

**ZEBULON  
BOARD OF COMMISSIONERS  
AGENDA  
September 9, 2024  
6:00pm**

**1. PLEDGE OF ALLEGIANCE**

**2. APPROVAL OF AGENDA**

**3. RECOGNITIONS AND PROCLAMATIONS**

*A. East Wake High School*

- i. Esmeralda Martinez-Hernandez – Student
- ii. Christopher Howell – Teacher

*B. Proclamation Recognizing National Recovery Month and Empowered Citizens*

**4. PUBLIC COMMENT**

**5. CONSENT**

*A. Minutes*

- i. May 15, 2024 Work Session
- ii. May 21, 2024 Work Session

*B. Finance*

- i. Wake County Tax Report – June 2024

**6. OLD BUSINESS**

*A. Finance*

- i. Non-Profit Funding

*B. Parks and Recreation*

- i. Football Field Use Fees

*C. Governing Board*

- i. Interim Town Managers contract

**7. NEW BUSINESS**

*A. Administration*

- i. Board Appointments
  - a. Parks and Recreation
  - b. Board of Adjustment

*B. General*

- i. May 30, 2024 work session meeting minutes
- ii. Resolution 2025-02 – Barrington 2H & 2I Infrastructure Acceptance
- iii. Resolution 2025-03 – Barrington 3B Infrastructure Acceptance
- iv. May 6, 2024 regular meeting minutes

**8. MANAGERS REPORT**

- A. Monthly Financial Report (attached as addendum)

**9. BOARD COMMENTS**

**10. ADJOURN**

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# ZEBULON

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NORTH CAROLINA

## ***PROCLAMATION RECOGNIZING NATIONAL RECOVERY MONTH AND EMPOWERED CITIZENS***

***WHEREAS***, Substance use and Mental Health Challenges can be very daunting to deal with, and

***WHEREAS***, the youth that struggle with these issues can feel isolated and alone, and

***WHEREAS***, individuals and groups that provide services for our youth to overcome these challenges are invaluable, and

***WHEREAS***, the vision of Wendi Watson founder and CEO of Empowered Citizens, saw the need to provide specific services to the young people ages 13-21 in Zebulon with Evidence Based Practices that support and guide them to recovery, and

***WHEREAS***, in 2015 Empowered Citizens was established creating that safe space for young people to seek help and support to transform their lives; and

***WHEREAS***, in 1989 September was specified as National Recovery Month; and

***WHEREAS***, recognizing those that provide endless support and hope to those recovering from substance use and mental health challenges is so important,

***NOW, THEREFORE***, we, the Board of Commissioners of the Town of Zebulon, do here by recognize September as National Recovery Month and Wendi Watson with Empowered Citizens for the work they do and for providing an invaluable service to the young people in the Zebulon community.

Adopted this the 9<sup>th</sup> day of September, 2024

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*Glenn L. York—Mayor*

*Seal*

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*Lisa M. Markland, CMC—Town Clerk*

# **Zebulon Board of Commissioners**

## **Work Session**

### **Minutes**

**May 15, 2024**

Present: Mayor Glenn York, Jessica Harrison, Quentin Miles, Beverly Clark, Shannon Baxter, Amber Davis, Joe Moore-Town Manager, Lisa Markland-Town Clerk, Chris Ray-Public Works, Bobby Fitts-Finance, Jacqui Boykin-Police, Michael Clark-Planning, Sheila Long-Parks and Recreation, Kaleb Harmon-Communications, Shannon Johnson-Economic Development, Sam Slater-Attorney

Mayor York called the meeting to order at 5:02pm.

#### **APPROVAL OF AGENDA**

Commissioner Harrison made a motion, second by Commissioner Clark to approve the agenda.

Commissioner Davis asked to add discussion about the time change for the work session to the agenda.

Commissioners Harrison amended her motion to approve the addition of the time change to the agenda. The motion was seconded by Commissioner Clark. There was no discussion and the motion passed unanimously.

#### **MINUTES**

Commissioner Baxter asked to change the date on the minutes to March 6.

Commissioner Baxter made a motion, second by Commissioner Harrison to approve the March 6 minutes as amended. There was no discussion and the motion passed unanimously.

Commissioner Baxter made a motion, second by Commissioner Davis to unseal the March 6, 2024 minutes. There was no discussion and the motion passed unanimously.

#### **FY '25 BUDGET**

##### **A. Community and Economic Development**

Shannon Johnson introduced Julie Brenman from Fountain Works. Ms. Brenman reviewed the process for the economic development strategic plan.

Stakeholder engagement opportunities were held, and it was found that residents wanted more and better amenities including full-service restaurants, grocery stores, entertainment options and recreation options. Residents also wanted better access to healthcare, less traffic, public transportation, connectivity, a variety of jobs with better pay, career advancement opportunities and increased access to education and training opportunities. The information was gathered from community conversations, stakeholder meetings, staff meetings, surveys and the information was used to create the vision.

The vision components were big town economy, small town feel, regional player, honoring town history, sustainable, inclusive, vibrant and diverse. The five key focus areas for the economic development strategy were leverage regional assets, inclusive economy, key economic growth areas, support for businesses and economic readiness. Examples were given for reach of the area.

Shannon Johnson stated comments could be submitted to Fountain Works and spoke about the next steps of the plan. The FY'25 budget included an MSD feasibility study and was a digital marketing package and video to leverage regional assets and key economic growth districts.

### **B. Parks and Recreation**

Sheila Long reviewed the recreation impact fees that were collected over the last two years. The vision map from the Parks and Recreation Master Plan was shown and identified areas for future neighborhood parks Ms. Long showed the proposed projects from the master plan. There was discussion about conservation and partnerships with Wake County Parks and Open Space and a map of Wake County open space was shown.

The Play Zebulon Master Plan reflected a low general fund investment and a large bond needed to implement. The impact fees were not intended to solely fund additional parks, new facilities and park expansions. Staff asked the Town attorney to provide information on how recreation impact fees could be used. Mr. Slater explained the constitutional framework on using impact fees. The fees also had to be used to acquire a park or improve an existing park.

Commissioner Baxter asked if the fees could be used toward a splash pad. Sam Slater stated in that example the fees could be used toward a new splash pad that would draw in the community.

Staff shared the proposed CIP projects including sports floor and HVAC replacement at the Community Center, amenity replacement, Beaverdam Creek fence repair/replacement, Zebulon Elementary School trail and stair repair, Wakelon fence extension, Zebulon Community Park site plan, Gill Street Park community engagement and development and open space policy.

Commissioner Baxter asked about the square footage for the Wakelon Elementary School fence extension and staff would provide that information to the Board.

The requested CIP projects included a neighborhood park acquisition, greenway designs, a site plan and tot lot for Whitley Park, and municipal park pickle ball courts. There was discussion about pickleball courts not being located close to neighborhoods because of sound issues. The pending CIP project considerations were Little River Park Phase 1 and Gill Street Park soil remediation. Staff was waiting on the final environmental report for Gill Street Park and a remediation plan would be put in place.

The Board's requested items included bathrooms at Gill Street Park and improved dug out shade structures. Staff requested \$30,000 for community planning in FY25 and \$500,000 for development in FY26 for Gill Street Park. An accurate estimate for the park could not be provided at this time because staff was waiting to evaluate the final environmental report. Staff would work through remediation results and identify options for the Board.

Board of Commissioners  
Minutes  
May 15, 2024

Ms. Long explained staff did site visits to other ball fields and spoke about what they found to accommodate for sun shelter. One option was to raise the fence around the dugout and add a screening to the top and to add sunscreen dispensers. Commissioner Baxter had concerns about sunscreen breaking down in heat with dispensers and asked for examples from other communities. Staff could provide examples and spoke about the two foot screening that could be added to provide additional sun protection.

Mayor York stated there would be a 10-minute recess.

The meeting reconvened at 6:47pm.

Sheila Long asked the Board about their priorities, what items needed to be added to the Capital Improvement Plan and what items had elevated priorities. Commissioners Baxter and Harrison wanted to see the splash pad moved up as a priority. Commissioner Miles suggested adding the splash pad to Whitley Park where the previous pool was located. Staff suggested working with the community on the future location and site plan for a splash pad.

Commissioner Miles stated he agreed with the splash pad and wanted the bathroom at Gill Street Park to be a priority in FY25. Commissioner Harison asked if staff reached out to a local church or business to partner with them for a bathroom. Ms. Long stated she had a meeting with the church about partnership opportunities and would discuss potential access to bathrooms.

Commissioner Baxter asked if the sunshades and splash pad were placed in the budget. Joe Moore stated staff could add funds to the budget for sunshades and do research on costs. There was consensus to add a \$5,000 placeholder for the sunshades.

There was discussion about adding funds for the Gill Street bathroom. Staff showed the funds were under Park Development, but Commissioner Miles wanted the bathrooms listed under a separate line item. Joe Moore stated the soil remediation report was not final and could be incredibly expensive. The funds would be a placeholder and the actual costs would be based upon the report and remediation. There was consensus among the Board to have a separate line item for Gill Street bathroom.

Commissioner Baxter asked about the HVAC replacement at the Community Center. Chris Ray stated there were 13 individual HVAC units and the costs covered replacing the remaining 11 units that were 15 years old.

Commissioner Miles asked if the Barbee trailhead bridge replacement could be pushed to a developer. Michael Clark explained the location of the bridge was not on the development site and the developer could not be required to replace the bridge. It was asked if the Scouts of America could replace the bridge. Sheila Long stated that was something staff could investigate, but there were challenges with the stream and permits.

Commissioner Baxter asked if any of the recreation impact fees were available for Little River Park. Staff stated 100% of the funding could not come from impact fees and some fees from Jasper

Place could be used. Funding for Phase I was already allocated in the budget and progress should be seen in the upcoming fiscal year. There was discussion about the bond process and bond options to fund future projects.

Sheila Long gave details of the Sustainability Committee proposal. It was explained that a sustainability committee was needed to address the Bee City and Tree City initiative. Therefore, staff recommended forming a committee to look at environmental sustainability issues. The proposed makeup of the committee was detailed. The next steps would be adopting a sustainability committee, adopting the Bee City Resolution, submitting the Bee City application, and identify focus and commitment to sustainability. Commissioner Baxter wanted an idea of funding needed to create the committees. Joe Moore explained funding was included in the FY25 budget to further the Tree City and Bee City programs with a Sustainability Committee. The Parks and Recreation Advisory Board was currently acting as the Tree Board, but some members did not want the responsibility of serving on a Tree Board.

Commissioner Harrison wanted to move forward with the committee and wanted a committee specific to sustainability. Commissioner Davis agreed with having a sustainability committee. Staff was asked to get a consensus from advisory board members of who would have interest on serving on a sustainability committee.

There was consensus to create a Sustainability Board that would be over Tree City and Bee City. The Parks and Recreation Advisory Board would serve the role as the Sustainability Board until members were appointed.

### **C. Strategic Plan Grants**

Joe Moore reviewed the Strategic Plan Grant policy.

Mayor York stated there would be a 5-minute recess.

The meeting reconvened at 8:00pm.

Mr. Moore explained it was suggested that the current grant amount was not enough at the Strategic Plan public meeting. There was discussion about start-up support of non-profits. The Board could help with fund-raising events with a fee reduction or waiver. The total budgeted amount for a fee reduction or waiver was \$5,000. Some non-monetary assistance options were identified. The FY25 budget included \$25,000 for Strategic Plan grants.

There was discussion about the amount of non-profits to give funds to, having non-profits report how their funds were spent and the Board's ability to reduce a facility use fee. Commissioner Baxter spoke about giving fee waivers to non-profits. There was detailed explanation about fee waivers, facility use fees and personnel costs for events.

Commissioner Harrison had concerns about being equitable when giving fee waivers. Commissioner Davis also expressed concerns about showing favoritism by granting fee waivers.

Joe Moore stated there would be \$25,000 budgeted for FY25 and the Board would have further policy discussions about how the funds would be allocated.

### **ZEBULON BEARCATS FEE WAIVER REQUEST**

Joe Moore gave an overview of the fee waiver consideration. Sheila Long gave a copy of the Bearcats application and reviewed the Cost Recovery Policy. The Bearcats' anticipated fees were \$4,680. If the existing policy was applied for a certified non-profit organization the reduction would be \$3,276. The anticipated cost to the Town would be \$2,845 plus one-week field closure for overseeding.

The Parks and Recreation Advisory Board recommended changing the language to the Cost Recovery Policy for a 501(c)(3) or school organization to receive the resident rate less 50%. Sheila reviewed the fees from the fee schedule.

Sheila Long stated the Vikings also requested to use the field but were not requesting a fee waiver.

Commissioner Harrison explained the Town's policy reduced fees for non-profits but the Bearcats were not an official non-profit.

Commissioner Clark asked how the rental would affect Town programs. Sheila Long spoke about the limited space but have been working with both organizations to find solutions to support both.

Commissioner Baxter asked if someone from the Bearcats was available to speak. George Roa stated their 501(c)(3) status was still pending and the Bearcats were waiting to get approval. Information about the football program was detailed.

Commissioner Harrison wanted to wait to approve the waiver until the non-profit status was approved. There were concerns about not following policy by approving the waiver. Sam Slater explained it could be structured that if the non-profit designation did not come through the Bearcats would have to pay the money back.

Commissioner Baxter suggested reducing the FY policy change fee to \$2808 and using the fee waiver policy to offer an additional \$1,000 fee waiver bringing fees to \$1,808. Joe Moore stated that would be a policy the Board could adopt and the fee waiver would be an additional policy.

Commissioner Baxter suggested moving the discussion of the fee waiver to the May 21, 2024 meeting.

### **WORK SESSION MEETING TIME CHANGE**

Commissioner Davis asked to move the start of the work sessions from 5:00pm to 6:00pm. Lisa Markland suggested making a motion to move the time of the May 21, 2024 meeting to 6:00pm and a change to the meeting schedule would be added to the next meeting for Board consideration.

Commissioner Baxter made a motion, second by Commissioner Harrison to change the meeting time to 6:00pm for the May 21, 2024 meeting.



Board of Commissioners  
Minutes  
May 15, 2024

**CLOSED SESSION**

Commissioner Miles made a motion to go into closed session. Motion died for lack of a second.

Commissioner Baxter made a motion, second by Commissioner Harrison to move the closed session to the May 21, 2024 meeting. There was no further discussion and the motion passed with a vote 4 to 1 with Commissioners Baxter, Harrison, Davis and Clark in favor and Commissioner Miles in opposition.

Commissioner Baxter made a motion, second by Commissioner Clark to adjourn. There was no discussion and the motion passed unanimously.

Adopted this the 9<sup>th</sup> day of September 2024.

\_\_\_\_\_  
Glenn L. York—Mayor

SEAL

\_\_\_\_\_  
Lisa M. Markland, CMC—Town Clerk

**Zebulon Board of Commissioners**  
**Work Session**  
**Minutes**  
**May 21, 2024**

Present: Mayor Glenn York, Jessica Harrison, Quentin Miles, Beverly Clark, Shannon Baxter, Amber Davis, Joe Moore-Town Manager, Lisa Markland-Town Clerk, Chris Ray-Public Works, Bobby Fitts-Finance, Jacqui Boykin-Police, Michael Clark-Planning, Sheila Long-Parks and Recreation, Kaleb Harmon-Communications, Eric Vernon-Attorney

Mayor York called the meeting to order at 6:04pm.

**APPROVAL OF AGENDA**

Mayor York asked to amend the agenda to add a closed session to consult with the Town Attorney.

Commissioner Clark made a motion, second by Commissioner Harrison to approve the agenda as amended.

Commissioner Baxter stated she thought the closed session should be at the end of the meeting and not at the beginning. There was no further discussion and the motion passed with a vote 4 to 1 with Commissioners Clark, Harrison, Miles and Davis voting in favor and Commissioner Baxter voting in opposition.

**CLOSED SESSION**

The Board needed a motion to go into closed session under NC GS 143-381.11(a)(5) for the purpose to consult with the Town Attorney.

Commissioner Clark made a motion, second by Commissioner Harrison to go into closed session. There was no discussion and the motion passed unanimously.

NOTE: In closed session, Commissioner Baxter made a motion, second by Commissioner Clark to come out of closed session. There was no discussion and the motion passed unanimously.

Commissioner Baxter made a motion, second by Commissioner Davis to amend the agenda to remove the closed session minutes. There was no discussion and the motion passed unanimously.

Commissioner Baxter made a motion, second by Commissioner Miles to add a work session on May 30 at 6:00pm. There was no further discussion and the motion passed with a vote 4 to 1 with Commissioners Davis, Miles, Baxter and Harrison voting in favor and Commissioner Clark voting in opposition.

**FY '25 BUDGET**

*A. Travel and Training*

Joe Moore presented the proposed travel and training budget for the governing board. The budget was increased from \$20,000 in FY24 to \$32,500 in FY25. The budget included \$2,500 for clerk

training, \$4,000 for Board dues and events, \$6,000 for travel and training for the Mayor and \$4,000 for travel and training for each Commissioner. The cost for national conferences, state conferences and continuing education classes were detailed. Commissioner Baxter stated she was fine with knowing there may need to be a budget adjustment if there are additional expenses that arise.

Commissioner Baxter asked about the Administration travel and training budget. Lisa Markland stated that included training for all staff within the Town, supervisory training, as well as training and conferences for the Town Manager, Assistant Town Manager, IT Director, HR staff, and Communications Director.

Commissioner Baxter asked Chris Ray about the line items for travel and training for Public Works. Staff stated one was for property management and the other was for operations and spoke about how those funds were allocated.

*B. Dialogue*

There was discussion about funds for appointed board appreciation events. Commissioner Baxter asked Lisa Markland to find out the costs for board appreciation events at the Mudcats and to share the information at the May 30 meeting.

There was a question raised by Commissioner Baxter about the budgeted fund for the National Register Historic District. Michael Clark stated the funds were for a study for the Barbee Street corridor and landmark buildings along Shepard School Road. Commissioner Baxter also asked about the Main Street Conference. The costs would be for the Main Street Board and Coordinator to attend the conference.

Commissioner Baxter asked about the Main Street promotions line item which staff explained included events, marketing materials and assisting the Parks and Recreation activities within the main street boundaries. It was also stated by Commissioner Baxter that she wanted to make sure the Christmas parade was added to the budget and asked staff to bring estimated costs to the Board at the May 30 meeting.

Commissioner Baxter made a motion, second by Commissioner Harrison to adjourn. There was no discussion and the motion passed unanimously.

Adopted this the 9<sup>th</sup> day of September 2024.

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Glenn L. York—Mayor

SEAL

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Lisa M. Markland, CMC—Town Clerk



**Board of Commissioners**  
P.O. Box 550 • Raleigh, NC 27602

TEL 919 856 6180  
FAX 919 856 5699

SHINICA THOMAS, CHAIR  
SUSAN EVANS, VICE-CHAIR  
VICKIE ADAMSON  
MATT CALABRIA  
DON MIAL  
CHERYL STALLINGS  
TARA WATERS

August 20, 2024

Ms. Lisa Markland  
Town Clerk  
Town of Zebulon  
1003 North Arendell Avenue  
Zebulon, North Carolina 27597

Dear Ms. Markland:

The Wake County Board of Commissioners, in regular session on August 19, 2024, approved and accepted the enclosed tax report for the Town of Zebulon.

The attached adopted actions are submitted for your review; no local board action is required.

Sincerely,

A handwritten signature in black ink, appearing to read "Yvonne Gilyard".

Yvonne Gilyard  
Clerk to the Board  
Wake County Board of Commissioners

Enclosure(s)



Wake County Tax Administration

Rebate Details  
06/01/2024 - 06/30/2024

ZEBULON

DATE

07/08/2024

TIME

4:48:12 PM

PAGE

1

REBATE NUMBER	PROPERTY	CITY TAG	LATE LIST	BILLED INTEREST	TOTAL REBATED	PROCESS DATE	ACCOUNT NUMBER	TAX YEAR	BILLING YEAR	OWNER
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INDIVIDUAL PROPERTY ACCOUNTS

884112	4.89	0.00	0.49	0.00	5.38	06/28/2024	0006862556	2023	2023	000000	WALKER, BRIAN JAMES
883051	292.43	30.00	0.00	0.00	322.43	06/21/2024	0007027898	2024	2023	000000	FALK, MICHAEL BENJAMIN

SUBTOTALS FOR INDIVIDUAL PROPERTY ACCOUNTS 297.32 30.00 0.49 0.00 327.81 2 Properties Rebated

TOTAL REBATED FOR ZEBULON 297.32 30.00 0.49 0.00 327.81 2 Properties Rebated for City



**Wake County Tax Administration**

Rebate Details  
 06/01/2024 - 06/30/2024  
 ZEBULON

DATE 07/08/2024  
 TIME 4:48:12 PM  
 PAGE 1

REBATE NUMBER	PROPERTY	CITY TAG	LATE LIST	BILLED INTEREST	TOTAL REBATED	PROCESS DATE	ACCOUNT NUMBER	TAX YEAR	BILLING YEAR	OWNER
	8,765.64	1,875.00	424.38	0.00	11,065.02			106	Properties Rebated for All Cities	

**Topic:** FY 2025 Strategic Plan Grant Applications  
**Speaker:** Bobby Fitts, Finance Director (introduction of applicants)  
**From:** Bobby Fitts, Finance Director  
**Prepared by:** Bobby Fitts, Finance Director  
**Approved by:** Joseph M. Moore II, PE, Town Manager

**Executive Summary:**

The Board will hear from non-profits seeking Strategic Plan Grants for Fiscal Year 2025.

**Background:**

The Town requested non-profit funding applications from January 8 through January 31, 2024. March's Regular Meeting offers applicants the opportunity to briefly present their organization's purpose and how they intend to use the grant in accomplishing the goals of the Town's Strategic Plan. Funding requests received this year include:

- Preservation Zebulon
- Brown Bag Ministry of Wendell
- Positive Attitude for Life
- East Wake Education Foundation
- Zebulon Shrine Club
- James E. Shephard School Alumni Association
- The North Carolina Community of Coalitions (NC3)

**Information:**

There is no decision before the Board at this time. The presentations are an opportunity for applicants to describe their organization and how their efforts could support the goals of the Zebulon 2030 Strategic Plan.

**Policy Analysis:**

An analysis will be presented to the Board at a later date. Each application will be scored on the following questions/categories:

- Is this service a local government function permitted by statute or charter?
- Does this service support or supplement a Town of Zebulon service?
- Does this service support a community need identified by resolution or policy?
- Does this service strive towards, or achieves, a Town of Zebulon Focus Area goal?

**Staff Recommendation:**

No Staff recommendation. Board decisions are necessary at this time.

**Attachments:**

1. Preservation Zebulon
2. Brown Bag Ministry of Wendell
3. Positive Attitude for Life
4. East Wake Education Foundation
5. Zebulon Shrine Club
6. James E. Shepard School Alumni Association
7. The North Carolina Community of Coalitions (NC3)

TOWN OF ZEBULON  
NON-PROFIT ORGANIZATION  
FUNDING APPLICATION  
FISCAL YEAR 2024-2025

GENERAL INFORMATION		Date: Jun. 25, 2024
Agency/Organization Name: <u>Preservation Zebulon</u>		
Mailing Address: <u>214 East Horton Street</u>		
City: <u>Zebulon</u>	State: <u>NC</u>	Zip Code: <u>27597</u>
Physical Address (if different from mailing):		
Primary Contact & Title: <u>MaryBeth Carpenter, Executive Director</u>		
Phone Number: <u>919 741-2317</u>	Fax Number: <u>N/A</u>	
Email Address: <u>Marybeth@preservationzebulon.org</u>	Website: <u>www.preservationzebulon.org</u>	

ORGANIZATION INFORMATION

1) Is your agency incorporated as a non-profit organization? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No. If "Yes", please attach a copy of your IRS tax-exempt designation.
2) Does your Board of Directors consist of non-paid volunteers? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
3) Number of years organization has been in existence: <u>8</u>
4) Did your organization receive funding from the Town of Zebulon previously? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Skip to questions)
4A) Did you provide an update to the Board of Commissioners? <u>Yes</u>
4B) If you did not provide an update to the Board of Commissioners, attach a description of how the funds were used.
5) List your organization's Mission Statement: <u>Preservation Zebulon advocates for the preservation of historic buildings and landscapes that embody important elements of the history and culture of Zebulon and promotes their conservation for the enrichment of residents and businesses.</u>
6) Describe the service or project you intend to apply this grant towards: <u>Funding will help PZ with its Tax Credit workshop postage and printing for publicity. It will also assist with our Fall Zebulon where we highlight stories of elderly residents on film. It will help us with our Historic Homes tour In April 2025 to promote Zebulon's history, and with our Spring and Fall walking tours. We ask the Town to support our efforts to highlight and promote history and preservation in the area.</u>
7) What Focus Area of Zebulon's Vision 2030 Strategic Plan does this service or project fit within?: (Ref: www.Zebulon2030.com) <input checked="" type="checkbox"/> Small-Town Life <input checked="" type="checkbox"/> Vibrant Downtown <input checked="" type="checkbox"/> Grow Smart
8) How does this service or project accomplish a goal within the checked Focus Area? <u>Small Town Life and Vibrant Downtown– Our historic downtown walking tours promote downtown's history and cultural significance. Our Historic Homes Tour draw people to Zebulon to see these restored structures. Our Zebulon Memory Project captures pre-1980 photos and stories from long-time residents to record and educate people about our past.</u>

Growing Smart – Our National Register historic district allows businesses and houses which contribute to the district to receive tax credits for restoration of their structures, which helps revitalize the area and increases economic development opportunities.



9) How many Zebulon citizens do you serve annually? 800 and 3900 on social media & newsletters

10) In the upcoming year, list the metric(s) you will measure to ensure these grant funds are effectively progressing towards meeting the service goal or need?  
500 applications at future

Annual budget. \$19,357. ; % Administration 4 Sources of revenue by amount and %

Sources of revenue for annual budget (by amount and %):		
Memberships	\$3831	20%
Events	\$11,059	57%
Grants	\$3,500	18%
Donations	\$967	5%

**REQUEST INFORMATION**

Amount requested from Town of Zebulon: \$1,000.

Space requested from Town of Zebulon (Please indicate the location and the duration of your space needs):

Will you have a representative make a brief presentation (no more than 3 minutes) to the Board of Commissioners on Monday, March 4 @ 6:00 PM?  Yes  No

**Certification**

*We certify to the best of our knowledge that the information provided in this application is accurate and complete and is endorsed by the organization.*

*If awarded a grant, I understand and am prepared to make a report to the Board of Commissioners at a Regular Board meeting on how the grant is being used and what progress is being made on the service goal or need. Failure to present can be a factor used in determining if subsequent grants are awarded.*

*We also certify that we have read Session 2021 Senate Bill 473 and can attest that a commissioner also serving on a nonprofit board shall not engage in self-dealing with regard to award of a grant to that nonprofit.*

Signature: Margaret Carpenter

Print Name & Title: Margaret Carpenter, Executive Director

**APPLICATION DUE BACK TO FINANCE OFFICE BY JANUARY 31, 2024**

Please return your application to:  
**Town of Zebulon**  
**Attn: Bobby Fitts**  
**1003 N Arendell Avenue**  
**Zebulon, NC 27597**  
[bfitts@townofzebulon.org](mailto:bfitts@townofzebulon.org)

(D)

Metrics include number of people attending the historic house tours, number of volunteers, and number of structures open for tours, people attending our events ( walking tours, Zebulon annual meeting, Memory Project presentations and Historic Homes Tour (500). Other numbers include households receiving our educational mailings (300) and Facebook followers (3,600) for our events and Zebulon Memory Project stories.

INTERNAL REVENUE SERVICE  
P. O. BOX 2508  
CINCINNATI, OH 45201

DEPARTMENT OF THE TREASURY

Date: FEB 16 2017

PRESERVATION ZEBULON  
214 E HORTON STREET  
ZEBULON, NC 27957-0000

Employer Identification Number:  
81-5112597  
DEN:  
26053441003347  
Contact Person:  
CUSTOMER SERVICE ID# 31954  
Contact Telephone Number:  
(877) 829-5500  
Accounting Period Ending:  
December 31  
Public Charity Status:  
170(b)(1)(A)(vi)  
Form 990/990-EZ/990-N Required:  
Yes  
Effective Date of Exemption:  
November 18, 2016  
Contribution Deductibility:  
Yes  
Addendum Applies:  
No

Dear Applicant:

We're pleased to tell you we determined you're exempt from federal income tax under Internal Revenue Code (IRC) Section 501(c)(3). Donors can deduct contributions they make to you under IRC Section 170. You're also qualified to receive tax deductible bequests, devises, transfers or gifts under Section 2055, 2106, or 2522. This letter could help resolve questions on your exempt status. Please keep it for your records.

Organizations exempt under IRC Section 501(c)(3) are further classified as either public charities or private foundations. We determined you're a public charity under the IRC Section listed at the top of this letter.

If we indicated at the top of this letter that you're required to file Form 990/990-EZ/990-N, our records show you're required to file an annual information return (Form 990 or Form 990-EZ) or electronic notice (Form 990-N, the e-Postcard). If you don't file a required return or notice for three consecutive years, your exempt status will be automatically revoked.

If we indicated at the top of this letter that an addendum applies, the enclosed addendum is an integral part of this letter.

For important information about your responsibilities as a tax-exempt organization, go to [www.irs.gov/charities](http://www.irs.gov/charities). Enter "4221-PC" in the search bar to view Publication 4221-PC, Compliance Guide for 501(c)(3) Public Charities, which describes your recordkeeping, reporting, and disclosure requirements.

Letter 947

TOWN OF ZEBULON  
NON-PROFIT ORGANIZATON  
FUNDING APPLICATION  
FISCAL YEAR 2024-2025

GENERAL INFORMATION		Date:
Agency/Organization Name: Brown Bag Ministry of Wendell		
Mailing Address: PO Box 512		
City: Apex	State: NC	Zip Code: 27502
Physical Address (if different from mailing): 608 Lions Club Rd. Wendell, NC 27591		
Primary Contact & Title: Laura Doherty, Site coordinator		
Phone Number: 919 366-2923	Fax Number:	
Email Address: BBMofWendell@gmail.com	Website: Brownbagministry.org	

ORGANIZATION INFORMATION

1) Is your agency incorporated as a non-profit organization? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No. If "Yes", please attach a copy of your IRS tax-exempt designation.
2) Does your Board of Directors consist of non-paid volunteers? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
3) Number of years organization has been in existence: 14 years our location (19 yrs bbm)
4) Did your organization receive funding from the Town of Zebulon previously? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Skip to questions)
4A) Did you provide an update to the Board of Commissioners?
4B) If you did not provide an update to the Board of Commissioners, attach a description of how the funds were used.
5) List your organization's Mission Statement: We are an all-volunteer 501(c)(3) charitable organization that serves the hungry.
6) Describe the service or project you intend to apply this grant towards: Purchasing food to prepare lunches, which includes a sandwich, fruit and two snack items.
7) What Focus Area of Zebulon's Vision 2030 Strategic Plan does this service or project fit within?: (Ref: www.Zebulon2030.com) <input checked="" type="checkbox"/> Small-Town Life <input type="checkbox"/> Vibrant Downtown <input checked="" type="checkbox"/> Grow Smart
8) How does this service or project accomplish a goal within the checked Focus Area? We provide an opportunity for citizen to become engaged community members through the preparation and/or distribution of weekly bagged lunches that help serve and meet the needs within the community. 200 lunches go directly to the Boys and Girls club, Zebulon and 300 lunches get distributed to the Wake County Housing units in Zebulon.

9) How many Zebulon citizens do you serve annually?
10) In the upcoming year, list the metric(s) you will measure to ensure these grant funds are effectively progressing towards meeting the service goal or need?
Annual budget: \$35,000.00 our <u>Location</u> ; % Administration 0% all volunteers
Sources of revenue for annual budget (by amount and %): Private donations of supplies, bread and fruit, cash donations and NC Food Bank

**REQUEST INFORMATION**

Amount requested from Town of Zebulon:
Space requested from Town of Zebulon (Please indicate the location and the duration of your space needs): N/A

Will you have a representative make a brief presentation (no more than 3 minutes) to the Board of Commissioners on Monday, March 4 @ 6:00 PM?  Yes  No

**Certification**

*We certify to the best of our knowledge that the information provided in this application is accurate and complete and is endorsed by the organization.*

*If awarded a grant, I understand and am prepared to make a report to the Board of Commissioners at a Regular Board meeting on how the grant is being used and what progress is being made on the service goal or need. Failure to present can be a factor used in determining if subsequent grants are awarded.*

*We also certify that we have read Session 2021 Senate Bill 473 and can attest that a commissioner also serving on a nonprofit board shall not engage in self-dealing with regard to award of a grant to that nonprofit.*

Signature: 
Print Name & Title: Laura Doherty, Site Coordinator

**APPLICATION DUE BACK TO FINANCE OFFICE BY JANUARY 31, 2024**

Please return your application to:

**Town of Zebulon**  
**Attn: Bobby Fitts**  
**1003 N Arendell Avenue**  
**Zebulon, NC 27597**  
[rfitts@townofzebulon.org](mailto:rfitts@townofzebulon.org)

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**STAFF ONLY**

- 1) Does the proposed service or project advance upon goals noted within the Zebulon Vision 2030 Strategic Plan?
- 2) Does the organization provide the proposed service or project in a more efficient and effective manner than if provided as a Town of Zebulon service?
- 3) Does Staff recommend award of grant?

***Attachment: Resolution 2020-07; Session 2021 Senate Bill 473***

**RESOLUTION 2020-07**  
**NON-PROFIT FUNDING POLICY**

**1.0 PURPOSE:**

The purpose of this policy is to provide guidelines to Board and staff in making decisions regarding funding requests by local non-profit organizations. The Town of Zebulon wishes to contribute to the efforts of these organizations when their focus areas align with those of the *Town of Zebulon Vision 2030 Strategic Plan*.

**2.0 POLICY STATEMENT:**

The Town of Zebulon is committed to providing financial assistance to those non-profit agencies which supplement the Town services that are provided to its citizens. Non-profit agencies should also focus on one or more of the Town of Zebulon's focus areas defined in the Strategic Plan. The focus areas and priority goals within those areas are:

- ***Focus area 1: Vibrant Downtown*** – We will have a clean, attractive, and historic downtown with a variety of special events, entertainment, shops, restaurants, businesses and housing to serve as the heart of Zebulon, providing a gathering place for the community and a destination for visitors.
  - **Goal:** Revitalize downtown Zebulon
  - **Goal:** Develop events, entertainment, and cultural attractions to draw people downtown
  
- ***Focus area 2: Small Town Life*** – We will preserve and enhance our small-town feel by developing more activities and locations to gather with family and neighbors, making Zebulon a safe, connected, family friendly and walkable town.
  - **Goal:** Promote more community events and festivals
  - **Goal:** Enhance and create more community gathering places
  - **Goal:** Increase the connectedness and walkability in the community
  
- ***Focus area 3: Growing Smart*** – Our community is growing and we will plan for the growth with appropriate staffing and service levels to address land use and traffic concerns; promote economic development and preserve the affordability of our community
  - **Goal:** Plan for appropriate land use to meet transportation and housing needs
  - **Goal:** Pursue economic development opportunities with our community partners
  - **Goal:** Maintain appropriate staffing to support expected service levels for the growing community

**3.0 NON-PROFIT AGENCY ELIGIBILITY FOR TOWN FUNDS:**

It shall be the policy of the Town of Zebulon to consider providing assistance to non-profit agencies meeting the criteria detailed below.

