the Principal shall enter into a Contract with the Obligee in accordance with the terms of said Bid, and give such bond or bonds as may be specified in the Bidding and Contract Documents with good and sufficient surety for the faithful performance of such Contract and for the prompt payment of labor and materials furnished in the prosecution thereof, or in the event of the failure of the Principal to enter into such Contract and give such bond or bonds the Surety shall, upon demand forthwith pay to the Obligee the amount set forth above. The Principal shall pay the Obligee the difference not to exceed the penalty hereof between the amount specified in said Bid and such larger amount for which the Obligee may in good faith contract with another party to perform the work covered by said Bid, then this obligation shall be null and void, otherwise to remain in full force and effect.

SIGNED AND SEALED this 14th day of January, 2025 in the presence of:

Witness [Signature]

Witness Janice Barber
Attorney-In-Fact
Signer ID: 0RC165YG12...





Bond No. 2635760

POWER OF ATTORNEY

Know all men by these Presents, that West Bend Insurance Company (formerly known as West Bend Mutual Insurance Company prior to 1/1/2024), a corporation having its principal office in the City of West Bend, Wisconsin does make, constitute and appoint:

Jessica Burgess

lawful Attorney(s)-in-fact, to make, execute, seal and deliver for and on its behalf as surety and as its act and deed any and all bonds, undertakings and contracts of suretyship, provided that no bond or undertaking or contract of suretyship executed under this authority shall exceed in amount the sum of: Thirty Million Dollars (\$30,000,000)

This Power of Attorney is granted and is signed and sealed by facsimile under and by the authority of the following Resolution adopted by the Board of Directors of West Bend Insurance Company by unanimous consent resolution effective the 1st day of January 2024.

Appointment of Attorney-In-Fact. The president or any vice president, or any other officer of West Bend Insurance Company may appoint by written certificate Attorneys-In-Fact to act on behalf of the company in the execution of and attesting of bonds and undertakings and other written obligatory instruments of like nature. The signature of any officer authorized hereby and the corporate seal may be affixed by facsimile to any such power of attorney or to any certificate relating therefore and any such power of attorney or certificate bearing such facsimile signatures or facsimile seal shall be valid and binding upon the company, and any such power so executed and certified by facsimile signatures and facsimile seal shall be valid and binding upon the company in the future with respect to any bond or undertaking or other writing obligatory in nature to which it is attached. Any such appointment may be revoked, for cause, or without cause, by any said officer at any time.

Any reference to West Bend Mutual Insurance Company in any Bond and all continuations thereof shall be considered a reference to West Bend Insurance Company.

In witness whereof, West Bend Insurance Company has caused these presents to be signed by its president undersigned and its corporate seal to be hereto duly attested by its secretary this 1st day of January 2024.

Attest Christopher C. Zwygart
Christopher C. Zwygart
Secretary



Robert J. Jacques
Robert J. Jacques
President

State of Wisconsin
County of Washington

On the 1st day of January 2024, before me personally came Robert Jacques, to me known being by duly sworn, did depose and say that he is the President of West Bend Insurance Company, the corporation described in and which executed the above instrument; that he knows the seal of the said corporation; that the seal affixed to said instrument is such corporate seal; that it was so affixed by order of the board of directors of said corporation and that he signed his name thereto by like order.



Jul Benedum
Lead Corporate Attorney
Notary Public, Washington Co., WI
My Commission is Permanent

The undersigned, duly elected to the office stated below, now the incumbent in West Bend Insurance Company, a Wisconsin corporation authorized to make this certificate, Do Hereby Certify that the foregoing attached Power of Attorney remains in full force effect and has not been revoked and that the Resolution of the Board of Directors, set forth in the Power of Attorney is now in force.

Signed and sealed at West Bend, Wisconsin this 14th day of January, 2025.



Christopher C. Zwygart
Christopher C. Zwygart
Secretary



**Old Bunn Road / Proctor Street and Shephard School Road
Intersection Improvements**

Town of Zebulon

Bid PROPOSAL FORM

SINGLE PRIME GENERAL CONSTRUCTION WORK

The undersigned, as Bidder, hereby declares that the only person or persons interested in this Proposal as principal or principals is or are named herein and that no other person than herein mentioned has any interest in this Proposal or in the Contract to be entered into; that this Proposal is made without connection with any other person, company or parties making a Bid or Proposal; and that it is in all respects fair and in good faith without collusion or fraud.

The Bidder further declares that he has examined the site of the work and informed himself fully in regard to all conditions pertaining to the place where the work is to be done; that he has examined the specifications for the work and the Contract Documents relative thereto, including addenda, if any, and has read all special provisions furnished prior to the opening of bids; that he has satisfied himself relative to the work to be performed.

The Bidder proposes and agrees if this Proposal is accepted to contract with the Town of Zebulon with a definite understanding that no money will be allowed for extra work except as set forth in the General Conditions and Contract Documents , for the sum of:

Base Bid Two Million, Five Hundred Seventy Two Thousand, Eight Hundred Eighty One Dollars & Zero Cents

Dollars Two Million, Five Hundred Seventy Two Thousand, Eight Hundred Eighty One Dollars & Zero Cents (\$ **2,572,881.00**).

For separate prime bids to a single prime contractor pursuant to G.S. 143-128, the separate prime contractor shall not submit a higher bid to any single prime contractor than the separate prime bid submitted to the Owner for the same scope of work, including the cost of bonds. Therefore, if the separate prime contractor is NOT including the bonds in its bid to a single prime contractor, the deduction for bonds shall be clearly shown in the bid to the single prime contractor

SUBCONTRACTOR LISTING:

(OTHER CONTRACTOR)

Name: CRUZ BROTHERS CONCRETE, INC. Lic.No. 11572
\$ 141,328.50

(OTHER CONTRACTOR)

Name: CAROLINA GUARDRAIL LLC Lic.No. 11551
\$ 17,725.00

(OTHER CONTRACTOR)

Name: STRATCON CONTRACTING CORP Lic.No. 7294
\$ 99,750.00

(OTHER CONTRACTOR)

Name: GARRETT JAMES COMPANY LLC Lic. No. 16605
\$ 180,320.51

The Bidder further proposes and agrees hereby to commence work under his Contract on a date to be specified in a written order of the Town of Zebulon and shall fully complete all work there under within the number of consecutive calendars days stipulated in the Supplementary General Conditions. Applicable liquidated damages shall be as stated in Supplementary General Conditions.

The undersigned acknowledges receipt of the following addenda issued during the time of bidding and includes the changes therein in this Proposal:

- Addendum Number 1, Dated 12/02/2024 JRE
- Addendum Number 2, Dated 12/12/2024 JRE
- Addendum Number 3, Dated 12/19/2024 JRE
- Addendum Number 4, Dated 1/7/2025 JRE
- Addendum Number _____, Dated _____

UNIT PRICES

Unit prices are complete for labor, equipment, material, overhead and profit. Base bid includes the stipulated quantity of each item. Unused amount will be credited to the Owner by change order at the end of the project.

Item No.	Sec. No.	Description	Unit Measure	Quantity	Unit Price	Total Cost
1	800	Mobilization	LS	1	\$113,000.00	\$113,000.00
2	801	Construction Surveying	LS	1	\$28,875.00	\$28,875.00
3	205	Sealing Abandoned Wells	EA	1	\$3,675.00	\$3,675.00
4	226	Grading	LS	1	\$400,000.00	\$400,000.00
5	226	Supplemental Clearing and Grubbing	Acre	1	\$11,550.00	\$11,550.00
6	226	Undercut Excavation	CY	150	\$100.00	\$15,000.00
7	240	Drainage Ditch Excavation	CY	430	\$69.50	\$29,885.00
8	265	Select Granular Material, Class III	CY	200	\$74.00	\$14,800.00
9	265	Select Granular Material	CY	300	\$90.00	\$27,000.00
10	270	Geotextile Soil Stabilization	SY	300	\$4.00	\$1,200.00
11	275	Rock Plating	SY	40	\$240.00	\$9,600.00
12	300	Foundation Cond. Mat, Minor Strs.	Tons	140	\$50.00	\$7,000.00
13	300	Foundation Condition Geotextile	SY	440	\$7.30	\$3,212.00
14	305	15" Drainage Pipe	LF	36	\$110.00	\$3,960.00
15	310	15" RC Pipe Culvert, Class III	LF	824	\$94.00	\$77,456.00
16	310	18" RC Pipe Culvert, Class III	LF	148	\$125.00	\$18,500.00
17	310	24" RC Pipe Culvert, Class III	LF	204	\$145.00	\$29,580.00
18	310	30" RC Pipe Culvert, Class III	LF	16	\$165.00	\$2,640.00
19	310	48" RC Pipe Culvert, Class III	LF	72	\$360.00	\$25,920.00
20	340	Pipe Removal	LF	470	\$45.50	\$21,385.00
21	520	Aggregate Base Course	Tons	53	\$77.00	\$4,081.00
22	607	Incidental Milling	SY	310	\$28.00	\$8,680.00
23	610	Asphalt Base Course, Type B25.0C	Tons	1,700	\$120.00	\$204,000.00
24	610	Asphalt Binder Course, Type I19.0C	Tons	1,430	\$86.00	\$122,980.00
25	610	Asphalt Surface Course, Type S9.5C	Tons	1,560	\$93.00	\$145,080.00
26	620	Asphalt Binder for Plant Mix PG64-22	Tons	240	\$650.00	\$156,000.00
27	838	Endwalls	CY	15	\$2,200.00	\$33,000.00
28	840	Pipe Collars	CY	0.66	\$3,150.00	\$2,079.00
29	840	Masonry Drainage Structures	Each	15	\$5,600.00	\$84,000.00
30	840	Masonry Drainage Structures	LF	1	\$440.00	\$440.00
31	840	Frame w / 2 Grates Std. 840.20	Each	1	\$1,900.00	\$1,900.00
32	840	Frame w/Grate Hood 840.03 Type E	Each	1	\$2,600.00	\$2,600.00
33	840	Frame w/Grate Hood 840.03 Type F	Each	9	\$1,700.00	\$15,300.00
34	840	Frame w/Grate Hood 840.3 Type G	Each	4	\$1,700.00	\$6,800.00
35	846	2'-6" Concrete Curb and Gutter	LF	1,930	\$34.00	\$65,620.00
36	848	4" Concrete Sidewalk	SY	1,010	\$58.00	\$58,580.00
37	848	Concrete Curb Ramps	Each	6	\$2,800.00	\$16,800.00
38	848	6" Concrete Driveway	SY	60	\$130.00	\$7,800.00
39	858	Adjustment of Catch Basins	Each	5	\$1,400.00	\$7,000.00
40	862	Steel Beam Guardrail	LF	175	\$34.00	\$5,950.00