**3.1 Eligibility Requirements**

All non-profits shall verify their non-profit status by submitting an IRS tax exempt letter confirming 501(c)(3) status, and IRS 990 form and a current solicitation license from the North Carolina Secretary of State (or if exempt, the exemption letter). Additionally, non-profit organizations must not have their revenue suspended by the North Carolina Secretary of State or have overdue federal or state taxes.

### **3.2 Accountability**

Non-profits agencies shall adhere to accountability standards set by the Town Manager and as required by law. Compliance with these standards is a criterion for funding. These standards include but are not limited to:

Complying with all financial requirements including the submission of financial statements or audits as specified by the contract.

Complying with program performance measurement requirements including quarterly reports to the Board of Commissioners.

### **3.3 Funding Eligibility**

A non-profit agency must have operated for two years by December 31 of the year preceding the application deadline.

Non-profit agencies may not use a third party arrangement to meet requirements for eligibility.

Only one application per agency will be considered each year.

Grants are for operating costs. The Town will not fund the purchase, maintenance, or repair of capital assets in excess of \$5,000.

### **3.4 Use of Funds**

Application must identify what project or program will use funds.

Application must identify and explain how project or program meets one of the goals of the Strategic Plan.

## **4.0 FUNDING APPLICATION PROCEDURE:**

### **4.1 Application Timeline**

- The application will be available on the Town of Zebulon website ([www.townofzebulon.org](http://www.townofzebulon.org)) the first business day of the calendar year.
- Completed applications must be returned to the Finance Department no later than the date indicated in the public notice. Applications received after the published deadline will be deemed ineligible for that year.
- All applicants must appear and make a brief presentation at the March Board of Commissioners meeting (1<sup>st</sup> Monday of every March).

### **4.2 Application Requirements**

- A completed and signed application is required, along with all required documentation by the advertised deadline.

### **4.3 Funding Award**

- Requests for funding will be handled as part of the annual budget process.

- Town staff will provide analysis to assist the Board of Commissioners with how the applicant aligns with the Town's focus areas and goals.
- The Board of Commissioners will approve final funding for non-profits when the Annual Budget is adopted.
- Applicants will be notified of final funding no later than June 30<sup>th</sup>.
- The total amount of funding available for award to all non-profit organizations shall not exceed \$5,000 for any fiscal year, with no more than \$1,000 awarded to any single non-profit organization.
- Funds distributed by the Town of Zebulon may only be spent as indicated on the application submitted by the organization. In the event funds are not used as indicated, the full amount of funding will be required to be returned to the Town.
- Any organization receiving funding will hold the Town of Zebulon harmless from any claim or liability that may arise or result from the operation of any program or service assisted with funding from the Town of Zebulon.

## **5.0 GRANT REPORTING AND MONITORING**

Each funded agency must present a report to the Board of Commissioners at a Regular Council meeting. Each agency shall also provide a written report documenting funds received and spent. Funded agencies who do not report will not be eligible for consideration of Town grants in the next fiscal year.

## **6.0 EXCEPTIONS**

Other non-profit entities may receive funding at the Board of Commissioners discretion. The Board may consider other factors such as:

- Does it promote an established Town initiative?
- Does the entity provide a public purpose outside the Town's focus areas?
- Does the entity have a substantial presence in the community?
- Does the entity have a proven track record over time of contributions to the benefit of the Town, its institutions and citizens?
- Does the entity stimulate or encourage community participation in non-profit activities?

This policy replaces Resolution 2008-27 adopted December 3, 2007.

This policy shall remain in effect until such time as amended by the Board of Commissioners.

Adopted this the 6<sup>th</sup> day of January, 2020  
Effective this the 6<sup>th</sup> day of January, 2020



GENERAL ASSEMBLY OF NORTH CAROLINA  
SESSION 2021

SENATE BILL 473  
RATIFIED BILL

AN ACT TO ENHANCE THE INDEPENDENCE OF THE ANNUAL AUDIT OF UNITS OF LOCAL GOVERNMENT PREVIOUSLY THE SUBJECT OF AN AUDIT BY THE STATE AUDITOR, TO REQUIRE GARNISHMENT OF CERTAIN MONIES OWED TO AN ELECTED OFFICIAL OF A UNIT OF LOCAL GOVERNMENT IN CERTAIN INSTANCES, TO PROVIDE IT IS A CRIME FOR AN ELECTED OFFICIAL TO MISUSE THE ELECTED OFFICE FOR PERSONAL FINANCIAL GAIN, AND TO PROVIDE THAT A PUBLIC OFFICER ALSO SERVING ON A NONPROFIT BOARD SHALL NOT ENGAGE IN SELF-DEALING WITH REGARD TO AWARD OF PUBLIC AGENCY CONTRACTS TO THAT NONPROFIT.

The General Assembly of North Carolina enacts:

**SECTION 1.(a)** G.S. 147-64.6(c)(14) reads as rewritten:

"(14) The Auditor shall notify the General Assembly, the Governor, the Chief Executive Officer of each agency audited, and other persons as the Auditor deems appropriate that an audit report has been published, its subject and title, and the locations, including State libraries, at which the report is available. The Auditor shall then distribute copies of the report only to those who request a report. The copies shall be in written or electronic form, as requested. The Auditor shall also file a copy of the audit report in the Auditor's office, which will be a permanent public record. In addition, the Auditor may publish on his or her Web site any reports from audits of State agencies not directly conducted by the Auditor. If the report is the result of an investigation of a unit of local government subject to Article 3 of Chapter 159 of the General Statutes, the Auditor shall notify the Local Government Commission that a report has been published with respect to that unit of local government. Nothing in this subsection shall be construed as authorizing or permitting the publication of information whose disclosure is otherwise prohibited by law."

**SECTION 1.(b)** G.S. 159-34 is amended by adding a new subsection to read:

"(d) Notwithstanding the requirement that the auditor is selected by and reports directly to the governing board in subsection (a) of this section, the Commission may require the governing board of a local government or public authority that has been the subject of an investigative audit with findings by the State Auditor, upon receipt of the investigative audit report in accordance with G.S. 147-64.6(c)(14), to select the certified public accountant to conduct the annual audit required by this section from a list of three certified public accountants provided by the Commission. The Commission may instruct the Secretary to issue a request for proposals when selecting a certified public accountant under this subsection. Upon exercise of this authority granted by this subsection, the certified public accountant shall report directly to the Commission and governing board, shall comply with all rules of the Commission, and shall be paid by the governing board. The Commission may exercise the authority granted by this subsection for up to three fiscal years after the release of the investigative report with findings by the State Auditor."



**SECTION 1.(c)** This section is effective when it becomes law and applies to any investigative audit issued by the State Auditor on or after that date. The Local Government Commission, in its discretion, may use the authority established by G.S. 159-34(d), as enacted by this act, with respect to any unit of local government that has been the subject of an investigative audit by the State Auditor on or after July 1, 2018.

**SECTION 2.(a)** G.S. 153A-28 reads as rewritten:

**"§ 153A-28. Compensation of board of commissioners.**

(a) The board of commissioners may fix the compensation and allowances of the ~~chairman~~chair and other members of the board by inclusion of the compensation and allowances in and adoption of the budget ordinance. In addition, if the ~~chairman~~chair or any other member of the board becomes a full-time county official, pursuant to G.S. 153A-81 or 153A-84, ~~his~~the compensation and allowances may be adjusted at any time during ~~his~~that person's service as a full-time official, for the duration of that service.

(b) In addition to any other enforcement available, the finance officer of the county shall garnish compensation paid under this section to any chair or other board member to collect any unpaid monies due to the county for county services until such debt is paid in full using the procedure for attachment and garnishment set forth in G.S. 105-368 as if unpaid monies due to the county for county services were delinquent taxes and that finance officer were the tax collector. The provision of G.S. 105-368(a) that limits the amount of compensation that may be garnished to not more than ten percent (10%) for any one pay period shall not apply to this subsection.

**SECTION 2.(b)** G.S. 160A-64.1 reads as rewritten:

**"§ 160A-64.1. Withholding compensation; money judgment against council member.**

(a) In addition to any other enforcement available, the finance officer of a city that obtains a final judgment awarding monetary damages against an elected or appointed member of the city council, either individually or jointly, may enforce that final judgment using any of the remedies set forth in G.S. 105-366(b) or the procedure for attachment and garnishment set forth in G.S. 105-368 as if final judgment awarding monetary damages were delinquent taxes and that finance officer were the tax collector.

(b) In addition to any other enforcement available, the finance officer of the city shall garnish compensation paid under G.S. 160A-64 to any mayor or council member to collect any unpaid monies due to the city for city services until such debt is paid in full using the procedure for attachment and garnishment set forth in G.S. 105-368 as if unpaid monies due to the city for city services were delinquent taxes and that finance officer were the tax collector.

(c) The provision of G.S. 105-368(a) that limits the amount of compensation that may be garnished to not more than ten percent (10%) for any one pay period shall not apply to this section."

**SECTION 2.(c)** This section is effective when it becomes law and applies to any compensation paid in accordance with G.S. 153A-28 or G.S. 160A-64 on or after that date.

**SECTION 3.(a)** Article 31 of Chapter 14 of the General Statutes is amended by adding a new section to read:

**"§ 14-234.2. Public officers or employees financially benefiting from public position.**

(a) No elected officer of a political subdivision of this State shall solicit or receive personal financial gain from the political subdivision of this State for which that elected officer serves by means of intimidation, undue influence, or misuse of the employees of that political subdivision of this State.

(b) This section shall not apply to financial gain received from a political subdivision of this State for acting in the elected official's official capacity or financial gain received with the approval of the governing board of the political subdivision of this State for which that elected officer serves.

(c) Violation of this section shall be a Class H felony."

**SECTION 3.(b)** This section becomes effective January 1, 2022, and applies to offenses committed on or after that date.

**SECTION 4.(a)** Article 31 of Chapter 14 of the General Statutes is amended by adding a new section to read:

**"§ 14-234.3. Local public officials participating in contracts benefiting nonprofits with which associated.**

**(a)** No public official shall knowingly participate in making or administering a contract, including the award of money in the form of a grant, loan, or other appropriation, with any nonprofit with which that public official is associated. The public official shall record his or her recusal with the clerk to the board, and once recorded, the political subdivision of this State may enter into or administer the contract.

**(b)** Anyone knowingly violating this section shall be guilty of a Class 1 misdemeanor. The exceptions listed in G.S. 14-234(b) and (d1) through (d5) shall apply to this section.

**(c)** A contract entered into in violation of this section is void. A contract that is void under this section may continue in effect until an alternative can be arranged when (i) an immediate termination would result in harm to the public health or welfare and (ii) the continuation is approved as provided in this subsection. A political subdivision of this State that is a party to the contract may request approval from the chair of the Local Government Commission to continue contracts under this subsection.

**(d)** For purposes of this section, the following definitions shall apply:

- (1)** Nonprofit with which that public official is associated. – A nonprofit corporation, organization, or association, incorporated or otherwise, that is organized or operating in the State primarily for religious, charitable, scientific, literary, public health and safety, or educational purposes and of which the public official is a director, officer, or governing board member, excluding any board, entity, or other organization created by this State or by any political subdivision of this State.
- (2)** Participate in making or administering a contract. – Any of the following actions by a public official:
  - a.** Deliberating or voting on the contract.
  - b.** Attempting to influence any other person who is deliberating or voting on the contract.
  - c.** Soliciting or receiving any gift, favor, reward, service, or promise of reward, including a promise of future employment, in exchange for recommending, influencing, or attempting to influence the award of a contract by the political subdivision of the State with the not-for-profit with which that public official is associated.
- (3)** Public official. – Any individual who is elected or appointed to serve on a governing board of a political subdivision of this State. The term shall not include an employee or independent contractor of that political subdivision of this State."

**SECTION 4.(b)** This section becomes effective January 1, 2022, and applies to offenses committed on or after that date.

SECTION 5. Except as otherwise provided, this act is effective when it becomes law.  
In the General Assembly read three times and ratified this the 30<sup>th</sup> day of November, 2021.

s/ Phil Berger  
President Pro Tempore of the Senate

s/ Tim Moore  
Speaker of the House of Representatives

\_\_\_\_\_  
Roy Cooper  
Governor

Approved \_\_\_\_\_m. this \_\_\_\_\_ day of \_\_\_\_\_, 2021



Department of the Treasury  
Internal Revenue Service

P.O. Box 2508  
Cincinnati OH 45201

In reply refer to: 0248462390  
Feb. 16, 2012 LTR 4168C E0  
20-2979998 000000 00

00023500  
BODC: TE

BROWN BAG MINISTRY  
% DAVID LEGARTH  
PO BOX 512  
APEX NC 27502-0512



012558

Employer Identification Number: 20-2979998  
Person to Contact: MR. PATTERSON  
Toll Free Telephone Number: 1-877-829-5500

Dear TAXPAYER:

This is in response to your Feb. 07, 2012, request for information regarding your tax-exempt status.

Our records indicate that you were recognized as exempt under section 501(c)(3) of the Internal Revenue Code in a determination letter issued in MARCH 2006.

Our records also indicate that you are not a private foundation within the meaning of section 509(a) of the Code because you are described in section(s) 509(a)(1) and 170(b)(1)(A)(vi).

Donors may deduct contributions to you as provided in section 170 of the Code. Bequests, legacies, devises, transfers, or gifts to you or for your use are deductible for Federal estate and gift tax purposes if they meet the applicable provisions of sections 2055, 2106, and 2522 of the Code.

Please refer to our website [www.irs.gov/eo](http://www.irs.gov/eo) for information regarding filing requirements. Specifically, section 6033(j) of the Code provides that failure to file an annual information return for three consecutive years results in revocation of tax-exempt status as of the filing due date of the third return for organizations required to file. We will publish a list of organizations whose tax-exempt status was revoked under section 6033(j) of the Code on our website beginning in early 2011.

0248462390  
Feb. 16, 2012 LTR 4168C E0  
20-2979998 000000 00  
00023501

BROWN BAG MINISTRY  
% DAVID LEGARTH  
PO BOX 512  
APEX NC 27502-0512

If you have any questions, please call us at the telephone number shown in the heading of this letter.

Sincerely yours,



S. A. Martin, Operations Manager  
Accounts Management Operations

TOWN OF ZEBULON  
NON-PROFIT ORGANIZATION  
FUNDING APPLICATION  
FISCAL YEAR 2024-2025

GENERAL INFORMATION		Date: 01/30/2024
Agency/Organization Name: Positive Attitude for Life		
Mailing Address: 8601 Six Forks Road, suite 400		
City: Raleigh	State: NC	Zip Code: 27615
Physical Address (if different from mailing): 4933 Stonewood Pines Drive, Knightdale, NC 27545		
Primary Contact & Title: Keturah Powell, Founder and CEO		
Phone Number: 984-297-8281	Fax Number:	
Email Address: kp@palinc.org	Website: www.palinc.org	

ORGANIZATION INFORMATION

1) Is your agency incorporated as a non-profit organization? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No. If "Yes", please attach a copy of your IRS tax-exempt designation.
2) Does your Board of Directors consist of non-paid volunteers? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
3) Number of years organization has been in existence: 17 years
4) Did your organization receive funding from the Town of Zebulon previously? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Skip to questions)
4A) Did you provide an update to the Board of Commissioners?
4B) If you did not provide an update to the Board of Commissioners, attach a description of how the funds were used.
5) List your organization's Mission Statement: Our mission is to provide a holistic approach by educating young women and young men ages 12 to 18 about consciously and positively preparing for their futures with the appropriate tools to better navigate their lives.
6) Describe the service or project you intend to apply this grant towards: Workshops for the youth that will include community service projects, team building activities and excursions, as well as discussions and events geared towards the well being of our youth.
7) What Focus Area of Zebulon's Vision 2030 Strategic Plan does this service or project fit within?: (Ref: www.Zebulon2030.com) <input checked="" type="checkbox"/> Small-Town Life <input type="checkbox"/> Vibrant Downtown <input type="checkbox"/> Grow Smart
8) How does this service or project accomplish a goal within the checked Focus Area? Our mission is to provide a holistic approach by educating young women and young men ages 12 to 18 about consciously and positively preparing for their futures with the appropriate tools to better navigate their lives.

9) How many Zebulon citizens do you serve annually? 10 youth this past year, but more to come
10) In the upcoming year, list the metric(s) you will measure to ensure these grant funds are effectively progressing towards meeting the service goal or need? positive post-surveys from youth and from parents, increase in positive behavior in school
Annual budget: \$98,500 ; % Administration 30%
Sources of revenue for annual budget (by amount and %): Grants: \$35,000 (35.5%), Corporate Sponsors: \$30,000 (30.5%), Fundraisers: \$17,000 (17.2%) Community Sponsors: \$10,000 (10.2%), Memberships: \$6,500 (6.6.%)

**REQUEST INFORMATION**

Amount requested from Town of Zebulon: \$20,000
Space requested from Town of Zebulon (Please indicate the location and the duration of your space needs): Zebulon Recreation Center, 1-2 times/month for the fiscal year


Will you have a representative make a brief presentation (no more than 3 minutes) to the Board of Commissioners on Monday, March 4 @ 6:00 PM?  Yes  No

**Certification**

*We certify to the best of our knowledge that the information provided in this application is accurate and complete and is endorsed by the organization.*

*If awarded a grant, I understand and am prepared to make a report to the Board of Commissioners at a Regular Board meeting on how the grant is being used and what progress is being made on the service goal or need. Failure to present can be a factor used in determining if subsequent grants are awarded.*

*We also certify that we have read Session 2021 Senate Bill 473 and can attest that a commissioner also serving on a nonprofit board shall not engage in self-dealing with regard to award of a grant to that nonprofit.*

Signature: 
Print Name & Title: Keturah Powell, Founder and CEO

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**STAFF ONLY**

- 1) Does the proposed service or project advance upon goals noted within the Zebulon Vision 2030 Strategic Plan?
- 2) Does the organization provide the proposed service or project in a more efficient and effective manner than if provided as a Town of Zebulon service?
- 3) Does Staff recommend award of grant?

***Attachment: Resolution 2020-07; Session 2021 Senate Bill 473***

**RESOLUTION 2020-07  
NON-PROFIT FUNDING POLICY**

**1.0 PURPOSE:**

The purpose of this policy is to provide guidelines to Board and staff in making decisions regarding funding requests by local non-profit organizations. The Town of Zebulon wishes to contribute to the efforts of these organizations when their focus areas align with those of the *Town of Zebulon Vision 2030 Strategic Plan*.

**2.0 POLICY STATEMENT:**

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- ***Focus area 3: Growing Smart*** – Our community is growing and we will plan for the growth with appropriate staffing and service levels to address land use and traffic concerns; promote economic development and preserve the affordability of our community
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It shall be the policy of the Town of Zebulon to consider providing assistance to non-profit agencies meeting the criteria detailed below.

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Complying with program performance measurement requirements including quarterly reports to the Board of Commissioners.

### **3.3 Funding Eligibility**

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Only one application per agency will be considered each year.

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## **4.0 FUNDING APPLICATION PROCEDURE:**

### **4.1 Application Timeline**

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- All applicants must appear and make a brief presentation at the March Board of Commissioners meeting (1<sup>st</sup> Monday of every March).

### **4.2 Application Requirements**

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- Requests for funding will be handled as part of the annual budget process.

- Town staff will provide analysis to assist the Board of Commissioners with how the applicant aligns with the Town's focus areas and goals.
- The Board of Commissioners will approve final funding for non-profits when the Annual Budget is adopted.
- Applicants will be notified of final funding no later than June 30<sup>th</sup>.
- The total amount of funding available for award to all non-profit organizations shall not exceed \$5,000 for any fiscal year, with no more than \$1,000 awarded to any single non-profit organization.
- Funds distributed by the Town of Zebulon may only be spent as indicated on the application submitted by the organization. In the event funds are not used as indicated, the full amount of funding will be required to be returned to the Town.
- Any organization receiving funding will hold the Town of Zebulon harmless from any claim or liability that may arise or result from the operation of any program or service assisted with funding from the Town of Zebulon.

### **5.0 GRANT REPORTING AND MONITORING**

Each funded agency must present a report to the Board of Commissioners at a Regular Council meeting. Each agency shall also provide a written report documenting funds received and spent. Funded agencies who do not report will not be eligible for consideration of Town grants in the next fiscal year.

### **6.0 EXCEPTIONS**

Other non-profit entities may receive funding at the Board of Commissioners discretion. The Board may consider other factors such as:

- Does it promote an established Town initiative?
- Does the entity provide a public purpose outside the Town's focus areas?
- Does the entity have a substantial presence in the community?
- Does the entity have a proven track record over time of contributions to the benefit of the Town, its institutions and citizens?
- Does the entity stimulate or encourage community participation in non-profit activities?

This policy replaces Resolution 2008-27 adopted December 3, 2007.

This policy shall remain in effect until such time as amended by the Board of Commissioners.

Adopted this the 6<sup>th</sup> day of January, 2020  
 Effective this the 6<sup>th</sup> day of January, 2020

GENERAL ASSEMBLY OF NORTH CAROLINA  
SESSION 2021

SENATE BILL 473  
RATIFIED BILL

AN ACT TO ENHANCE THE INDEPENDENCE OF THE ANNUAL AUDIT OF UNITS OF LOCAL GOVERNMENT PREVIOUSLY THE SUBJECT OF AN AUDIT BY THE STATE AUDITOR, TO REQUIRE GARNISHMENT OF CERTAIN MONIES OWED TO AN ELECTED OFFICIAL OF A UNIT OF LOCAL GOVERNMENT IN CERTAIN INSTANCES, TO PROVIDE IT IS A CRIME FOR AN ELECTED OFFICIAL TO MISUSE THE ELECTED OFFICE FOR PERSONAL FINANCIAL GAIN, AND TO PROVIDE THAT A PUBLIC OFFICER ALSO SERVING ON A NONPROFIT BOARD SHALL NOT ENGAGE IN SELF-DEALING WITH REGARD TO AWARD OF PUBLIC AGENCY CONTRACTS TO THAT NONPROFIT.

The General Assembly of North Carolina enacts:

**SECTION 1.(a)** G.S. 147-64.6(c)(14) reads as rewritten:

"(14) The Auditor shall notify the General Assembly, the Governor, the Chief Executive Officer of each agency audited, and other persons as the Auditor deems appropriate that an audit report has been published, its subject and title, and the locations, including State libraries, at which the report is available. The Auditor shall then distribute copies of the report only to those who request a report. The copies shall be in written or electronic form, as requested. The Auditor shall also file a copy of the audit report in the Auditor's office, which will be a permanent public record. In addition, the Auditor may publish on his or her Web site any reports from audits of State agencies not directly conducted by the Auditor. If the report is the result of an investigation of a unit of local government subject to Article 3 of Chapter 159 of the General Statutes, the Auditor shall notify the Local Government Commission that a report has been published with respect to that unit of local government. Nothing in this subsection shall be construed as authorizing or permitting the publication of information whose disclosure is otherwise prohibited by law."

**SECTION 1.(b)** G.S. 159-34 is amended by adding a new subsection to read:

"(d) Notwithstanding the requirement that the auditor is selected by and reports directly to the governing board in subsection (a) of this section, the Commission may require the governing board of a local government or public authority that has been the subject of an investigative audit with findings by the State Auditor, upon receipt of the investigative audit report in accordance with G.S. 147-64.6(c)(14), to select the certified public accountant to conduct the annual audit required by this section from a list of three certified public accountants provided by the Commission. The Commission may instruct the Secretary to issue a request for proposals when selecting a certified public accountant under this subsection. Upon exercise of this authority granted by this subsection, the certified public accountant shall report directly to the Commission and governing board, shall comply with all rules of the Commission, and shall be paid by the governing board. The Commission may exercise the authority granted by this subsection for up to three fiscal years after the release of the investigative report with findings by the State Auditor."



**SECTION 1.(c)** This section is effective when it becomes law and applies to any investigative audit issued by the State Auditor on or after that date. The Local Government Commission, in its discretion, may use the authority established by G.S. 159-34(d), as enacted by this act, with respect to any unit of local government that has been the subject of an investigative audit by the State Auditor on or after July 1, 2018.

**SECTION 2.(a)** G.S. 153A-28 reads as rewritten:

**"§ 153A-28. Compensation of board of commissioners.**

(a) The board of commissioners may fix the compensation and allowances of the ~~chairman~~chair and other members of the board by inclusion of the compensation and allowances in and adoption of the budget ordinance. In addition, if the ~~chairman~~chair or any other member of the board becomes a full-time county official, pursuant to G.S. 153A-81 or 153A-84, ~~his~~the compensation and allowances may be adjusted at any time during ~~his~~that person's service as a full-time official, for the duration of that service.

(b) In addition to any other enforcement available, the finance officer of the county shall garnish compensation paid under this section to any chair or other board member to collect any unpaid monies due to the county for county services until such debt is paid in full using the procedure for attachment and garnishment set forth in G.S. 105-368 as if unpaid monies due to the county for county services were delinquent taxes and that finance officer were the tax collector. The provision of G.S. 105-368(a) that limits the amount of compensation that may be garnished to not more than ten percent (10%) for any one pay period shall not apply to this subsection."

**SECTION 2.(b)** G.S. 160A-64.1 reads as rewritten:

**"§ 160A-64.1. Withholding compensation; money judgment against council member.**

(a) In addition to any other enforcement available, the finance officer of a city that obtains a final judgment awarding monetary damages against an elected or appointed member of the city council, either individually or jointly, may enforce that final judgment using any of the remedies set forth in G.S. 105-366(b) or the procedure for attachment and garnishment set forth in G.S. 105-368 as if final judgment awarding monetary damages were delinquent taxes and that finance officer were the tax collector.

(b) In addition to any other enforcement available, the finance officer of the city shall garnish compensation paid under G.S. 160A-64 to any mayor or council member to collect any unpaid monies due to the city for city services until such debt is paid in full using the procedure for attachment and garnishment set forth in G.S. 105-368 as if unpaid monies due to the city for city services were delinquent taxes and that finance officer were the tax collector.

(c) The provision of G.S. 105-368(a) that limits the amount of compensation that may be garnished to not more than ten percent (10%) for any one pay period shall not apply to this section."

**SECTION 2.(c)** This section is effective when it becomes law and applies to any compensation paid in accordance with G.S. 153A-28 or G.S. 160A-64 on or after that date.

**SECTION 3.(a)** Article 31 of Chapter 14 of the General Statutes is amended by adding a new section to read:

**"§ 14-234.2. Public officers or employees financially benefiting from public position.**

(a) No elected officer of a political subdivision of this State shall solicit or receive personal financial gain from the political subdivision of this State for which that elected officer serves by means of intimidation, undue influence, or misuse of the employees of that political subdivision of this State.

(b) This section shall not apply to financial gain received from a political subdivision of this State for acting in the elected official's official capacity or financial gain received with the approval of the governing board of the political subdivision of this State for which that elected officer serves.

(c) Violation of this section shall be a Class H felony."

**SECTION 3.(b)** This section becomes effective January 1, 2022, and applies to offenses committed on or after that date.

**SECTION 4.(a)** Article 31 of Chapter 14 of the General Statutes is amended by adding a new section to read:

**"§ 14-234.3. Local public officials participating in contracts benefiting nonprofits with which associated.**

(a) No public official shall knowingly participate in making or administering a contract, including the award of money in the form of a grant, loan, or other appropriation, with any nonprofit with which that public official is associated. The public official shall record his or her recusal with the clerk to the board, and once recorded, the political subdivision of this State may enter into or administer the contract.

(b) Anyone knowingly violating this section shall be guilty of a Class 1 misdemeanor. The exceptions listed in G.S. 14-234(b) and (d1) through (d5) shall apply to this section.

(c) A contract entered into in violation of this section is void. A contract that is void under this section may continue in effect until an alternative can be arranged when (i) an immediate termination would result in harm to the public health or welfare and (ii) the continuation is approved as provided in this subsection. A political subdivision of this State that is a party to the contract may request approval from the chair of the Local Government Commission to continue contracts under this subsection.

(d) For purposes of this section, the following definitions shall apply:

(1) Nonprofit with which that public official is associated. – A nonprofit corporation, organization, or association, incorporated or otherwise, that is organized or operating in the State primarily for religious, charitable, scientific, literary, public health and safety, or educational purposes and of which the public official is a director, officer, or governing board member, excluding any board, entity, or other organization created by this State or by any political subdivision of this State.

(2) Participate in making or administering a contract. – Any of the following actions by a public official:

a. Deliberating or voting on the contract.

b. Attempting to influence any other person who is deliberating or voting on the contract.

c. Soliciting or receiving any gift, favor, reward, service, or promise of reward, including a promise of future employment, in exchange for recommending, influencing, or attempting to influence the award of a contract by the political subdivision of the State with the not-for-profit with which that public official is associated.

(3) Public official. – Any individual who is elected or appointed to serve on a governing board of a political subdivision of this State. The term shall not include an employee or independent contractor of that political subdivision of this State."

**SECTION 4.(b)** This section becomes effective January 1, 2022, and applies to offenses committed on or after that date.

SECTION 5. Except as otherwise provided, this act is effective when it becomes law.  
In the General Assembly read three times and ratified this the 30<sup>th</sup> day of November, 2021.

s/ Phil Berger  
President Pro Tempore of the Senate

s/ Tim Moore  
Speaker of the House of Representatives

\_\_\_\_\_  
Roy Cooper  
Governor

Approved \_\_\_\_\_ .m. this \_\_\_\_\_ day of \_\_\_\_\_, 2021



INTERNAL REVENUE SERVICE  
P. O. BOX 2508  
CINCINNATI, OH 45201

DEPARTMENT OF THE TREASURY

Date: OCT 23 2007

POSITIVE ATTITUDE FOR LIFE  
C/O KETURAH BULLOCK  
PO BOX 2303  
GARNER, NC 27529-2303

Employer Identification Number:  
25-1906930  
DLN:  
17053200008047  
Contact Person:  
THOMAS C KOESTER ID# 31116  
Contact Telephone Number:  
(877) 829-5500  
Accounting Period Ending:  
SEPTEMBER 30  
Public Charity Status:  
170(b)(1)(A)(vi)  
Form 990 Required:  
YES  
Effective Date of Exemption:  
JANUARY 18, 2005  
Contribution Deductibility:  
YES  
Addendum Applies:  
NO

Dear Applicant:

We are pleased to inform you that upon review of your application for tax exempt status we have determined that you are exempt from Federal income tax under section 501(c)(3) of the Internal Revenue Code. Contributions to you are deductible under section 170 of the Code. You are also qualified to receive tax deductible bequests, devises, transfers or gifts under section 2055, 2106 or 2522 of the Code. Because this letter could help resolve any questions regarding your exempt status, you should keep it in your permanent records.

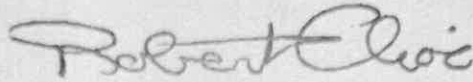
Organizations exempt under section 501(c)(3) of the Code are further classified as either public charities or private foundations. We determined that you are a public charity under the Code section(s) listed in the heading of this letter.

Please see enclosed Publication 4221-PC, Compliance Guide for 501(c)(3) Public Charities, for some helpful information about your responsibilities as an exempt organization.

If you distribute funds to individuals, you should keep case histories showing the recipient's name and address; the purpose of the award; the manner of selection; and the relationship of the recipient to any of your officers, directors, trustees, members, or major contributors.

POSITIVE ATTITUDE FOR LIFE

Sincerely,

A handwritten signature in cursive script that reads "Robert Choi".

Robert Choi  
Director, Exempt Organizations  
Rulings and Agreements

Enclosures: Publication 4221-PC

TOWN OF ZEBULON  
NON-PROFIT ORGANIZATON  
FUNDING APPLICATION  
FISCAL YEAR 2024-2025

GENERAL INFORMATION		Date:
Agency/Organization Name: <u>East Wake Education Foundation</u>		
Mailing Address: <u>PO Box 1404</u>		
City: <u>Wendell</u>	State: <u>NC</u>	Zip Code: <u>27591</u>
Physical Address (if different from mailing): <u>16 East Fourth Street Wendell</u>		
Primary Contact & Title: <u>Shannon White - Executive Director</u>		
Phone Number: <u>919-366-5901</u>	Fax Number:	
Email Address: <u>Swhite@</u>	Website: <u>www.eastwakeeducation</u>	
<u>eastwakeeducationfoundation.org</u>		<u>foundation.org</u>

**ORGANIZATION INFORMATION**

1) Is your agency incorporated as a non-profit organization?  Yes  No. If "Yes", please attach a copy of your IRS tax-exempt designation.

2) Does your Board of Directors consist of non-paid volunteers?  Yes  No

3) Number of years organization has been in existence: 30 years

4) Did your organization receive funding from the Town of Zebulon previously?  Yes  No (Skip to questions)

4A) Did you provide an update to the Board of Commissioners? No

4B) If you did not provide an update to the Board of Commissioners, attach a description of how the funds were used. See Attached

5) List your organization's Mission Statement: See Attached

6) Describe the service or project you intend to apply this grant towards: See Attached

7) What Focus Area of Zebulon's Vision 2030 Strategic Plan does this service or project fit within?:  
(Ref: www.Zebulon2030.com)  
 Small-Town Life  Vibrant Downtown  Grow Smart

8) How does this service or project accomplish a goal within the checked Focus Area?  
See Attached

9) How many Zebulon citizens do you serve annually? <i>See Attached</i>
10) In the upcoming year, list the metric(s) you will measure to ensure these grant funds are effectively progressing towards meeting the service goal or need? <i>See Attached</i>
Annual budget: <i>243,769</i> ; % Administration <i>20%</i>
Sources of revenue for annual budget (by amount and %): <i>See Attached</i>

**REQUEST INFORMATION**

Amount requested from Town of Zebulon: <i>\$1,000</i>
Space requested from Town of Zebulon (Please indicate the location and the duration of your space needs): <i>See Attached</i>

Will you have a representative make a brief presentation (no more than 3 minutes) to the Board of Commissioners on Monday, March 4 @ 6:00 PM?  Yes  No

**Certification**

*We certify to the best of our knowledge that the information provided in this application is accurate and complete and is endorsed by the organization.*

*If awarded a grant, I understand and am prepared to make a report to the Board of Commissioners at a Regular Board meeting on how the grant is being used and what progress is being made on the service goal or need. Failure to present can be a factor used in determining if subsequent grants are awarded.*

*We also certify that we have read Session 2021 Senate Bill 473 and can attest that a commissioner also serving on a nonprofit board shall not engage in self-dealing with regard to award of a grant to that nonprofit.*

Signature: <i>Shannon White</i>
Print Name & Title: <i>Shannon White - Executive Director</i>

**APPLICATION DUE BACK TO FINANCE OFFICE BY JANUARY 31, 2024**

Please return your application to:  
**Town of Zebulon**  
**Attn: Bobby Fitts**  
**1003 N Arendell Avenue**  
**Zebulon, NC 27597**  
[bfitts@townofzebulon.org](mailto:bfitts@townofzebulon.org)

Internal Revenue Service

Department of the Treasury

P. O. Box 2508  
Cincinnati, OH 45201

Date: January 13, 2003

Person to Contact:  
Ms. Benson #31-07273  
Contact Representative  
Toll Free Telephone Number:  
8:00 a.m. to 6:30 p.m. EST  
877-829-5500  
Fax Number:  
513-263-3753  
Federal Identification Number:  
56-1825860

East Wake Education Foundation  
P.O. Box 1404  
Wendell, NC 27591

Dear Madam:

This is in response to your telephone request regarding your organization's tax exempt status.