Item No.	Sec. No.	Description	Unit Measure	Quantity	Unit Price	Total Cost
41	862	Steel Beam Guardrail, Shop Curved	LF	37.5	\$50.00	\$1,875.00
42	862	Additional Guardrail Posts	Each	5	\$60.00	\$300.00
43	862	Guardrail End Unit, Type AT-1	Each	1	\$1,350.00	\$1,350.00
44	SP	Guardrail End Unit, Type TL-2	Each	1	\$9,250.00	\$9,250.00
45	867	Barbed Wire Fence Reset	LF	335	\$16.80	\$5,628.00
46	876	Plain Rip Rap, Class I	Ton	29	\$175.00	\$5,075.00
47	876	Plan Rip Rap, Class B	Ton	30	\$175.00	\$5,250.00
48	876	Geotextile for Drainage	SY	360	\$7.00	\$2,520.00
49	901	Contractor Furnished, Type E Signs	SF	100	\$13.65	\$1,365.00
50	903	Supports, 3-LB Steel U-Channel	LF	175	\$8.40	\$1,470.00
51	904	Sign Erection, Type E	Each	14	\$80.00	\$1,120.00
52	907	Disposal of Sign System, U-Channel	Each	11	\$25.00	\$275.00
53	907	Disposal of Support, U-Channel	Each	3	\$25.00	\$75.00
54	SP	Temporary Traffic Control	LS	1	\$185,000.00	\$185,000.00
55	1205	Thermoplastic Pavement Marking Lines (4", 90 MILS)	LF	8,450	\$1.58	\$13,351.00
56	1205	Thermoplastic Pavement Marking Lines (8", 90 MILS)	LF	660	\$3.15	\$2,079.00
57	1205	Thermoplastic Pavement Marking Lines (12", 90 MILS)	LF	250	\$4.20	\$1,050.00
58	1205	Thermoplastic Pavement Marking Character (90 MILS)	Each	6	\$262.50	\$1,575.00
59	1205	Thermoplastic Pavement Marking Symbols (90 MILS)	Each	17	\$210.00	\$3,570.00
60	1205	Thermoplastic Pavement Marking Lines (24", 90 MILS)	LF	220	\$8.40	\$1,848.00
61	SP	Non-Cast Iron Snowplowable Markers	Each	85	\$12.00	\$1,020.00
62	1510	Ductile Iron Water Pipe Fittings	LB	2,710	\$11.50	\$31,165.00
63	1510	12" Water Line	LF	243	\$147.00	\$35,721.00
64	1515	12" Tapping Sleeve & Valve	Each	4	\$11,400.00	\$45,600.00
65	1515	12" Line Stop	Each	3	\$13,000.00	\$39,000.00
66	1515	Fire Hydrant	Each	2	\$10,300.00	\$20,600.00
67	1515	3/4" Water Meter	Each	2	\$4,400.00	\$8,800.00
68	1515	Water Service Line	LF	20	\$140.00	\$2,800.00
69	1530	Abandon 12" Utility Pipe	LF	174	\$55.00	\$9,570.00
70	1605	Temporary Silt Fence	LF	3,395	\$4.00	\$13,580.00
71	1610	Erosion Control Stone, Class A	Ton	105	\$78.00	\$8,190.00
72	1610	Erosion Control Stone, Class B	Ton	300	\$80.00	\$24,000.00
73	1610	Sediment Control Stone	Ton	245	\$80.00	\$19,600.00
74	1615	Temporary Mulching	Acres	3	\$2,325.00	\$6,975.00
75	1620	Seed for Temporary Seeding	LB	200	\$4.00	\$800.00
76	1620	Fertilizer for Temporary Seeding	Ton	1	\$1,050.00	\$1,050.00
77	SP	Safety Fence	LF	320	\$3.15	\$1,008.00
78	1630	Silt Excavation	CY	330	\$20.00	\$6,600.00
79	1631	Matting for Erosion Control	SY	8,830	\$1.90	\$16,777.00
80	SP	Coir Fiber Mat	SY	100	\$10.00	\$1,000.00
81	SP	Permanent Soil Reinforcement Mat	SY	545	\$8.40	\$4,578.00
82	1632	1/4" Hardware Cloth	LF	780	\$7.35	\$5,733.00

Item No.	Sec. No.	Description	Unit Measur	Quantity	Unit Price	Total Cost
83	SP	Wattle	LF	60	\$15.00	\$900.00
84	SP	Coir Fiber Wattle	LF	650	\$21.00	\$13,650.00
85	SP	Polyacrylamide (PAM)	LB	225	\$8.20	\$1,845.00
86	1660	Seeding and Mulching	Acres	3	\$3,450.00	\$10,350.00
87	1660	Mowing	Acres	3	\$350.00	\$1,050.00
88	1661	Seed for Repair Seeding	LB	50	\$5.00	\$250.00
89	1661	Fertilizer for Repair Seeding	Ton	0.25	\$2,100.00	\$525.00
90	1662	Seed for Supplemental Seeding	LB	75	\$5.00	\$375.00
91	1665	Fertilizer Topdressing	Ton	1.75	\$1,300.00	\$2,275.00
92	1667	Specialized Hand Mowing	MHR	10	\$200.00	\$2,000.00
93	SP	Response for Erosion Control	Each	25	\$295.00	\$7,375.00
94	SP	Concrete Washout Structure	Each	2	\$2,100.00	\$4,200.00
95	1705	Pedestrian Signal Head (16", 1 Section With Countdown)	Each	8	\$1,325.00	\$10,600.00
96	1705	Signal Cable	LF	2,510	\$6.90	\$17,319.00
97	1705	Vehicle Signal Head (12", 3 Section)	Each	12	\$1,400.00	\$16,800.00
98	1710	Messenger Cable (3/8")	LF	470	\$6.30	\$2,961.00
99	1715	Unpaved Trenching (1 conduit, 2 inch)	LF	710	\$18.90	\$13,419.00
100	1716	Junction Box (Standard Size)	Each	12	\$665.00	\$7,980.00
101	1720	Wood Pole	Each	4	\$2,100.00	\$8,400.00
102	1721	Guy Assembly	Each	8	\$945.00	\$7,560.00
103	1722	1/2" Riser with Weatherhead	Each	2	\$945.00	\$1,890.00
104	1722	1" Riser With Weatherhead	Each	1	\$1,470.00	\$1,470.00
105	1722	2" riser With Weatherhead	Each	8	\$1,150.00	\$9,200.00
106	1725	Inductive Loop Sawcut	LF	1,420	\$16.80	\$23,856.00
107	1726	Lead-In Cable (14-2)	LF	2,850	\$4.00	\$11,400.00
108	SP	New Electrical Service	Each	1	\$2,750.00	\$2,750.00
109	1743	Type II Pedestal With Foundation	Each	6	\$3,350.00	\$20,100.00
110	1750	Signal Cabinet Foundation	Each	1	\$1,800.00	\$1,800.00
111	1751	Controller with Cabinet (Type 2070LX, 332 Base Mounted)	Each	1	\$27,000.00	\$27,000.00
112	1751	Detector Card (Type 2070L)	Each	6	\$305.00	\$1,830.00
113	1753	Cabinet Base Extender	Each	1	\$630.00	\$630.00
		TOTAL BASE BID				2,572,881.00

Note: Total Base Bid shall match total written on page 16.

The undersigned agrees that this Proposal will not be withdrawn for a period of sixty (60) days.

The undersigned further agrees that in the case of failure on his part to execute the said Contract and the Bond within ten (10) consecutive calendar days after written notice being given of the award of the Contract, the check, cash or Bid Bond accompanying this Bid shall be paid into the funds of Owner's Account set aside for this Project, as liquidated damages for such failure; otherwise the check, cash or Bid Bond accompanying this Proposal shall be returned to the undersigned.

Respectfully submitted this 14TH
day of JANUARY, 2024.

—
CARDINAL CIVIL CONTRACTING, LLC
(Name of Firm or Corporation making Bid)

By: [Signature]

WITNESS:

—
[Signature]
(Proprietorship or Partnership)

Title: MANAGING MEMBER
(Owner, Partner, or Corporation
President or Vice President only)

Address: 100 E. SIX FORKS RD
SUITE 300, RALEIGH, NC 27609

License No.: 73070

ATTEST:

By: [Signature]

Title: Director HR
(Corporation Secretary or Assistant Secretary only)

**RESOLUTION 2009-04
MINORITY BUSINESS ENTERPRISE POLICY**

WHEREAS, NCGS 143-128.2 requires each municipality to adopt an appropriate verifiable percentage goal for the participation by minority businesses (as defined in that statute) in the awarding of construction contracts under NCGS 143-128.1, 143-128.2, 143-129, and 143-131; and

WHEREAS, NCGS 143-128.2 requires an authority awarding a building contract that exceeds the limits established by the state to adopt written guidelines specifying the action that a contractor must take to ensure a good faith effort in the recruitment and selection of minority businesses for building contracts; and requires that action taken by contractors and the awarding authority must be documented in writing; and

WHEREAS, the Town of Zebulon desires to establish and maintain minority business enterprise programs consistent with NCGS;

NOW, THEREFORE BE IT RESOLVED by the Town of Zebulon Board of Commissioners, that the following policy related to Minority Business Enterprise Program be established:

Verifiable Goal

The Town of Zebulon shall have a verifiable goal of ten percent (10%) participation by minority businesses in the award of building contracts that exceed \$300,000, or building contracts that exceed \$100,000 where the Town has received a State appropriation or State grant funds to be utilized as part of the project.

Good Faith Efforts by the Town to Utilize Minority Businesses

1. The Town shall utilize the list of minority businesses maintained by the NC Office of Historically Underutilized Businesses.
2. For each building contract put out for bids under the separate specification or single prime contract systems, notice of the contract and available-related documents shall be transmitted to minority businesses maintained on the above list with an interest in the type of work being bid or to local minority businesses identified by the Town, and documents related to the contract shall be available for inspection at a convenient and accessible location.
3. For each building contract put out for bids under the separate specification or single prime contract systems, the Town shall hold a pre-bid conference to orient contractors and subcontractors to the Minority Business Enterprise Policy as well as bid procedures and regulations. Minority businesses on the above list with an interest in the type of work being bid or local minority businesses identified by the Town shall be notified at least 10 days in advance of the pre-bid conference. The notification shall include:
 - a. A description of the work for which the bid is being solicited.
 - b. The date, time and location where bids are to be submitted.

- c. The name of the individual with the Town who will be available to answer questions about the project.
- d. Where bid documents may be reviewed.
- c. Any special requirements that may exist.
- 4. The Town shall utilize media, as appropriate, likely to inform potential minority businesses of the bid being sought.
- 5. The Town shall maintain records that include:
 - a. Contractors or subcontractors notified of the project, and the number of those contractors and subcontractors defined by NCGS that are included on the above list.
 - b. Contractors or subcontractors that bid or otherwise respond to notice of the project, and the number of those contractors and subcontractors defined by NCGS that are included on the above list.
 - c. Contractors or subcontractors awarded contracts as part of the project, and the number and identity of those contractors and subcontractors defined by NCGS that are included on the above list.
 - d. The percentage of work on the project that is being performed by minority businesses appearing on the above list.

Good Faith Efforts by Contractors to Utilize Minority Businesses

- 1. Each bidder shall identify and submit with its bid:
 - a. A list of minority businesses that it will use on the project, to include a description of the work to be performed by the minority businesses, the total minority business contracting amount, and the percentage of the amount toward the total project cost.
 - b. In addition to (a), an affidavit documenting its good-faith effort to meet the goal. Such an affidavit shall include the list the good faith efforts it has made pursuant to NCGS 143-128.2(f). This list of good faith efforts shall include a point value for each type of effort made. Bidders must earn a minimum of 50 points in order to be considered a responsive bidder.
 - c. In lieu of (a) and (b), a bidder that performs all of the work under a contract with its own workforce may submit an affidavit to that effect, and an affidavit listing the good faith efforts it has made pursuant to NCGS 143-128.2(f) and the total value of the bid that will be performed by minority businesses.
- 2. Within 3 days after award of contract, the lowest responsible, responsive bidder shall provide to the Town a list of all identified subcontractors that will be used on the project, the total minority business contracting amount, and the percentage of the amount toward the total project cost.

Informal Construction Projects

Informal construction projects are those projects that are greater than \$30,000 but less than the amounts prescribed above.

- 1. Good faith efforts for informal construction project by the Town shall include:

- a. Advertising the project in a media likely to inform potential minority businesses or directly contact minority businesses. If direct contact method is used, at least 30% of the businesses contacted must be minority businesses.
 - b. Maintaining a record of all contractors contacted, all contractors provided with bid documents, and all contractors submitting bids, identifying those contractors that are defined as minority businesses.
2. Good faith efforts for informal construction project by the Bidder shall include:
- a. Providing the Town a list of minority businesses used on the project, to include a description of the work to be performed by the minority businesses, the total minority business contracting amount, and the percentage of the amount toward the total project cost.

Reporting Requirements

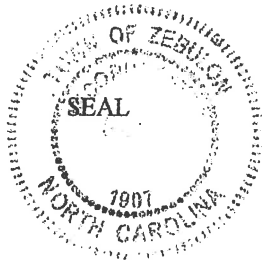
All data, including the type of project, total dollar value of the project, dollar value of minority business participation on each project, and documentation of efforts to recruit minority participation shall be reported to the NC Office for Historically Underutilized Business, upon the completion of the project.


Nothing in this resolution shall be construed to require contractors or the Town to award contracts or subcontracts to or make purchases of materials or equipment from minority-business contractors or sub-contractors who do not submit the lowest responsible, responsive bid.

This resolution supersedes all previous Minority Business Entity policies including, but not limited to Resolutions 2002-02 and 2004-03.

Adopted 7th day of July, 2008

Effective 7th day of July, 2008




 Robert S. Matheny—Mayor


 Lisa M. Markland, CMC—Town Clerk



**Old Bunn Road / Proctor Street and Shephard School Road
Intersection Improvements**

MINORITY BUSINESS ENTERPRISE FORMS

Formal Bid Process

Provide with the bid - Under GS 143-128.2(c) the bidder shall identify and include with the bid, Town of Zebulon Form MBE-1 Identity of Minority Business Participation, the minority businesses that it will use on the project with the total dollar value of the bids that will be performed by the minority businesses. All bidders must submit, with the bid, Town of Zebulon Form MBE-1 Identity of Minority Business Participation Form even if there is zero MBE participation.

Also include with the bid a list of the good faith efforts made to solicit minority participation in the bid effort, Town of Zebulon Form MBE-2 Listing of the Good Faith Effort.

NOTE: A contractor that performs all of the work with its own workforce may submit Town of Zebulon Form MBE-3-Intent to Perform Contract with Own Workforce, to that effect in lieu of Town of Zebulon Form MBE-2-Listing of the Good Faith Effort.

After the bid opening - The Owner will consider all bids and alternates and determine the lowest responsible, responsive bidder. Upon notification of being the apparent lowest responsible, responsive bidder, the bidder must then file within 72 hours of the notification Town of Zebulon Form MBE-4. It includes that portion of the Work to be performed by Minority Business. Also included is a description of the portion of work to be executed by minority businesses, expressed as a percentage of the total contract price, which is equal to or more than the 10% goal established. This affidavit shall give rise to the presumption that the bidder has made the required good faith effort and Town of Zebulon Form MBE-5 is not necessary,

OR

If less than the 10% goal, Town of Zebulon Form MBE-5 documenting all good faith efforts to meet the goal shall be provided. The document must include evidence of all good faith efforts that were implemented, including any advertisements, solicitations and other specific actions demonstrating recruitment and selection of minority businesses for participation in the project.

Note: Bidders must always submit with their bid the Identification of Minority Business Participation Form listing all MBE contractors, vendors, and suppliers that will be used. If there is no MBE participation, then enter none or zero on the form. Town of Zebulon Form MBE-2 or Town of Zebulon Form MBE-3 as applicable must also be submitted with the bid. Failure to submit a required affidavit or form with the bid or within the time required may be grounds for rejection of the bid. Attach to Bid



**Old Bunn Road / Proctor Street and Shephard School Road
 Intersection Improvements**

Attach To Bid

Town of Zebulon Form MBE-1 (8-2003)

Identification of Minority Business Participation

I, _____ **CARDINAL CIVIL CONTRACTING, LLC**
 (Bidder)

Do hereby certify that on this project we will use the following minority business enterprises as construction subcontractors, vendors, suppliers or providers of professional services.

Firm Name, Address and Phone #	Work Type	Minority Category
CRUZ BROTHERS CONCRETE, INC. - (336)-376-0787 1572 PAYNE ROAD, LOT 75 GRAHAM, NC 27253	CONCRETE FLATWORK	H
CAROLINA GUARDRAIL LLC - (336)-707-9971 8185 GRAY LEIGH CT, OAK RIDGE, NC 27310	GUARDRAIL	F
STRATCON CONTRACTING CORP - (818)-512-5699 2705 OLD WILLIAMS ROAD, RALEIGH, NC 27610	TRUCKING	B
SEAL BROTHERS CONTRACTING LLC - (336)-786-2263 3618 WEST PINE ST, MOUNT AIRY, NC 27030	EROSION CONTROL	F

*Minority categories: Black, African American (B), Hispanic (H), Asian American (A) American Indian (I), Female (F) Socially and Economically Disadvantaged (D)

The total value of minority business contracting will be (\$) 257,300.00.

Public Works
ZEBULON
 NORTH CAROLINA

Attach to Bid

**Town of Zebulon– Form MBE-2 (8-2003)
 Listing of the Good Faith Effort**

Affidavit of _____ CARDINAL CIVIL CONTRACTING, LLC _____
 (Name of Bidder)

I have made a good faith effort to comply under the following areas checked:

Bidders must earn at least 50 points from the good faith efforts listed for their bid to be considered responsive. (1 NC Administrative Code 30 I.0101)

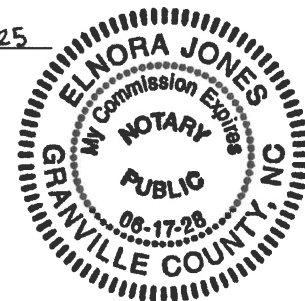
- 1 - (10 pts)** Contacted minority businesses that reasonably could have been expected to submit a quote and that were known to the contractor, or available on State or local government maintained lists, at least 10 days before the bid date and notified them of the nature and scope of the work to be performed.
- 2 - (10 pts)** Made the construction plans, specifications and requirements available for review by prospective minority businesses, or providing these documents to them at least 10 days before the bids are due.
- 3 - (15 pts)** Broken down or combined elements of work into economically feasible units to facilitate minority participation.
- 4 - (10 pts)** Worked with minority trade, community, or contractor organizations identified by the Office of Historically Underutilized Businesses and included in the bid documents that provide assistance in recruitment of minority businesses.
- 5 - (10 pts)** Attended pre-bid meetings scheduled by the public owner.
- 6 - (20 pts)** Provided assistance in getting required bonding or insurance or provided alternatives to bonding or insurance for subcontractors.
- 7 - (15 pts)** Negotiated in good faith with interested minority businesses and did not reject them as unqualified without sound reasons based on their capabilities. Any rejection of a minority business based on lack of qualification should have the reasons documented in writing.
- 8 - (25 pts)** Provided assistance to an otherwise qualified minority business in need of equipment, loan capital, lines of credit, or joint pay agreements to secure loans, supplies, or letters of credit, including waiving credit that is ordinarily required. Assisted minority businesses in obtaining the same unit pricing with the bidder's suppliers in order to help minority businesses in establishing credit.
- 9 - (20 pts)** Negotiated joint venture and partnership arrangements with minority businesses in order to increase opportunities for minority business participation on a public construction or repair project when possible.
- 10 - (20 pts)** Provided quick pay agreements and policies to enable minority contractors and suppliers to meet cash flow demands.