Our records indicate that a determination letter issued in July 1994, granted your organization exemption from federal income tax under section 501(c)(3) of the Internal Revenue Code. That letter is still in effect.

Based on information subsequently submitted, we classified your organization as one that is not a private foundation within the meaning of section 509(a) of the Code because it is an organization described in sections 509(a)(1) and 170(b)(1)(A)(vi).

This classification was based on the assumption that your organization's operations would continue as stated in the application. If your organization's sources of support, or its character, method of operations, or purposes have changed, please let us know so we can consider the effect of the change on the exempt status and foundation status of your organization.

Your organization is required to file Form 990, Return of Organization Exempt from Income Tax, only if its gross receipts each year are normally more than \$25,000. If a return is required, it must be filed by the 15th day of the fifth month after the end of the organization's annual accounting period. The law imposes a penalty of \$20 a day, up to a maximum of \$10,000, when a return is filed late, unless there is reasonable cause for the delay.

All exempt organizations (unless specifically excluded) are liable for taxes under the Federal Insurance Contributions Act (social security taxes) on remuneration of \$100 or more paid to each employee during a calendar year. Your organization is not liable for the tax imposed under the Federal Unemployment Tax Act (FUTA).

Organizations that are not private foundations are not subject to the excise taxes under Chapter 42 of the Code. However, these organizations are not automatically exempt from other federal excise taxes.

Donors may deduct contributions to your organization as provided in section 170 of the Code. Bequests, legacies, devises, transfers, or gifts to your organization or for its use are deductible for federal estate and gift tax purposes if they meet the applicable provisions of sections 2055, 2106, and 2522 of the Code.

TOWN OF ZEBULON  
NON-PROFIT ORGANIZATION  
FUNDING APPLICATION  
FISCAL YEAR 2024-2025

GENERAL INFORMATION			Date: 1/31/2024
Agency/Organization Name: Zebulon Shrine Club			
Mailing Address: P.O. Box 142			
City: Zebulon	State: NC	Zip Code: 27597	
Physical Address (if different from mailing): 1101 West Gannon			
Primary Contact & Title: Kyle Carson Rental <del>Officer</del> Chairman			
Phone Number: 919 745-9060	Fax Number: None		
Email Address: "NA"	Website: Zebulon Shrine Club on Facebook		

**ORGANIZATION INFORMATION**

- 1) Is your agency incorporated as a non-profit organization?  Yes  No. If "Yes", please attach a copy of your IRS tax-exempt designation. *On file*
- 2) Does your Board of Directors consist of non-paid volunteers?  Yes  No
- 3) Number of years organization has been in existence: *61*
- 4) Did your organization receive funding from the Town of Zebulon previously?  Yes  No (Skip to questions)
- 4A) Did you provide an update to the Board of Commissioners?
- 4B) If you did not provide an update to the Board of Commissioners, attach a description of how the funds were used.
- 5) List your organization's Mission Statement: *Provide a place for Shiner and their families to meet for fellowship and fundraising activities for Arman Temple and Greenville Shriners Hospital. Provide a place for individuals or organizations to meet for a RCIS meal.*
- 6) Describe the service or project you intend to apply this grant towards: *continue funding Greenville Shriners Hospital and Masonic Home for children*
- 7) What Focus Area of Zebulon's Vision 2030 Strategic Plan does this service or project fit within?: (Ref: www.Zebulon2030.com)  
 Small-Town Life  Vibrant Downtown  Grow Smart
- 8) How does this service or project accomplish a goal within the checked Focus Area?  
*Provide patient + care and transportation to a Shiner Hospital at no cost.*

9) How many Zebulon citizens do you serve annually? <i>1 child &amp; Shriners Hospital</i>
10) In the upcoming year, list the metric(s) you will measure to ensure these grant funds are effectively progressing towards meeting the service goal or need?
Annual budget: _____ ; % Administration
Sources of revenue for annual budget (by amount and %):

**REQUEST INFORMATION**

Amount requested from Town of Zebulon: <i>- 0 -</i>
Space requested from Town of Zebulon (Please indicate the location and the duration of your space needs):

Will you have a representative make a brief presentation (no more than 3 minutes) to the Board of Commissioners on Monday, March 4 @ 6:00 PM?  Yes  No

**Certification**

*We certify to the best of our knowledge that the information provided in this application is accurate and complete and is endorsed by the organization.*

*If awarded a grant, I understand and am prepared to make a report to the Board of Commissioners at a Regular Board meeting on how the grant is being used and what progress is being made on the service goal or need. Failure to present can be a factor used in determining if subsequent grants are awarded.*

*We also certify that we have read Session 2021 Senate Bill 473 and can attest that a commissioner also serving on a nonprofit board shall not engage in self-dealing with regard to award of a grant to that nonprofit.*

Signature: <i>Dale Danvers</i>
Print Name & Title: <i>Dale Danvers Treasurer</i>

**APPLICATION DUE BACK TO FINANCE OFFICE BY JANUARY 31, 2024**

Please return your application to:  
**Town of Zebulon**  
**Attn: Bobby Fitts**  
**1003 N Arendell Avenue**  
**Zebulon, NC 27597**  
[bfitts@townofzebulon.org](mailto:bfitts@townofzebulon.org)

TOWN OF ZEBULON  
NON-PROFIT ORGANIZATION  
FUNDING APPLICATION  
FISCAL YEAR 2024-2025

GENERAL INFORMATION		Date: January 31, 2024
Agency/Organization Name: James E. Shepard School Alumni Association		
Mailing Address: P.O. Box 222		
City: Zebulon	State: NC	Zip Code: 27597
Physical Address (if different from mailing): 102 Cedarwood Dr. Lenoir, NC 27549		
Primary Contact & Title: Shirley Snelling - President		
Phone Number: 919-270-0685	Fax Number: N/A	
Email Address: shepardalumni1979@gmail.com	Website: jessaa.org	

ORGANIZATION INFORMATION

1) Is your agency incorporated as a non-profit organization? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No. If "Yes", please attach a copy of your IRS tax-exempt designation.
2) Does your Board of Directors consist of non-paid volunteers? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
3) Number of years organization has been in existence: 1979 - to - Present
4) Did your organization receive funding from the Town of Zebulon previously? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Skip to questions)
4A) Did you provide an update to the Board of Commissioners?
4B) If you did not provide an update to the Board of Commissioners, attach a description of how the funds were used.
5) List your organization's Mission Statement: The James E. Shepard School Alumni Association mission is to enhance and promote the memory and legacy of James E. Shepard school, strengthen membership, provide lifelong connections and promote higher education.
6) Describe the service or project you intend to apply this grant towards: Community Action by providing families that are less fortunate with meals during the holidays. -- goal is for 10 families. Promote and encourage alumni to come back to the community to support scholarship banquet - Provide items needed for community events.
7) What Focus Area of Zebulon's Vision 2030 Strategic Plan does this service or project fit within?: (Ref: www.Zebulon2030.com) <input checked="" type="checkbox"/> Small-Town Life <input checked="" type="checkbox"/> Vibrant Downtown <input type="checkbox"/> Grow Smart
8) How does this service or project accomplish a goal within the checked Focus Area? - Have community events and encourage community to get involve - Invite those that have moved from area to come for special events, example- Scholarship Banquet, and other activities planned and promoted by association.



9) How many Zebulon citizens do you serve annually?	75 to 100
10) In the upcoming year, list the metric(s) you will measure to ensure these grant funds are effectively progressing towards meeting the service goal or need?	Attendance
Annual budget:	5000 <sup>00</sup> ; % Administration 6%
Sources of revenue for annual budget (by amount and %):	Donations & Membership Dues 30%

**REQUEST INFORMATION**

Amount requested from Town of Zebulon:	Maximum amount of grant. 1000
Space requested from Town of Zebulon (Please indicate the location and the duration of your space needs):	Town Events, Parks, Rec. Center (Time Specified)


Will you have a representative make a brief presentation (no more than 3 minutes) to the Board of Commissioners on Monday, March 4 @ 6:00 PM?  Yes  No

**Certification**

*We certify to the best of our knowledge that the information provided in this application is accurate and complete and is endorsed by the organization.*

*If awarded a grant, I understand and am prepared to make a report to the Board of Commissioners at a Regular Board meeting on how the grant is being used and what progress is being made on the service goal or need. Failure to present can be a factor used in determining if subsequent grants are awarded.*

*We also certify that we have read Session 2021 Senate Bill 473 and can attest that a commissioner also serving on a nonprofit board shall not engage in self-dealing with regard to award of a grant to that nonprofit.*

Signature:	
Print Name & Title:	Shirley Snelling / President

**APPLICATION DUE BACK TO FINANCE OFFICE BY JANUARY 31, 2024**

Please return your application to:

**Town of Zebulon**  
**Attn: Bobby Fitts**  
**1003 N Arendell Avenue**  
**Zebulon, NC 27597**  
[rfitts@townofzebulon.org](mailto:rfitts@townofzebulon.org)

TOWN OF ZEBULON  
NON-PROFIT ORGANIZATON  
FUNDING APPLICATION  
FISCAL YEAR 2024-2025

GENERAL INFORMATION		Date: 1/29/2024
Agency/Organization Name: The North Carolina Community of Coalitions (NC3)		
Mailing Address: 12 Iron Gate Drive		
City: Zebulon	State: NC	Zip Code: 27597
Physical Address (if different from mailing): n/a		
Primary Contact & Title: EnJanet Joseph, Co - Founder & Executive Director		
Phone Number: 919.410.8571	Fax Number: n/a	
Email Address: nccommunitycoalitions@gmail.com	Website: nccommunitycoalitions.com	

ORGANIZATION INFORMATION

1) Is your agency incorporated as a non-profit organization? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No. If "Yes", please attach a copy of your IRS tax-exempt designation.
2) Does your Board of Directors consist of non-paid volunteers? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
3) Number of years organization has been in existence: 4 years
4) Did your organization receive funding from the Town of Zebulon previously? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Skip to questions)
4A) Did you provide an update to the Board of Commissioners?
4B) If you did not provide an update to the Board of Commissioners, attach a description of how the funds were used.
5) List your organization's Mission Statement: The mission of the North Carolina Community of Coalitions (NC3) is to empower and support community groups in their efforts to enhance the holistic quality of life for residents of affiliate NC3 communities.
6) Describe the service or project you intend to apply this grant towards:  With a strategic approach that mobilizes residents and collaborates with over 23 organizations across Wake County, NC3 focuses on diversifying stakeholders for a greater impact, providing ongoing comprehensive support in education, housing, safety, economic development, mentorship, health and wellness, and addressing unique community needs. In the Fall of 2023, NC3 established a mutually beneficial partnership with members of the Zebulon Juneteenth Committee to establish the Zebulon Community Alliance (ZCA). As members of the Alliance, ZCA engages the community to enhance the quality of life in the vulnerable areas of Zebulon through investment, outreach and advocacy. As a

collaborative, services include 1) investing time, resources, and programming; 2) organizing opportunities for community members to engage, such as health and resource fairs, and festivals; 3) and conducting focus groups and monthly community meetings to create a platform for residents to advocate for their needs and learn about existing resources. NC3 prides itself in cultivating relationships and trust when engaging residents, in feedback protocols such as engagement, surveys, and stakeholder partnerships to better understand and address these needs.

The Town of Zebulon will be instrumental in supporting the expansion of resident outreach services into the Zebulon community. Due to historical success in outreach measures, NC3 will specifically use grant funding to support ZCA in establish communication channels to include a Call Multiplier robocall system, website design, and marketing on social media platforms, as a means to connect residents to information regarding events, available resources, and programming. To obtain materials needed for community outreach and canvassing (brochures, fliers, volunteer shirts, and feedback tools), and the materials needed to coordinate outreach events in vulnerable neighborhoods and facilitate in person monthly community meetings throughout the year.

7) What Focus Area of Zebulon's Vision 2030 Strategic Plan does this service or project fit within?: (Ref: [www.Zebulon2030.com](http://www.Zebulon2030.com))

Small-Town Life  Vibrant Downtown  Grow Smart

8) How does this service or project accomplish a goal within the checked Focus Area?

Two of the main priority areas of the Zebulon Community Alliance are engaging family, youth and seniors and providing community outreach and gathering events directly in neighborhoods to create empowering opportunities for community cohesion, inclusion and community pride, amongst families and neighbors and to enhance the connection of vulnerable areas with and within the Town of Zebulon.

These efforts will lead to positive and sustainable community change by strengthening family bonds, and promote the holistic well-being of children and families. Focusing on community empowerment and well-being, contributing to a sense of security and cooperation, ultimately fostering a stronger and more resilient community.

9) How many Zebulon citizens do you serve annually? 100+

10) In the upcoming year, list the metric(s) you will measure to ensure these grant funds are effectively progressing towards meeting the service goal or need?

Number of outreach events in neighborhoods

Outreach engagement rate

Number of new members in ZCA group

Number of active members in ZCA group

Referral traffic Social media analytics
Annual budget: \$5,149.19; % Administration (50%)
Sources of revenue for annual budget (by amount and %):  Contributions: 6,000 (50%) Contracts: \$2,000 (20%) Grants: \$ 2,500 (30%)

**REQUEST INFORMATION**

Amount requested from Town of Zebulon: \$1,000
Space requested from Town of Zebulon (Please indicate the location and the duration of your space needs): Zebulon Community Center for Monthly Community Meetings

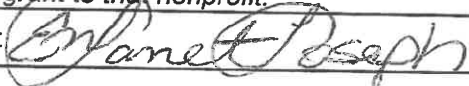
Will you have a representative make a brief presentation (no more than 3 minutes) to the Board of Commissioners on Monday, March 4 @ 6:00 PM?  Yes  No

**Certification**

*We certify to the best of our knowledge that the information provided in this application is accurate and complete and is endorsed by the organization.*

*If awarded a grant, I understand and am prepared to make a report to the Board of Commissioners at a Regular Board meeting on how the grant is being used and what progress is being made on the service goal or need. Failure to present can be a factor used in determining if subsequent grants are awarded.*

*We also certify that we have read Session 2021 Senate Bill 473 and can attest that a commissioner also serving on a nonprofit board shall not engage in self-dealing with regard to award of a grant to that nonprofit.*

Signature: 
Print Name & Title: EnJanet Joseph, Co-founder & Executive Director

**APPLICATION DUE BACK TO FINANCE OFFICE BY JANUARY 31, 2024**

Please return your application to:

**Town of Zebulon**  
**Attn: Bobby Fitts**  
**1003 N Arendell Avenue**  
**Zebulon, NC 27597**  
[rfitts@townofzebulon.org](mailto:rfitts@townofzebulon.org)

INTERNAL REVENUE SERVICE  
P. O. BOX 2508  
CINCINNATI, OH 45201

DEPARTMENT OF THE TREASURY

Date:

**JUN 21 2019**

THE NORTH CAROLINA COMMUNITY OF  
COALITIONS  
71 WOOD GREEN DRIVE  
WENDELL, NC 27591-0000

Employer Identification Number:  
83-4280830

DLN:  
26053561005279

Contact Person:  
CUSTOMER SERVICE ID# 31954

Contact Telephone Number:  
(877) 829-5500

Accounting Period Ending:  
June 30

Public Charity Status:  
509(a)(2)

Form 990/990-EZ/990-N Required:  
Yes

Effective Date of Exemption:  
May 13, 2019

Contribution Deductibility:  
Yes

Addendum Applies:  
No

Dear Applicant:

We're pleased to tell you we determined you're exempt from federal income tax under Internal Revenue Code (IRC) Section 501(c)(3). Donors can deduct contributions they make to you under IRC Section 170. You're also qualified to receive tax deductible bequests, devises, transfers or gifts under Section 2055, 2106, or 2522. This letter could help resolve questions on your exempt status. Please keep it for your records.

Organizations exempt under IRC Section 501(c)(3) are further classified as either public charities or private foundations. We determined you're a public charity under the IRC Section listed at the top of this letter.

If we indicated at the top of this letter that you're required to file Form 990/990-EZ/990-N, our records show you're required to file an annual information return (Form 990 or Form 990-EZ) or electronic notice (Form 990-N, the e-Postcard). If you don't file a required return or notice for three consecutive years, your exempt status will be automatically revoked.

If we indicated at the top of this letter that an addendum applies, the enclosed addendum is an integral part of this letter.

For important information about your responsibilities as a tax-exempt organization, go to [www.irs.gov/charities](http://www.irs.gov/charities). Enter "4221-PC" in the search bar to view Publication 4221-PC, Compliance Guide for 501(c)(3) Public Charities, which describes your recordkeeping, reporting, and disclosure requirements.

Letter 947

THE NORTH CAROLINA COMMUNITY OF

Sincerely,

*Stephen A. Martin*

Director, Exempt Organizations  
Rulings and Agreements

STAFF REPORT  
FOOTBALL FIELD USE FEES  
SEPTEMBER 9, 2024

**Topic:** Football Field Use Fees  
**Speaker:** Sheila Long, Parks & Recreation Director  
**From:** Sheila Long, Parks & Recreation Director  
**Approved by:** Taiwo Jaiyeoba, Interim Town Manager

**Executive Summary:**

The Board of Commissioners requested staff present fee waivers for the Zebulon Aggies Football and Cheer programs for their consideration at the September regular meeting.

**Background:**

The Board of Commissioners received a fee schedule and cost analysis for the Zebulon Bearcats Football and Cheer program field rentals at their May 15<sup>th</sup> work session per their request.

At the August 5<sup>th</sup> meeting, staff was asked to return to the August work session with a cost analysis for field use of the Bearcats and the Aggies. At the Work Session, staff provided the applied rental rate and expected cost to the Town.

At the August 15<sup>th</sup> meeting, staff presented the cost analysis for waivers for the Bearcats and Aggies. The Board waived fees for the Bearcats and requested the Aggies formally request a fee waiver and to revisit the request at the September 9<sup>th</sup> meeting. On August 16<sup>th</sup>, staff confirmed with the Aggies that they received a letter confirming their 501c3 status from the IRS on August 15<sup>th</sup>.

**Discussion:**

The Board will engage in discussion and provide direction to staff regarding fee waivers for the Aggies.

**Policy Analysis:**

The Cost Recovery Policy identifies how to seek fee waivers and directs staff how to apply reduced fees to 501c3/school organizations. By policy staff is authorized to reduce fees to 501c3/school equal to the resident rate less 50%. Per the Cost Recovery policy, requests for reduced rental rates must be submitted in writing and include:

Item	Status
Rental Application	Received
Free or Ticketed Event	Gate fees are not charged for practices
501c documentation	Verified thru IRS
Detailed explanation of how the event will benefit Town of Zebulon Residents directly	Received

The Board has requested to consider fee waivers beyond what the Cost Recovery Policy authorizes staff to implement.

**Fiscal Analysis:**

The Board approved the Fee Schedule and Cost Recovery Policy with the adoption of the budget on June 25<sup>th</sup>. Both policies provide direction to staff when determining field use fees to apply to private parties seeking to use town facilities. Based on the Aggies' field use request, the applied use fee is \$2040 and can be reduced to \$1020 per policy. The collected use fee is revenue applied to General Fund.

# Zebulon Aggies Football and Cheer

August 27, 2024

Dear Mayor and Board of Commissioners,

The Zebulon Aggies Football and Cheer is a local 501c3. Our mission is to transform adversity into opportunity by providing a beacon of hope for the youth in our community. As former players who have faced our own hardships, we understand the transformative power of sport in shaping young lives. By launching a football organization, we aim to fill the void left by the lack of funding from local parks and recreation departments.

We are driven by the profound desire to give back to the community that nurtured us, and to see the cycle of support come full circle. However, we cannot achieve this alone. We seek funding for field space to ensure that every child in our community has the chance to experience the camaraderie, discipline, and joy that football and cheer can bring. Together, let's make it all about the kids and create a brighter future for our community.

Sincerely,

Kiara Staton, Secretary

Zebulon Aggies Football and Cheer



## **THIRD AMENDMENT TO AGREEMENT FOR EMPLOYMENT AS INTERIM TOWN MANAGER**

This Third Amendment to Agreement for Employment as Interim Town Manager (the "Third Amendment"), made and entered into as of September \_\_\_, 2024, by and between the Town of Zebulon, State of North Carolina, a body corporate and politic (the "Town"), and City Development Advisors, LLC on behalf of Taiwo Jaiyeoba, ("Manager") both of whom agree as follows:

### **WITNESSETH:**

WHEREAS, the Town desires to retain the services of said Manager as Interim Town Manager of the Town of Zebulon pursuant to North Carolina General Statutes §§ 160A-147 and 160A-148 and the Charter of the Town of Zebulon (the "Charter").

WHEREAS, the Town and Manager entered into an Agreement for Employment as Interim Town Manager dated June 4, 2024 for a term that expired on July 1, 2024; a First Amendment dated June 25, 2024 that expires on July 31, 2024 and a Second Amendment dated July 26, 2024 that expires on September 10, 2024 (the original Agreement, the First Amendment, Second Amendment and this Third Amendment, are collectively referred to as the "Agreement").

WHEREAS, the Manager has agreed to continue his employment as the Town Manager of the Town, subject to and on the terms, conditions, and provisions agreed to and set forth in this Agreement.

WHEREAS, both parties desire to amend and restate the terms and conditions as described in the Agreement, specifically including an extension of the term, and other matters described in more detail below.

NOW, THEREFORE, in consideration of the mutual covenants herein contained, the parties agree as follows:

### **Section 1. Term**

Section 2, Term, of the original Agreement is hereby deleted in its entirety and replaced as follows:

Subject to earlier termination as provided in Section 8, Subsection D of the original Agreement, the term of this Agreement shall continue, and Manager shall serve as Interim Town Manager, until the earlier of the date a permanent or interim Town Manager commences work or December 5, 2024, whichever occurs earlier. Either party may terminate this Agreement with not less than five (5) business days' notice of their intent to terminate the Agreement.

## **Section 2. Hours of Work. Physical Presence.**

Section 7, Hours of Work, of the original Agreement is hereby deleted in its entirety and replaced as follows:

The parties agree that the Manager commits to approximately twenty (20) hours per week to discharge his duties as Manager. Manager agrees to be physically present for all meetings of the Board of Commissioners or delegate the Manager's authority to the Interim Assistant Manager when the Manager is unavailable. Manager agrees to be either physically or virtually present for weekly management team meetings. Manager agrees to be available by telephone for consultation and to respond to emergency situations. Upon Town request, Manager agrees to provide transition consultation to the permanent or interim Town Manager, Planning Director and/or Assistant Town Manager to promote an orderly transition. Transition consultation services shall be provided in consideration of the same compensation and hours of work as services provided pursuant to the terms of this Agreement.

## **Section 3. General Provisions**

A. Entire Agreement. Upon execution, this Third Amendment supersedes the original Agreement as well as any prior agreements or understandings between the parties, whether written or oral, and this Agreement constitutes the entire agreement between the parties.

B. Binding Effect. Manager's rights and obligations under this Third Amendment are not transferable by assignment or otherwise. The provisions of this Agreement shall be binding upon, inure to the benefit of, and be enforceable by the Manager and his heirs, beneficiaries and personal representatives.

C. Amendment. This Third Amendment shall not be modified or amended except by a vote of the Town Board of Commissioners ("Board") and upon approval of the Board, a written instrument executed by the Manager and the duly authorized representative of the Board. No waiver of any provision of this Third Amendment will be valid unless the waiver is in writing and signed by the waiving party. The failure of a party at any time to require performance of any provision of this Third Amendment will not affect such party's rights at a later time to enforce such provision. No waiver by a party of any breach of this Third Amendment will be deemed to extend to any other breach hereunder or affect in any way any rights arising by virtue of any other breach.

D. Severability. If any provision, or any portion thereof, contained in this Third Amendment is held unconstitutional, invalid or unenforceable, the remainder of this Third Amendment, or portion thereof, shall be deemed severable, shall not be affected and shall remain in full force and effect.

(The remainder of this page is intentionally left blank. The next page is the signature page.)

IN WITNESS THEREOF, the Town Board of Commissioners of Zebulon, North Carolina has caused this Agreement to be signed and executed in its behalf by its Mayor, and duly attested by its Clerk, and the Manager has signed and executed this Agreement, both in duplicate, effective on the date Second above written.

MANAGER

TOWN OF ZEBULON

City Development Advisors, LLC

By: \_\_\_\_\_  
Taiwo Jaiyeoba, Manager

By: \_\_\_\_\_  
Glenn L. York, Mayor

Attest: \_\_\_\_\_  
Lisa M. Markland, Town Clerk

STAFF REPORT  
BOARD APPOINTMENTS  
SEPTEMBER 9, 2024

**Topic:** Board Appointments  
**Speaker:** Lisa Markland, CMC, Human Resources Director  
**From:** Lisa M. Markland, CMC, Human Resources Director  
**Prepared by:** Stacie Paratore, CMC, Human Resources Specialist  
**Approved by:** Taiwo Jaiyeoba, Interim Town Manager

**Executive Summary:**

The Board of Commissioners will consider applicants interested in serving on appointed boards.

**Background:**

The Board of Commissioners appoints members to volunteer Boards (Planning Board, Board of Adjustment, and Parks and Recreation Advisory Board) who make recommendations or decisions in their respective areas. Persons interested in serving on these appointed Boards present applications to the Board of Commissioners for consideration.

**Discussion:**

The discussion among the Board is who to appoint to the advisory boards.

Parks and Recreation Advisory Board

There is **one** vacancy.

The Town received an application from the following:

- Quinton Crosson-Taylor applied for re-appointment.
- Marvin Howell applied for appointment.

Board of Adjustment

There is **one** in-town vacancy, **one** ETJ vacancy, **one** alternate in-town vacancy, and **one** alternate ETJ vacancy.

The Town received an application from the following:

- Taylor Gray applied for appointment as an in-Town member.
- Nicholas Walton applied for appointment as in-Town member (2<sup>nd</sup> choice)

**Policy Impact:**

Municipalities are statutorily required to have a Planning Board to make recommendations on applications for rezoning, text amendments, and comprehensive land use plan updates or rewrites (§ 160D-604) Municipalities are statutorily required to have a Board of Adjustment to hear appeals and variances for development projects (§ 160D-303(b)). Zebulon's Unified Development Ordinance lists processes and procedures to hear appeals (Article 2), and the powers, duties, and composition of the Board of Adjustment (Section 10.2). Much like the Planning Board, the Board of Adjustment requires ETJ representation because, the UDO has jurisdictional authority over both the Corporate Limits and ETJ. A Board of Adjustment without ETJ representation is open to

STAFF REPORT  
BOARD APPOINTMENTS  
SEPTEMBER 9, 2024

challenges of their decisions on variances or appeals. A non-functioning Board of Adjustment is also in violation of state statutes, and effectively dilutes or nullifies the Town's development standards by rendering them unenforceable. Any ETJ representation on a board requires approval from the Zebulon Board of Commissioners and the Wake County Board.

**Fiscal Impact:**

NA

**Staff Recommendation:**

No recommendations on Board appointments.

**Attachments:**

1. Applications

## TOWN OF ZEBULON

### Application for Board Appointments

Please indicate which board you are interested in serving on. If you are interested in more than one board please list them by preference by using numbers (1,2,3). Please attach a copy of your driver's license for proof of eligibility to serve.

Board of Adjustment     
  Planning Board     
  Parks & Recreation Advisory

Name Quinton Crosson-Taylor

Address 401 Golden Plum Ln Zebulon NC 27597

E-mail \_\_\_\_\_ Date of Birth (month & Day) \_\_\_\_\_

Phone (Home) \_\_\_\_\_ (Work) \_\_\_\_\_ (Cell) +17176355096

Employer Siemens Energy Occupation Purchasing

Do you live in the Zebulon Corporate Limits \_\_\_\_\_ ETJ \_\_\_\_\_ Years in Zebulon 4

Do you currently, or have you previously, served on any Town of Zebulon, or other municipal board, commission or committee? Yes  No \_\_\_\_\_ If you answered yes, please list them below (use the back if necessary).

Board/Commission/Committee	From	To
<u>Parks and Recreation Advisory Board</u>	<u>2022</u>	<u>Current</u>
<u>Chamber of Commerce</u>	<u>Spring 2024</u>	<u>Current</u>
<u>Main Street Executive Board</u>	<u>Fall 2023</u>	<u>Current</u>

Have you taken the opportunity to attend any previous board meetings prior to the notice of this vacancy? Yes  No \_\_\_\_\_

Describe extent and meetings attended I have served as a member of the P&R Advisory Board and am now the sitting Vice Chair

Why do you want to serve on this board or commission? My involvement with a person recreation board has not only been personally fulfilling but also I enjoy the work we do for the community.

Why would you be an asset to this board or commission? I believe I will be an asset to this board due to my experience and knowledge for the role and commitment to the departments vision

What are your qualifications? Current Vice Chair, active community member, local business owner

What areas of concern would you like to see the Board or Commission address? My aim is to address the growing members of our community and the ability to communicate the vision and plan to all.

*I certify that the above information is correct. I understand that this is an application to be considered for appointment to a Town of Zebulon board, commission or committee and that final appointment is made by the Zebulon Board of Commissioners. I also understand that any service, if appointed, would be without compensation. This application will remain on file for a period of 6-months from the date of application.*

Date 6/19/24 Signature 

Please fill out the form completely and return it to Stacie Paratore at Town Hall. If you have any question call 919-823-1802.

## TOWN OF ZEBULON Application for Board Appointments

Please indicate which board you are interested in serving on. If you are interested in more than one board please list them by preference by using numbers (1,2,3). Please attach a copy of your driver's license for proof of eligibility to serve.

Board of Adjustment     
  Planning Board     
  Parks & Recreation Advisory

Name Marvin Howell

Address 208 W Horton Street

E-mail Howellmarvin676@gmail.com Date of Birth (month & Day) 12/15

Phone (Home) \_\_\_\_\_ (Work) \_\_\_\_\_ (Cell) 919 235 8799

Employer Retired from Raleigh Parks Recreation Occupation Historic Attractions Manager

Do you live in the Zebulon Corporate Limits  ETJ \_\_\_\_\_ Years in Zebulon 37

Do you currently, or have you previously, served on any Town of Zebulon, or other municipal board, commission or committee? Yes \_\_\_\_\_ No  If you answered yes, please list them below (use the back if necessary).

Board/Commission/Committee	From	To

Have you taken the opportunity to attend any previous board meetings prior to the notice of this vacancy? Yes \_\_\_\_\_ No

Describe extent and meetings attended \_\_\_\_\_

Why do you want to serve on this board or commission? I am interested in helping to develop the future of Parks and Recreation for Zebulon Citizens

Why would you be an asset to this board or commission? I have worked in Parks Recreation and Cultural Resources for 33 1/2 years.

What are your qualifications? I have a degree in Recreation and years of worked experience.

What areas of concern would you like to see the Board or Commission address? Future growth in meeting the needs of the citizens of Zebulon.

*I certify that the above information is correct. I understand that this is an application to be considered for appointment to a Town of Zebulon board, commission or committee and that final appointment is made by the Zebulon Board of Commissioners. I also understand that any service, if appointed, would be without compensation. This application will remain on file for a period of 6-months from the date of application.*

Date 6-17-24 Signature Marvin Howell

Please fill out the form completely and return it to Stacie Paratore at Town Hall. If you have any question call 919-823-1802.

**TOWN OF ZEBULON**  
**Application for Board Appointments**

Please indicate which board you are interested in serving on. If you are interested in more than one board please list them by preference by using numbers (1,2,3). Please attach a copy of your driver's license for proof of eligibility to serve.

Board of Adjustment       Planning Board       Parks & Recreation Advisory

Name Taylor Gray

Address 104 E Sycamore Street Zebulon, NC

E-mail tgray52@nc.rr.com      Date of Birth (month & Day) 02/27/1983

Phone (Home) \_\_\_\_\_ (Work) \_\_\_\_\_ (Cell) 919-754-7713

Employer Vision Contractors Incorporated      Occupation Commercial Const. Proj. Mgr

Do you live in the Zebulon Corporate Limits       ETJ       Years in Zebulon \_\_\_\_\_

Do you currently, or have you previously, served on any Town of Zebulon, or other municipal board, commission or committee? Yes \_\_\_\_\_ No  If you answered yes, please list them below (use the back if necessary).

Board/Commission/Committee	From	To

Have you taken the opportunity to attend any previous board meetings prior to the notice of this vacancy? Yes  No \_\_\_\_\_

Describe extent and meetings attended Town Board meetings

Why do you want to serve on this board or commission? I would like to contribute to the community by getting involved and seeing that land use decisions are fair and equitable, continuing responsible growth and prosperity for Zebulon.

Why would you be an asset to this board or commission? I consider various perspectives with a fair mindset.

I want to know more about land use policy and zoning and I am willing to invest time into understanding and applying the regulations.

What are your qualifications? With my contractor background I have experience with zoning requirements on constructions projects.

What areas of concern would you like to see the Board or Commission address? \_\_\_\_\_

*I certify that the above information is correct. I understand that this is an application to be considered for appointment to a Town of Zebulon board, commission or committee and that final appointment is made by the Zebulon Board of Commissioners. I also understand that any service, if appointed, would be without compensation. This application will remain on file for a period of 6-months from the date of application.*

Date 7/29/2024      Signature Taylor Gray

Please fill out the form completely and return it to Stacie Paratore at Town Hall. If you have any question call 919-823-1802.



## TOWN OF ZEBULON

### Application for Board Appointments

Please indicate which board you are interested in serving on. If you are interested in more than one board please list them by preference by using numbers (1,2,3). Please attach a copy of your driver's license for proof of eligibility to serve.