The undersigned, if apparent low bidder, will enter into a formal agreement with the firms listed in the Identification of Minority Business Participation schedule conditional upon scope of contract to be executed with the Owner. Substitution of contractors must be in accordance with GS 143-128.2(d). Failure to abide by this statutory provision will constitute a breach of the contract.

The undersigned hereby certifies that he or she has read the terms of the minority business commitment and is authorized to bind the bidder to the commitment herein set forth.

Date: 1/14/2025 Name of Authorized Officer: Jeremy Spivey
 Signature: _____
 Title: Member / Manager

SEAL State of North Carolina, County of Wake
 Subscribed and sworn to before me this 14th day of Jan. 20 25
 Notary Public Elmora Jones
 My commission expires 6-17-28



NON-DISCRIMINATION ASSURANCES

It is specifically agreed as part of the consideration of the signing of this Contract that the parties hereto, their agents, officials, employees, or servants will not discriminate in any manner on the basis of age, handicap, sex, race, color, creed, sexual orientation, or national origin with reference to the subject matter of this Contract, no matter how remote.

This provision shall be binding on the successors and assigns of the parties hereto with reference to the subject matter of this contract.

This CONTRACT is entered into this, the 14TH day of JANUARY, 2025.

(PLEASE THOROUGHLY EXECUTE THIS INSTRUMENT)

THE CONTRACTOR

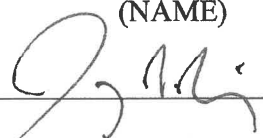
THE OWNER
THE TOWN OF ZEBULON

CARDINAL CIVIL CONTRACTING, LLC

BY: _____

(NAME)

Public Works Director

BY: 


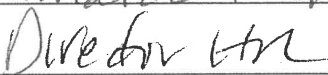
Member / Manager

(TITLE) (Subscribe & indicate capacity)

ATTEST:

ATTEST:

BY: 
(ASSP) CORPORATE SECRETARY
(AFFIX CORPORATE SEAL)

BY: 
Title 

ORDINANCE 2025-24
(OPTION 1)

BE IT ORDAINED by the Board of Commissioners of the Town of Zebulon, that pursuant to North Carolina General Statutes 159-15, the following amendment be made to the annual budget ordinance for the fiscal year ending June 30, 2025.

Section 1. To amend the General Fund budget as follows:

REVENUES	INCREASE	DECREASE
Fund Balance Appropriated	\$80,792.00	
Jones Street Connector Project		\$330,000.00
Judd and Arendell Ave Signal Project		\$200,000.00
EXPENDITURES		
Shepard School/Old Bunn Signal	\$610,792.00	

Section 2. Copies of this amendment shall be furnished to the Town Clerk, and to the budget Officer, and to the Finance Officer for their direction.

Adopted: February 3, 2025
Effective: February 3, 2025

Glenn L. York - Mayor

ATTEST:

Lisa M. Markland, CMC - Town Clerk

ORDINANCE 2025-24
(OPTION 2)

BE IT ORDAINED by the Board of Commissioners of the Town of Zebulon, that pursuant to North Carolina General Statutes 159-15, the following amendment be made to the annual budget ordinance for the fiscal year ending June 30, 2025.

Section 1. To amend the General Fund budget as follows:

REVENUES	INCREASE	DECREASE
Fund Balance Appropriated	\$610,792.00	
EXPENDITURES		
Shepard School/Old Bunn Signal	\$610,792.00	

Section 2. Copies of this amendment shall be furnished to the Town Clerk, and to the budget Officer, and to the Finance Officer for their direction.

Adopted: February 3, 2025
Effective: February 3, 2025

Glenn L. York - Mayor

ATTEST:

Lisa M. Markland, CMC - Town Clerk

STAFF REPORT
BOARD APPOINTMENT
FEBRUARY 3, 2025

Topic: Board Appointments
Speaker: Lisa Markland, CMC, PSHRA-CP
Prepared by: Stacie Paratore, CMC, PSHRA-CP
Approved by: Gilbert Todd, Jr., Town Manager

Executive Summary:

The Board of Commissioners will consider applicants interested in serving on appointed boards.

Background:

The Board of Commissioners appoints members to volunteer Boards who make recommendations or decisions in their respective areas. People interested in serving on appointed Boards submit applications for consideration by the Board of Commissioners.

The Board of Commissioners adopted the ordinance creating the Sustainability Board at their June 3, 2024 meeting. The Parks & Recreation Advisory Board was asked to serve in that capacity until the Commissioners could appoint members to the Sustainability Board at their August 5, 2024 meeting.

In December 2024, applications were brought forward and the Board of Commissioners tabled appointments until the February regular meeting.

Discussion:

The discussion before the Board is who to appoint to the various boards.

Planning Board

There is an ETJ vacancy on the Planning Board due to an unexpired term ending 06/30/2027.

We have one eligible ETJ applicant:
David Hughes

Sustainability Board

This is a new Board needing initial appointments. There are a total of seven positions on this Board. We have received 10 applications, however, only seven of the applicants live within the corporate limits or the ETJ for the Town of Zebulon.

The following are eligible applicants:

Matthew Fletcher
Marvin Howell
Widiane Alcin
Gina Bryant
MaryBeth Carpenter
Peter Rubino
Ayanna Glaize

Policy Impact:
N/A

Fiscal Impact:
N/A

Staff Recommendation:
No recommendations on Board appointments.

Attachments:
1. Applications

TOWN OF ZEBULON Application for Board Appointments

Please indicate which board you are interested in serving on. If you are interested in more than one board please list them by preference by using numbers (1,2,3). Please attach a copy of your driver's license for proof of eligibility to serve.

Board of Adjustment
 Planning Board
 Parks & Recreation Advisory

Name DAVID A HUGHES
 Address _____
 E-mail _____ Date of Birth (month & Day) 06/26
 Phone (Home) N/A (Work) _____ (Cell) same
 Employer SELF Occupation Residential designer
 Do you live in the Zebulon Corporate Limits _____ ETJ Years in Zebulon SINCE 1969

Do you currently, or have you previously, served on any Town of Zebulon, or other municipal board, commission or committee? Yes No _____ If you answered yes, please list them below (use the back if necessary).

Board/Commission/Committee	From	To
<u>Planning Board</u>	<u>2001</u>	<u>2011</u>
<u>Board of Adjustment</u>	<u>2012</u>	<u>2018</u>
<u>concerned citizen</u>	<u>1987</u>	<u>PRESENT</u>

Have you taken the opportunity to attend any previous board meetings prior to the notice of this vacancy? Yes No _____

Describe extent and meetings attended Appointing new planning board members

Why do you want to serve on this board or commission? I would & will see to that our town grows in a responsible & thoughtful environment.

Why would you be an asset to this board or commission? REGULATING design, architectural that subdivisions ADHERE TO OUR ENVIRONMENTS.

What are your qualifications? PLANNING & DESIGN SINCE 1987.

What areas of concern would you like to see the Board or Commission address? TRANSPORTATION TO COINCIDE WITH RESIDENTIAL GROWTH.

I certify that the above information is correct. I understand that this is an application to be considered for appointment to a Town of Zebulon board, commission or committee and that final appointment is made by the Zebulon Board of Commissioners. I also understand that any service, if appointed, would be without compensation. This application will remain on file for a period of 6-months from the date of application.

Date 10/9/23 Signature [Signature]

Please fill out the form completely and return it to Stacie Paratore at Town Hall. If you have any question call 919-823-1802.

Appointed Board Application

We are pleased that you are interested in volunteering to serve on an appointed board.

To be appointed to serve you must live within the Corporate limits or the ETJ of the Town of Zebulon.

Applications will remain on file for a **one-year period**. You are welcome to re-apply at that time if you are still interested and have not been appointed to serve.

Please Agree with the Following Statement *

I hereby acknowledge that the information I provide in this application is subject to disclosure pursuant to the North Carolina Public Records Laws, and that I provide the information contained in this application freely and voluntarily, and that I consent to such disclosure pursuant to the North Carolina Public Records Laws, and that I waive, release and discharge the Town of Zebulon, its agents, employees and elected and appointed officials, from any liability related to disclosure of any information and images provided herein.

I Agree *

Name

Mr Matthew Fletcher
Title First Last Suffix

Home Address

Address Line 1

Address Line 2

Zebulon North Carolina 27597
City State Zip Code

Primary Phone

Cell

Phone

Email

Proof of Residency

Fletcher Tax Bill.pdf

Please upload a copy of something that provides your address supporting your eligibility to serve on an appointed board in the Town of Zebulon. (driver's license, DMV ID card, utility bill etc)

Employer

First National Bank

Job Title

Branch Manager

Choice

Corporate Limits ETJ

How many years have you lived in Zebulon

4

Board Choice

Sustainability

Interests & Experiences

Please tell us about yourself and why you want to serve.

Do you currently, or have you previously, served on any Town of Zebulon or other municipal board, commission or committee?

Yes/No
 Yes No

If you answered yes, please tell us where you served, what board, and your experience on that board.

I am interested in helping the town grow and be a place people love to work, live, and play.
Why are you interested in serving on a board or commission?

Have you taken the opportunity to attend any previous board meetings prior to applying for this board?

Yes/No
 Yes No

I often watch the live/recorded meetings each week.
If you answered yes, please describe what meetings and how often.

What areas of interest or concerns would you like to see the board or commission address?

Please describe your work, education and volunteer experience in the following sections or optionally upload a resume.

Work Experience

I have been in banking since 2018. Prior to that I was in insurance sales for 2 years.
Please describe your work experience or upload a resume.

Education

Attended Apex High and NCCU
Please describe your education or upload a resume.

Volunteer Experience

Volunteer as a Sunday school teach at HBC Wendell.
Please describe your volunteer experience or upload a resume.

Upload a Resume

Upload any additional documentation

Is there any other information you would like to share with the Town Board?

Demographics

Demographics – Voluntary – Not Required

Disclaimer: This Demographics Section of the Application is **not required** and by completing it, I do so **voluntarily** and acknowledge that the information I provide in this application is subject to disclosure pursuant to the **North Carolina Public Records Laws**, and that I provide the information contained in this application **freely and voluntarily**, and that **I consent** to such disclosure pursuant to the **North Carolina Public Records Laws**, and that **I waive, release and discharge** the Town of Zebulon, its officers, officials (elected and appointed), employees and agents, from any liability related to disclosure of any information provided herein.

Purpose: The Town of Zebulon seeks to have our Boards and Commissions be representative of the Town's residents. The following are **voluntary** questions asked with the goal of having diverse representation.

Which age group describes you?

Gender

31 - 40

Male

For the following question, how would you define your race?
Please consider the following sub-groupings for race:

- Asian: (Cambodia, China, India, Japan, Korea, Malaysia, Pakistan, the Philippine Islands, Thailand, and Vietnam)
- Black or African American: (Haitian, Jamaican, Nigerian, Somali)
- Native Hawaiian or Other Pacific Islander: (person having origins in any of the original peoples of Hawaii, Guam, Samoa, or other Pacific Islands)
- White: (Irish, German, English)

You may select more than one.

Race

Accurate and Complete

Please Agree with the Following Statement.

I hereby certify and affirm that all the information provided by me in this application (or any other accompanying or required documents) is correct, accurate and complete to the best of my knowledge. I understand that the falsification, misrepresentation or omission of any facts in said document may be cause for disqualification of my application or my immediate removal from a board or commissioner.

I understand that this is an application to be considered for appointment to a Town of Zebulon board, commission or committee and that final appointment is made by the Zebulon Board of Commissioners. I also understand that any service, if appointed, would be without compensation.

I Agree *

Signature

Date

11/14/2024

A handwritten signature in black ink, appearing to read 'M H FLD'. The signature is written in a cursive, somewhat stylized font.

Appointed Board Application

We are pleased that you are interested in volunteering to serve on an appointed board.

To be appointed to serve you must live within the Corporate limits or the ETJ of the Town of Zebulon.

Applications will remain on file for a **one-year period**. You are welcome to re-apply at that time if you are still interested and have not been appointed to serve.

Please Agree with the Following Statement *

I hereby acknowledge that the information I provide in this application is subject to disclosure pursuant to the North Carolina Public Records Laws, and that I provide the information contained in this application freely and voluntarily, and that I consent to such disclosure pursuant to the North Carolina Public Records Laws, and that I waive, release and discharge the Town of Zebulon, its agents, employees and elected and appointed officials, from any liability related to disclosure of any information and images provided herein.

I Agree *

Name

Mr.	Marvin	Howell	
Title	First	Last	Suffix

Home Address

Address Line 1

Address Line 2

Zebulon	North Carolina	27597
City	State	Zip Code

Primary Phone

Cell

Phone

Email

Proof of Residency

water bill.jpg

Please upload a copy of something that provides your address supporting your eligibility to serve on an appointed board in the Town of Zebulon. (driver's license, DMV ID card, utility bill etc)

Employer

Retired

Job Title

Retired

Choice

Corporate Limits ETJ

How many years have you lived in Zebulon

37

Board Choice

Sustainability

Interests & Experiences

Please tell us about yourself and why you want to serve.

Do you currently, or have you previously, served on any Town of Zebulon or other municipal board, commission or committee?

Yes/No
 Yes No

If you answered yes, please tell us where you served, what board, and your experience on that board.

I am interest in serving to work with others and share ideas, to assist in the Town of Zebulon and its Citizens to be energy and environmentally aware.

Why are you interested in serving on a board or commission?

Have you taken the opportunity to attend any previous board meetings prior to applying for this board?

Yes/No
 Yes No

Parks and Recreation Board Meeting

If you answered yes, please describe what meetings and how often.

Work with conservation of Energy and Environmental amenities.

What areas of interest or concerns would you like to see the board or commission address?

Please describe your work, education and volunteer experience in the following sections or optionally upload a resume.

Work Experience

Raleigh Parks, Recreation and Cultural Resources Department (33 years 4 months)

Please describe your work experience or upload a resume.

Education

1983 Associate in Arts Degree from Brevard College (Brevard University)

1983 Bachelor of Science Degree in Community Recreation Education from Mars Hill College (Mars Hill University)

Please describe your education or upload a resume.

Volunteer Experience

Special Olympics (4 years), North Carolina Senior Games 10 years as Event Manager, Hershey Track Program (6 years) and many special events with Raleigh Parks, Recreation and Cultural Resources.

Please describe your volunteer experience or upload a resume.

Upload a Resume

Upload any additional documentation

I was the Historic Attraction Director overseeing Pullen Amusement Park and John Chavis Memorial Park Carousel until my retirement in 2018. In 1985, I started out as the only full-time staff person and supervised 17 part-time staff. Upon my retirement, I increased Pullen Park by three additional full-time staff and supervised 82 part-time staff.

When I moved to Zebulon in 1987, I also worked with Lovallo Florist: Interiors and Antiques for 36 years until another retirement in 2023.

Is there any other information you would like to share with the Town Board?

Demographics

Demographics – Voluntary – Not Required

Disclaimer: This Demographics Section of the Application is **not required** and by completing it, I do so **voluntarily** and acknowledge that the information I provide in this application is subject to disclosure pursuant to the **North Carolina Public Records Laws**, and that I provide the information contained in this application **freely and voluntarily**, and that **I consent** to such disclosure pursuant to the **North Carolina Public Records Laws**, and that **I waive, release and discharge** the Town of Zebulon, its officers, officials (elected and appointed), employees and agents, from any liability related to disclosure of any information provided herein.

Purpose: The Town of Zebulon seeks to have our Boards and Commissions be representative of the Town's residents. The following are **voluntary** questions asked with the goal of having diverse representation.

Which age group describes you?

Gender

61+

Male

For the following question, how would you define your race?
Please consider the following sub-groupings for race:

- Asian: (Cambodia, China, India, Japan, Korea, Malaysia, Pakistan, the Philippine Islands, Thailand, and Vietnam)
- Black or African American: (Haitian, Jamaican, Nigerian, Somali)
- Native Hawaiian or Other Pacific Islander: (person having origins in any of the original peoples of Hawaii, Guam, Samoa, or other Pacific Islands)
- White: (Irish, German, English)

You may select more than one.

Race

White (Caucasian)

Accurate and Complete

Please Agree with the Following Statement.

I hereby certify and affirm that all the information provided by me in this application (or any other accompanying or required documents) is correct, accurate and complete to the best of my knowledge. I understand that the falsification, misrepresentation or omission of any facts in said document may be cause for disqualification of my application or my immediate removal from a board or commissioner.

I understand that this is an application to be considered for appointment to a Town of Zebulon board, commission or committee and that final appointment is made by the Zebulon Board of Commissioners. I also understand that any service, if appointed, would be without compensation.

I Agree *

Signature

Date

11/16/2024

Marvin Howell

Appointed Board Application

We are pleased that you are interested in volunteering to serve on an appointed board.

To be appointed to serve you must live within the Corporate limits or the ETJ of the Town of Zebulon.

Applications will remain on file for a **one-year period**. You are welcome to re-apply at that time if you are still interested and have not been appointed to serve.

Please Agree with the Following Statement *

I hereby acknowledge that the information I provide in this application is subject to disclosure pursuant to the North Carolina Public Records Laws, and that I provide the information contained in this application freely and voluntarily, and that I consent to such disclosure pursuant to the North Carolina Public Records Laws, and that I waive, release and discharge the Town of Zebulon, its agents, employees and elected and appointed officials, from any liability related to disclosure of any information and images provided herein.

I Agree *

Name

	Widiane	Alcin	
Title	First	Last	Suffix

Home Address

Address Line 1

Address Line 2

Zebulon	North Carolina	27597
City	State	Zip Code

Primary Phone

Cell

Phone

Email

Proof of Residency image.jpg

Please upload a copy of something that provides your address supporting your eligibility to serve on an appointed board in the Town of Zebulon. (driver's license, DMV ID card, utility bill etc)

Employer

NCDOT

Job Title

Legislative Analyst

Choice

Corporate Limits ETJ

How many years have you lived in Zebulon

1

Board Choice

Sustainability

Interests & Experiences

Please tell us about yourself and why you want to serve.

Do you currently, or have you previously, served on any Town of Zebulon or other municipal board, commission or committee?

Yes/No
 Yes No

If you answered yes, please tell us where you served, what board, and your experience on that board.

Serving on the board will afford me the ability to be involved in matters pertaining to the betterment of this town and its residents.

Why are you interested in serving on a board or commission?

Have you taken the opportunity to attend any previous board meetings prior to applying for this board?

Yes/No
 Yes No

If you answered yes, please describe what meetings and how often.

I don't have a particular area of concern but would love to be involved in making sure the needs of the town and its residents are being met.

What areas of interest or concerns would you like to see the board or commission address?

Please describe your work, education and volunteer experience in the following sections or optionally upload a resume.

Work Experience

Please describe your work experience or upload a resume.

Education

Please describe your education or upload a resume.

Volunteer Experience

Please describe your volunteer experience or upload a resume.

Upload a Resume
WA Resume (1).pdf

Upload any additional documentation

Is there any other information you would like to share with the Town Board?

Demographics

Demographics – Voluntary – Not Required

Disclaimer: This Demographics Section of the Application is not required and by completing it, I do so voluntarily and acknowledge that the information I provide in this application is subject to disclosure

Widiane Alcin

Appointed Board Application

We are pleased that you are interested in volunteering to serve on an appointed board.