2 Board of Adjustment     
  1 Planning Board     
  Parks & Recreation Advisory

Name Nicholas Walton

Address 4014 Watsonia Dr. Zebulon, NC, 27597

E-mail NicholasWalton2016w@gmail.com      Date of Birth (Month & Day) 05/10/2002

Phone (Home) 407-748-1213      (Work) \_\_\_\_\_      (Cell) 407-748-1213

Employer Walmart      Occupation Hardlines Team Associate

Do you live in the Zebulon Corporate Limits  ETJ \_\_\_\_\_ Years in Zebulon 10 Months

Do you currently, or have you previously, served on any Town of Zebulon, or other municipal board, commission or committee? Yes \_\_\_\_\_ No  If you answered yes, please list them below (use the back if necessary).

Board/Commission/Committee	From	To

Have you taken the opportunity to attend any previous board meetings prior to the notice of this vacancy? Yes  No \_\_\_\_\_

Describe extent and meetings attended I've attended almost every meeting and spoken in almost every public hearing since December 3, 2023.

Why do you want to serve on this board or commission? I want to serve on a town appointed board because I want to serve my community, elevate my level of civic engagement from what it currently is, and to better advocate this government to implement the Urbanist solutions I dearly want to solve various problems in our town.

Why would you be an asset to this board or commission? I would be an asset to this board because I have immense knowledge of U.S. History and U.S. Politics. Which can be used to inform the board and the town government to make better decisions in terms of zoning, zoning laws, land use, interpretations of zoning maps, etc.

What are your qualifications? I have immense knowledge of U.S. History and U.S. Politics.

What areas of concern would you like to see the Board or Commission address? Our current zoning laws, our inefficient land use, etc.

*I certify that the above information is correct. I understand that this is an application to be considered for appointment to a Town of Zebulon board, commission or committee and that final appointment is made by the Zebulon Board of Commissioners. I also understand that any service, if appointed, would be without compensation. This application will remain on file for a period of 6 months from the date of application.*

Date August 8, 2024

Signature Nicholas Walton

*Please fill out the form completely and return it to Stacie Paratore at Town Hall. If you have any question call 919-823-1802.*

10-19

**Zebulon Board of Commissioners**  
**Work Session**  
**Minutes**  
**May 30, 2024**

Present: Mayor Glenn York, Quentin Miles, Beverly Clark, Shannon Baxter, Amber Davis, Joe Moore-Town Manager, Lisa Markland-Town Clerk, Chris Ray-Public Works, Bobby Fitts-Finance, Jacqui Boykin-Police, Michael Clark-Planning, Sheila Long-Parks and Recreation, Kaleb Harmon-Communications, Shannon Johnson-Economic Development, Eric Vernon-Attorney

Absent: Jessica Harrison

Mayor York called the meeting to order at 6:03pm.

**APPROVAL OF AGENDA**

Commissioner Baxter made a motion, second by Commissioner Davis to approve the agenda. There was no discussion and the motion passed unanimously.

**MEETING SCHEDULE**

Joe Moore presented the meeting schedule amendments:

1. Changing the work session start time to 6:00pm
2. Moving the June 11, 2024 meeting to June 13, 2024
3. Call for Public Hearing on the Bond for June 13, 2024

Commissioner Davis stated East Wake High School's graduation was on June 13 at 4:00pm. There was consensus to move the meeting to June 18.

Commissioner Baxter made a motion, second by Commissioner Clark to conduct the bond public hearing on June 18, 2024 at 6:00pm. There was no discussion and the motion passed unanimously.

Commissioner Baxter made a motion, second by Commissioner Davis to start all work sessions at 6:00pm. There was no discussion and the motion passed unanimously.

**FY '25 BUDGET**

Joe Moore spoke about what was needed for the Christmas parade and suggested scaling back other Town events to accommodate the parade. There were concerns about finding staff availability to be able to hold the event.

Commissioner Baxter stated she had heard from people in the community that they wanted a Christmas parade and wanted to allocate funds to secure volunteers to move forward. Commissioner Miles agreed. There was discussion about working to get support from the community to help hold the parade. Commissioner Clark stated the work should not all fall on staff and had concerns about staff's capacity. Joe Moore explained volunteers required staffing and the

Board of Commissioners  
Minutes  
May 30, 2024

sense of urgency would be the Board's consideration to possibly remove other events to hold the parade.

Commissioner Miles recommended adding \$25,000 to the parade fund and ask local organizations to help with the parade. There was discussion about a establishing a parade policy.

Commissioner Baxter suggested putting out a request for volunteers and talking about the parade again at the June 3, 2024 meeting. Joe Moore stated there was not enough capacity of staff in such a short time and recommended incorporating the items the Board wanted added to the budget public hearing which included the parade, Gill Street bathroom and the splash pad. Commissioner Miles suggested removing Candy Cane Lane to make the parade a priority. Commissioner Clark did not want to sacrifice the Candy Cane Lane event for a parade and felt the event reached more people than a parade.

There was consensus among the Board to bring back the parade discussion to the June 3, 2024 budget public hearing and to budget \$25,000. Staff would bring back information for the Board to consider.

Commissioner Baxter asked about the personnel market adjustments. Staff stated there would be a 3% raise across the board except for hard to recruit positions which would receive 5%. Those positions were primarily Police and Planning. The merit increase was up to 5% based on performance and any lapsed salaries would be rolled back into the general fund.

It was suggested by Commissioner Baxter to remove the bridge repair project on Barbee Street to fund an additional police officer. Staff stated that was an operating expense and the bridge was a capital expense. Any offset to the operating expense would need to be another operating expense. Commissioner Baxter asked to remove the Governing Board's Administrative Assistant and there would be less pressure on HR once a clerk was hired and additional personnel would not be necessary.

There was a question about the costs for the police position. Chief Boykin stated the costs for an additional officer would be approximately \$180,000 including the salary, uniform, benefits vehicle, and equipment. The recommended budget included two watch commanders and a detective. Chief Boykin stated there were currently four positions open.

Commissioner Baxter asked if the market adjustments would help with the recruiting efforts which Chief Boykin explained it made progress to where the department needed to be. Commissioner Baxter stated she wanted employees to be paid what they were worth. The base needed to be \$52,000 to make the Police Department attractive within the labor shed. There was discussion about the time to fill vacant positions. Chief Boykin spoke about the lapsed salaries for the positions that could not be filled immediately. Joe Moore spoke about the ripple effect of increasing starting salary in the Police Department and some recommended positions would need to be eliminated to increase salaries.

Board of Commissioners

Minutes

May 30, 2024

Joe Moore stated staff would include the options for the Board at their budget public hearing. Either there would need to be a tax increase, or recommended positions would need to be removed to fund the changes.

Commissioner Baxter asked about the fund balance percentage. Bobby Fitts stated it would be approximately 40%. Moore explained that did not include the Board's proposed splash pad and Gill Street bathroom project and would bring the percentage down. The Town's fund balance policy was 30%.

There was discussion about the proposed Board's retreat, salaries for the administrative assistant and budget analyst, and professional services. Commissioner Miles asked about the costs for early polling sites. Lisa Markland stated the cost was over \$100,000.

Mayor York stated there would be a five-minute recess.

The meeting resumed at 7:31pm.

Commissioner Baxter asked about the line item for \$130,000 for professional services in the administration budget. Lisa Markland stated she would provide that information to the Board. It was also asked about the safety committee budget which included safety software and conferences.

There was discussion about the website administrator and Kaleb Harmon provided an update on the website services.

Commissioner Baxter suggested an employee survey to assess how the wellness program was being received and utilized. Lisa Markland spoke about the wellness grant from Blue Cross and Blue Shield and how the funds were utilized toward the wellness program.

Commissioner Miles stated he would like a copy of the contract with PEG Media and to look at other options other than contracting with PEG Media.

There was a request for information on the Cost of Housing Infrastructure Program. Joe Moore explained Michael Clark was in attendance and would provide that information to the Board.

Staff was asked to bring back information on the funding that was secured by Deborah Ross' office for expanded bus connectivity in eastern Wake County.

Commissioner Baxter asked about the internal market study audit for salary compensation and Chris Ray stated there was a market study request for Public Works to ensure their salaries were competitive.

There was a question about the Downtown Improvement grants. Shannon Johnson stated there would be façade grants in FY '25, but the Main Street Board was looking into adding additional grants that were done in downtowns. There was discussion about the Main Street Coordinator's position, training and salary.

Board of Commissioners  
Minutes  
May 30, 2024

Commissioner Baxter stated she wanted to discuss what was involved with the fee schedule and what it was charging for at the next meeting.

Staff was asked to have consistency on how CIP projects were prioritized.

Chris Perry was asked to speak about the Knox boxes and why it was the Fire Department that provided them instead of the business owner. The business covered the cost of purchasing and installing the box. The cost to the Town was for a more secure key fob system.

Commissioner Baxter stated she was uncomfortable with the design and construction decision to renovate Town Hall and the Police Station and asked staff to remove it from the budget. Commissioner Miles stated he felt the same way. Joe Moore explained there was \$170,000 allocated for Town Hall and \$110,000 allocated for the Police Department. The goal was to utilize the existing space now to make it usable with cubicles and renovation.

There was discussion about the land acquisition for fire station three. Joe Moore stated those funds were to look for and acquire land for fire station three. Fire station two funds were already in the budget.

Commissioner Baxter stated she did not want to put money into developing a large and expensive renovation project and was agreeable to allocate \$280,000 in funds to make office space in Town Hall and the Police Department useable. Commissioner Baxter did not want the Police kitchen renovated since it was done a couple of years ago. There was a request by Commissioner Baxter to add the reorganization to the June 3 meeting for further discussion.

There was discussion about the pedestrian bridge at Barbee Street. Commissioner Baxter asked to have the \$90,000 in funds removed from the budget.

Commissioner Baxter explained the Board was not comfortable purchasing a new park and wanted more information before a park was purchased. It was requested that a contingency be added that the \$1.05 million in funds would be released only with Board approval.

There were concerns about the \$350,000 allocated funds to complete the green spine with the mudcats leaving. Sheila Long spoke about other options with Phase II of Beaverdam Creek and the Downtown connector segment of the greenway. The funds could begin the design process of the greenway segments.

Commissioner Baxter asked if the splash pad for Community Park was included in the budget. Sheila Long stated it was not because the splash pad was not recommended for funding at any park for next year. The splash pad was included in the Parks and Recreation CIP for the future.

Mayor York stated there would be a ten-minute recess.

The meeting reconvened at 8:46pm.

Board of Commissioners  
Minutes  
May 30, 2024

**CLOSED SESSION**

The Board needed a motion to go into closed session under NC GS 143-381.11(a)(5) for the purpose to consult with the Town Attorney.

Commissioner Baxter made a motion, second by Commissioner Davis to go into closed session. There was no discussion and the motion passed unanimously.

NOTE: In closed session, Commissioner Clark made a motion, second by Commissioner Baxter to come out of closed session. There was no discussion and the motion passed unanimously.

Commissioner Davis made a motion, second by Commissioner Clark to adjourn. There was no discussion and the motion passed unanimously.

Adopted this the 9<sup>th</sup> day of September 2024.

---

Glenn L. York—Mayor

SEAL

---

Lisa M. Markland, CMC—Town Clerk

STAFF REPORT  
RESOLUTION 2025-02  
BARRINGTON PHASE 2-H&I  
ROADWAY, AND STORM DRAINAGE ACCEPTANCE  
SEPTEMBER 9, 2024

**Topic: Resolution 2025-02 – Barrington Phase 2-H&I Infrastructure Acceptance**

Speaker: Chris D. Ray, Public Works Director (if pulled from Consent)  
From: Chris D. Ray, Public Works Director  
Prepared by: Joseph Collins, Public Works Construction Closeout Coordinator  
Approved by: Taiwo Jaiyeoba, Interim Town Manager

**Executive Summary:**

The Board of Commissioners will consider accepting roadway and storm-drainage infrastructure constructed with Barrington Phase 2-H&I for ownership and maintenance by the Town of Zebulon.

**Background:**

The Town of Zebulon follows a practice where the Board considers acceptance (i.e., ownership and maintenance) of roadway and storm drain infrastructure installed in new subdivisions. In advance of this consideration, Staff determines whether the infrastructure complies and meets the conditions of permits and Town standards.

DFC Barrington, LLC has completed the construction of roadway and stormwater infrastructure in Barrington Phase 2-H&I. Barrington Phase 2-H&I will include 49 townhouse lots (with a total of 837 lots for all phases). The plat is expected to be recorded with the Wake County Registrar of Deeds in the coming days. Staff and third-party inspectors/engineers have certified all completed work meets or exceeds Town standards and requirements, and City of Raleigh Utility Standards.

**Discussion:**

The Board must accept the dedication of streets, curb and gutter, street signage, and storm drainage for ownership and maintenance if the dedicated work is consistent with the UDO and complies with the latest version of Town standards.

**Policy Analysis:**

The infrastructure was installed per Special Use Permit 2017-01. The infrastructure complies with the latest version of the “Town of Zebulon Street & Storm Drainage Standards and Specifications” and is consistent with the Town of Zebulon Uniform Development Ordinance section 6.10.4 for dedication of roadways.

Infrastructure Amount and Value

Barrington Phase 2H&I will dedicate one (3) streets totaling 1612’ LF linear feet (~.31 miles), and 1653 linear foot (~ .31 miles) of storm drainage valued at \$281,574.55.

The infrastructure will be added to the Town’s Capital assets (re. Comprehensive Annual Financial Report). Upon acceptance, the Town will own and maintain 40.79 miles of street and 31.41 miles of stormwater pipe.



STAFF REPORT  
RESOLUTION 2025-02  
BARRINGTON PHASE 2-H&I  
ROADWAY, AND STORM DRAINAGE ACCEPTANCE  
SEPTEMBER 9, 2024

Maintenance Cost

In addition to Staff's annual inspection and cleaning efforts, the Town of Zebulon annually contracts the cleaning of approximately 10% (3.1-miles) of the Town's stormwater system (FY '25 Budget \$40,000). This work is done to meet one component of the "Pollution Prevention and Good Housekeeping" objectives of the Town's permit (National Pollutant Discharge Elimination System # NCS000557) with the NC Department of Environmental Quality (the permit regulating how the Town operates its stormwater system). The acceptance of Barrington 2-H&I increases the storm drain network by less than 1%

Streets are designed to have a useful life of 20 years; therefore, the Town needs to repave approximately 2 miles of street annually estimated at \$440,000. The acceptance of Barrington 2-H&I increases the street network by less than 1%

Revenue Streams

Maintenance costs for street paving are supported by the following dedicated revenues:

- a) "Powell Bill" (gas tax) ~ \$ 239,000 (Zebulon's share of this revenue collected by the State has grown proportionally with increasing population and street mileage).
- b) Vehicle Tag Fee ~ \$205,000 (this revenue will grow as new residents register their vehicles within the Town's limits).

There are no dedicated revenue sources to support stormwater maintenance (0.7¢ on the property tax rate is dedicated toward stormwater capital improvements). Staff is reviewing options for the Board to consider a stormwater fee.

Warranty and Insurance

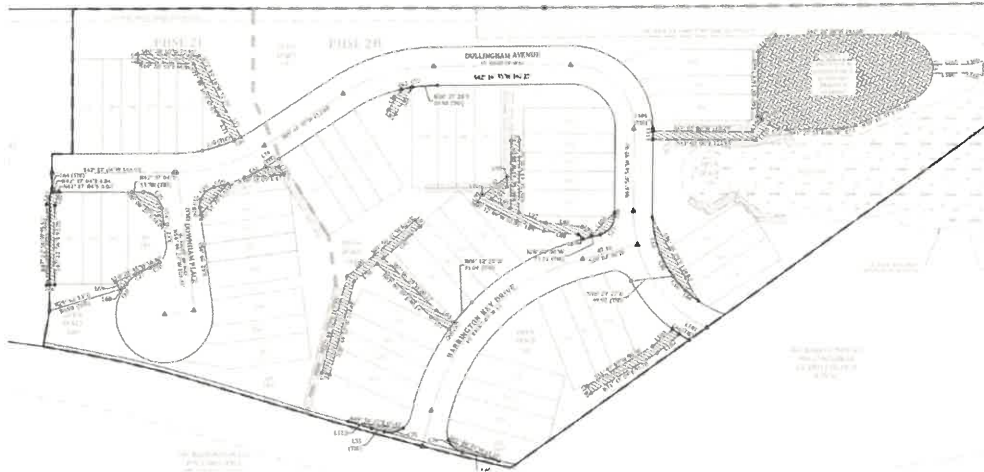
The Town received a one-year warranty on all the dedicated assets. Staff will conduct an 11-month warranty inspection prior to the final overlay to ensure any issues or failures are repaired prior to the final asphalt overlay by the developer.

The Town received a Subdivision Bond # US005404 in the amount of \$339,565.80 from Euler Hermes North America Insurance Company to ensure the final completion of outstanding items (e.g., final asphalt overlay, striping, signage, sidewalks, SCM conversion, landscaping etc.). The final completion of these items are intentionally delayed to minimize the damage that may occur as individual lots are constructed. The Site Improvement Performance Bond is automatically renewed or revised annually to reflect items completed. The Site Improvement Performance Bond remains active until all items have been completed. All inspection and development fees of \$191,059.26 were collected from the developer.

**Staff Recommendation:**

Staff recommends approval of Resolution 2025-02 to accept Barrington 2H&I roadway and storm drainage infrastructure, warranty, and site improvements bond.

STAFF REPORT  
RESOLUTION 2025-02  
BARRINGTON PHASE 2-H&I  
ROADWAY, AND STORM DRAINAGE ACCEPTANCE  
SEPTEMBER 9, 2024



**Attachments:**

1. Closeout Documents

- Engineer certification of roadway lengths and dedicated infrastructure values
- Engineer Certification for Roadways and Stormwater (Also see as-built for certification)
- Engineering Estimate for Letter of Credit/Bond
- Subdivision Bond – Euler Hermes North America Insurance Company
- Developer warranty/guaranty– Stormwater/Roadway
- Developer warranty/guaranty – water and sewer
- Third party engineering reports for sub-grade, stone, and asphalt
- Engineering certification – Water and sewer
- Developer – Release of Lien
- Contractor – Release of Lien
- Notice of conditional acceptance – City of Raleigh
- Proof of payment for streetlights
- Proof of payment for Town Inspections and fees

2. As-Built Drawings

3. Resolution 2025-02

H1

# PRIEST, CRAVEN, & ASSOCIATES, INC.

LAND USE CONSULTANTS

*Approved  
AS  
Submitted  
7/15/24*

May 16, 2024

Mr. Chris Ray, Director  
Town of Zebulon Public Works Department  
450 East Horton Street  
Zebulon, NC 27597

Engineer's Final Certification of Roadway Lengths  
Barrington Subdivision 2 Tracts H and I

I, Tomas F. Craven, as a duly registered Professional Engineer in the state of North Carolina, Certify that Barrington Subdivision 2, construction Tracts H and I includes a total of 1,612 linear feet of public streets according to the following breakdown per street.

No.	Street Name	Classification	Public	Length	Right of Way Width
1	Downham Place	Local Street	Yes	199LF	45'
2	Dullingham Avenue	Local Street	Yes	1,037LF	45'
3	Barrington Key Drive	Local Street	Yes	376 LF	45'

This certification is issued based upon the approved construction drawings, construction staking and as built surveys provided by this office.

*Thomas F Craven*

Thomas F. Craven, PE  
Priest, Craven & Associates, Inc.



PLANNERS / LANDSCAPE DESIGNERS / ENGINEERS / SURVEYORS

3803-B Computer Drive, Suite 104, Raleigh NC 27609, Phone: (919) 781-0300 Fax (919) 782-1288

# PRIEST, CRAVEN, & ASSOCIATES, INC.

## LAND USE CONSULTANTS

July 16, 2024

File - Dedicated Phase 2H and I Cost Estimate

### DEDICATED INFRASTRUCTURE COST ESTIMATE

**PROJECT:**  
Barrington Subdivision Phases 2 H and I - 49 Lots  
Zebulon, North Carolina

**ENGINEERS:**  
Priest, Craven & Associates, Incorporated  
3803 B Computer Drive, Suite 104  
Raleigh, North Carolina 27609

*Not Approved as submitted 7/17/24*

**OWNER:**  
DFC Barrington, LLC  
13000 Sawgrass Village Circle Building 5, Suite 24  
Pointe Vedra Beach, FL 32082

On behalf of DFC Barrington, LLC, an engineer's opinion of cost is herein provided for the total cost of the site improvements for Barrington Phase 2G, that is to be dedicated to the Town of Zebulon. Quantities were taken from construction drawings produced by Priest Craven and Associates, Inc. Pricing was furnished by the Contractor.

ITEM NO	DESCRIPTION	QUANTITY	UNIT PRICE	EXTENDED PRICE
<i>DIVISION I - STREET PAVING AND CURB AND GUTTER</i>				
1	CABC Stone under Asphalt (8")	4407 SY	\$11.95	\$52,663.65
2	CABC Stone under Curb (8")	3186 LF	\$2.10	\$6,690.60
3	30" Concrete Curb and Gutter	3186 LF	\$14.32	\$45,623.52
4	First Lift of Asphalt Local Street	4407 SY	\$11.30	\$49,799.10
<i>DIVISION II - SEDIMENTATION AND EROSION CONTROL</i>				
1	No Bond Item	1 LS	\$0.00	\$0.00
<i>DIVISION III - CLEARING, GRUBBING AND EARTHWORK FOR STREETS</i>				
1	No Bond Item	1 LS	\$0.00	\$0.00
<i>DIVISION IV - WATER MAINS AND SERVICES</i>				
1	No Bond Item	1 LS	\$0.00	\$0.00
<i>DIVISION V - SEWER MAINS AND SERVICES</i>				
1	No Bond Item	1 LS	\$0.00	\$0.00
<i>DIVISION VI - STORM DRAINAGE (PUBLIC ONLY)</i>				
1	15" RCP	279 LF	\$32.50	\$9,067.50
2	18" RCP	228 LF	\$43.40	\$9,895.20
3	24" RCP	492 LF	\$51.50	\$25,338.00
4	30" RCP	591 LF	\$59.25	\$35,016.75
5	Drainage Structures (21)	1 LS	\$30,757.78	\$30,757.78
6	Inlet Castings Standard and Valley	27 EA	\$619.35	\$16,722.45
<i>DIVISION I TOTAL</i>				\$154,776.87
<i>DIVISION II TOTAL</i>				\$0.00
<i>DIVISION III TOTAL</i>				\$0.00
<i>DIVISION IV TOTAL</i>				\$0.00
<i>DIVISION V TOTAL</i>				\$0.00
<i>DIVISION VI TOTAL</i>				\$126,797.68
<b>TOTAL DIVISION I - VI</b>				<b>\$281,574.55</b>

PLANNERS / LANDSCAPE DESIGNERS / ENGINEERS / SURVEYORS

3803-B Computer Drive, Suite 104, Raleigh NC 27609, Phone: (919) 781-0300 Fax (919) 782-1288

# PRIEST, CRAVEN, & ASSOCIATES, INC.

## LAND USE CONSULTANTS

April 23, 2024

File: Phases 2H and I Cost Estimate

### COST ESTIMATE FOR BOND

PROJECT:

Barrington Subdivision Phases 2H and I  
Zebulon North Carolina

ENGINEERS:

Priest, Craven & Associates Incorporated  
3803 B Computer Drive, Suite 104  
Raleigh, North Carolina 27609

OWNER:

DFC Barrington, LLC  
13000 Sawgrass Village Circle Building 5, Suite 24  
Pointe Vedra Beach, FL 32082

To Whom It May Concern,

The following is a cost opinion of the work and material required to complete the installation of sidewalks, 1" asphalt overlay and common area landscaping within the above-mentioned project. The unit prices are based on the costs furnished by the contractor.

*LESTA  
APPROVED AS  
SUBMITTED  
7/15/24*

ITEM NO	DESCRIPTION	QUANTITY	UNIT PRICE	EXTENDED PRICE
<i>DIVISION I - PAVING AND CONCRETE</i>				
1	5' Concrete Sidewalk	15570 SF	\$4.86	\$75,670.20
2	1" 1-2 Asphalt Overlay	4518 SY	\$5.99	\$27,062.82
3	Manhole Adjustments	15 EA	\$450.00	\$6,750.00
4	Watervalve Adjustments	13 EA	\$330.00	\$4,290.00
5	Handicap Ramps	8 EA	\$1,558.75	\$12,470.00
6	Stripping	1 LS	\$2,700.00	\$2,700.00
<i>DIVISION II - Landscaping</i>				
1	Street Trees	28 EA	\$375.00	\$10,500.00
<i>DIVISION III - Stormwater Management and Erosion Control</i>				
1	Seeding and Monthly Maintenance	0.26 AC	\$1,675.00	\$435.50
2	Silt Fencing Removal	2577 LF	\$2.75	\$7,086.75
3	Stormwater Management Pond Conversion	1 LS	\$51,000.00	\$51,000.00
4	Stormwater Management Pond Landscaping	354 Each	\$4.00	\$1,416.00
5	4' Chain Link Fence	478 LF	\$12.00	\$5,736.00
<i>DIVISION IV - Miscellaneous</i>				
1	Geotechnical Allowance at SCM	1 LS	\$1,250.00	\$1,250.00
2	Construction Inspection	14 DAY	\$920.00	\$12,880.00
3	Construction Staking at SCM	1 LS	\$1,250.00	\$1,250.00

*DIVISION I TOTAL* \$128,943.02  
*DIVISION II TOTAL* \$10,500.00  
*DIVISION III TOTAL* \$65,674.25  
*DIVISION IV TOTAL* \$15,380.00

*TOTAL DIVISION I - IV* \$220,497.27  
 CONSTRUCTION CPI @ 10% X \$22,049.73  
 DESIGN / CONSTRUCTION ADM. @ 20% X \$44,099.45  
 CONTINGENCY @ 10% X \$22,049.73

*SUB TOTAL* \$308,696.18  
 110% Multiplier X 110

*ESTIMATED BOND AMOUNT* \$339,565.80

*Thomas F Craven*

Thomas F Craven, PE  
Priest Craven and Associates, Inc.



PLANNERS / LANDSCAPE DESIGNERS / ENGINEERS / SURVEYORS

Let Approved 7/15/24 AS Submitted HLP

SUBDIVISION BOND

Bond No.: US005404

Principal Amount: \$339,565.80

ORIGINAL FOR Planning Dept.

KNOW ALL MEN BY THESE PRESENTS, that we DFC Barrington, LLC 13000 Sawgrass Village Circle, Ponte Vedra Beach, FL 32082 as Principal, and Euler Hermes North America Insurance Company 800 Red Brook Boulevard, Owings Mills, MD 21117 a MD Corporation, as Surety, are held and firmly bound unto Town of Zebulon, 100 North Arendell Avenue, Zebulon, NC 27597 as Obligee, in the penal sum of Three Hundred Thirty Nine Thousand Five Hundred Sixty Five and 80/100 (Dollars) (\$339,565.80), lawful money of the United States of America, for the payment of which well and truly to be made, we bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, DFC Barrington, LLC has agreed to construct in Barrington, Phase 2H & 2I Subdivision, in Zebulon, NC the following improvements:

Complete installation of sidewalks, 1" asphalt overlay, and common area landscaping

NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION IS SUCH, that if the said Principal shall construct, or have constructed, the improvements herein described, and shall save the Obligee harmless from any loss, cost or damage by reason of its failure to complete said work, then this obligation shall be null and void, otherwise to remain in full force and effect, and the Surety, upon receipt of a resolution of the Obligee indicating that the improvements have not been installed or completed, will complete the improvements or pay to the Obligee such amount up to the Principal amount of this bond which will allow the Obligee to complete the improvements. As part of the obligations secured hereby and in addition to the principal amount of the bond, there shall be included costs, reasonable expenses and fees, including reasonable attorneys fees, incurred by Obligee, but these costs shall not exceed ten percent (10%) of the penal sum of the bond.

It is expressly understood and agreed that this bond will continue until released by the Obligee upon written agreement to the Principal.

Upon approval by the Obligee, this instrument may be proportionately reduced as the public improvements are completed.

Signed, sealed and dated, this 24th day of May, 2024.

DFC Barrington, LLC  
Principal  
By: [Signature]

Euler Hermes North America Insurance Company  
Surety  
By: [Signature]  
James I. Moore, Attorney-in-Fact

STATE OF ILLINOIS

COUNTY OF DUPAGE)

On May 24, 2024, before me, Lisa Marotta, a Notary Public in and for said County and State, residing therein, duly commissioned and sworn, personally appeared, James I. Moore known to me to be Attorney-in-Fact of Euler Hermes North America Insurance Company the corporation described in and that executed the within and foregoing instrument, and known to me to be the person who executed the said instrument in behalf of the said corporation, and duly acknowledged to me that such corporation executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year stated in this certificate above.

My Commission Expires, February 7, 2026

Commission No. 946275



Lisa Marotta, Notary Public





Allianz Trade

EULER HERMES NORTH AMERICA INSURANCE COMPANY
800 Red Brook Boulevard \* Owings Mills, Maryland 21117

The number of persons authorized by this Power of Attorney is not more than: 1

POWER OF ATTORNEY

KNOW ALL MEN BY THESE PRESENTS: That EULER HERMES NORTH AMERICA INSURANCE COMPANY (EULER HERMES), a corporation organized and existing under the laws of the state of Maryland, does hereby nominate, constitute, and appoint the person or persons named below, each individually if more than one is named, its true and lawful attorney-in-fact, for and in its name, place, and stead to execute on behalf of EULER HERMES, as surety, any and all bonds, undertakings, and contracts of suretyship, or other written obligations in the nature thereof; provided that the liability of EULER HERMES on any such bond, undertaking, or contract of suretyship executed under this authority shall not exceed the limit stated below.

NAME James I. Moore ADDRESS 1411 Opus Place, Suite 450 LIMIT OF POWER
Downers Grove, IL 60515 \$50,000,000.00
PRINCIPAL OBLIGEE

This Power of Attorney revokes all previous powers issued on behalf of the attorney(s)-in-fact named above.

IN WITNESS WHEREOF, EULER HERMES has caused these presents to be signed and attested by its appropriate officers and its corporate seal hereunder affixed this 1st day of November, 2022.



James Daly, President and CEO-The Americas

Nicholas P. Verna II, Senior Vice President and Regional Head of Surety and Guarantee, Americas

State of Maryland, County of Baltimore

On this 1st day of November, 2022, before me personally appeared Nicholas P. Verna II, to me known, being duly sworn, deposes and says that he resides in Southeastern, PA; that he is Senior Vice President and Regional Head of Surety and Guarantee, Americas of Euler Hermes North America Insurance Company, the Company described herein and which executed the above instrument; that he know the seal of EULER HERMES; that the seal affixed to said instrument is such corporate seal; that it was so affixed by authority of the Board of Directors of EULER HERMES; and that he signed his name thereto by like authority.

Margaret A. Yankovsky
Notary Public

This Commission Expires February 2, 2026

Notarial Seal

This Power of Attorney is granted by authority of the following resolutions adopted by the Board of Directors of EULER HERMES NORTH AMERICA INSURANCE COMPANY (Company) by unanimous consent on October 1, 2015.

RESOLVED: That the President, Executive Vice President, Senior Vice President, Vice President, Secretary, and Assistant Vice Secretary, be and hereby are authorized from time to time to appoint one or more Attorneys-in-Fact to execute on behalf of the company, as surety, and any and all bonds, undertakings and contracts of suretyship, or other written obligation in the nature thereof; to proscribe their respective duties and all respective limits of their authority; and to revoke any such appointment at any time.

RESOLVED FURTHER: That the Company seal and signature of the aforesaid officers and may be affixed by facsimile to any Power of Attorney given for the execution of any bond, undertaking, contract of suretyship, or other written obligations in the nature thereof, such signature and seal when so used being hereby adopted by the Company as the original signature of such officer and the original seal of the Company, to be valid and binding upon the Company with the same force and effect as thought manually affixed.

CERTIFICATION

I, Nicholas P. Verna II, Senior Vice President and Regional Head of Surety & Guarantee, Americas of EULER HERMES NORTH AMERICA INSURANCE COMPANY, do hereby certify that the foregoing Power of Attorney and the Resolutions of the Board of Directors of October 1, 2015, have not been revoked and are now in full force and effect.

Signed and sealed this 24th day of May, 2024.



Nicholas P. Verna II, Senior Vice President and Regional Head of Surety and Guarantee, Americas



~~OK~~  
Approved  
AS  
Submitted  
7/15/24  
#5

**DFC Barrington LLC**

14701 Phillips Hwy

Jacksonville, FL 32256

**DEVELOPERS GUARANTY**

RE: Barrington Phases 2 Section H&I Street and Stormwater Infrastructure One Year Warranty

Dear Mr. Ray,

DFC Barrington LLC guarantees and warrants that all roadways and storm sewer infrastructure installed within Barrington PH2 Sections H&I Subdivision conforms with the Town of Zebulon requirements, and that this warranty remain in full force and effect for a period of one (1) year from the date of the acceptance of work. DFC Barrington LLC hereby agrees to indemnify, defend, and hold harmless the Town from and against all costs, loss, and damages, including attorney fees, arising from the failure of the Work to conform to the Town's standards.

We understand the One Year Warranty shall begin on the date of the issuance of the Letter of Acceptance. These improvements were installed per the approved construction drawings for Phases 2 Sections H&I of the Barrington Subdivision and inspected by the Town of Zebulon.

Witness the following signature and seal this 31 day of August, 2023.

 \_\_\_\_\_ (Signature)

Name: Jonathan Massey

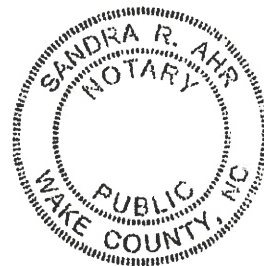
Title: Land Development Manager

Company: Dream Finders Homes – POA for DFC Barrington, LLC

State of NC; County/City of Wake;

Subscribed and sworn to before me this 31 day of August, 2023

My Commission Expires: 16 March 2024



# DFC Barrington LLC

6/30/2023

*Handwritten notes:*  
#10  
✓ ~~Cost~~  
APPROVED  
AS  
SUBMITTED  
7/1/23

Mr. Michael Derby  
City of Raleigh  
Public Utilities Inspections Division  
3324 Lake Woodard Drive  
Raleigh, NC 27604

RE: Barrington Phase 2H&I Water and Sewer Improvements  
One Year Warranty

Dear Mr. Derby,

On behalf of DFC Barrington LLC, as Power of Attorney, we hereby grant the City of Raleigh a one (1) year warranty on all water and sewer improvements located within Phase 2H&I of the Barrington Subdivision, Zebulon, NC.

We understand the One Year Warranty shall begin on the date of the issuance of the Letter of Acceptance. These improvements were installed per the approved construction drawings for Phase 2H&I of the Barrington Subdivision and inspected by the City of Raleigh Public Utilities Department.

Please contact us immediately with any concerns or questions.