To be appointed to serve you must live within the Corporate limits or the ETJ of the Town of Zebulon.

Applications will remain on file for a **one-year period**. You are welcome to re-apply at that time if you are still interested and have not been appointed to serve.

Please Agree with the Following Statement *

I hereby acknowledge that the information I provide in this application is subject to disclosure pursuant to the North Carolina Public Records Laws, and that I provide the information contained in this application freely and voluntarily, and that I consent to such disclosure pursuant to the North Carolina Public Records Laws, and that I waive, release and discharge the Town of Zebulon, its agents, employees and elected and appointed officials, from any liability related to disclosure of any information and images provided herein.

I Agree *

Name

Title	Gina First	Bryant Last	Suffix
-------	---------------	----------------	--------

Home Address

Address Line 1

Address Line 2

Zebulon City	North Carolina State	27597 Zip Code
-----------------	-------------------------	-------------------

Primary Phone

Cell

Phone

Email

Proof of Residency

001proof of residency.jpg

Please upload a copy of something that provides your address supporting your eligibility to serve on an appointed board in the Town of Zebulon. (driver's license, DMV ID card, utility bill etc)

Employer

Wake County Public Schools

Job Title

Teacher(retired)

Choice

Corporate Limits ETJ

How many years have you lived in Zebulon

64

Board Choice

Sustainability

Interests & Experiences

Please tell us about yourself and why you want to serve.

Do you currently, or have you previously, served on any Town of Zebulon or other municipal board, commission or committee? **Yes/No**
 Yes No

Not officially but have worked with Zebulon Parks and recreation on several projects
If you answered yes, please tell us where you served, what board, and your experience on that board.

I have lived in Zebulon my whole life and would love to help with the town's future planning and growth.
Why are you interested in serving on a board or commission?

Have you taken the opportunity to attend any previous board meetings prior to applying for this board? **Yes/No**
 Yes No

I have attended several meetings, mostly about adding subdivisions, growth in general and just to see our local government at work. I also watch most meetings online.

If you answered yes, please describe what meetings and how often.

Growth.

What areas of interest or concerns would you like to see the board or commission address?

Please describe your work, education and volunteer experience in the following sections or optionally upload a resume.

Work Experience

I worked as a teacher in Wake County for 31 years. 16 at Charles R. Bugg in Southeast Raleigh and 15 at Zebulon Elementary. I have also taught Science Camps and classes(container gardening, planting natives, crops of NC) at Zebulon Parks and Recreation for about 10 years.

Please describe your work experience or upload a resume.

Education

I graduated from Zebulon High School in 1979. Attended the University of North Carolina in Greensboro from 1979-1983. Graduated with a BS in Early Childhood Education, minors in Science and Literature. I am an Environmental Educator.

Please describe your education or upload a resume.

Volunteer Experience

- NC Museum of Natural Sciences-Bug Fest
- Zebulon Parks and Recreation-help with Sylvan Park Activities
- Zebulon Elementary-Reading Tutor
- Food Bank of Eastern North Carolina-help with a pop up Food Distribution each month at our church

Please describe your volunteer experience or upload a resume.

Upload a Resume

Upload any additional documentation

I have always loved nature and the outdoors. I understand how plants and animals factor in to a healthy environment. I understand how flooding and erosion can be slowed. I am very passionate about keeping our environment healthy and happy while still allowing for growth and development. I have taken a course at NCSU on how to plan playgrounds with natural spaces that allow for gardening as well as exploration of the natural environment.

Is there any other information you would like to share with the Town Board?

Demographics

Demographics – Voluntary – Not Required

Disclaimer: This Demographics Section of the Application is not required and by completing it, I do so voluntarily and acknowledge that the information I provide in this application is subject to disclosure pursuant to the North Carolina Public Records Laws, and that I provide the information contained in this application freely and voluntarily, and that I consent to such disclosure pursuant to the North Carolina Public Records Laws, and that I waive, release and discharge the Town of Zebulon, its officers, officials (elected and appointed), employees and agents, from any liability related to disclosure of any information provided herein.

Purpose: The Town of Zebulon seeks to have our Boards and Commissions be representative of the Town's residents. The following are voluntary questions asked with the goal of having diverse representation.

Which age group describes you?

61+

Gender

Female

For the following question, how would you define your race?
Please consider the following sub-groupings for race:

- Asian: (Cambodia, China, India, Japan, Korea, Malaysia, Pakistan, the Philippine Islands, Thailand, and Vietnam)
- Black or African American: (Haitian, Jamaican, Nigerian, Somali)
- Native Hawaiian or Other Pacific Islander: (person having origins in any of the original peoples of Hawaii, Guam, Samoa, or other Pacific Islands)
- White: (Irish, German, English)

You may select more than one.

Race

White (Caucasian)

Accurate and Complete

Please Agree with the Following Statement.

I hereby certify and affirm that all the information provided by me in this application (or any other accompanying or required documents) is correct, accurate and complete to the best of my knowledge. I understand that the falsification, misrepresentation or omission of any facts in said document may be cause

for disqualification of my application or my immediate removal from a board or commissioner.

I understand that this is an application to be considered for appointment to a Town of Zebulon board, commission or committee and that final appointment is made by the Zebulon Board of Commissioners. I also understand that any service, if appointed, would be without compensation.

I Agree *

Signature

Date

11/21/2024

A handwritten signature in black ink that reads "Lino P. Bryant". The signature is written in a cursive style with a large initial "L" and "B".

Appointed Board Application

We are pleased that you are interested in volunteering to serve on an appointed board.

To be appointed to serve you must live within the Corporate limits or the ETJ of the Town of Zebulon.

Applications will remain on file for a **one-year period**. You are welcome to re-apply at that time if you are still interested and have not been appointed to serve.

Please Agree with the Following Statement *

I hereby acknowledge that the information I provide in this application is subject to disclosure pursuant to the North Carolina Public Records Laws, and that I provide the information contained in this application freely and voluntarily, and that I consent to such disclosure pursuant to the North Carolina Public Records Laws, and that I waive, release and discharge the Town of Zebulon, its agents, employees and elected and appointed officials, from any liability related to disclosure of any information and images provided herein.

I Agree *

Name

Ms	MaryBeth	Carpenter	
Title	First	Last	Suffix

Home Address

Address Line 1

Address Line 2

Zebulon	North Carolina	27597
City	State	Zip Code

Primary Phone

Cell

Phone

Email

Proof of Residency

MBCarpenter Driver License.jpg

Please upload a copy of something that provides your address supporting your eligibility to serve on an appointed board in the Town of Zebulon. (driver's license, DMV ID card, utility bill etc)

Employer

Greater Gifts Consulting

Job Title

President

Choice

Corporate Limits ETJ

How many years have you lived in Zebulon

2

Board Choice

Sustainability

Interests & Experiences

Please tell us about yourself and why you want to serve.

Do you currently, or have you previously, served on any Town of Zebulon or other municipal board, commission or committee?

Yes/No
 Yes No

Not applicable

If you answered yes, please tell us where you served, what board, and your experience on that board.

The Sustainability Board is appealing to me as I would love to see conservation efforts in Zebulon and green spaces made available in a planned effort to keep our Town beautiful as development takes over our farms. Anyone who knows me has seen me outside planting and maintaining some extensive gardens on my restored home on East Horton Street, with an eye to attracting pollinators to the garden. To me, Sustainability also means affordable housing, and keeping some of our older housing stock viable for that effort. There have been other Towns and Cities that have applied policies to help residents to stay in older homes, thus keeping current housing stock sustainable. I'd also like to give back to the community by serving on this board.

Why are you interested in serving on a board or commission?

Have you taken the opportunity to attend any previous board meetings prior to applying for this board?

Yes/No
 Yes No

I have regularly attended Board of Commissioner meetings and many work sessions over the past six years.

If you answered yes, please describe what meetings and how often.

Financial transparency and planning for growth while adding conservation principals into our future.

What areas of interest or concerns would you like to see the board or commission address?

Please describe your work, education and volunteer experience in the following sections or optionally upload a resume.

Work Experience

I run a fundraising business where I help small non profits with budgets under \$2 million to increase their funding base. I have 30+ years serving the non profit sector, including four universities in four states. I have worked in North Carolina for 23 years and raised \$48 million for my non profits with writing, budgeting, strategic planning, volunteer management, and grants and corporate and foundation fundraising. I was also a newspaper reporter for two years for the daily Lorain Journal in Ohio.

Please describe your work experience or upload a resume.

Education

I hold a bachelor's degree in Journalism from the Ohio State University and a master's degree in Business Administration from Case Western Reserve University with a marketing concentration. I also hold two certifications – CFRE, the highest one in the fundraising arena and in Gift Planning. I have also taught fundraising courses across North Carolina.

Please describe your education or upload a resume.

Volunteer Experience

I am the co-founder and Executive Director of Preservation Zebulon, active in Zebulon for the past seven years. I have served on four other local boards in Raleigh and Eastern Wake County, including leading as President of the Association of Fundraising Professionals and on the executive committee of the Wake County Historic Society. I have given more than a dozen lectures on historical topics to area history organizations, the Zebulon Chamber of Commerce, Zebulon Rotary, Raleigh Rotary, Little River Historical Society, Wake County Historical Society and Preservation Zebulon.

Please describe your volunteer experience or upload a resume.

Upload a Resume

MaryBeth Resume Nov 2024.pdf

Upload any additional documentation

Is there any other information you would like to share with the Town Board?

Demographics

Demographics – Voluntary – Not Required

Disclaimer: This Demographics Section of the Application is not required and by completing it, I do so voluntarily and acknowledge that the information I provide in this application is subject to disclosure pursuant to the North Carolina Public Records Laws, and that I provide the information contained in this application freely and voluntarily, and that I consent to such disclosure pursuant to the North Carolina Public Records Laws, and that I waive, release and discharge the Town of Zebulon, its officers, officials (elected and appointed), employees and agents, from any liability related to disclosure of any information provided herein.

Purpose: The Town of Zebulon seeks to have our Boards and Commissions be representative of the Town's residents. The following are voluntary questions asked with the goal of having diverse representation.

Which age group describes you?

Gender

For the following question, how would you define your race?

Please consider the following sub-groupings for race:

- Asian: (Cambodia, China, India, Japan, Korea, Malaysia, Pakistan, the Philippine Islands, Thailand, and Vietnam)
- Black or African American: (Haitian, Jamaican, Nigerian, Somali)
- Native Hawaiian or Other Pacific Islander: (person having origins in any of the original peoples of Hawaii, Guam, Samoa, or other Pacific Islands)
- White: (Irish, German, English)

You may select more than one.

Race

Accurate and Complete

Please Agree with the Following Statement.

I hereby certify and affirm that all the information provided by me in this application (or any other accompanying or required documents) is correct, accurate and complete to the best of my knowledge. I understand that the falsification, misrepresentation or omission of any facts in said document may be cause for disqualification of my application or my immediate removal from a board or commissioner.

I understand that this is an application to be considered for appointment to a Town of Zebulon board, commission or committee and that final appointment is made by the Zebulon Board of Commissioners. I also understand that any service, if appointed, would be without compensation.

I Agree *

Signature

Date

11/26/2024

MaryBeth Carpenter

Appointed Board Application

We are pleased that you are interested in volunteering to serve on an appointed board.

To be appointed to serve you must live within the Corporate limits or the ETJ of the Town of Zebulon.

Applications will remain on file for a **one-year period**. You are welcome to re-apply at that time if you are still interested and have not been appointed to serve.

Please Agree with the Following Statement *

I hereby acknowledge that the information I provide in this application is subject to disclosure pursuant to the North Carolina Public Records Laws, and that I provide the information contained in this application freely and voluntarily, and that I consent to such disclosure pursuant to the North Carolina Public Records Laws, and that I waive, release and discharge the Town of Zebulon, its agents, employees and elected and appointed officials, from any liability related to disclosure of any information and images provided herein.

I Agree *

Name

Peter Rubino
Title First Last Suffix

Home Address

Address Line 1

Address Line 2

Zebulon
City

North Carolina
State

27591
Zip Code

Primary Phone
Cell

Phone

Email

Proof of Residency
IMG_5277.jpeg

Please upload a copy of something that provides your address supporting your eligibility to serve on an appointed board in the Town of Zebulon. (driver's license, DMV ID card, utility bill etc)

Employer
Sustainable Pest Systems, Inc.

Job Title
Area Manager

Choice
 Corporate Limits ETJ

How many years have you lived in Zebulon
2

Board Choice

Sustainability

Interests & Experiences

Please tell us about yourself and why you want to serve.

Do you currently, or have you previously, served on any Town of Zebulon or other municipal board, commission or committee?

Yes/No
 Yes No

If you answered yes, please tell us where you served, what board, and your experience on that board.

As a steward or sustainability in the pest management industry, I have a strong sense of what true sustainability entails while overcoming the stigma of an exterminator. I am passionate about learning more of our eco system and how we the people influence it positively and negatively. Eco friendly, eco conscious, green chemistry, organic are all just words; It's the practices of an organization that make them true.

Why are you interested in serving on a board or commission?

Have you taken the opportunity to attend any previous board meetings prior to applying for this board?

Yes/No
 Yes No

If you answered yes, please describe what meetings and how often.

From agriculture to mom and pop shops- what are we doing to prevent the overuse of chemicals, dumping practices, and who is profiting off of sustainability without actually upholding its purpose.

What areas of interest or concerns would you like to see the board or commission address?

Please describe your work, education and volunteer experience in the following sections or optionally upload a resume.

Work Experience

Please describe your work experience or upload a resume.

Education

Please describe your education or upload a resume.

Volunteer Experience

Please describe your volunteer experience or upload a resume.

Upload a Resume
PJR.pdf

Upload any additional documentation

Is there any other information you would like to share with the Town Board?

Demographics

Demographics – Voluntary – Not Required

Disclaimer: This Demographics Section of the Application is not required and by completing it, I do so voluntarily and acknowledge that the information I provide in this application is subject to disclosure

pursuant to the **North Carolina Public Records Laws**, and that I provide the information contained in this application **freely and voluntarily**, and that **I consent** to such disclosure pursuant to the **North Carolina Public Records Laws**, and that **I waive, release and discharge** the Town of Zebulon, its officers, officials (elected and appointed), employees and agents, from any liability related to disclosure of any information provided herein.

Purpose: The Town of Zebulon seeks to have our Boards and Commissions be representative of the Town's residents. The following are **voluntary** questions asked with the goal of having diverse representation.

Which age group describes you?	Gender
31 - 40	Male

For the following question, how would you define your race?
Please consider the following sub-groupings for race:

- Asian: (Cambodia, China, India, Japan, Korea, Malaysia, Pakistan, the Philippine Islands, Thailand, and Vietnam)
- Black or African American: (Haitian, Jamaican, Nigerian, Somali)
- Native Hawaiian or Other Pacific Islander: (person having origins in any of the original peoples of Hawaii, Guam, Samoa, or other Pacific Islands)
- White: (Irish, German, English)

You may select more than one.

Race

White (Caucasian)

Accurate and Complete

Please Agree with the Following Statement.

I hereby certify and affirm that all the information provided by me in this application (or any other accompanying or required documents) is correct, accurate and complete to the best of my knowledge. I understand that the falsification, misrepresentation or omission of any facts in said document may be cause for disqualification of my application or my immediate removal from a board or commissioner.

I understand that this is an application to be considered for appointment to a Town of Zebulon board, commission or committee and that final appointment is made by the Zebulon Board of Commissioners. I also understand that any service, if appointed, would be without compensation.

I Agree *

Signature

Date

12/21/2024

Handwritten signature or scribble.

Appointed Board Application

We are pleased that you are interested in volunteering to serve on an appointed board.

To be appointed to serve you must live within the Corporate limits or the ETJ of the Town of Zebulon.

Applications will remain on file for a **one-year period**. You are welcome to re-apply at that time if you are still interested and have not been appointed to serve.

Please Agree with the Following Statement *

I hereby acknowledge that the information I provide in this application is subject to disclosure pursuant to the North Carolina Public Records Laws, and that I provide the information contained in this application freely and voluntarily, and that I consent to such disclosure pursuant to the North Carolina Public Records Laws, and that I waive, release and discharge the Town of Zebulon, its agents, employees and elected and appointed officials, from any liability related to disclosure of any information and images provided herein.

I Agree *

Name

Mrs	Ayanna	Glaize	
Title	First	Last	Suffix

Home Address

Address Line 1

Address Line 2

Zebulon	North Carolina	27597
City	State	Zip Code

Primary Phone

Cell

Phone

Email

Proof of Residency
20241218_100608.jpg

Please upload a copy of something that provides your address supporting your eligibility to serve on an appointed board in the Town of Zebulon. (driver's license, DMV ID card, utility bill etc)

Employer

North Carolina State Lab of Public Health

Job Title

Public Health Scientist

Choice

Corporate Limits ETJ

How many years have you lived in Zebulon

2

Board Choice

Sustainability

Interests & Experiences

Please tell us about yourself and why you want to serve.

Do you currently, or have you previously, served on any Town of Zebulon or other municipal board, commission or committee?

Yes/No
 Yes No

NA

If you answered yes, please tell us where you served, what board, and your experience on that board.

I have always wanted to become more involved with the community that I lived in. When we bought our house here I knew that eventually that I would like to serve on one of the boards in the town. I believe in contributing to where I live and doing my part to make it a better place to live for everyone.

Why are you interested in serving on a board or commission?

Have you taken the opportunity to attend any previous board meetings prior to applying for this board?

Yes/No
 Yes No

Yes, my husband and I have physically attend at least 3 town board meetings in the past year. We also make it a point to watch the board meetings on youtube, if we are not able to attend physically.

If you answered yes, please describe what meetings and how often.

For sustainability, I would like for the town to consider starting a composting service for the town and a community garden. Currently, convenience center 11 offers cooking oil and oyster shells recycling but does offer composting. I would like for this service to be added to the site or provide an alternative service.

What areas of interest or concerns would you like to see the board or commission address?

Please describe your work, education and volunteer experience in the following sections or optionally upload a resume.

Work Experience

After graduating from NC State, I have worked for the North Carolina State Laboratory as a Medical Laboratory Specialist (1 year and 5 months) and as a Public Health Scientist (1 year and 9 months).

Please describe your work experience or upload a resume.

Education

I have a Ph.D. in Comparative Biomedical Science (2021) and a B.S. in Microbiology (2016) from North Carolina State University. I graduated from Hoke County High School in 2012.

Please describe your education or upload a resume.

Volunteer Experience

I have volunteered with the Food Bank of Central & Eastern North Carolina as well as Meals on Wheels.

Please describe your volunteer experience or upload a resume.

Upload a Resume

Upload any additional documentation

I would love to serve Zebulon by making the community a more sustainable and beautiful place to live. I would like to see Zebulon offer more purposeful recommendations and support on matters that impact the environment.

Is there any other information you would like to share with the Town Board?

Demographics

Demographics – Voluntary – Not Required

Disclaimer: This Demographics Section of the Application is **not required** and by completing it, I do so **voluntarily** and acknowledge that the information I provide in this application is subject to disclosure pursuant to the **North Carolina Public Records Laws**, and that I provide the information contained in this application **freely and voluntarily**, and that I **consent** to such disclosure pursuant to the **North Carolina Public Records Laws**, and that I **waive, release and discharge** the Town of Zebulon, its officers, officials (elected and appointed), employees and agents, from any liability related to disclosure of any information provided herein.

Purpose: The Town of Zebulon seeks to have our Boards and Commissions be representative of the Town's residents. The following are **voluntary** questions asked with the goal of having diverse representation.

Which age group describes you?

Gender

25 - 30

Female

For the following question, how would you define your race?
Please consider the following sub-groupings for race:

- Asian: (Cambodia, China, India, Japan, Korea, Malaysia, Pakistan, the Philippine Islands, Thailand, and Vietnam)
- Black or African American: (Haitian, Jamaican, Nigerian, Somali)
- Native Hawaiian or Other Pacific Islander: (person having origins in any of the original peoples of Hawaii, Guam, Samoa, or other Pacific Islands)
- White: (Irish, German, English)

You may select more than one.