Respectfully,

  
Jonathan Massey

Land Manager  
Dream Finders Homes, LLC

CC: Jonathan Massey, [jonathanmassey@dreamfindershomes.com](mailto:jonathanmassey@dreamfindershomes.com)

#7



September 5, 2023

Jonathan Massey  
**H&H Homes**  
7200 Falls of Neuse Road, Suite 202  
Raleigh, NC 27615

Reference: **Summary of Interior Roadways**  
**Barrington**  
Zebulon, North Carolina  
TME Project No.: 211145C

Dear Mr. Massey:

TM Engineering Inc. has provided construction testing services for the interior roadways within Phases 2H and 2I of the Barrington subdivision in Zebulon, North Carolina. These services included the observation of soil subgrade and aggregate base course.

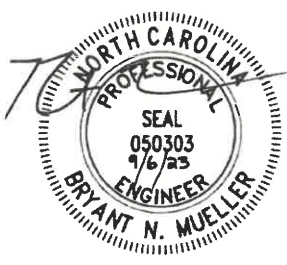
Subgrade conditions were evaluated by proofrolls and probing with a one-half inch diameter steel probe rod. The contractor conducted repairs necessary to provide adequate stability in identified areas to repair near surface issues. The aggregate base course was also evaluated by proofroll with no significant movement observed during proofroll. Periodic stone density tests were performed on the aggregate base course which produced results of 100% compaction at the test locations. Stone depth was checked periodically at testing locations and found to have 8 inches of stone in place. Concrete poured for the curb was sampled and tested for compressive strength. Laboratory break results indicated all concrete sampled met the specified strength. Additionally, conditions observed by proofrolls or testing are representative of the conditions at the time and could be altered for many reasons such as weather or construction traffic. This letter provides a summary of observations documented in our field reports and is not a warranty. No performance guarantee shall be assumed.

TM Engineering appreciates the opportunity to have provided you with our services on this project. Please contact us if you should have questions regarding this report or if we may be of further assistance.

Sincerely,

**TM Engineering, Inc. (C3201)**

Bryant Mueller, P.E.  
NC Registration No. 050303



David Truesdale  
Director of Construction

Project Number: 211145C



**FIELD REPORT**

Project: Barrington West Client: H&H Contractors Date: 02/21/23  
City: Zebulon Forman: Brian Contractor: Kenneth West  
Temperature: 58 Weather Conditions: Sunny Number of Trips: 1 ▼  
Personnel: Erik Notified Brian of Kenneth West of results  
1<sup>st</sup> Trip Arrived: 8:00 am Left: 9:30 am 2<sup>nd</sup> Trip Arrived: \_\_\_\_\_ Left: \_\_\_\_\_

**REMARKS**

TME arrived on site as requested by contractor.

Kenneth West contractors were performing a proof roll of the subgrade of the upper portion of Dullingham Avenue with the city of Zebulon. The proof roll was conducted with a fully loaded dump truck and also probed by the tech with a 1/2" steel probe rod.

Tech found that most of the surface was wet and there were several places that the material was unsuitable. Tech suggested removal of 4 inches of material and replacing with ABC stone. City inspector and contractor agreed. Contractor was to complete removal of material before replacing with ABC stone.

Signature: 

TME's presence on site is to perform specific services limited to that scheduled by others based on the understanding of our agreement with our client. This report is not an acceptance or approval of site activities. Test results and inspections are representative of our observations only while onsite at that specific time and location and may vary at other locations. The frequency of testing is based on timely scheduling of work by others and properly conveying progress of work in progress. At no time will TME be responsible for Safety considerations for other parties on the site.

Project Number: 211145C



● - Proof Roll

### FIELD REPORT ATTACHMENTS

Project: **Barrington West**

Client: **H&H Contractors**

Date: **02/21/23**

**ASUNROCK**  
SUNBELT SURROCK LLC

ORDER #: 7700

TICKET NUMBER  
21-1145C-000001

CALL TO: 251-616-8888  
BARRINGTON WEST, INC.  
PO BOX 1000000000000000  
SARASOTA, FL 34232

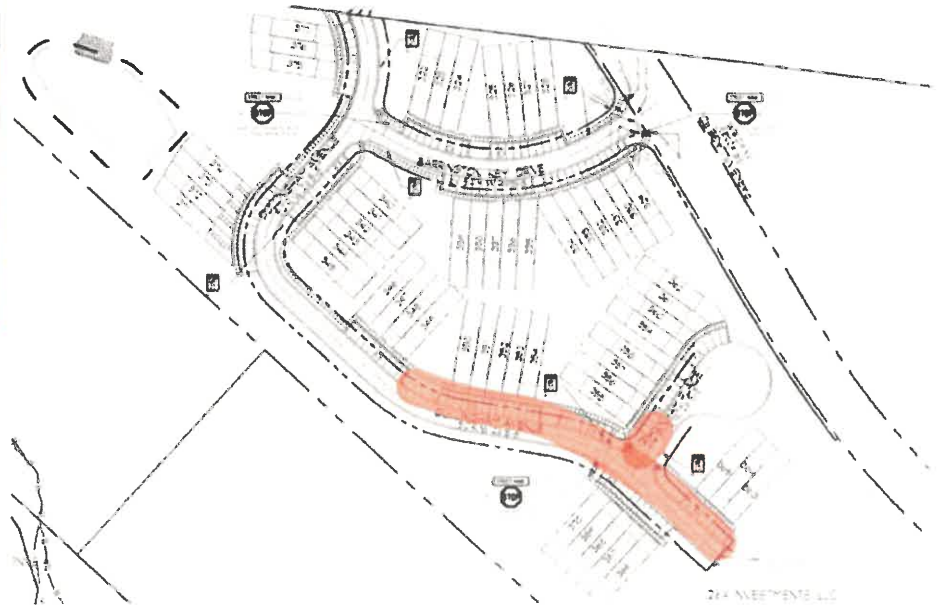
TRUCK 0633 DATE 02/23/23 COMMENTS  
LARGE 9' - INTERMEDIATE  
SUNBELT SURROCK

PROJECT NUMBER: 21-1145C-000001

ITEM	QTY	UNIT	PRICE	TOTAL	DATE
1	10.00	HR	24.00	240.00	02/23/23
2	1.00	HR	12.00	12.00	02/23/23
3	1.00	HR	12.00	12.00	02/23/23
4	1.00	HR	12.00	12.00	02/23/23
5	1.00	HR	12.00	12.00	02/23/23
6	1.00	HR	12.00	12.00	02/23/23
7	1.00	HR	12.00	12.00	02/23/23
8	1.00	HR	12.00	12.00	02/23/23
9	1.00	HR	12.00	12.00	02/23/23
10	1.00	HR	12.00	12.00	02/23/23

SALES TAX: 7.50%  
TOTAL: 300.00

APPROVED BY: [Signature]



All locations should be considered approximate and were not surveyed.



**FIELD REPORT**

Project: Barrington West Client: H&H Contractors Date: 02/22/23  
 City: Zebulon Forman: Brian Contractor: Kenneth West  
 Temperature: 75 Weather Conditions: Sunny Number of Trips: 1 ▼  
 Personnel: Erik Notified Brian of Kenneth West of results  
 1<sup>st</sup> Trip Arrived: 2:30 pm Left: 3:30 pm 2<sup>nd</sup> Trip Arrived: \_\_\_\_\_ Left: \_\_\_\_\_

**REMARKS**

TME arrived on site as requested by contractor.

Kenneth West contractors were performing a proof roll of the subgrade of the cul-de-sac of Downham Place with the city of Zebulon. The proof roll was conducted with a fully loaded dump truck and also probed by the tech with a 1/2" steel probe rod.

Tech found a few small soft areas that needed to be cut out. Tech suggested removal of 4 inches of material and replacing with ABC stone. There was also one area of a utility crossing that was very soft. Tech suggested cutting one foot out of that area, placing geo-grid, and filling with extra ABC stone. City inspector and contractor agreed. Contractor was to complete removal of material before replacing with ABC stone.

Signature: 

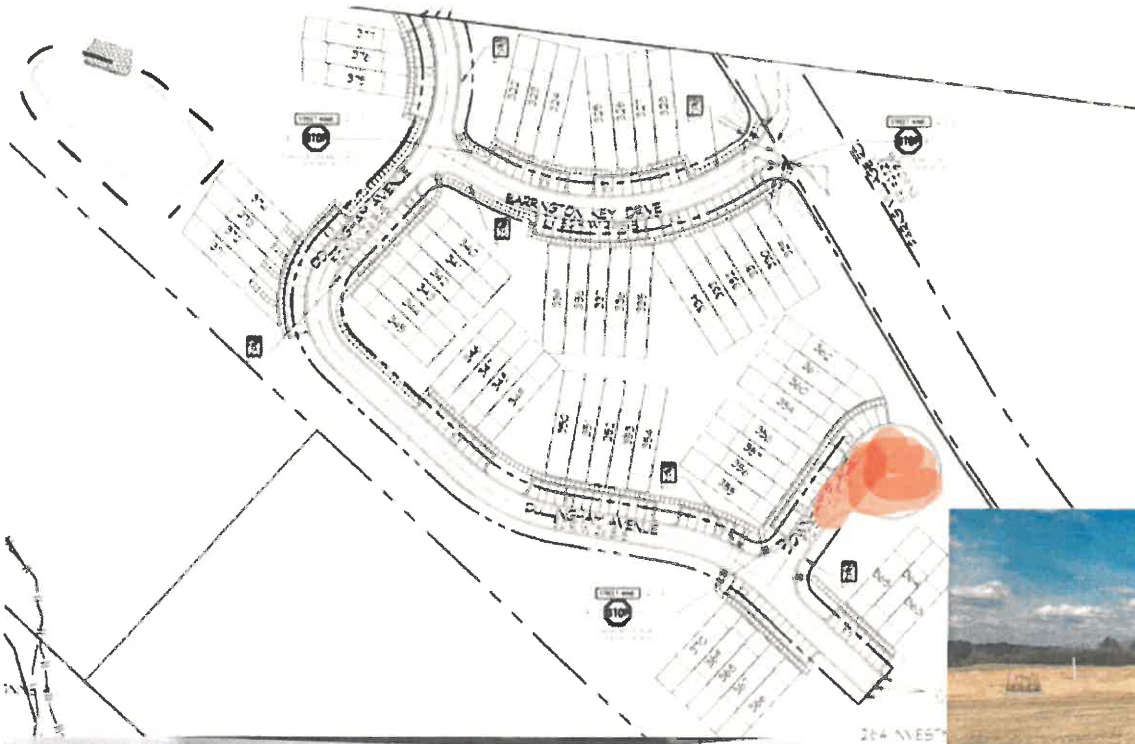
TME's presence on site is to perform specific services limited to that scheduled by others based on the understanding of our agreement with our client. This report is not an acceptance or approval of site activities. Test results and inspections are representative of our observations only while onsite at that specific time and location and may vary at other locations. The frequency of testing is based on timely scheduling of work by others and properly conveying progress of work in progress. At no time will TME be responsible for Safety considerations for other parties on the site.

Project Number: 211145C



**FIELD REPORT ATTACHMENTS**

Project: Barrington West Client: H&H Contractors Date: 02/22/23



**CAROLINA SUNROCK**  
 ORDER #: 2424  
 TICKET NUMBER: 21 - 563756 KITTRELL  
 3642893

TRUCK: GM62 DATE: 02/22/23 PCS: CDDY  
 DRIVER: GENE WHEELER  
 PROJECT SHIPMENT INFORMATION:  
 567 Driver: UNASSIGNED  
 601 PARKS VILLAGE RD - 700 TONS MAX VEH WEIGHT  
 BARRINGTON SUB PR 2\*\* 78760 LB

TODAY	TONS	JOB TONS	WEIGHT MEASUREMENTS			CASH SALE		
			LBS	TONS	METRIC TONS	SPRINT \$	TAX \$	MAIL \$
21	497.13		GROSS 69360	34.68	31.46	TOTAL \$		
			TARE 27800	13.90	12.61	MAIL \$		
			NET 41560	20.78	18.85	TOTAL \$		

WEIGH PERSON: Lawrence Cousin  
 LIC#: [blank]  
 EXP: 12/30/1899 00:00:00  
 CUSTOMER: [blank]

3:00  
G



All locations should be considered approximate and were not surveyed.



**FIELD REPORT**

Project: Barrington West Client: H&H Contractors Date: 02/28/23  
 City: Zebulon Forman: Brian Contractor: Kenneth West  
 Temperature: 62 Weather Conditions: Sunny Number of Trips: 1 ▼  
 Personnel: Erik Notified Brian of Kenneth West of results  
 1<sup>st</sup> Trip Arrived: 8:00 am Left: 9:00 am 2<sup>nd</sup> Trip Arrived: \_\_\_\_\_ Left: \_\_\_\_\_

**REMARKS**

TME arrived on site as requested by contractor.

Kenneth West contractors was performing a proof roll on subgrade for areas of roadway on in preparation for ABC stone for asphalt. Proof roll was performed with a fully loaded (18 ton) dump truck. Tech also probed using a 1/2" steel probe rod.

Several small sections were found to require repair. Tech suggested cutting those areas out 3 to 4 inches and replacing with new ABC stone. There were two sections around utility areas that were very soft. Tech suggested cutting those areas down 6 to 8 and placing geo-grid before filling with ABC stone. Contractor agreed and made plans to complete repairs that day before placing stone.

Signature: \_\_\_\_\_

TME's presence on site is to perform specific services limited to that scheduled by others based on the understanding of our agreement with our client. This report is not an acceptance or approval of site activities. Test results and inspections are representative of our observations only while onsite at that specific time and location and may vary at other locations. The frequency of testing is based on timely scheduling of work by others and properly conveying progress of work in progress. At no time will TME be responsible for Safety considerations for other parties on the site.



Project Number: 211145C



● - Proof Roll

### FIELD REPORT ATTACHMENTS

Project: **Barrington West** Client: **H&H Contractors** Date: **02/28/23**



**SUNROCK**  
CAROLINA SUNROCK LLC

ORDER #: 3403

TICKET NUMBER  
71 - 54236-RT0002

PROJECT: 103710  
ADDRESS: BARRINGTON WEST LLC  
810 BARRINGTON WEST DR  
CARY, NC 27513

PROJECT SHEET INFORMATION

ITEM	QUANTITY	UNIT	PRICE	TOTAL	DESCRIPTION
WEIGHT MEASUREMENTS	1	TON	11.00	11.00	WEIGHT MEASUREMENTS
PROOF ROLL	1	TON	13.65	13.65	PROOF ROLL
TOTALS			24.65	24.65	TOTALS

ADDITIONAL INFORMATION: 103710 1 ACCT 5/11/18 WINDTOWER 8 CROSSCOTTS  
NORTH CAROLINA PUBLIC WEIGHTMNTS  
NAME: WOODS/CAUTER  
LOCK: 43784  
EXP: 04/30/23

Customer: *[Signature]*

THIS SALE IS SUBJECT TO THE TERMS AND CONDITIONS OF CAROLINA SUNROCK'S CREDIT & SALES AGREEMENT. CONTROL



All locations should be considered approximate and were not surveyed.



**FIELD REPORT**

Project: Barrington West Client: H&H Contractors Date: 03/07/23  
 City: Zebulon Forman: Brian Contractor: Kenneth West  
 Temperature: 61 Weather Conditions: Sunny Number of Trips: 1 ▼  
 Personnel: Erik Notified Brian of Kenneth West of results  
 1<sup>st</sup> Trip Arrived: 8:30 am Left: 10:30 am 2<sup>nd</sup> Trip Arrived: \_\_\_\_\_ Left: \_\_\_\_\_

**REMARKS**

TME arrived on site as requested by contractor.

Kenneth West contractors was performing a proof roll on subgrade for areas of roadway on in preparation for ABC stone for asphalt. Proof roll was performed with a fully loaded (18 ton) dump truck. Tech also probed using a 1/2" steel probe rod.

Several spots were found to be unsatisfactory and were pumping. Tech suggested either scarifying those areas and leaving them to dry for a few days and trying the proof roll again or cutting out the unsatisfactory areas to a depth of 6 to 8 inches, placing geo-grid, and then covering with extra ABC stone. Contractor stated that he would have to get with the subdivision owner to discuss the options and would get back with the tech on what they plan to do.

Signature: 

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Project Number: 211145C



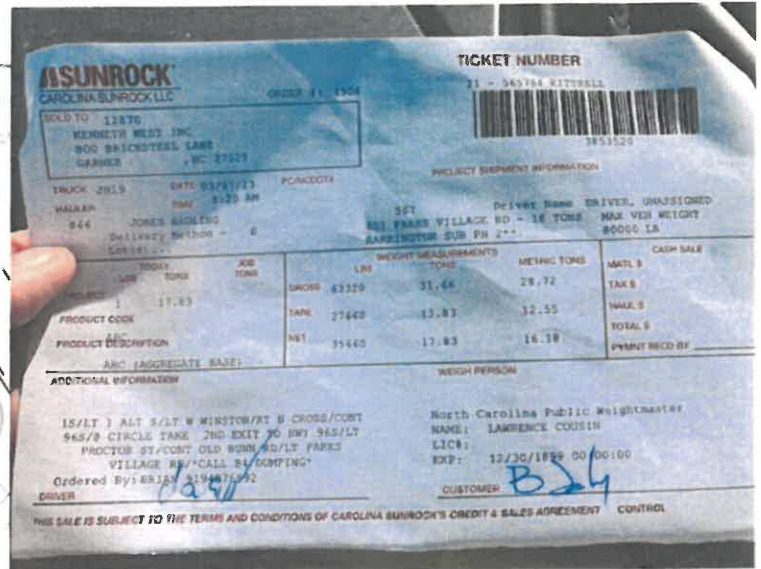
● - Proof Roll

### FIELD REPORT ATTACHMENTS

Project: **Barrington West**

Client: **H&H Contractors**

Date: **03/07/23**



All locations should be considered approximate and were not surveyed.



**FIELD REPORT**

Project: Barrington West Client: H&H Contractors Date: 03/22/23  
 City: Zebulon Forman: Brian Contractor: Kenneth West  
 Temperature: 56 Weather Conditions: Overcast Number of Trips: 1 ▼  
 Personnel: Erik Notified Brian of Kenneth West of results  
 1<sup>st</sup> Trip Arrived: 10:30 am Left: 12:00 pm 2<sup>nd</sup> Trip Arrived: \_\_\_\_\_ Left: \_\_\_\_\_

**REMARKS**

TME arrived on site as requested by contractor.

Kenneth West contractors was performing a proof roll on ABC stone for curb in preparation for pouring concrete curb on Friday. Proof roll was performed with a fully loaded (18 ton) dump truck. Tech also probed using a 1/2" steel probe rod.

Several small sections were found to be below standard. Tech suggested cutting those areas out 3 to 4 inches and replacing with new ABC stone. There was one section at a dead end that were very soft. Tech suggested cutting that area down 6 to 8 and replacing stone. Contractor agreed and made plans to complete repairs that day.

Signature: 

TME's presence on site is to perform specific services limited to that scheduled by others based on the understanding of our agreement with our client. This report is not an acceptance or approval of site activities. Test results and inspections are representative of our observations only while onsite at that specific time and location and may vary at other locations. The frequency of testing is based on timely scheduling of work by others and properly conveying progress of work in progress. At no time will TME be responsible for Safety considerations for other parties on the site.

Project Number: 211145C



**- Proof Roll**

**FIELD REPORT ATTACHMENTS**

Project: Barrington West Client: H&H Contractors Date: 03/22/23



**SUNROCK**  
CAROLINA SUNROCK LLC

ORDER #: 8076

TICKET NUMBER  
21 - 548958 KITTRILL

SOLD TO: 12870  
KENNETH WEST INC  
800 BRICKSTEEL LANE  
GARNER, NC 27529

3807962

TRUCK: T101 DATE: 03/22/23 PGACDOT  
HAULER: 934 TIME: 9:38 AM  
TARKEY TRUCKING LLC  
Delivery Method = D  
Lot(s) ...

PROJECT SHIPMENT INFORMATION  
551 Driver Name: DRIVER, UNASSIGNED  
HWY 39 ENTRANCE/18 TONS MAX VEH WEIGHT  
SIDNEY CREEK \*\* 10 LB

PROJECT	TODAY		JOB TONS	WEIGHT MEASUREMENTS		M/TLS	CASH SALE
	LBS	TONS		LBS	TONS		
1	18,95	18.95	GROSS 42920	31.44	28.34	M/TLS	TAX \$
PRODUCT CODE	ABC		SAFE 25220	17.41	11.44	M/TLS	TAX \$
PRODUCT DESCRIPTION	ABC (AGGREGATE BASE)		NET 37700	18.95	17.10	TOTAL \$	PRINT REC'D BY

ADDITIONAL INFORMATION  
125/126 PARK AVE & GO THROUGH  
YOUNGVILLE/TAKE 96S/LT 261E/TAKE EXIT  
436/RT HWY 39 & MAKE RT/CROSS RR TRACKS GO  
A QUARTER MILE SITE ON RIGHT  
Ordered by: MIKIAH \$194274932

WEIGH PERSON  
North Carolina Public Weighmaster  
NAME: LAWRENCE COUSIN  
LIC#:   
EXP: 12/30/1899 00:00:00

CUSTOMER CONTROL

All locations should be considered approximate and were not surveyed.

Project Number: 211145C



**FIELD REPORT**

Project: Barrington Client: H&H Contractors Date: 03/24/23  
 City: Zebulon Forman: Brian Contractor: Kenneth West  
 Temperature: 62 Weather Conditions: Sunny Number of Trips: 1 ▼  
 Personnel: Erik Notified Brian of Kenneth West of results  
 1<sup>st</sup> Trip Arrived: 8:30 am Left: 10:00 am 2<sup>nd</sup> Trip Arrived: \_\_\_\_\_ Left: \_\_\_\_\_

**REMARKS**

TME arrived on site as requested by contractor.

Kenneth West contractor was pouring concrete for curb in the Barrington West site. Tech took samples to perform on-site temperature, chase air indicator, and slump testing. Tech created 1 set of 5 cylinders each left on-site for over night curing. Tech will return to site on Monday to deliver cylinders to lab.

Signature: \_\_\_\_\_

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Project Number: 211145C



**CONCRETE FIELD REPORT**

Project: **Barrington** Client: **H&H Contractors** Date: 03/24/23  
 City: Zebulon Arrived On-Site: 8:30 am Left Site: 10:00 am  
 Temperature: 62 Weather Conditions: Sunny Number of Trips: \_\_\_\_\_  
 Material(s) Tested:  Slab  Foundation  Wall  Masonry  Other: Curb  
 Personnel: Erik Notified Erik of Kenneth West of results  
 Concrete Supplier: Capital Ready Mix Specified Strength: 3,000 psi Specified Slump: 2.0 inches  
 Steel Reinforcement Installed Per Plans: \_\_\_\_\_ Concrete Strength on ticket: 3,000 psi

**TEST DATA**

Truck No.	Batch Time	Plant No.	Ticket No.	Size of Load	Sample	Slump (in)	Air %	Unit Wt. (pcf)	H2O Added (gallons)	Concrete Temp.	No. of Test Samples	Daily Set No.
161		1	169341	10.00	08:24	1.5	5.00	143.71	0.00	80	5	1
195		1	169362	10.00	10:52	1.5	3.00	145.33	0.00	79	5	2
163	11:06	1	169368	10.00	11:35	1.0	4.00	146.71	0.00	80	5	3

Daily Set No.	Sample Type	Specified Strength	Detailed Location
1	Concrete	3,000 psi	First 1000 feet of curb
2	Concrete	3,000 psi	Second 1000 feet of curb
3	Concrete	3,000 psi	Third 1000 feet of curb
		psi	
		psi	
		psi	

The above report is the field rendition of the author only and subject to review

Project Number: 211145C



### FIELD REPORT ATTACHMENTS

Project: Barrington Client: H&H Contractors Date: 03/24/23

NO. 186579

QUANTITY	UNIT	PRICE	AMOUNT	QUANTITY	UNIT	PRICE	AMOUNT
10.00	CY	250.00	2,500.00	1.00	HR	1.00	1.00
1.00	HR	1.00	1.00	1.00	HR	1.00	1.00
1.00	HR	1.00	1.00				

ITEM NO. 101 QUANTITY 01 UNIT \$2.00 TOTAL \$2.00

DESCRIPTION CURB MACHINE

AMOUNT OF MATERIALS: X *Vicla*

NO. 186500

QUANTITY	UNIT	PRICE	AMOUNT	QUANTITY	UNIT	PRICE	AMOUNT
10.00	CY	250.00	2,500.00	1.00	HR	1.00	1.00
1.00	HR	1.00	1.00	1.00	HR	1.00	1.00
1.00	HR	1.00	1.00				

ITEM NO. 101 QUANTITY 01 UNIT \$2.00 TOTAL \$2.00

DESCRIPTION CURB MACHINE

AMOUNT OF MATERIALS: X

CAPITAL NO. 186448

QUANTITY	UNIT	PRICE	AMOUNT	QUANTITY	UNIT	PRICE	AMOUNT
10.00	CY	250.00	2,500.00	1.00	HR	1.00	1.00
1.00	HR	1.00	1.00	1.00	HR	1.00	1.00
1.00	HR	1.00	1.00				

ITEM NO. 101 QUANTITY 01 UNIT \$2.00 TOTAL \$2.00

DESCRIPTION CURB MACHINE

AMOUNT OF MATERIALS: X *Curb Machine*

All locations should be considered approximate and were not surveyed.





**FIELD REPORT**

Project: Barrington Client: H & H Contractor Date: 04/17/23  
City: Zebulon Forman: Brian Contractor: H&H contractors  
Temperature: 84 Weather Conditions: Sunny Number of Trips: 1 ▼  
Personnel: Milan Notified Brian of H&H contractors of results  
1<sup>st</sup> Trip Arrived: 10:00 am Left: 11:45 am 2<sup>nd</sup> Trip Arrived: \_\_\_\_\_ Left: \_\_\_\_\_

**REMARKS**

TME arrived at the site as requested by the contractor.  
Tech performed a density test on highlighted roadway (see below in plan). All the test passed with  $\geq 98\%$  compaction and within  $\pm 3\%$  optimum moisture. The thickness of stone was found to be equal/excess of 8 inches in all tested locations.



Signature: \_\_\_\_\_

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Project: **Barrington** Client: **H & H Contractor** Date: 04/17/23 TME Personnel: Milan  
 Arrived On-Site: 10:00 am Left Site: 11:45 am Notified: **Brian** of H&H contractors  
 General Location Tested:  Building  Wall  Roadway  Utility  Other Req. Compaction: **98** %

**ELECTRONIC DENSITY GAUGE TEST DATA**

Test No.	Wet Density (PCF)	% Moisture	Dry Density (PCF)	Optimum Moisture %	M.D.D. (lbs/ft <sup>3</sup> )	Elev. (ft)	Approximate Test Location	Lot Fill Range	Compaction (%)
1	143.60	3.40	138.90	5.40	138.10	Subgrade	Barrington Key Dr 1	Barrington Key Dr	100.0
2	144.60	3.70	139.50	5.40	138.10		Barrington Key Dr 2	Barrington Key Dr	100.0
3	144.40	3.60	139.30	5.40	138.10		Barrington Key Dr 2	Barrington Key Dr	100.0
4	146.00	4.40	139.80	5.40	138.10		Adullingham Avenue 4	Adullingham Avenue	100.0
5	144.30	3.60	139.20	5.40	138.10		Adullingham Avenue 5	Adullingham Avenue	100.0
6	145.20	3.90	139.70	5.40	138.10		Adullingham Avenue 6	Adullingham Avenue	100.0
7	143.80	3.50	139.00	5.40	138.10		Adullingham Avenue 7	Adullingham Avenue	100.0
8	146.10	4.40	139.90	5.40	138.10		Adullingham Avenue 8	Adullingham Avenue	100.0
9	143.80	3.50	139.00	5.40	138.10		Adullingham Avenue 9	Adullingham Avenue	100.0
10	144.00	3.50	139.10	5.40	138.10		Adullingham Avenue 10	Adullingham Avenue	100.0
11	143.80	3.60	138.90	5.40	138.10		Downham Place 11	Downham Place	100.0
12	145.40	4.00	139.80	5.40	138.10		Downham Place 12	Downham Place	100.0
					138.10				

\*Test results are indicative of specific location only.

**ONE-POINT PROCTOR**

Proctor Point	Wet Soil & Mold (lbs)	Mold (lbs)	Wet Soil (lbs)	Volume of Mold (ft <sup>3</sup> )	Wet Density (lbs/ft <sup>3</sup> )	Wet Wt. of Moisture	Dry Wt. of Moisture	% Moisture	Dry Density (lbs/ft <sup>3</sup> )

TME's presence on site is to perform specific services limited to that scheduled by others based on the understanding of our client. This report is not an acceptance or approval of site achievement. The inspected areas are representative of our observations only while onsite at that specific time and may vary at other locations. The frequency of testing is based on timely scheduling of work by others and properly conveying progress of work in progress. At no time will TME be responsible for Safety considerations for other parties on the site.



**FIELD REPORT ATTACHMENTS**

Project: **Barrington**

Client: **H &H Contractor**

Date: **04/17/23**





**FIELD REPORT**

Project: Barrington Client: H&H Contractors Date: 04/18/23  
 City: Zebulon Forman: Brian Contractor: Kenneth West  
 Temperature: 46 Weather Conditions: Sunny Number of Trips: 2  
 Personnel: Erik Notified Brian of Kenneth West of results  
 1<sup>st</sup> Trip Arrived: 8:00 am Left: 9:30 am 2<sup>nd</sup> Trip Arrived: 1:30 pm Left: 2:30 pm

**REMARKS**

TME arrived on site as requested by contractor.

Proof roll truck broke down on way to site. Tech was asked to return at 1:30 pm for proof roll.

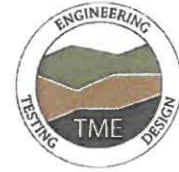
Kenneth West contractors was performing a proof roll on stone for Dullingham Ave, Downham Place and Barrington Key Drive for asphalt. Proof roll was performed with a fully loaded dump truck and the city inspector was present.

All areas were found to be of firm bearing with no significant movement observed.

Signature: 

TME's presence on site is to perform specific services limited to that scheduled by others based on the understanding of our agreement with our client. This report is not an acceptance or approval of site activities. Test results and inspections are representative of our observations only while onsite at that specific time and location and may vary in other locations. The frequency of testing is based on timely scheduling of work by others and properly conveying progress of work in progress. At no time will TME be responsible for Safety considerations for other parties on the site.

Project Number: 211145C



● - Proof Roll

### FIELD REPORT ATTACHMENTS

Project: **Barrington**

Client: **H&H Contractors**

Date: **04/18/23**



**SUNROCK**  
CAROLINA SUNROCK LLC

ORDER #: 9230

TICKET NUMBER  
31 - STALEY MITCHELL

GOLD TO 12870  
KENNETH WEST INC  
800 BRICKSTEEL LANE  
GARNER, NC 27629

TRUCK: RUT01 DATE: 04/18/23 PL: NC00014  
HAULER: 924 TIME: 12:36 PM  
HOTROD TRUCKING LLC  
Delivery Method = D  
Lot(s) ...

PROJECT SHIPMENT INFORMATION  
547 Driver: BASH DRIVER: UNASSIGNED  
601 PARKS VILLAGE RD/18 TONS MAX VEH WEIGHT: 10' LB  
BARRINGTON SUB PB 2\*\*

TODAY		JOB	WEIGHT MEASUREMENTS		METRIC TONS	HAUL \$	CASH SALE
LBS	TONS	TONS	LED	TONS		TAX \$	HAUL \$
PROJECT 1	18.34		GROSS	62300	31.19	28.29	
PRODUCT CODE	67		TARE	25600	12.84	11.65	
PRODUCT DESCRIPTION	# 67 STONE		NET	36680	18.34	16.64	TOTAL \$
ADDITIONAL INFORMATION						PAYMENT BY	
15/LT 1 ALT S/LT W WINSTON/RT N CROSS/CONT 965/8 CIRCLE TAKE 2ND EXIT TO HWY 96S/LT PROCTOR ST/CONT OLD BURN RD/LT PARKS VILLAGE RD/**CALL 84 DUMPING*						WEIGH PERSON	
Ordered By: BRIAN 9194276892						North Carolina Public Weightmaster NAME: LAWRENCE COUSIN LIC#: EXP: 12/30/1899 00:00:00	
R						CUSTOMER	
LE IS SUBJECT TO THE TERMS AND CONDITIONS OF CAROLINA SUNROCK'S CREDIT & SALES AGREEMENT CONTROL							

All locations should be considered approximate and were not surveyed.

#17 ✓ 7/25/24

# Strength Test Results

Page: 1 of 1



**Client:** TM Engineering, Inc.  
**Project:** Barrington / Zebulon, NC  
**Job No:** 1211069CA  
**Client Job No:**

**Date Cast:** 3/24/2023  
**Lab No:** 48611  
**Mix No:** 4000  
**Design Strength:** 4000

## Field Information

Date Received in Lab:		3/27/2023		Water:	
<b>Sampled by:</b>	TME	<b>Authorized by:</b>		<b>Slump (in):</b>	1.50
<b>Concrete Supplier:</b>	Capital Ready Mix	<b>Temperature: Air</b>	62°F	<b>Air Content (%):</b>	5.0
<b>Plant Location:</b>	1	<b>Size of Load (cy):</b>	10.0	<b>Unit Weight (pcf):</b>	143.7
<b>Truck No:</b>	161	<b>Ticket #:</b>	169341	<b>HI:</b>	LO:
<b>Time: Mixed</b>	Sampled	<b>Specified Strength (28 days):</b>	4000		

**Location of Placement:** First 1000 Ft. of Curb

## Field Remarks:

Core	Test Date	Age (days)	Load (lbs)	Diameter (in)	Area (in <sup>2</sup> )	Strength (psi)	Corr. Factor	Fracture Type
A	3/31/2023	7	27,646	4.00	12.57	2,200	1.00	2
B	4/21/2023	28	48,720	4.00	12.57	3,880*	1.00	2
C	4/21/2023	28	44,110	4.00	12.57	3,510*	1.00	2
D	4/21/2023	28	39,910	4.00	12.57	3,180*	1.00	2
E	5/19/2023	56						

\* = Less than design strength

**Notes:** Strength tests performed in accordance with ASTM C-39.

**Distribution:** Ashley Mallik, David Truesdale, Laurel Ramsey, Toby Mallik

*This report shall not be reproduced, except in full, without the prior written approval of GeoTechnologies Inc. PA. These results relate only to the items inspected or tested.*

Strength testing performed by Chris Smith

Michael K. Morton

Submitted by \_\_\_\_\_ Report Date 4/21/2023

Signature \_\_\_\_\_

GeoTechnologies, Inc., P.A. -- 3200 Wellington Court, Suite 108 -- Raleigh, NC 27615 -- License No. C-0894



# Strength Test Results

Client: TM Engineering, Inc.  
 Project: Barrington / Zebulon, NC  
 Job No: 1211069CA  
 Client Job No:

Date Cast: 3/24/2023  
 Lab No: 48612  
 Mix No: 4000  
 Design Strength: 4000

## Field Information

Date Received in Lab:	3/27/2023	Water:	
Sampled by:	TME	Authorized by:	
Concrete Supplier:	Capital Ready Mix	Temperature: Air	62°F
Plant Location:	1	Sample	79°F
Truck No:	195	Size of Load (cy):	10.0
Time: Mixed		Specified Strength (28 days):	4000
		Ticket #:	169362
		Sampled	10:52 AM
		Slump (in):	1.50
		Specified:	3.0
		Air Content (%):	3.0
		Specified:	145.3
		Unit Weight (pcf):	145.3
		HI:	
		LO:	

Location of Placement: Second 1000 Ft. of Curb

### Field Remarks:

Core	Test Date	Age (days)	Load (lbs)	Diameter (in)	Area (in <sup>2</sup> )	Strength (psi)	Corr. Factor	Fracture Type
A	3/31/2023	7	30,930	4.00	12.57	2,460	1.00	2
B	4/21/2023	28	42,154	4.00	12.57	3,350*	1.00	2
C	4/21/2023	28	45,195	4.00	12.57	3,600*	1.00	2
D	4/21/2023	28	43,852	4.00	12.57	3,490*	1.00	2
E	5/19/2023	56						

\* = Less than design strength

Notes: Strength tests performed in accordance with ASTM C-39.

Distribution: Ashley Mallik, David Truesdale, Laurel Ramsey, Toby Mallik

Strength testing performed by Chris Smith

This report shall not be reproduced, except in full, without the prior written approval of GeoTechnologies Inc PA. These results relate only to the items inspected or tested.

Michael K. Morton

Submitted by: Michael K. Morton  
 Report Date 4/21/2023

Signature



# Strength Test Results

**Client:** TM Engineering, Inc.  
**Project:** Barrington / Zebulon, NC  
**Job No.:** 1211069CA  
**Client Job No.:**

**Date Cast:** 3/24/2023  
**Lab No.:** 48613  
**Mix No.:** 4000  
**Design Strength:** 4000

## Field Information

<b>Date Received in Lab:</b>	3/27/2023	<b>Water:</b>	
<b>Sampled by:</b>	TME	<b>Authorized by:</b>	
<b>Concrete Supplier:</b>	Capital Ready Mix	<b>Temperature: Air</b>	62°F
<b>Plant Location:</b>	1	<b>Sample</b>	80°F
<b>Truck No.:</b> 163	<b>Ticket #:</b> 169368	<b>Size of Load (cy):</b>	10.0
<b>Time: Mixed</b> 11:06 AM	<b>Sampled</b> 11:35 AM	<b>Specified Strength (28 days):</b>	4000
<b>Location of Placement:</b> Third 1000 Ft. of Curb		<b>Slump (in):</b>	1.00
<b>Field Remarks:</b>		<b>Air Content (%):</b>	4.0
		<b>Unit Weight (pcf):</b>	146.7
		<b>Hi:</b>	
		<b>LO:</b>	

Core	Test Date	Age (days)	Load (lbs)	Diameter (in)	Area (in <sup>2</sup> )	Strength (psi)	Corr. Factor	Fracture Type
A	3/31/2023	7	35,570	4.00	12.57	2,830	1.00	2
B	4/21/2023	28	50,569	4.00	12.57	4,020	1.00	2
C	4/21/2023	28	56,614	4.00	12.57	4,500	1.00	2
D	4/21/2023	28	52,178	4.00	12.57	4,150	1.00	2
E	4/21/2023	28	53,717	4.00	12.57	4,270	1.00	2

\* = Less than design strength

Strength testing performed by Chris Smith

**Notes:** Strength tests performed in accordance with ASTM C-39.

**Distribution:** Ashley Mallik, David Truesdale, Laurel Ramsey, Toby Mallik

*This report shall not be reproduced, except in full, without the prior written approval of GeoTechnologies Inc. PA. These results relate only to the items inspected or tested.*

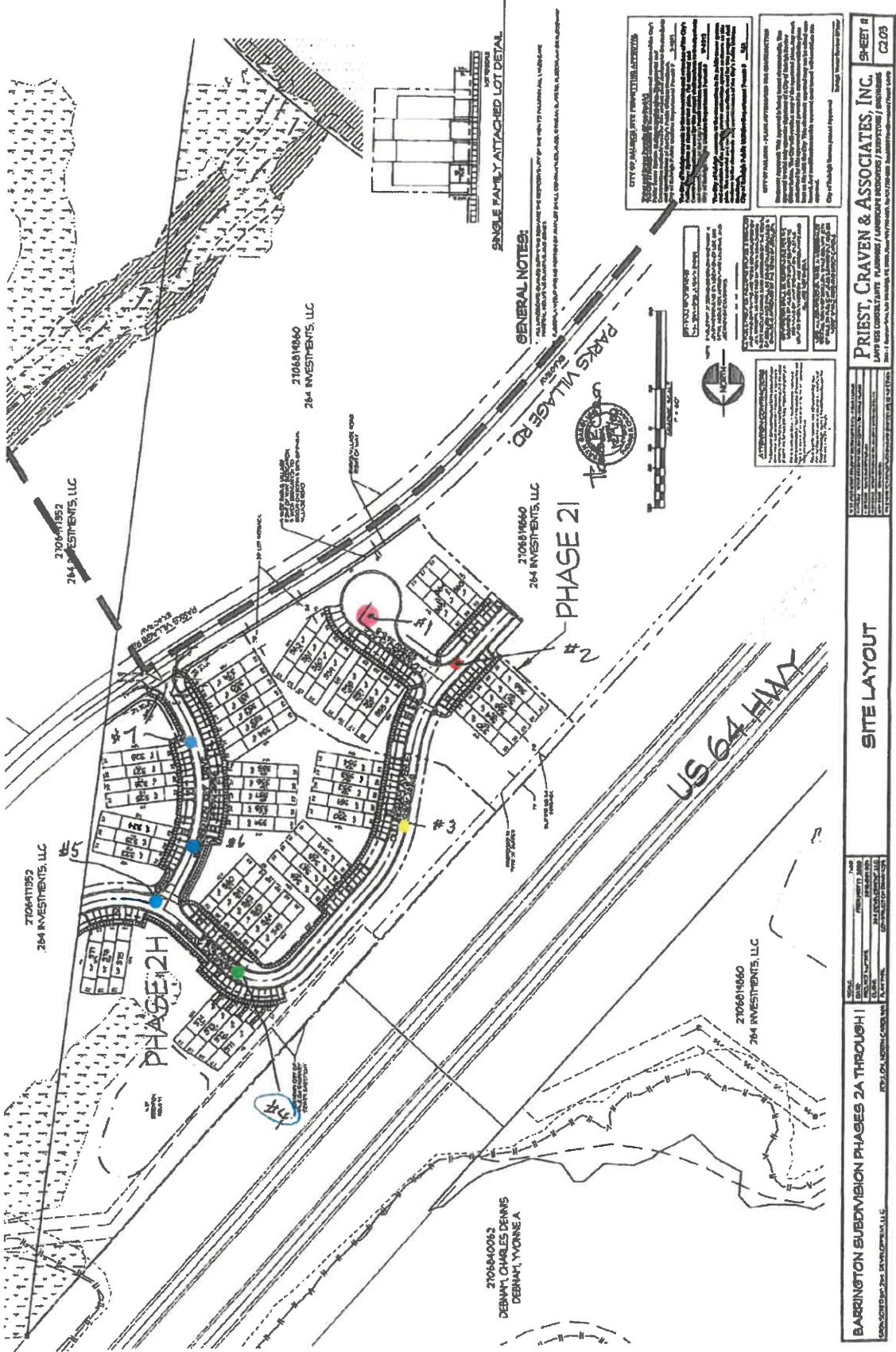
Michael K. Morton

Submitted by \_\_\_\_\_ Report Date 4/21/2023

Signature \_\_\_\_\_



7



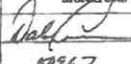
<p><b>BARRINGTON SUBDIVISION PHASES 2A THROUGH 1</b>          2106410082 DENNY, CHARLES DENNIS DENNY, YVONNE A.          2106410083 DENNY, CHARLES DENNIS DENNY, YVONNE A.          2106410084 DENNY, CHARLES DENNIS DENNY, YVONNE A.          2106410085 DENNY, CHARLES DENNIS DENNY, YVONNE A.          2106410086 DENNY, CHARLES DENNIS DENNY, YVONNE A.          2106410087 DENNY, CHARLES DENNIS DENNY, YVONNE A.          2106410088 DENNY, CHARLES DENNIS DENNY, YVONNE A.          2106410089 DENNY, CHARLES DENNIS DENNY, YVONNE A.          2106410090 DENNY, CHARLES DENNIS DENNY, YVONNE A.          2106410091 DENNY, CHARLES DENNIS DENNY, YVONNE A.          2106410092 DENNY, CHARLES DENNIS DENNY, YVONNE A.          2106410093 DENNY, CHARLES DENNIS DENNY, YVONNE A.          2106410094 DENNY, CHARLES DENNIS DENNY, YVONNE A.          2106410095 DENNY, CHARLES DENNIS DENNY, YVONNE A.          2106410096 DENNY, CHARLES DENNIS DENNY, YVONNE A.          2106410097 DENNY, CHARLES DENNIS DENNY, YVONNE A.          2106410098 DENNY, CHARLES DENNIS DENNY, YVONNE A.          2106410099 DENNY, CHARLES DENNIS DENNY, YVONNE A.          2106410100 DENNY, CHARLES DENNIS DENNY, YVONNE A.</p>		<p><b>PRIEST, CRAVEN &amp; ASSOCIATES, INC.</b>          LAND SURVEYORS / ENGINEERS / ARCHITECTS / INTERIORS          1111 E. Main Street, Suite 100, Palmetto, SC 29557          Phone: (803) 781-1111 Fax: (803) 781-1112          www.priestcraven.com</p>	
<p><b>DATE:</b> 08/01/2018  <b>BY:</b> JACOB R. HARRIS  <b>CHECKED:</b> JACOB R. HARRIS  <b>SCALE:</b> AS SHOWN  <b>PROJECT:</b> BARRINGTON SUBDIVISION PHASES 2A THROUGH 1</p>		<p><b>SHEET #</b> C209  <b>TOTAL SHEETS</b> C209</p>	

QAQC-5 (Revised)

1-19-82

NORTH CAROLINA DEPARTMENT OF TRANSPORTATION  
WORKSHEET FOR ROADWAY CORE SAMPLE DENSITY DETERMINATION & COMPARISON

PROJECT NUMBER: BARRINGTON TYPE MIX: RS95C MIN. % COMPACTION REQ: 92  
CONTRACTOR: BLYTE PLANT LOCATION: GRESHAM LAKE

DATE PLACED	LOT No.	SAMPLE No.	SAMPLE DIMENSIONS	NET WT.	SSD WT.	IN WATER WT.	QA SP. GR.	QC SP. GR.	TARGET SP. GR.	QA %	QC %	LABORER OR SUPERVISOR (I / P)	* QA / QC TECHNICIAN SIGNATURE
	18-1332-271	1	23/2	2108	2102.7	1178.7		2.274	2.438		93.3		 59967
		2	13/2	1731.7	1732.0	960.8		2.245			92.1		
		3	24	2023	2014.0	1028.8		2.263			92.4		
		4	14/2	993.9	995.5	555.7		2.260			92.7		
		5	14/2	1383.1	1381.3	778.4		2.286			93.8		
		6	14/2	1489.2	1490.2	832.0		2.263			92.8		
		7	13/4	1522.8	1521.4	84		2.225			91.3		

NOTE: QC TO FAX CURRENT FORM TO QA DAILY DURING PRODUCTION.

\* BY PROVIDING THIS DATA UNDER MY SIGNATURE AND FOR BECAMS CERTIFICATION NUMBER, I ATTEST TO THE ACCURACY AND VALIDITY OF THE DATA CONTAINED ON THIS FORM AND CERTIFY THAT NO DELIBERATE MISREPRESENTATION OF TEST RESULTS, IN ANY MANNER, HAS OCCURRED.

#7

NOT SPREAD GOOD TECH RESULTS

GC-5 Rev

NORTH CAROLINA DEPARTMENT OF TRANSPORTATION  
DAILY CORE LOCATION & LOT SUMMARY

12-12-2002

DATE \_\_\_\_\_

PROJECT NO: BARRING RDN MAP / RT. NO.: PIMS 24 CONTRACTOR: FLYTHS PLANT LOCATION: GREENHAM  
 BASE TYPE: SIDW LANE DESC.: LT/RT BASELINE: \_\_\_\_\_  
 TYPE MIX: R59.5C JMF NO.: 18-1332-071 PROJECT ENGINEER: \_\_\_\_\_

CORE #	TEST SECTION		RANDOM #		LENGTH / WIDTH x RANDOM #		TEST SECTION BEGINNING STATION # G	CORE LOCATION		CORE SAMPLE THICKNESS	PERCENT COMPACTION
	TEST SECTION NO.	LENGTH A	WIDTH B	LENGTH C	WIDTH D	LENGTH E=A x C		WIDTH F=B x D	STATION G+E		
1	1	300'								2 3/8	93.3
2	2									1 3/8	92.1
3	3									2 1/4	92.8
4	4									1 1/8	92.7
5	5									1 1/2	93.8
6	6									1 1/2	92.8
7	7	300'								1 3/4	91.3

CONSTRUCTION TYPE:  
THE "NEW" CONSTRUCTION CATEGORY WILL BE DEFINED AS PAVEMENTS, EXCLUSIVE OF IRREGULAR AREAS MEETING ALL THREE OF THE FOLLOWING CRITERIA:

- 1) PAVEMENT PLACED ON A NEW AGGREGATE OR SOIL BASE COMPACTED TO THE SPECIFIED DENSITY OR PAVEMENT PLACED ON A NEW ASPHALT MIX LAYER (EXCLUDING WEDGING AND LEVELING);
- 2) PAVEMENT WHICH IS WITHIN A DESIGNATED TRAVEL LANE OF THE FINAL TRAFFIC PATTERN; AND
- 3) PAVEMENT WHICH IS 4.6 FEET (1.2 METERS) OR WIDER. AS AN EXCEPTION, WHEN THE FIRST LAYER OF MIX IS PLACED ON AN UNPRIMED AGGREGATE BASE AND IS 2.8 INCHES (59 MILLIMETERS) OR LESS IN THICKNESS, THE LAYER WILL BE INCLUDED IN THE "OTHER" CONSTRUCTION" CATEGORY. THE "OTHER" CONSTRUCTION CATEGORY WILL INCLUDE ALL PAVEMENT EXCEPT AS DESCRIBED ABOVE AND ALSO ALL 5 < 7.5 A MIX TYPES.

NEW  OTHER

Doris Freeman P25 50967  
\* PRINT CERTIFIED QMS TECHNICIAN'S NAME (BSCAMS#)

[Signature]  
CERTIFIED QMS TECHNICIAN'S SIGNATURE

Doris Freeman P25 50967  
\* PRINT QC PLANT TECHNICIAN'S NAME (BSCAMS#)

[Signature]  
\* CERTIFIED QC PLANT TECHNICIAN'S SIGNATURE

LOT AVERAGE 92.7

LOT PASSES

LOT FAILS

NOTE: CONTRACTOR MUST BE NOTIFIED BY LETTER OF ANY PAY ADJUSTMENTS OR PAVEMENT REMOVAL.

\* BY PROVIDING THIS DATA UNDER MY SIGNATURE AND/OR BSCAMS CERTIFICATION NUMBER, I ATTEST TO THE ACCURACY AND VALIDITY OF THE DATA CONTAINED ON THIS FORM AND CERTIFY THAT NO DELIBERATE MISREPRESENTATION OF TEST

#8

# PRIEST, CRAVEN, & ASSOCIATES, INC.

LAND USE CONSULTANTS

July 25, 2023

Michael Fowler  
Capital Improvement Management Division  
3324 Lake Woodard Drive  
P.O. Box 590  
Raleigh, NC 27602-0590

*OK*  
*7/5/24*  
*APPROVED*  
*AS*  
*Submitted*

**Re: Installed per Plans Statement Barrington Subdivision Phase 2  
Sections H & I for Public Water and Public Sanitary Sewer.**

Mr. Fowler,

### Engineer Certification Statement

**I, Thomas F. Craven as a duly registered professional in the state of North Carolina, having been authorized to observe periodically, the construction of the project, Barrington Subdivision, Phase 2 Sections H & I, hereby state that, to the best of my abilities, due care and diligence was used in the observation of the construction such that by my inspection of the constructed improvements and my review of the as built survey data hereby certify that the (1) public improvements, (2) private improvements and (3) public safety of the above referenced project as constructed are in compliance with the requirements of the improvements as prescribed in the approved construction drawings, approved design documents, and / or any approved modifications, except as noted as "strike throughs" on the "as built" drawings. Furthermore, I certify that the "strike through" exceptions do not adversely affect the required performance or public safety aspects of the improvements.**

Name: Thomas F Craven Date: 7/25/23

Thomas F. Craven, P.E. Registration Number 10956  
Priest, Craven & Associates, Inc.

Seal:



PLANNERS / LANDSCAPE DESIGNERS / ENGINEERS / SURVEYORS

3803-B Computer Drive, Suite 104, Raleigh NC 27609, Phone: (919) 781-0300 Fax (919) 782-1288

#9  
Left  
Approved  
PS  
Submitted


**DEVELOPER LIEN WAIVER AND RELEASE**

I, the undersigned, am the owner of Barrington Phase 2 Sections H&I as indicated by my respective signature below.

All work related to the Development of Barrington Phase 2 Sections H&I as shown on construction plans prepared by Priest, Craven, & Associates, Inc. dated Revised June 3, 2022.

DFC Barrington, LLC has not made any financial considerations for the supply of any construction materials for the development of Barrington Phase 2 Sections H&I.

Witness the following signature and seal this 31 day of August, 2023

 (Signature)

Name: Jonathan Massey

Title: Land Development Manager

Company: Dream Finders Homes – POA for DFC Barrington, LLC

State of NC; County/City of Wake;

Subscribed and sworn to before me this 31 day of August, 2023

My Commission Expires: 16 March 2024

Subdivision: Barrington PH2 Sections H&I



**CONTRACTOR'S FINAL WAIVER AND RELEASE OF LIEN – UNCONDITIONAL**

(To Accompany Application For Final Payment)

**UNCONDITIONAL FINAL WAIVER AND RELEASE OF LIEN**

*EST  
Approved  
15  
Submitted  
7/24/14*

The undersigned Kenneth West, Inc., in consideration of Final Payment in the amount of \$ 816,886.88, the receipt and sufficiency of which is hereby acknowledged, hereby waives and releases its lien and right to claim a lien for labor, services, or materials furnished to DFC Barrington, LLC ("Owner") to the following property:

Barrington PH2 Sections H&I

Kenneth West, Inc. certifies that all of its sub-contractors(s), supplier(s) and/or agent(s) furnishing labor, services or materials to or for it in connection with its Work at the Property have been paid in full by Kenneth West, Inc.

Kenneth West, Inc., for and in consideration of the above-referenced Final Payment, hereby unconditionally waives, releases and discharges Owner, its agents, assigns, attorneys and successors-in-interest, of and from any and all past, present or future claims, demands, obligations, actions, causes of action, rights, damages, punitive or exemplary damages, attorney's fees, expenses, costs and/or compensation of any kind or nature whatsoever, both at law and in equity, whether presently known or unknown, that Kenneth West, Inc. ever had, now has or may hereafter have, for or arising out of, connected with, or in any way resulting from Kenneth West, Inc. Work at the Property.

This Final Waiver and Release of Liens constitutes a representation by the undersigned Contractor, for and on behalf of its Subcontractor/Supplier, that the payment referenced above, once received, CONSTITUTES FULL AND COMPLETE PAYMENT FOR ALL WORK PERFORMED, AND COSTS OR EXPENSES INCURRED (including, but not limited to, costs for supervision, field office overhead, home office overhead, interest, profit and general conditions costs, filing fees, and attorney's fees) relative to all work performed at the Property by its Subcontractors/Suppliers.

Kenneth West, Inc. acknowledges and agrees that this Final Lien Waiver and Release is executed and delivered with the intent that the same be relied upon by Owner. This Final Lien Waiver and Release shall inure to the benefit of Owner, its respective successors and assigns, and shall be binding upon Lienor, its successors and assigns.

DATED on August 1, 2013.

Kenneth West, Inc.

By: *Brian S. Jacoby*  
[Kenneth West, Inc. Signature]

BRIAN S. JACOBY  
[Kenneth West, Inc. Name]

800 BRICKSTEEL LANE  
CARNER, NC 27529  
[Kenneth West, Inc. Address]



**Wake Electric  
Membership Corporation**

Post Office Box 1229  
Wake Forest, North Carolina 27588-1229  
Telephone: 919.863.6300 or 800.474.6300



INVOICE

*Handwritten notes:*  
L-EST  
7-15-24  
L-EST  
APPROVED AS  
Submittal  
⑪

H & H CONSTRUCTORS FAYETTEVILLE LLC  
14701 PHILIPS HWY SUITE 300  
JACKSONVILLE FL 32256

Invoice Date	8/14/2023
Account Number	1051256800
Work Order Number	221261004
WEMC Representative	Jack Sapp
Map Location	2716-03-2355

Service Address: **BARRINGTON PHASES 2H & I**

Quantity	Description	Price	Amount
17	STREET LIGHTS INSTALLATION COST		\$3,972.75
Invoice #: <u>221261004</u> Vendor: <u>14 Wake Mc</u> Coding: <u>99 BARRINGTON, 1034</u> Coding: _____ Coding: _____ Invoice Amount: \$ <u>4,250.84</u> Retainage Amount: \$ <u>0</u> Total Payment: \$ <u>4,250.84</u> LOM Approval: <u>[Signature]</u> VP Approval: <u>[Signature]</u> Date: <u>8-21-23</u>		Sub total: \$3,972.75 7% Utility tax: \$278.09 <b>Total: \$4,250.84</b>	

PLEASE INDICATE THAT YOU HAVE READ AND UNDERSTAND THE TERMS LISTED BELOW AND AGREE TO ABIDE BY SAME.

**\* PLEASE RETURN ONE COPY WITH YOUR PAYMENT \*\*\*\*\***

**For New Underground Services:**

Work Will Not Be Scheduled For Construction Until Meter Base Has Been Installed And Wake EMC Is Notified.

Per current Wake EMC Standards, additional charges will be due if Wake EMC:

- 1) Has to dig or bore under pavement, concrete, or any other object
- 2) Encounters rock that requires additional work and/or materials to install cable.  
Return charges apply if the crew is requested to pull off for member to remove rock.
- 3) Is requested to relocate cable at a later date

Wake EMC does not assume responsibility for damages due to installation. Wake EMC will not re-seed disturbed areas or replace gravel. Wake EMC requires access to cable at all times; therefore no structures or trees are permitted to be placed within 7.5 feet of the cable.

PAYMENT OF ALL CHARGES IS DUE PRIOR TO SERVICE BEING CONNECTED.

**FOR OVERHEAD LINE EXTENSIONS, LINE CONVERSION AND LINE RELOCATIONS:**

Payment of all charges is due prior to the work being released for construction. If any of the preceding work requires underground cable trenching, the above information listed under new underground service also applies.

UTILITY TAX MUST BE COLLECTED FOR ALL INVOICED ITEMS.



# Land Check Request Form

Requested Date: August 21, 2023

Requested By (LAM/LAA): \_\_\_\_\_

DFH Division Name: ACT  ATX  CAP  CUS   
DEN  JAX  ORL  SAV

VPH Division Name: STD  SIG

H&H Division Name: CHA  FAY  MYB  RAL  WIL

MHI Division Name: AUS  DAL  HOU  SAT

Division President Approval: \_\_\_\_\_

Division President Signature: \_\_\_\_\_

Division President Approval Date: \_\_\_\_\_

Vendor Name/Check Payable To: Wake Electric Membership Corporation

Vendor Supplier Code: 14WAKEMC

Community/Subdivision Name: Barrington Phases 2H & I

NewStar Project Code: NewStar code 14BRRNG6; Land code 99BRNGTN

NewStar GL or Major/Minor Code: NewStar code 6300; Land code 1034

Due Date: Aug 23, 2023

Send To Division or Vendor: Division

Amount: \$ 4,250.84

Reason: Street Light Installation Costs Barrington Phases 2H & I

Special Handling Instructions: \_\_\_\_\_

Requires Corporate Approval (Request Greater than \$15,000): Yes  No

National VP Land Approval: \_\_\_\_\_

National VP Land Signature: \_\_\_\_\_

National VP Land Approval Date: \_\_\_\_\_





**Dream Finders Homes LLC**

14701 Philips Highway  
Jacksonville, FL 32256

Ameris Bank  
100 Southpark Blvd  
Suite 104  
St. Augustine, FL 32086

061201754

Date  
Aug 25, 2023

Check Number  
8849A-99990119

Void after 90 days

Pay *\*Four Thousand Two Hundred Fifty Dollars 84 Cents\**

Amount  
\$4,250.84

To  
The  
Order  
Of  
**WAKE ELECTRIC MEMBERSHIP  
P.O. BOX 1229  
Wake Forest, NC 27588-1229**

Dream Finders Homes LLC

Per

PAYABLE IN US DOLLARS

⑈99990119⑈ ⑆06⑆20⑆754⑆ 2049488949⑈

ENDORSE WAKE ELECTRIC MEMBERSHIP CORP

FOR DEPOSIT ONLY

FIRST HORIZON DEPOSITOR ACCOUNT

\*\*\*\*\*7036

08/28/2023 09:53:54 AM

CHECK NUMBER

8849A-99990119

MOBILE OR MOTO CONDITIONS APPLY

UAC102411506/28/2023/4250.84

STAMP OR SIGN HERE FOR THE LINE

DATE OF DEPOSIT

AMOUNT

CHECK NUMBER

MOBILE OR MOTO CONDITIONS APPLY

UAC102411506/28/2023/4250.84

STAMP OR SIGN HERE FOR THE LINE

DATE OF DEPOSIT

AMOUNT

CHECK NUMBER

MOBILE OR MOTO CONDITIONS APPLY

UAC102411506/28/2023/4250.84

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DATE OF DEPOSIT

AMOUNT

CHECK NUMBER

MOBILE OR MOTO CONDITIONS APPLY

UAC102411506/28/2023/4250.84

STAMP OR SIGN HERE FOR THE LINE

DATE OF DEPOSIT

AMOUNT

CHECK NUMBER

MOBILE OR MOTO CONDITIONS APPLY

UAC102411506/28/2023/4250.84

STAMP OR SIGN HERE FOR THE LINE

DATE OF DEPOSIT

AMOUNT

CHECK NUMBER

MOBILE OR MOTO CONDITIONS APPLY

UAC102411506/28/2023/4250.84

STAMP OR SIGN HERE FOR THE LINE

DATE OF DEPOSIT

AMOUNT

CHECK NUMBER

MOBILE OR MOTO CONDITIONS APPLY

UAC102411506/28/2023/4250.84

STAMP OR SIGN HERE FOR THE LINE

DATE OF DEPOSIT

AMOUNT

CHECK NUMBER

MOBILE OR MOTO CONDITIONS APPLY

UAC102411506/28/2023/4250.84

STAMP OR SIGN HERE FOR THE LINE



**Payment (CRPMT)**

**\$4,250.84**

**A** Account#: 1051256800

Aug 28, 2023 9:33:34 AM

H & H Constructors Fayetteville Llc

<u>08/28/2023 09:33:34 AM</u>	linda pa	Coop Provided Electric Service	Payment
-------------------------------	----------	--------------------------------	---------

Originating Process: iVUE Connect  
Batch: 0  
Batch Processed On: 08/28/2023  
GL Journal: 307934  
GL BI Debit Alias: 131.99  
GL BI Credit Alias: 142.00  
GL UA Credit Alias:  
GL UA Debit Alias:  
Deposit Group: 2  
Comments:



#12  
✓  
APPROVED  
AS Submitted  
2/15/24

## Notification of Conditional Acceptance

of Water and Wastewater Infrastructure in Raleigh Water Merger Communities  
(Garner, Knightdale, Rolesville, Wake Forest, Wendell, Zebulon)

Project Name: BARRINGTON  
Project Phase: PHASE 2-H, 2-I AND OFFSITE WATER

Permit Number(s): W - 3313  
S - 4681

The City of Raleigh Water Department has completed field inspections and testing on the water and/or wastewater infrastructure associated with the development project/phase referenced above. Installation meets Raleigh Water specifications and the infrastructure is available for use. This preliminary acceptance is conditional on a final review of digital as-built data, project records and other submitted documentation. Formal notification of acceptance is pending and will be provided on successful completion of the conditional review.

Inspector Name: MICHAEL R. FOWLER

Date: 10 / 17 / 2023

Comments:

FINAL / SIGNED ACCEPTANCE LETTER TO FOLLOW

Notes on Project Phasing: Acceptance occurs after water and sewer infrastructure in an approved phase is installed, inspected/tested and the required supporting documentation has been received. Phases of construction must extend from and/or connect to existing (or concurrently accepted) infrastructure to be considered for acceptance. Acceptance boundaries are defined by the limits identified in the Raleigh Water approved utility phasing plan(s). Acceptance of unapproved sub-phases and/or partially complete phases will not be considered. Additional information can be found in the Raleigh Water Handbook at [www.raleighnc.gov](http://www.raleighnc.gov).

# BARRINGTON SUBDIVISION

## PHASES 2H AND 2I

### AS BUILT ZEBULON STORM SUBMITTAL PHASE 2H & 2I

### ZEBULON, NORTH CAROLINA TRC 2020-001

#### PROJECT STATISTICS

PROPERTY OWNER: 44-CONSTRUCTIONS OF FAYETTEVILLE, LLC  
 2104 SHERWOOD AVENUE, SUITE 400 FAYETTEVILLE, NC 28403  
 PROJECT ADDRESS: 101 PARKS VILLAGE ROAD, ZEBULON, NC  
 WAKE COUNTY, NC 27088-8480  
 MAPS: 10-1-15  
 WATER: 10-1-15  
 GROSS PROJECT AREA OF 48.9871 AC ..... 10.88 AC

COVER SHEET  
 C-0406057.0A7.11-7.13.7.17  
 AB-12 POINT.MP



Engineer Certification Statement  
 I, Thomas F. Craven as a duly registered professional in the state of North Carolina, having been authorized to observe periodically, the construction of the project, Barrington Subdivision, Phase 2, Sections H & I, hereby state that the construction work that is my inspection of the constructed improvements and any review of the as built survey data hereby certify that the (1) public referenced project as constructed are in compliance with the requirements of the improvements as prescribed in the approved construction drawings, approved and (2) that the construction work that is my inspection of the constructed improvements "prize through" on the "as built" drawings. Furthermore, I certify that the "prize through" exceptions do not adversely affect the required performance or public safety aspects of the improvements.

Name: **Thomas F. Craven** Date: **1/25/23**



Scale:  
 Thomas F. Craven, P.E. Registration Number: 10956  
 Priest, Craven & Associates, Inc.