Race

Black or African American

Accurate and Complete

Please Agree with the Following Statement.

I hereby certify and affirm that all the information provided by me in this application (or any other accompanying or required documents) is correct, accurate and complete to the best of my knowledge. I understand that the falsification, misrepresentation or omission of any facts in said document may be cause for disqualification of my application or my immediate removal from a board or commissioner.

I understand that this is an application to be considered for appointment to a Town of Zebulon board,

commission or committee and that final appointment is made by the Zebulon Board of Commissioners. I also understand that any service, if appointed, would be without compensation.

I Agree *

Signature

Date

12/18/2024

Ayanna Glaize

Topic: FY 2025 Monthly Financial Report Addendum
Speaker: Bobby Fitts, Finance Director (If Requested)
Prepared by: Bobby Fitts, Finance Director
Approved by: Gilbert Todd, Jr., Town Manager

Executive Summary:

A monthly report summarizing the status of the Town's revenues and expenditures.

Background:

The attached financials are a summary of revenues and expenditures to date. These monthly reports are provided to inform the Board of revenue and expenditure trends throughout the year. The enclosed statements are through January 16, 2025.

Information:

Expenditures

With approximately 6 ½ months into Fiscal Year 2025 expenditures complete, the Town has spent approximately 33% (~ \$11,741,462) of its General Fund budget of \$35,590,292. Note the larger, early year expenditures (e.g., vehicle and equipment purchases, debt service payments, property & liability and workers compensation premiums) have been paid. Descriptions of some early revenue activity are provided below.

Revenues

- Property Tax (the Town's largest revenue stream)
 - + FY 2025 collections: \$13,597,754 collected to date (~ 20% of budget).
 - + Observations:
 - # 27.5% more than collected last fiscal year (\$10,314,023).
 - # Five months of vehicle taxes have been collected for FY 2025.
- Sales Tax (second largest revenue stream)
 - + October's sales (reports lag 3-months):
 - # \$13,464 (6.5%) more collected than last October for all sales tax.
 - # \$4,981 (5.4%) more collected than last October for "local" sales tax.
 - # "Local" sales tax (Article 39) is generated within, and returns to, Wake County.
 - # For every \$100,000 in local sales, \$3.79 comes back to the Town of Zebulon.
- Utilities Sales Tax (5% of revenue stream): first quarterly disbursement received December 15.
- Permits & Zoning
 - + \$166,490 collected total (67% of budgeted revenues (\$250,000))
 - + 19% more than what was collected this time last fiscal year (\$134,633).
- Parks & Recreation
 - + \$97,905 collected total (85% of budgeted revenues (\$115,500))
 - + 12% more than what was collected this month last fiscal year (\$86,279).

- **Transportation Impact Fees**
 - + \$201,630 collected to date in FY 2025
 - + 44.2% less than what was collected last fiscal year (\$361,174).
 - + Revenue placed in reserve for transportation projects to be spent within 10 years

- **Recreation Impact Fees**
 - + \$624,000 collected to date in FY 2025
 - + 43.5% less than what was collected last fiscal year (\$1,104,000).
 - + Collections since inception of fee (January 2022) ~ \$5,609,000

Policy Analysis: N/A

Financial Analysis: Budgeted revenue in FY 2025 is \$35,589,802 while year to date revenue collected is \$18,580,490 (52% of budgeted). Budgeted revenue includes \$11,143,995 Fund Balance.

Staff Recommendation:

No staff recommendation or Board action is necessary. These are informational only.

Attachments:

1. General Fund Fiscal Year 2025 Expenditure Statement and Revenue Statement (as of January 16, 2025)
2. Sales Tax Collection Report – FY 2025



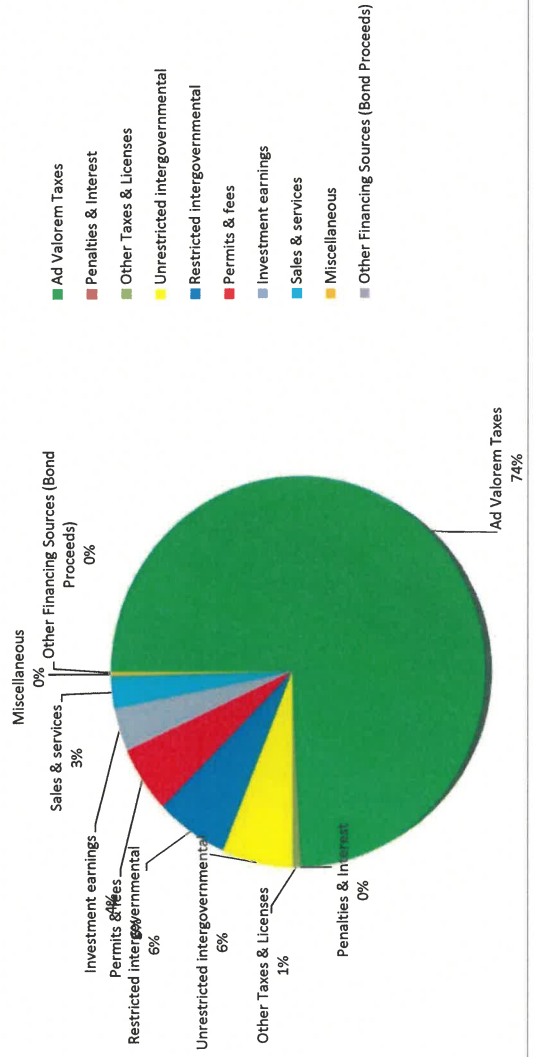
TOWN OF ZEBULON

Revenue Statement: 2024 - 2025
for Accounting Period 6/30/2025
GENERAL FUND

As of 1/16/2025

Revenue Categories	Estimated Revenue	Revenue YTD	% Collected	% of Total Revenue YTD
Ad Valorem Taxes	\$ 14,857,000.00	\$ 13,790,156.69	92.8%	74.2%
Penalties & Interest	\$ 25,000.00	\$ 11,962.49	47.8%	0.1%
Other Taxes & Licenses	\$ 205,500.00	\$ 122,783.00	59.7%	0.7%
Unrestricted intergovernmental	\$ 3,328,000.00	\$ 1,155,635.13	34.7%	6.2%
Restricted intergovernmental	\$ 2,496,514.00	\$ 1,192,285.33	47.8%	6.4%
Permits & fees	\$ 1,659,500.00	\$ 1,039,746.28	62.7%	5.6%
Investment earnings	\$ 500,000.00	\$ 702,997.87	140.6%	3.8%
Sales & services	\$ 1,047,000.00	\$ 500,828.53	47.8%	2.7%
Miscellaneous	\$ 77,293.00	\$ 64,095.14	82.9%	0.3%
Other Financing Sources (Bond Proceeds)	\$ 250,000.00	\$ -	0.0%	0.0%
Fund Balance Appropriated	\$ 11,143,995.00	\$ -	0.0%	0.0%
Total Revenues	\$ 35,589,802.00	\$ 18,580,490.46	52.2%	100%

Town of Zebulon General Fund % of Total Revenue To Date - FY 2025



Sales Tax

FY 2025

Month	Article 39 (1) *	Article 40 (1/2)	Article 42 (1/2)	Article 44 (1/2)	City Hold Harmless	FY 25 Totals	Prior Year (FY 2024)	% Inc (Dec) from Prior Yr
July	\$ 94,211	\$ 40,449	\$ 47,301	(7)	\$ 33,509	\$ 215,463	\$ 204,776	5.2%
August	95,790	42,199	48,135	(1)	35,446	221,569	215,045	3.0%
September	96,772	38,590	48,593	(1)	29,605	213,559	202,153	5.6%
October	97,156	40,855	48,796	(1)	33,142	219,948	206,484	6.5%
November	-	-	-	-	-	-	218,921	-100.0%
December	-	-	-	-	-	-	237,799	-100.0%
January	-	-	-	-	-	-	186,226	-100.0%
February	-	-	-	-	-	-	182,092	-100.0%
March	-	-	-	-	-	-	223,970	-100.0%
April	-	-	-	-	-	-	198,414	-100.0%
May	-	-	-	-	-	-	217,129	-100.0%
June	-	-	-	-	-	-	233,544	-100.0%
Total	\$ 383,928	\$ 162,093	\$ 192,826	(9)	\$ 131,702	\$ 870,540	\$ 828,457	5.1%

Sales Tax

FY 2024

Month	Article 39 (1) *	Article 40 (1/2)	Article 42 (1/2)	Article 44 (1/2)	City Hold Harmless	FY 24 Totals	Prior Year (FY 2023)	% Inc (Dec) from Prior Yr
July	\$ 89,122	\$ 38,656	\$ 44,762	(0)	\$ 32,237	\$ 204,776	\$ 187,311	9.3%
August	93,423	40,589	46,952	0	34,081	215,045	203,381	5.7%
September	89,799	37,462	45,030	0	29,862	202,153	202,821	-0.3%
October	92,175	37,812	46,268	(3)	30,232	206,484	197,664	4.5%
November	99,162	39,407	49,722	2	30,628	218,921	188,169	16.3%
December	105,335	44,069	52,957	(1)	35,438	237,799	225,394	5.5%
January	81,953	34,721	41,092	(2)	28,462	186,226	187,935	-0.9%
February	80,960	33,635	40,579	(1)	26,918	182,092	144,614	25.9%
March	100,097	41,113	50,238	0	32,522	223,970	212,514	5.4%
April	86,723	37,296	43,546	(6)	30,856	198,414	177,123	12.0%
May	94,621	40,932	47,496	(1)	34,082	217,129	207,702	4.5%
June	102,519	43,718	51,490	(0)	35,817	233,544	216,208	8.0%
Total	\$ 1,115,888	\$ 469,409	\$ 560,130	(11)	\$ 381,134	\$ 2,526,551	\$ 2,350,837	7.5%

* Net proceeds of the Article 39 tax are returned to the county of origin.

Monthly Summary of Sales Tax Collected