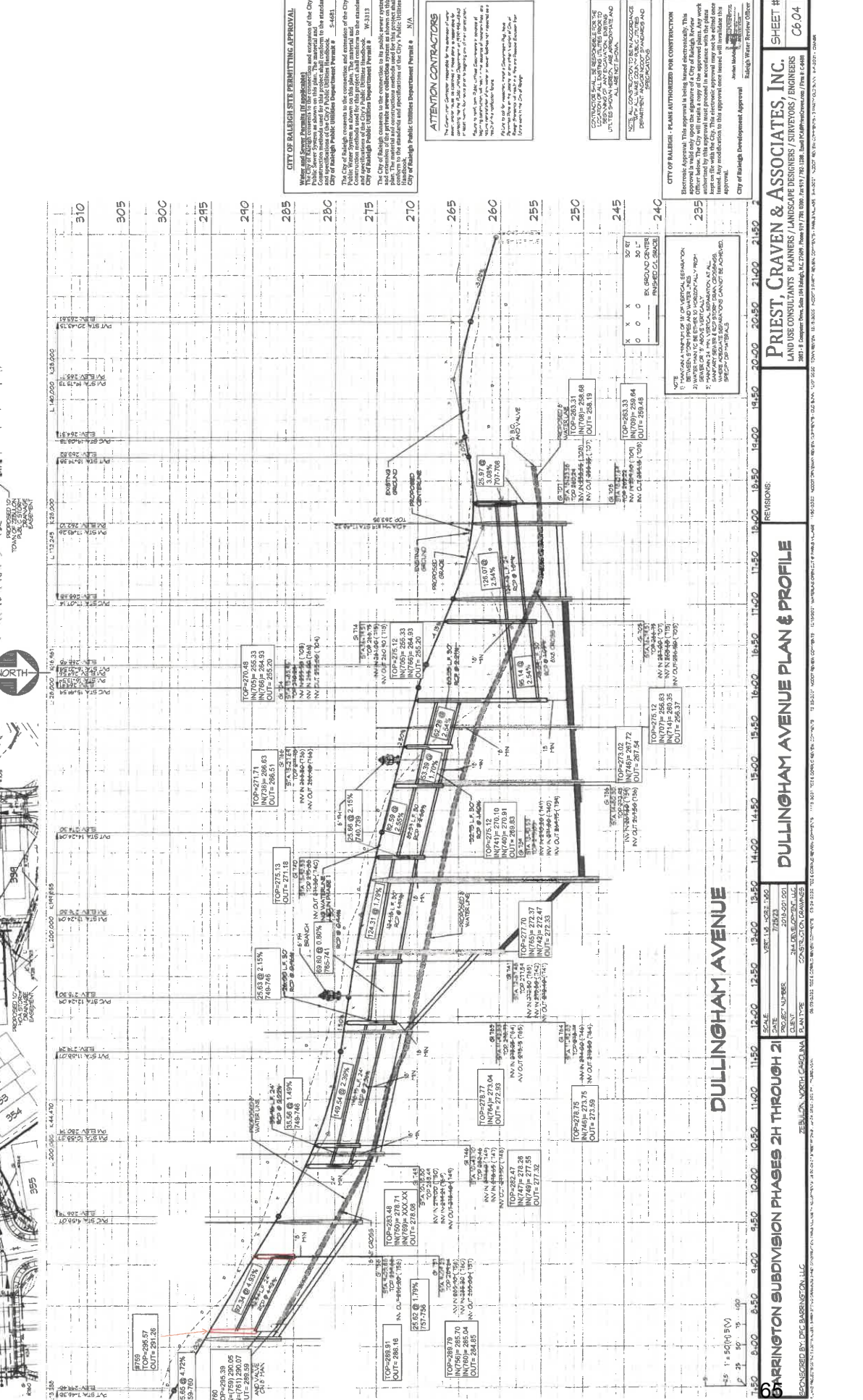
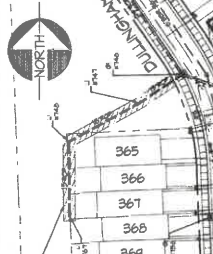
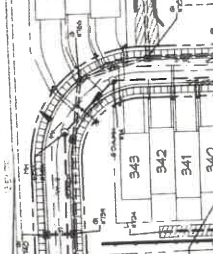
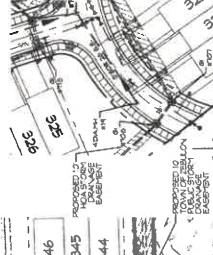
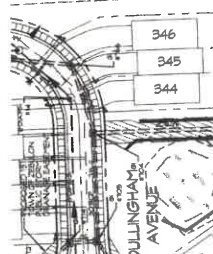
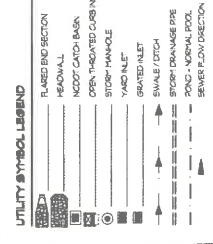
#### CONSULTANT:

**PRIEST, CRAVEN & ASSOCIATES, INC.**  
 3803 B Commerce Drive, Suite 404, Raleigh, NC 27609  
 Phone 919 / 781-0300 Fax 919 / 782-1288  
 PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS  
 Email: pcra@priestcraven.com FIRM#: C-0488

#### OWNER

**DFC BARRINGTON, LLC**  
 14701 PHILIPS HIGHWAY, SUITE 300  
 JACKSONVILLE, FL 32256

- UTILITY SYMBOL LEGEND**
- FLARED END SECTION
  - SEWAL
  - MODIFIED CUB NUT
  - OPEN THROATED CUB NUT
  - STOP-HANDLE
  - YARD NUT
  - GRAVED NUT
  - SMALL LATCH
  - POLE - NORMAL POOL
  - SEWER FLOW DIRECTION
  - RE-HOBANT
  - GATE VALVE
  - BLOW OFF GATE VALVE
  - WATER SERVICE
  - WATER MAIN
  - SEWER MAIN
  - SEWER SERVICE
  - SEWER MAIN (PROPOSED)
  - SEWER MAIN (EXISTING)
  - STORMWATER - (EXISTING)
  - UTILITY FURNISHMENT



**DULLINGHAM AVENUE**

1150 1155 1160 1165 1170 1175 1180 1185 1190 1195 1200 1205 1210 1215 1220 1225 1230 1235 1240 1245 1250 1255 1260 1265 1270 1275 1280 1285 1290 1295 1300 1305 1310 1315 1320 1325 1330 1335

240 245 250 255 260 265

310 305 300 295 290 285 280 275 270 265 260 255 250 245 240 235

1150 1155 1160 1165 1170 1175 1180 1185 1190 1195 1200 1205 1210 1215 1220 1225 1230 1235 1240 1245 1250 1255 1260 1265 1270 1275 1280 1285 1290 1295 1300 1305 1310 1315 1320 1325 1330 1335

1150 1155 1160 1165 1170 1175 1180 1185 1190 1195 1200 1205 1210 1215 1220 1225 1230 1235 1240 1245 1250 1255 1260 1265 1270 1275 1280 1285 1290 1295 1300 1305 1310 1315 1320 1325 1330 1335

1150 1155 1160 1165 1170 1175 1180 1185 1190 1195 1200 1205 1210 1215 1220 1225 1230 1235 1240 1245 1250 1255 1260 1265 1270 1275 1280 1285 1290 1295 1300 1305 1310 1315 1320 1325 1330 1335

**CITY OF RALEIGH SITE PERMITTING APPROVAL**

Water and Sewer Division (WSD) and Public Works Division (PWD) have reviewed and approved this plan. The approval is based on the information provided and does not constitute a warranty of the accuracy of the information. The City of Raleigh Public Utilities Department Permit # 24051.

**ATTENTION CONTRACTORS**

Contractors are responsible for the accuracy of the information provided on this plan. The approval is based on the information provided and does not constitute a warranty of the accuracy of the information. The City of Raleigh Public Utilities Department Permit # 24051.

**CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION**

Electronic Approval: This approval is being issued electronically. This approval is based on the information provided and does not constitute a warranty of the accuracy of the information. The City of Raleigh Public Utilities Department Permit # 24051.

**REVISIONS:**

NO.	DATE	DESCRIPTION
1	11/15/11	ISSUED FOR PERMITTING
2	11/15/11	ISSUED FOR PERMITTING
3	11/15/11	ISSUED FOR PERMITTING
4	11/15/11	ISSUED FOR PERMITTING
5	11/15/11	ISSUED FOR PERMITTING
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99	11/15/11	ISSUED FOR PERMITTING
100	11/15/11	ISSUED FOR PERMITTING

**PRIEST, CRAVEN & ASSOCIATES, INC.**  
 LAND USE CONSULTANTS / PLANNERS / SURVEYORS / ENGINEERS  
 3801 S. Cooper Street, Suite 101 Raleigh, NC 27606  
 Phone: 919.778.1234 Fax: 919.778.1235  
 Email: info@pca-inc.com Website: www.pca-inc.com

**DULLINGHAM AVENUE PHASES 2H THROUGH 2I**

SCALE: 1" = 50' (H & V)  
 DATE: 11/15/11  
 DRAWN BY: J. BARRINGTON  
 CHECKED BY: J. BARRINGTON  
 DESIGNED BY: J. BARRINGTON

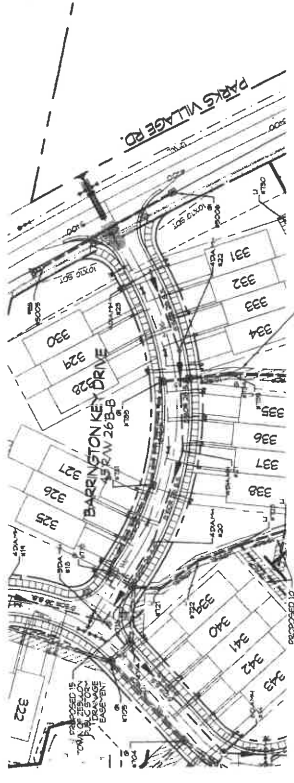
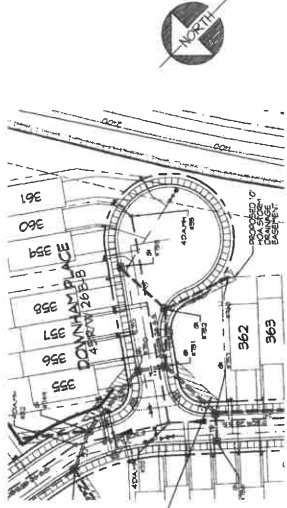
**SHEET # C6.04**

**CITY OF RALEIGH SITE PERMITTING APPROVAL**  
 Water and Sewer Permits (if applicable) and extension of the City of Raleigh Public Sewer System as shown on this plan. The materials and methods of construction shall conform to the standards and specifications of the City of Raleigh Public Utilities Department, S-4681.  
 The City of Raleigh connects to the connection and extension of the City of Raleigh Public Sewer System as shown on this plan. The materials and methods of construction shall conform to the standards and specifications of the City of Raleigh Public Utilities Department, W-5313.  
 The City of Raleigh connects to the connection to the public sewer system and extension of the private sewer collection system as shown on this plan. The materials and methods of construction shall conform to the standards and specifications of the City of Raleigh Public Utilities Department Permit # N/A.

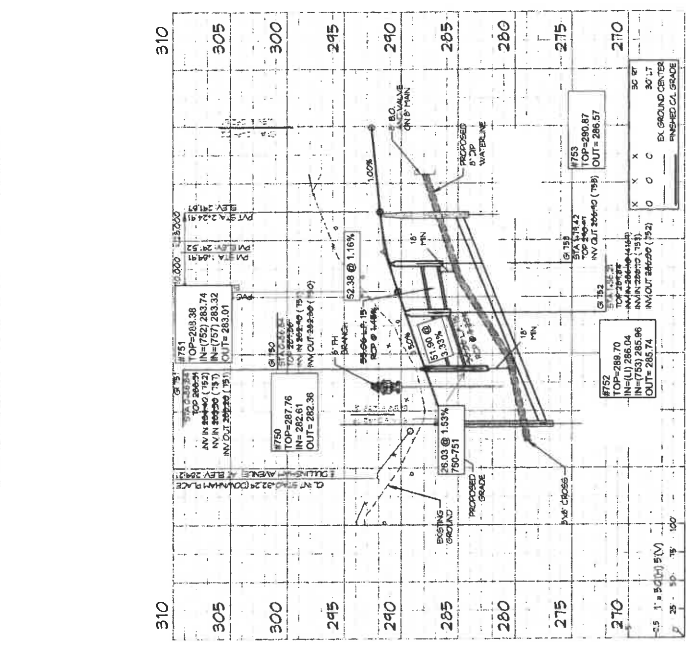
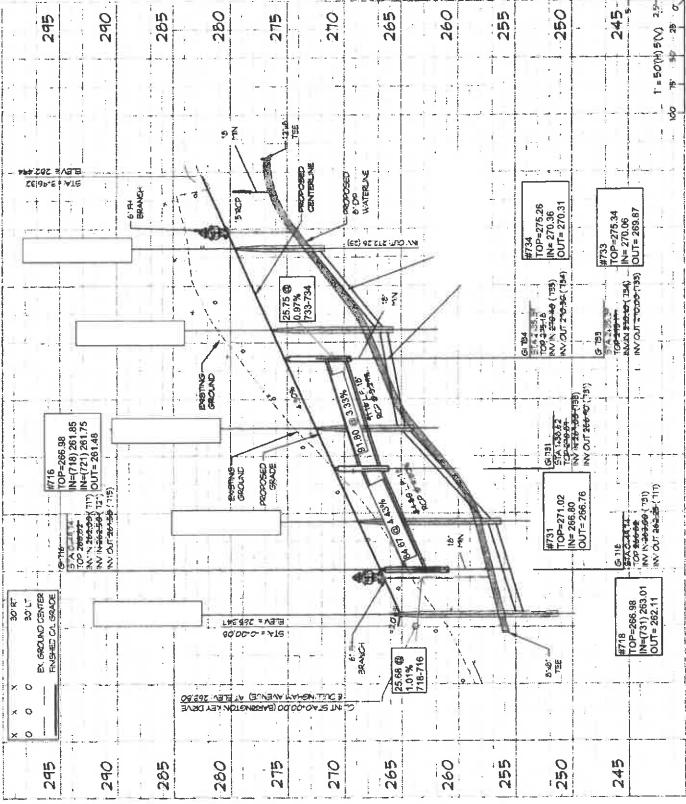
- UTILITY SYMBOL LEGEND**
- PLAID END SECTION
  - HEADWALL
  - WOOD-CATCH-BASIN
  - OPEN-TOPPED CURB INLET
  - STORM-MANHOLE
  - YARD INLET
  - GRADED INLET
  - SMALL / OTHER
  - STORM-DRAINAGE PIPE
  - POD-CURB, POOL
  - SEWER FLOW DIRECTION
  - PIPE JOINT
  - GATE VALVE
  - BLOW-OFF & GATE VALVE
  - WATER SERVICE
  - SEWER MANHOLE
  - SEWER SERVICE
  - SEWER MAN (BOUNDED)
  - SEWER MAN (UNBOUNDED)
  - STOP-WATER MANHOLE AREA
  - UTILITY EASEMENT LIMITS

**ATTENTION CONTRACTORS**  
 The Contractor shall be responsible for obtaining all necessary permits from the City of Raleigh Public Utilities Department and the State of North Carolina. The Contractor shall also be responsible for obtaining all necessary permits from the State of North Carolina. The Contractor shall also be responsible for obtaining all necessary permits from the State of North Carolina.

**NOTICE TO THE CONTRACTOR**  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT AND THE STATE OF NORTH CAROLINA. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE STATE OF NORTH CAROLINA.



**ATTENTION CONTRACTORS**  
 The Contractor shall be responsible for obtaining all necessary permits from the City of Raleigh Public Utilities Department and the State of North Carolina. The Contractor shall also be responsible for obtaining all necessary permits from the State of North Carolina. The Contractor shall also be responsible for obtaining all necessary permits from the State of North Carolina.

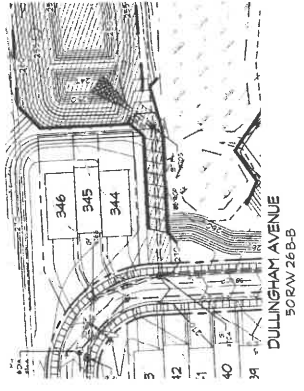


**BARRINGTON KEY DRIVE**

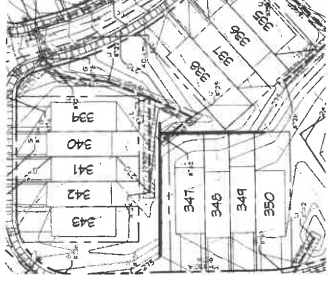
**DOWNHAM PLACE**

**BARRINGTON SUBDIVISION PHASES 2H THROUGH 2I**  
 SCALE: 1" = 10' (VERTICAL), 1" = 30' (HORIZONTAL)  
 DATE: 2/18/2020  
 PROJECT NUMBER: 204-BARRINGTON-2H-2I  
 CLIENT: 204 DEVELOPMENT, LLC  
 CONSTRUCTION DRAWING  
 PLAN TYPE: CONSTRUCTION  
 SHEET # C6.05  
 SHEET # C6.05  
 SHEET # C6.05

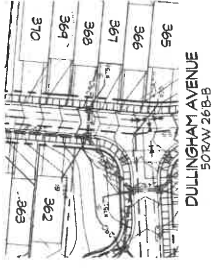
**BARRINGTON KEY DRIVE & PUTNEY HILL ROAD PLAN & PROFILE**  
 REVISIONS:  
 CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION  
 Electronic Approval: This approval is being issued electronically. The approval is valid only upon the signature of a City of Raleigh Review Engineer. The approval is valid only upon the signature of a City of Raleigh Review Engineer. The approval is valid only upon the signature of a City of Raleigh Review Engineer. The approval is valid only upon the signature of a City of Raleigh Review Engineer.  
 City of Raleigh Development Approval  
 Raleigh Water Review Officer



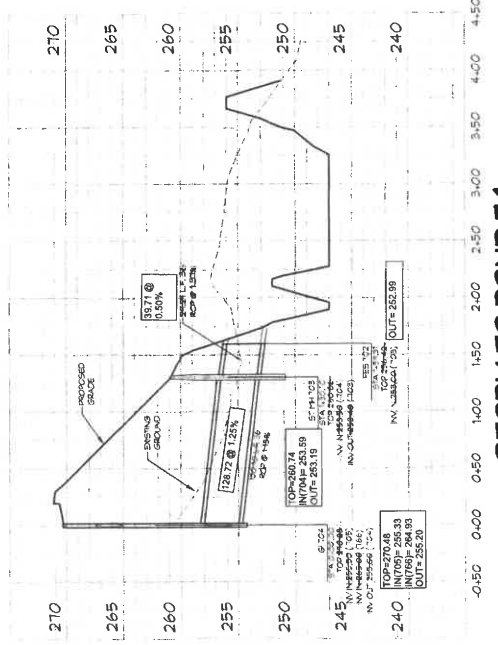
DULLINGHAM AVENUE  
50'x24' 268-B



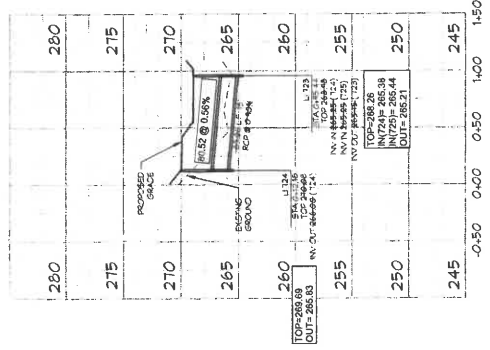
BARRINGTON KEY DRIVE  
50'x24' 268-B



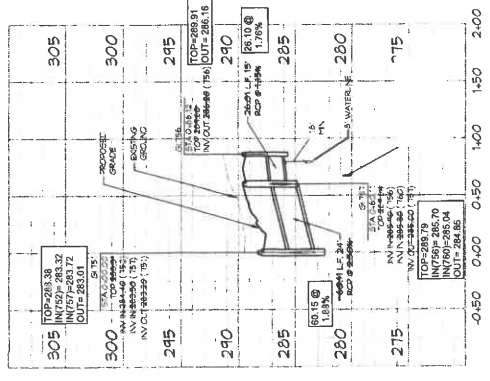
DULLINGHAM AVENUE  
50'x24' 268-B



STORM TO POND 7.1



L1724 to L1723



L1756 - 01751



**STORMWATER OUTFALL  
PLAN AND PROFILE**

**BARRINGTON SUBDIVISION PHASES 2H THROUGH 2I**  
 PREPARED BY: PEC BARRINGTON, LLC  
 SCALE: VERTICAL: 1/8" = 1'-0"  
 DATE: 11/20/23  
 SHEET NUMBER: 24 OF 25  
 PLAN TYPE: CONSTRUCTION  
 LOCATION: NORTH CAROLINA

REVISIONS:

CITY OF BARRINGTON DEPARTMENT PERMIT # N/A  
 CITY OF BARRINGTON DEPARTMENT PERMIT # W-2113  
 CITY OF BARRINGTON DEPARTMENT PERMIT # W-2113

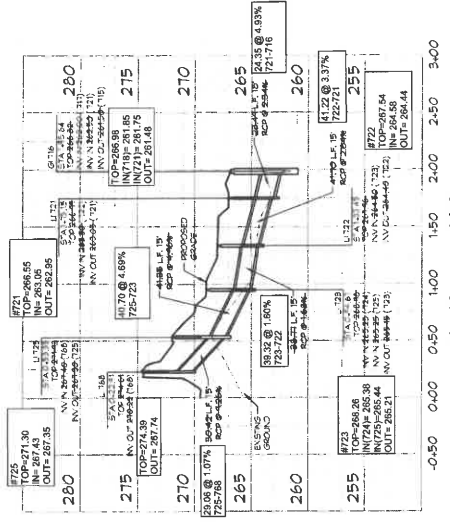
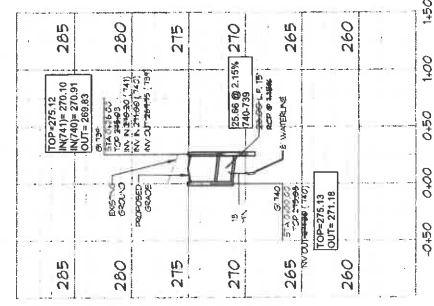
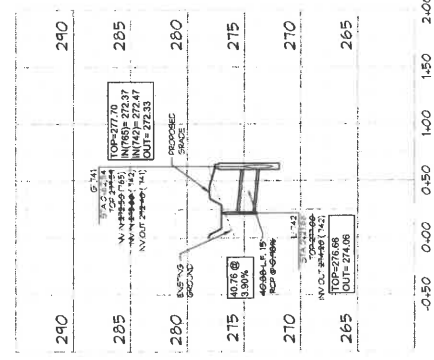
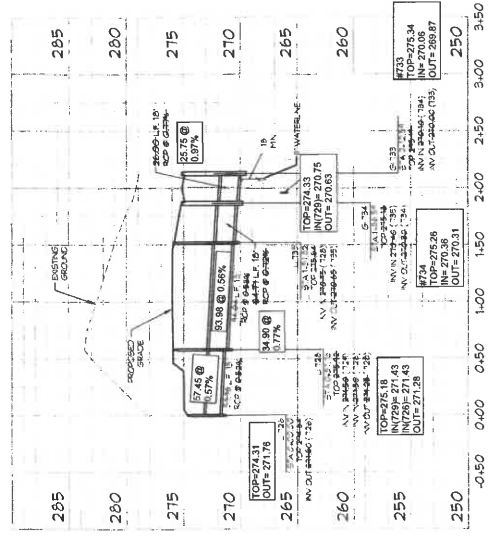
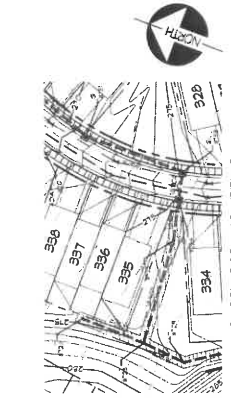
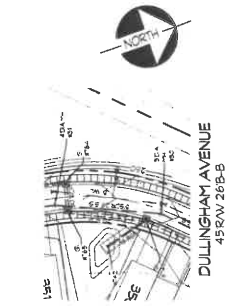
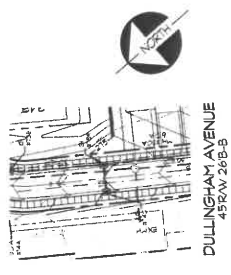
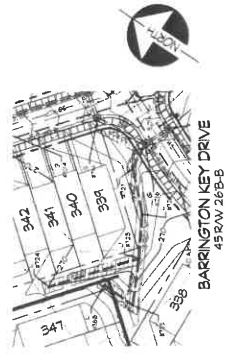
**PRIEST, CRAVEN & ASSOCIATES, INC.**  
 LAND USE CONSULTANTS / PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS  
 800 S. Cooper Street, Suite 104 Raleigh, NC 27601  
 Phone: 919.733.1200 Fax: 919.733.1201  
 www.pca-inc.com

SHEET # C1.04

**CITY OF RALEIGH SITE PERMITTING APPROVAL**  
 Water and Sewer Permits (in application)  
 The City of Raleigh is reviewing the proposed stormwater management plan and the standards and specifications of the City of Raleigh Public Utilities Department. The City of Raleigh Public Utilities Department Permit # W-2113 is required for this project. The City of Raleigh Public Utilities Department Permit # W-2113 is required for this project. The City of Raleigh Public Utilities Department Permit # W-2113 is required for this project.

**ATTENTION CONTRACTORS**  
 The contractor shall be responsible for the construction of the stormwater management system in accordance with the standards and specifications of the City of Raleigh Public Utilities Department. The contractor shall be responsible for the construction of the stormwater management system in accordance with the standards and specifications of the City of Raleigh Public Utilities Department. The contractor shall be responsible for the construction of the stormwater management system in accordance with the standards and specifications of the City of Raleigh Public Utilities Department.

**CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION**  
 Electronic Approval: This approval is being issued electronically. This approval is being issued electronically. This approval is being issued electronically. This approval is being issued electronically. This approval is being issued electronically.



**CITY OF RALEIGH PERMITTING APPROVAL**  
 Water and Sewer Permits (if applicable)  
 Public Sewer System as shown on this plan. The material and workmanship shall conform to the standards and specifications of the City of Raleigh Public Utilities Department Permit # 1-20681.  
 City of Raleigh Public Utilities Department Permit # 1-20681  
 Public Water System as shown on this plan. The material and workmanship shall conform to the standards and specifications of the City of Raleigh Public Utilities Department Permit # 1-20212.  
 City of Raleigh Public Utilities Department Permit # 1-20212  
 and the location of the proposed sewer collection system as shown on this plan shall conform to the standards and specifications of the City of Raleigh Public Utilities Department Permit # 1-20212.  
 City of Raleigh Public Utilities Department Permit # N/A

**CITY OF RALEIGH PERMITTING APPROVAL**  
 Water and Sewer Permits (if applicable)  
 Public Sewer System as shown on this plan. The material and workmanship shall conform to the standards and specifications of the City of Raleigh Public Utilities Department Permit # 1-20681.  
 City of Raleigh Public Utilities Department Permit # 1-20681  
 Public Water System as shown on this plan. The material and workmanship shall conform to the standards and specifications of the City of Raleigh Public Utilities Department Permit # 1-20212.  
 City of Raleigh Public Utilities Department Permit # 1-20212  
 and the location of the proposed sewer collection system as shown on this plan shall conform to the standards and specifications of the City of Raleigh Public Utilities Department Permit # 1-20212.  
 City of Raleigh Public Utilities Department Permit # N/A

**ATTENTION CONTRACTORS**  
 ALL CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.  
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**BARRINGTON SUBDIVISION PHASES 2H THROUGH 2I**  
 SCALE: VERTICAL: 1"=10'-0" HORIZONTAL: 1"=40'-0"  
 DATE: 7/28/23  
 SHEET NUMBER: 284 OF 300  
 CONSTRUCTION DOMAINS LLC  
 CLIENT: ZEPHYRUS NORTH CAROLINA  
 DESIGNED BY: EPC BARRINGTON, LLC  
 CHECKED BY: EPC BARRINGTON, LLC  
 DRAWN BY: EPC BARRINGTON, LLC  
 CITY OF RALEIGH PERMITTING APPROVAL: RALEIGH WATER SERVICE OFFICE

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**STORMWATER OUTFALL PLAN AND PROFILE**

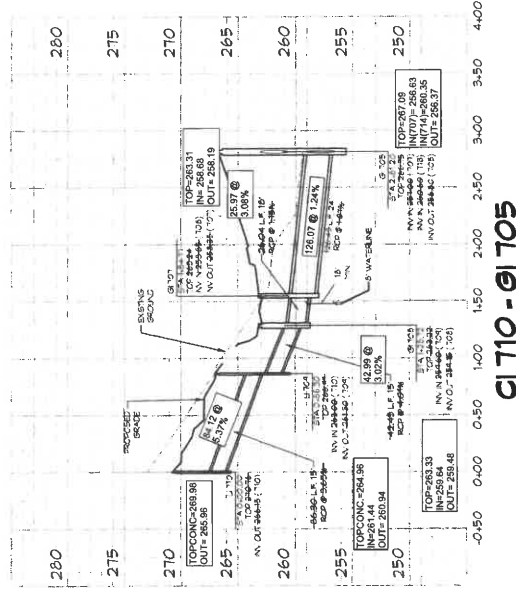
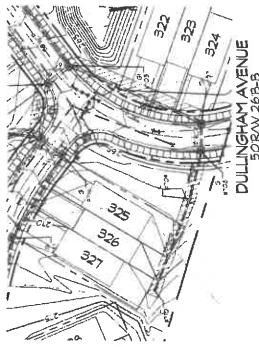
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**PRIEST, CRAVEN & ASSOCIATES, INC.**  
 LAND USE CONSULTANTS / PLANNERS / LANDSCAPE DESIGNERS / SURVIVORS / ENGINEERS  
 2801 S. Cooper Street, Suite 104 Raleigh, NC 27606 Phone: 919.778.6786 Fax: 919.778.1212 Email: pcra@priestcraven.com Website: www.priestcraven.com

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REVISIONS:  
 SHEET # C7.11





**ATTENTION CONTRACTORS**

The City of Raleigh will not be responsible for any errors or omissions in this plan. It is the responsibility of the contractor to verify all data shown on this plan. The City of Raleigh will not be responsible for any errors or omissions in this plan. It is the responsibility of the contractor to verify all data shown on this plan.

**CITY OF RALEIGH SITE PERMITTING APPROVAL**

The City of Raleigh has approved the construction and extension of the City's water line and sewer line shown on this plan. The City of Raleigh has approved the construction and extension of the City's water line and sewer line shown on this plan.

**CITY OF RALEIGH PLANS AUTHORIZED FOR CONSTRUCTION**

The City of Raleigh has approved the construction and extension of the City's water line and sewer line shown on this plan. The City of Raleigh has approved the construction and extension of the City's water line and sewer line shown on this plan.

**REVISIONS:**

**STORMWATER OUTFALL  
PLAN AND PROFILE**

**CI 710 - 91 705**

**BARRINGTON SUBDIVISION PHASES 2H THROUGH 2I**

SCALE: HORIZ. 1/8" = 1'-0" VERT. 1/4" = 1'-0"

DRAWN BY: J. H. SMITH

CHECKED BY: J. H. SMITH

DATE: 08/14/14

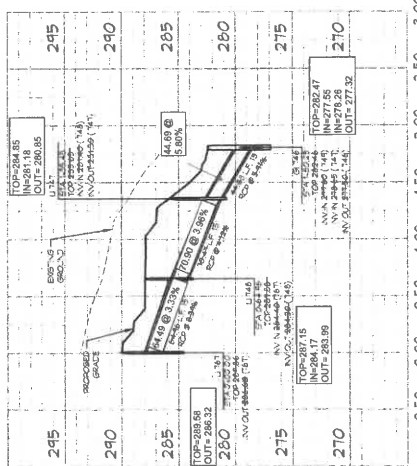
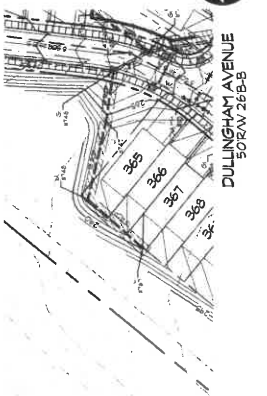
CONSTRUCTION: DRAINAGE

SPONSORED BY: DFC BARRINGTON, LLC

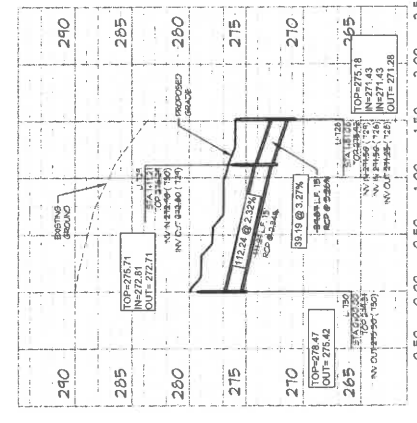
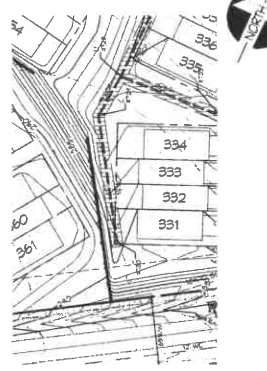
ZELDON, NORTH CAROLINA

**PRIEST, CRAVEN & ASSOCIATES, INC.**  
LAND USE CONSULTANTS, PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS  
380 S. Lenoir Street, Suite 100 Raleigh, NC 27601 Phone: 919.781.0000 Fax: 919.781.1881 Email: info@pcra.com / priest.com

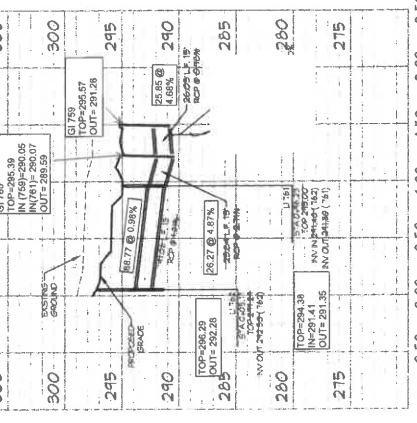
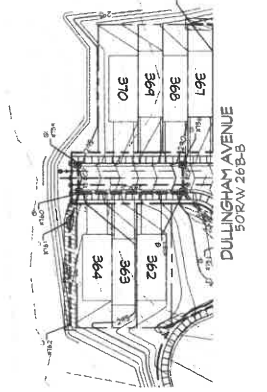
**SHEET #** C1.12



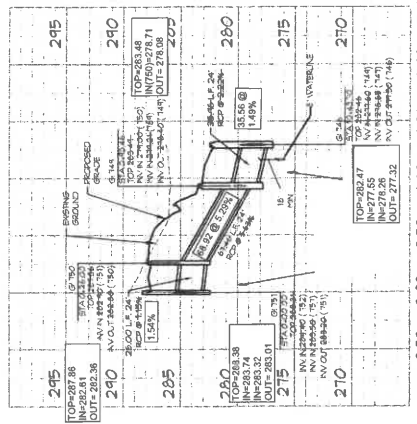
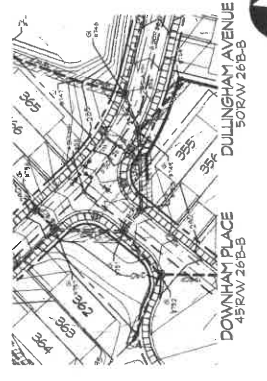
LI 767 - 01746



LI 730 to LI 728



LI 762 - 01759



LI 751 - 01746

**ATTENTION CONTRACTORS**

These drawings are prepared by the City of Raleigh Public Works Department. The contractor is responsible for the accuracy of the information shown on these drawings. The contractor shall verify all information shown on these drawings before construction begins. The contractor shall be responsible for obtaining all necessary permits from the appropriate agencies. The contractor shall be responsible for the safety of all workers and the public during construction. The contractor shall be responsible for the protection of all existing utilities and structures. The contractor shall be responsible for the cleanup of all construction materials and debris. The contractor shall be responsible for the maintenance of all access roads and easements. The contractor shall be responsible for the installation and maintenance of all stormwater management facilities. The contractor shall be responsible for the installation and maintenance of all utility facilities. The contractor shall be responsible for the installation and maintenance of all other facilities shown on these drawings. The contractor shall be responsible for the installation and maintenance of all other facilities shown on these drawings.

**CITY OF RALEIGH SITE PERMITTING APPROVAL**

Water and Sewer Divisions of Raleigh

Public Works Department

City of Raleigh Public Utilities Department Permit # 54483

The City of Raleigh Public Utilities Department Permit # 54483 is hereby approved for the construction of the stormwater outfall structure shown on these drawings. The contractor shall be responsible for the installation and maintenance of all stormwater management facilities. The contractor shall be responsible for the installation and maintenance of all utility facilities. The contractor shall be responsible for the installation and maintenance of all other facilities shown on these drawings. The contractor shall be responsible for the installation and maintenance of all other facilities shown on these drawings.

**BARRINGTON SUBDIVISION PHASES 2H THROUGH 2I**

SCALE: VERT. 1/8" = 1'-0"

DATE: 7/26/23

PROJECT NUMBER: 218-201-001

CLIENT: CONSTRUCTION

DESIGNER: DEC ENGINEERING, LLC

781001, NORTH CAROLINA

**STORMWATER OUTFALL PLAN AND PROFILE**

REVISIONS:

DATE: 7/26/23

BY: [Signature]

DESCRIPTION: [Description]

**PRIEST, CRAVEN & ASSOCIATES, INC.**

LAND USE CONSULTANTS / PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS

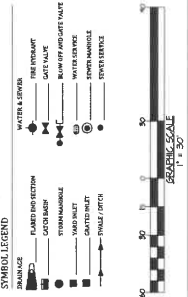
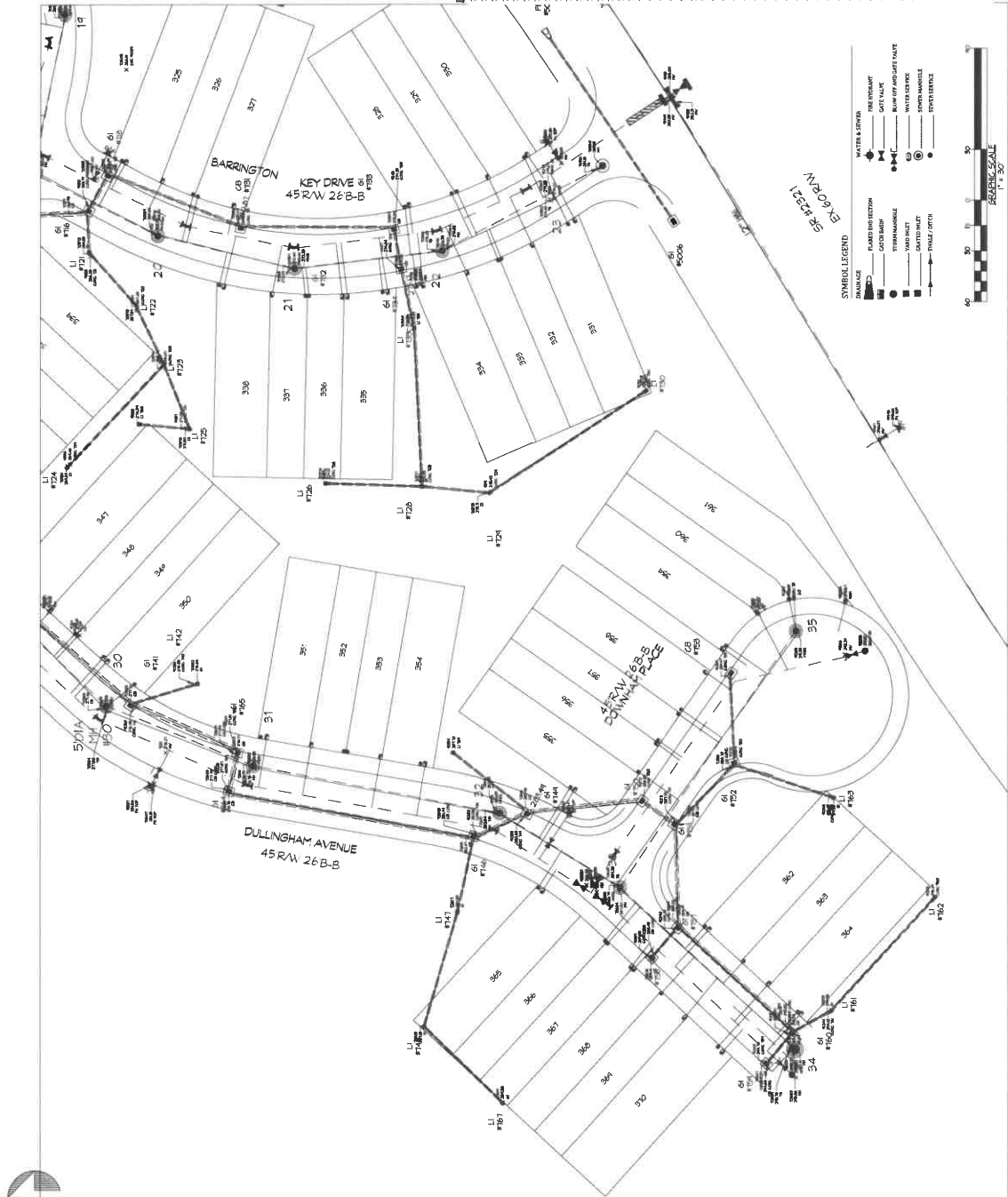
3803 S. 1st Street, Suite 101 Raleigh, NC 27607 (919) 782-1281, Fax (919) 782-1282, Email: info@pcra.com / www.pcra.com

City of Raleigh Public Utilities Department Permit # N/A

City of Raleigh Water Revenue Officer

SHEET # **CT.19**





UT. L. NORTH	EAST	ELEV.	DISCS.
7653	76138.615	23062.861	271.980 WV
7654	76138.615	23062.861	271.980 WV
7655	76138.615	23062.861	271.980 WV
7656	76138.615	23062.861	271.980 WV
7657	76138.615	23062.861	271.980 WV
7658	76138.615	23062.861	271.980 WV
7659	76138.615	23062.861	271.980 WV
7660	76138.615	23062.861	271.980 WV
7661	76138.615	23062.861	271.980 WV
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7663	76138.615	23062.861	271.980 WV
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7665	76138.615	23062.861	271.980 WV
7666	76138.615	23062.861	271.980 WV
7667	76138.615	23062.861	271.980 WV
7668	76138.615	23062.861	271.980 WV
7669	76138.615	23062.861	271.980 WV
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7691	76138.615	23062.861	271.980 WV
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7693	76138.615	23062.861	271.980 WV
7694	76138.615	23062.861	271.980 WV
7695	76138.615	23062.861	271.980 WV
7696	76138.615	23062.861	271.980 WV
7697	76138.615	23062.861	271.980 WV
7698	76138.615	23062.861	271.980 WV
7699	76138.615	23062.861	271.980 WV
7700	76138.615	23062.861	271.980 WV

# POINT MAP

AS BUILT SUBMITTAL  
**BARRINGTON PH 2 SECTION H & I**

SCALE: 1" = 30'	REVISION:	
DATE: 7/25/2022		
PROJECT: 2021-109.001		

**PRIEST, CRAVEN & ASSOCIATES, INC.**  
 LAND USE CONSULTANTS / PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS

1000 S. Commodore Street, Suite 100, Waco, TX 76797-4629  
 817-871-5100 / 817-871-5101 / 817-871-5102  
 www.pcafirm.com

1" = 30'



**RESOLUTION 2025-02  
ACCEPTING ROADWAY, AND STORM DRAINAGE  
INFRASTRUCTURE FOR BARRINTON PHASE 2-H&I**

**WHEREAS**, DFC Barrington, LLC the developers of Barrington Phase 2 H&I requests the Town of Zebulon assume ownership and maintenance of the roadway and storm drainage infrastructure within the public right-of-way or dedicated easements of Barrington Phase 2H&I consisting of 1,653 linear feet (LF) of drainage infrastructure, and 1,612 LF of roadway:

- 199 LF of Downham Place
- 1,037 LF of Dullingham Avenue
- 376 LF of Barrington Key Drive

**WHEREAS**, the Town of Zebulon has inspected said infrastructure; and

**WHEREAS**, DFC Barrington, LLC has completed all punch list tasks; and

**WHEREAS**, the Town of Zebulon has received all required documentation needed for Dedication and Warranty; and

**WHEREAS**, the Town of Zebulon has received a Subdivision Bond from Eular Hermes North America Insurance Company for completion of final asphalt roadway overlay, five-foot sidewalk, SCM conversion, access ramps, signage, striping, and asphalt and concrete repair and etc; and

**WHEREAS**, the Town of Zebulon may accept an offer of dedication of streets, sidewalks, curb and gutter, and storm drainage by resolution of the Board of Commissioners per the Town of Zebulon Uniform Development Ordinance section 6.10.4.

**NOW, THEREFORE, BE IT RESOLVED** that the Board of Commissioners of the Town of Zebulon accepts dedication of the roadway, and storm drainage.

Adopted this 9th day of September 2024.

\_\_\_\_\_  
Glenn L. York – Mayor

SEAL

\_\_\_\_\_  
Lisa M. Markland, CMC - Town Clerk

STAFF REPORT  
RESOLUTION 2025-03  
BARRINGTON PHASE 3B  
ROADWAY, AND STORM DRAINAGE ACCEPTANCE  
SEPTEMBER 9, 2024

**Topic: Resolution 2025-03 – Barrington Phase 3B Infrastructure Acceptance**

Speaker: Chris D. Ray, Public Works Director (if pulled from Consent)  
From: Chris D. Ray, Public Works Director  
Prepared by: Joseph Collins, Public Works Construction Closeout Coordinator  
Approved by: Taiwo Jaiyeoba, Interim Town Manager

**Executive Summary:**

The Board of Commissioners will consider accepting roadway and storm-drainage infrastructure constructed with Barrington Phase 3B for ownership and maintenance by the Town of Zebulon.

**Background:**

The Town of Zebulon follows a practice where the Board considers acceptance (i.e., ownership and maintenance) of roadway and storm drain infrastructure installed in new subdivisions. In advance of this consideration, Staff determines whether the infrastructure complies and meets the conditions of permits and Town standards.

DFC Barrington, LLC has completed the construction of roadway and stormwater infrastructure in Barrington Phase 3B. Barrington Phase 3B will include 26 Single Family lots (with a total of 837 lots for all phases). The plat was recorded with the Wake County Registrar of Deeds on August 15, 2024 (BM 2024, Page 01633). Staff and third-party inspectors/engineers have certified all completed work meets or exceeds Town standards and requirements, and City of Raleigh Utility Standards.

**Discussion:**

The Board must accept the dedication of streets, curb and gutter, street signage, and storm drainage for ownership and maintenance if the dedicated work is consistent with the UDO and complies with the latest version of Town standards.

**Policy Analysis:**

The infrastructure was installed per Special Use Permit 2017-01. The infrastructure complies with the latest version of the “Town of Zebulon Street & Storm Drainage Standards and Specifications” and is consistent with the Town of Zebulon Uniform Development Ordinance section 6.10.4 for dedication of roadways.

Infrastructure Amount and Value

Barrington Phase 3B will dedicate one (1) street totaling 825' LF linear feet (~.15 miles), and 698 linear foot (~ .13 miles) of storm drainage valued at \$129,033.53.

The infrastructure will be added to the Town’s Capital assets (re. Comprehensive Annual Financial Report). Upon acceptance, the Town will own and maintain 40.94 miles of street and 31.54 miles of stormwater pipe.

STAFF REPORT  
RESOLUTION 2025-03  
BARRINGTON PHASE 3B  
ROADWAY, AND STORM DRAINAGE ACCEPTANCE  
SEPTEMBER 9, 2024

Maintenance Cost

In addition to Staff's annual inspection and cleaning efforts, the Town of Zebulon annually contracts the cleaning of approximately 10% (3.1-miles) of the Town's stormwater system (FY '25 Budget \$40,000). This work is done to meet one component of the "Pollution Prevention and Good Housekeeping" objectives of the Town's permit (National Pollutant Discharge Elimination System # NCS000557) with the NC Department of Environmental Quality (the permit regulating how the Town operates its stormwater system). The acceptance of Barrington 3B increases the storm drain network by less than 1%

Streets are designed to have a useful life of 20 years; therefore, the Town needs to repave approximately 2 miles of street annually estimated at \$440,000. The acceptance of Barrington 3B increases the street network by less than 1%

Revenue Streams

Maintenance costs for street paving are supported by the following dedicated revenues:

- a) "Powell Bill" (gas tax) ~ \$ 239,000 (Zebulon's share of this revenue collected by the State has grown proportionally with increasing population and street mileage).
- b) Vehicle Tag Fee ~ \$205,000 (this revenue will grow as new residents register their vehicles within the Town's limits).

There are no dedicated revenue sources to support stormwater maintenance (0.7¢ on the property tax rate is dedicated toward stormwater capital improvements). Staff is reviewing options for the Board to consider a stormwater fee for FY 2026.

Warranty and Insurance

The Town received a one-year warranty on all the dedicated assets. Staff will conduct an 11-month warranty inspection prior to the final overlay to ensure any issues or failures are repaired prior to the final asphalt overlay by the developer.

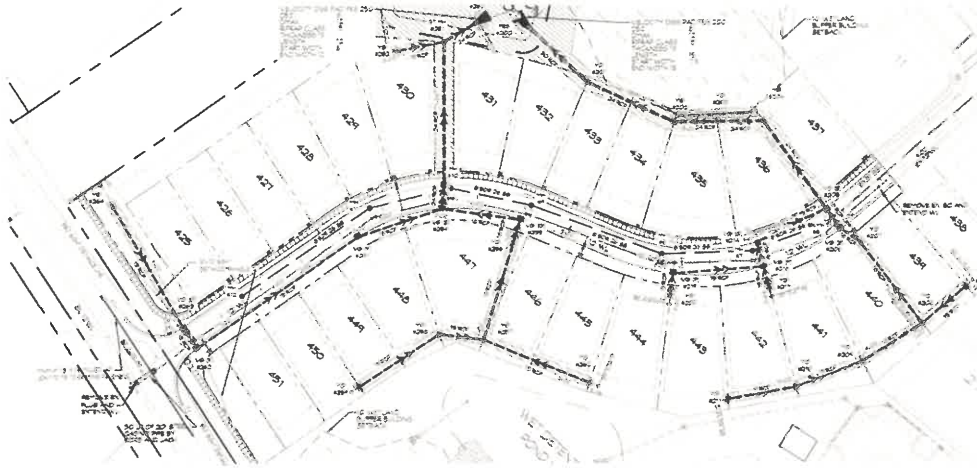
The Town received a Subdivision Bond # US005405 in the amount of \$173,842.39 from Euler Hermes North America Insurance Company to ensure the final completion of outstanding items (e.g., final asphalt overlay, striping, signage, sidewalks, SCM conversion, landscaping etc.). The final completion of these items are intentionally delayed to minimize the damage that may occur as individual lots are constructed. The Site Improvement Performance Bond is automatically renewed or revised annually to reflect items completed. The Site Improvement Performance Bond remains active until all items have been completed. All inspection and development fees of \$120,405.87 were collected from the developer.

**Staff Recommendation:**

Staff recommends approval of Resolution 2025-03 to accept Barrington 3B roadway and storm drainage infrastructure, warranty, and site improvements bond.



STAFF REPORT  
RESOLUTION 2025-03  
BARRINGTON PHASE 3B  
ROADWAY, AND STORM DRAINAGE ACCEPTANCE  
SEPTEMBER 9, 2024



**Attachments:**

1. Closeout Documents

- Engineer certification of roadway lengths and dedicated infrastructure values
- Engineer Certification for Roadways and Stormwater (Also see as-built for certification)
- Engineering Estimate for Letter of Credit/Bond
- Subdivision Bond – Euler Hermes North America Insurance Company
- Developer warranty/guaranty– Stormwater/Roadway
- Developer warranty/guaranty – water and sewer
- Third party engineering reports for sub-grade, stone, and asphalt
- Engineering certification – Water and sewer
- Developer – Release of Lien
- Contractor – Release of Lien
- Notice of conditional acceptance – City of Raleigh
- Proof of payment for streetlights
- Proof of payment for Town Inspections and fees

2. As-Built Drawings

3. Resolution 2025-03

# PRIEST, CRAVEN, & ASSOCIATES, INC.

LAND USE CONSULTANTS

*Let  
7/25/24  
Approved  
as  
Submitted.*

June 4, 2024

Mr. Chris Ray, Director  
Town of Zebulon Public Works Department  
450 East Horton Street  
Zebulon, NC 27597

Engineer's Final Certification of Roadway Lengths  
Barrington Subdivision 3 Tract B

I, Tomas F. Craven, as a duly registered Professional Engineer in the state of North Carolina, Certify that Barrington Subdivision 3, construction Tract B includes a total of 825 linear feet of public streets according to the following breakdown per street.

No.	Street Name	Classification	Public	Length	Right of Way Width
1	Hallingsfield Way	Local Street	Yes	825LF	50'

This certification is issued based upon the approved construction drawings, construction staking and as built surveys provided by this office.

Thomas F. Craven, PE  
Priest, Craven & Associates, Inc.



PLANNERS / LANDSCAPE DESIGNERS / ENGINEERS / SURVEYORS

3803-B Computer Drive, Suite 104, Raleigh NC 27609, Phone: (919) 781-0300 Fax (919) 782-1288

Est  
7-25-24

# PRIEST, CRAVEN, & ASSOCIATES, INC.

## LAND USE CONSULTANTS

Approved  
AS  
Submittal

June 26, 2024

File: Dedication Phase 3B-Cost Estimate

### DEDICATED INFRASTRUCTURE COST ESTIMATE

PROJECT:

Barrington Subdivision Phases 3B - 26 Lots  
Zebulon, North Carolina

ENGINEERS:

Priest, Craven & Associates, Incorporated  
3803 B Computer Drive, Suite 104  
Raleigh, North Carolina 27609

Linear Footage of Streets Hallingsfield Way - 825LF

OWNER:

DFC Barrington, LLC  
13000 Sawgrass Village Circle Building 5, Suite 24  
Ponte Vedra Beach, FL 32082

On behalf of DFC Barrington, LLC, an engineer's opinion of cost is herein provided for the total cost of the site improvements for Barrington Phase 3B, that is to be dedicated to the Town of Zebulon. Quantities were taken from construction drawings produced by Priest Craven and Associates, Inc. Pricing was furnished by the Contractor.

ITEM NO	DESCRIPTION	QUANTITY	UNIT PRICE	EXTENDED PRICE
<b>DIVISION I - STREET PAVING AND CURB AND GUTTER</b>				
1	CABC Stone under Asphalt (8")	1868 SY	\$11 95	\$22,322 60
2	CABC Stone under Curb (8")	1604 LF	\$2 10	\$3,368 40
3	30" Concrete Curb and Gutter	1604 LF	\$14 32	\$22,969 28
4	First Lift of Asphalt Local Street	2868 SY	\$11 30	\$32,408 40
<b>DIVISION II - SEDIMENTATION AND EROSION CONTROL</b>				
1	No Bond Item	1 LS	\$0 00	\$
1	No Bond Item	1 LS	\$0 00	\$
<b>DIVISION III - CLEARING, GRUBBING AND EARTHWORK FOR STREETS</b>				
1	No Bond Item	1 LS	\$0 00	\$
<b>DIVISION IV - WATERAINS AND SERVICES</b>				
1	No Bond Item	1 LS	\$0 00	\$
<b>DIVISION V - SEWER MAINS AND SERVICES</b>				
1	No Bond Item	1 LS	\$0 00	\$
<b>DIVISION VI - STORM DRAINAGE (PUBLIC ONLY)</b>				
1	15" RCP	428 LF	\$32 50	\$13,910 00
2	18" RCP	198 LF	\$43 40	\$8,593 20
2	24" RCP	27 LF	\$43 40	\$1,171 80
3	Drainage Structures (15)	1 LS	\$17,477 00	\$17,477 00
4	Inlet Castings Standard and Valley	11 EA	\$619 35	\$6,812 85
<b>DIVISION I TOTAL</b>				\$81,068 68
<b>DIVISION II TOTAL</b>				\$0 00
<b>DIVISION III TOTAL</b>				\$0 00
<b>DIVISION IV TOTAL</b>				\$0 00
<b>DIVISION V TOTAL</b>				\$0 00
<b>DIVISION VI TOTAL</b>				\$47,964 85
<b>TOTAL DIVISION I - VI</b>				\$129,033 53

*Thomas F. Craven*

Thomas F. Craven, P.E. Registration Number 10956  
Priest, Craven & Associates, Inc.



PLANNERS / LANDSCAPE DESIGNERS / ENGINEERS / SURVEYORS

3803-B Computer Drive, Suite 104, Raleigh NC 27609, Phone: (919) 781-0300 Fax (919) 782-1288

# PRIEST, CRAVEN, & ASSOCIATES, INC.

## LAND USE CONSULTANTS

April 23, 2024

File: Phase 3B Cost Estimate

### COST ESTIMATE FOR BOND

PROJECT:

Barrington Subdivision Phase 3B  
Zebulon, North Carolina

ENGINEER:

Priest, Craven & Associates, Incorporated  
3803 B Computer Drive, Suite 104  
Raleigh, North Carolina 27609

OWNER:

DFC Barrington, LLC  
13000 Sawgrass Village Circle Building 5, Suite 24  
Ponte Vedra Beach, FL 32082

To Whom It May Concern,

The following is a cost opinion of the work and material required to complete the installation of sidewalks, 1" asphalt overlay and common area landscaping within the above-mentioned project. The unit prices are based on the costs furnished by the contractor.

ITEM NO	DESCRIPTION	QUANTITY	UNIT PRICE	EXTENDED PRICE
<i>DIVISION I - PAVING AND CONCRETE</i>				
1	5' Concrete Sidewalk	5500 SF	\$4.86	\$26,730.00
2	1" I-2 Asphalt Overlay	2058 SY	\$5.99	\$12,327.42
3	Manhole Adjustments	7 EA	\$450.00	\$3,150.00
4	Water valve Adjustments	3 EA	\$330.00	\$990.00
5	Handicap Ramps	2 EA	\$1,558.75	\$3,117.50
6	Stripping	1 LS	\$900.00	\$900.00
<i>DIVISION II - Landscaping</i>				
1	Street Trees	18 EA	\$375.00	\$6,750.00
<i>DIVISION III - Stormwater Management and Erosion Control</i>				
1	Seeding and Monthly Maintenance	0.45 AC	\$1,675.00	\$753.75
2	Silt Fencing Removal	1480 LF	\$2.75	\$4,070.00
3	Stormwater Management Pond Conversion	1 LS	\$32,000.00	\$32,000.00
4	Stormwater Management Pond Landscaping	248 Each	\$4.00	\$992.00
5	4' Chain Link Fence	477 LF	\$12.00	\$5,724.00
<i>DIVISION IV - Miscellaneous</i>				
1	Geotechnical Allowance at SCM	1 LS	\$1,250.00	\$1,250.00
2	Construction Inspection	14 DAY	\$920.00	\$12,880.00
3	Construction Staking at SCM	1 LS	\$1,250.00	\$1,250.00
<i>DIVISION I TOTAL</i>				\$47,214.92
<i>DIVISION II TOTAL</i>				\$6,750.00
<i>DIVISION III TOTAL</i>				\$43,539.75
<i>DIVISION IV TOTAL</i>				\$15,380.00
<i>TOTAL DIVISION I - IV</i>				\$112,884.67
CONSTRUCTION CPI @ 10%				X \$11,288.47
DESIGN / CONSTRUCTION ADM @ 20%				X \$22,576.93
CONTINGENCY				X \$11,288.47
SUBTOTAL				\$158,038.54
ESTIMATED BOND AMOUNT				X 1.10
				\$173,842.39

*Left  
7-25-24  
Approved  
As  
Submitted*

*Thomas F Craven*

Thomas F Craven, PE  
Priest Craven and Associates, Inc.



PLANNERS / LANDSCAPE DESIGNERS / ENGINEERS / SURVEYORS

BARRINGTON 3B #4

Let  
7-25-24  
Approved  
As submitted

**SUBDIVISION BOND**

Bond No.: US005405

Principal Amount: \$173,842.39

KNOW ALL MEN BY THESE PRESENTS, that we  
DFC Barrington, LLC  
13000 Sawgrass Village Circle, Ponte Vedra Beach, FL 32082  
as Principal, and  
Euler Hermes North America Insurance Company  
800 Red Brook Boulevard, Owings Mills, MD 21117 a MD  
Corporation, as Surety, are held and firmly bound unto  
Town of Zebulon,  
100 North Arendell Avenue, Zebulon, NC 27597  
as Oblige, in the penal sum of  
One Hundred Seventy Three Thousand Eight Hundred Forty Two and 39/100  
(Dollars) (\$173,842.39), lawful money of the  
United States of America, for the payment of which well and truly to be made, we bind ourselves,  
our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these  
presents.

WHEREAS, DFC Barrington, LLC has agreed to construct in  
Barrington, Phase 3B Subdivision, in Zebulon, NC the following  
improvements:

Complete installation of sidewalks, 1" asphalt overlay, and common area landscaping

NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION IS SUCH, that if the said  
Principal shall construct, or have constructed, the improvements herein described, and shall save  
the Oblige harmless from any loss, cost or damage by reason of its failure to complete said work,  
then this obligation shall be null and void, otherwise to remain in full force and effect, and the  
Surety, upon receipt of a resolution of the Oblige indicating that the improvements have not  
been installed or completed, will complete the improvements or pay to the Oblige such amount  
up to the Principal amount of this bond which will allow the Oblige to complete the improvements.  
As part of the obligations secured hereby and in addition to the principal amount of the bond, there  
shall be included costs, reasonable expenses and fees, including reasonable attorneys fees, incurred by  
Oblige, but these costs shall not exceed ten percent (10%) of the penal sum of the bond.

It is expressly understood and agreed that this bond will continue until released by the Oblige  
upon written agreement to the Principal.

Upon approval by the Oblige, this instrument may be proportionately reduced as the public  
improvements are completed.

Signed, sealed and dated, this 24th day of May, 2024.

DFC Barrington, LLC

Principal

By: [Signature]

Euler Hermes North America Insurance Company

Surety

By: [Signature]  
James I. Moore, Attorney-in-Fact

STATE OF ILLINOIS

COUNTY OF DUPAGE}

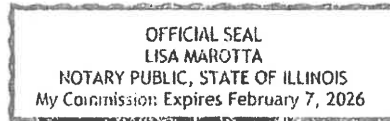
On May 24, 2024, before me, Lisa Marotta, a Notary Public in and for said County and State, residing therein, duly commissioned and sworn, personally appeared, James I. Moore known to me to be Attorney-in-Fact of Euler Hermes North America Insurance Company the corporation described in and that executed the within and foregoing instrument, and known to me to be the person who executed the said instrument in behalf of the said corporation, and duly acknowledged to me that such corporation executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year stated in this certificate above.

My Commission Expires, February 7, 2026

Commission No. 946275

  
Lisa Marotta, Notary Public





Allianz Trade

EULER HERMES NORTH AMERICA INSURANCE COMPANY  
800 Red Brook Boulevard \* Owings Mills, Maryland 21117

The number of persons authorized by this Power of Attorney is not more than: 1

POWER OF ATTORNEY

KNOW ALL MEN BY THESE PRESENTS: That EULER HERMES NORTH AMERICA INSURANCE COMPANY (EULER HERMES), a corporation organized and existing under the laws of the state of Maryland, does hereby nominate, constitute, and appoint the person or persons named below, each individually if more than one is named, its true and lawful attorney-in-fact, for and in its name, place, and stead to execute on behalf of EULER HERMES, as surety, any and all bonds, undertakings, and contracts of suretyship, or other written obligations in the nature thereof; provided that the liability of EULER HERMES on any such bond, undertaking, or contract of suretyship executed under this authority shall not exceed the limit stated below.

NAME	James I. Moore	ADDRESS	1411 Opus Place, Suite 450 Downers Grove, IL 60515	LIMIT OF POWER	
PRINCIPAL		OBLIGEE		\$50,000,000.00	

This Power of Attorney revokes all previous powers issued on behalf of the attorney(s)-in-fact named above.

IN WITNESS WHEREOF, EULER HERMES has caused these presents to be signed and attested by its appropriate officers and its corporate seal hereunder affixed this 1st day of November, 2022.



James Daly, President and CEO-The Americas

Nicholas P. Verna II, Senior Vice President and Regional Head of Surety and Guarantee, Americas

State of Maryland, County of Baltimore

On this 1st day of November, 2022, before me personally appeared Nicholas P. Verna II, to me known, being duly sworn, deposes and says that he resides in Southeastern, PA; that he is Senior Vice President and Regional Head of Surety and Guarantee, Americas of Euler Hermes North America Insurance Company, the Company described herein and which executed the above instrument; that he know the seal of EULER HERMES; that the seal affixed to said instrument is such corporate seal; that it was so affixed by authority of the Board of Directors of EULER HERMES; and that he signed his name thereto by like authority.

Notary Public

This Commission Expires February 2, 2026

Notarial Seal

This Power of Attorney is granted by authority of the following resolutions adopted by the Board of Directors of EULER HERMES NORTH AMERICA INSURANCE COMPANY (Company) by unanimous consent on October 1, 2015.

RESOLVED: That the President, Executive Vice President, Senior Vice President, Vice President, Secretary, and Assistant Vice Secretary, be and hereby are authorized from time to time to appoint one or more Attorneys-in-Fact to execute on behalf of the company, as surety, and any and all bonds, undertakings and contracts of suretyship, or other written obligation in the nature thereof; to proscribe their respective duties and all respective limits of their authority; and to revoke any such appointment at any time.

RESOLVED FURTHER: That the Company seal and signature of the aforesaid officers and may be affixed by facsimile to any Power of Attorney given for the execution of any bond, undertaking, contract of suretyship, or other written obligations in the nature thereof, such signature and seal when so used being hereby adopted by the Company as the original signature of such officer and the original seal of the Company, to be valid and binding upon the Company with the same force and effect as though manually affixed.

CERTIFICATION

I, Nicholas P. Verna II, Senior Vice President and Regional Head of Surety & Guarantee, Americas of EULER HERMES NORTH AMERICA INSURANCE COMPANY, do hereby certify that the foregoing Power of Attorney and the Resolutions of the Board of Directors of October 1, 2015, have not been revoked and are now in full force and effect.

Signed and sealed this 24th day of May, 2024.



Nicholas P. Verna II, Senior Vice President and Regional Head of Surety and Guarantee, Americas

BARRINGTON 3B #5

~~LOTT~~  
APPROVED AS  
Submitted.



DFC Barrington, LLC  
Jacksonville, FL 32256

DEVELOPERS GUARANTY #5

RE: Barrington Phase 3B Street and Stormwater Infrastructure One Year Warranty

Dear Mr. Ray

DFC Barrington LLC guarantees and warrants that all roadways and storm sewer infrastructure installed within Barrington 3B subdivision conforms with the Town of Zebulon requirements, and that warranty remain in effect for a period of one year from the date of the acceptance of work. DFC Barrington LLC hereby agrees to indemnify, defend and hold harmless the Town from and against all costs, lost and damages, including attorney fees, arising from the failure of the work to conform to the Towns standards.

We understand the One-year warranty shall begin once the Town has accepted the Streets and Storm Sewer. The improvements have been installed per the approved construction plans and inspected by the Town of Zebulon.

Please contact me if you have any concerns or questions.

Witness the following signature and seal this 18 day of June, 2024.

 Signature

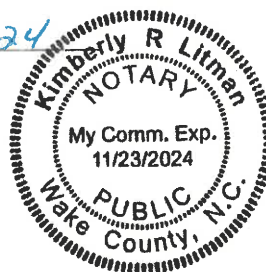
Jeff Burrous  
Director of Land Development  
Dream Finders Homes, LLC

State of NC; County/City of Wake;

Subscribed and sworn to before me this 18 day of June, 2024

My Commission Expires: 11/23/2024







BARRINGTON 3B #6

✓  
APPROVED  
Submittals

## DFC Barrington LLC

12/15/2023

Mr. Michael Derby  
City of Raleigh  
Public Utilities Inspections Division  
3324 Lake Woodard Drive  
Raleigh, NC 27604

RE: Barrington Phases 3B Water and Sewer Improvements  
One Year Warranty

Dear Mr. Derby,

On behalf of DFC Barrington LLC we hereby grant the City of Raleigh a one (1) year warranty on all water and sewer improvements located within Phases 3B of the Barrington Subdivision, Zebulon, NC.

We understand the One Year Warranty shall begin on the date of the issuance of the Letter of Acceptance. These improvements were installed per the approved construction drawings for Phases 3B of the Barrington Subdivision and inspected by the City of Raleigh Public Utilities Department.

Please contact us immediately with any concerns or questions.

Respectfully,



Jonathan Massey

Land Development Manager – as POA

Dream Finders Homes

BARRINGTON 3B #6

Approved  
As  
Submitted  
7/25/23

## RELEASE OF LIEN

**PROJECT:**

**Barrington Phase 3B**

**OWNER:**

**DFC Barrington LLC**

WHEREAS THE UNDERSIGNED, as Owner of this project does hereby certify to the City of Raleigh Public Utilities that all materials and labor utilized for the construction of the infrastructure of Barrington Subdivision, Phase 3B have been paid in full for labor, services, materials or equipment for the above project in the capacity as Owner.

THE UNDERSIGNED DOES HEREBY GUARANTEE THE RELEASE OF ALL LIENS OR CLAIMS OR RIGHT OF LIEN, STATUTORY OR OTHERWISE, AGAINST THE PROJECT AS PROVIDED BY THE UNDERSIGNED.

Signed:

By: Jonathan Massey as POA

Title: Land Development Manager

Date: December 19, 2023

State of North Carolina

County of Wake

Name: Rebekah Pitts

Subscribed and sworn before me this 19<sup>th</sup> day of December 2023

Notary Public: Signed: Rebekah Pitts

My commission expires: 08-29-2028





BARRINGTON 3B  
#7 ASPHALT CORES

~~LOST~~  
7-7524  
Approved  
As  
Submitted

November 15, 2023

Mr. Jonathan Massey  
Land Development Manager  
Dream Finders Homes  
7200 Falls of Neuse Road, Suite 202  
Raleigh, NC 27615

**Re: Laboratory Testing for Asphalt Cores  
Barrington Phase 3B  
Trimat Project 23-1933-14**

Mr. Massey,

Please find attached with this letter the test results for the 3 asphalt cores delivered to us on November 8<sup>th</sup>, 2023, by Blythe Construction. These 6" diameter asphalt cores represented one asphalt mix, an RS9.5C with JMF 18-1332-271. Once the cores were received, they were prepared to be tested as per AASHTO T166 - Standard Method of Test for Bulk Specific Gravity (Gmb) of Compacted Asphalt Mixtures Using Saturated Surface-Dry Specimens.

Testing was performed at our AASHTO Resource approved RTP laboratory during the month of November 2023 and the results are presented on the attached test reports. The average thickness and percent compaction for the cores were 2.14" and 93.6%, respectively. North Carolina Department of Transportation (NCDOT) compaction requirements for RS9.5C is 92%.

If you have any questions or if further information is needed, please let me know. Thank you for allowing Trimat to work with your company on this project, and we hope that we can help you again in the future.

Thank you.

Sincerely,

Christopher Bacchi, PE  
Trimat Materials Testing, Inc.

Abhilash Kusam  
Trimat Materials Testing, Inc.

Attachments



**Trimat Materials Testing, Inc.**  
**Bulk Specific Gravity of Compacted Hot Mix Asphalt Mixtures Using Saturated Surface-Dry Specimens/Percent Air Voids in Compacted Dense and Open Asphalt Mixtures**  
 AASHTO T166/T269 - Method A

**Project #:** 23-1933-14      **Report Date:** 11/15/2023  
**Project Name:** Barrington Phase 3B      **Test Date:** 11/9/2023  
**Client Name:** Blythe      **Date Received:** 11/8/2023  
**Client Address:**

**References:**  
 AASHTO T166: Bulk Specific Gravity and of Compacted Hot Mix Asphalt Mixtures Using SSD Specimens  
 AASHTO T269: Percent Air Voids in Compacted Dense and Open Bituminous Paving Mixtures  
 AASHTO T40: Sampling Bituminous Paving Mixtures  
 AASHTO T209: Theoretical Maximum Specific Gravity and Density of Hot Mix Asphalt (HMA)

**Note:**  
 For % Compaction use:  $(D / E) \times 100$   
 For % Air Voids use:  $(E - D) / E \times 100$

**Material Description:** RS9.5C JMF 18-1332-271      **Sampled By:** Client

Lab #:	Sample #:	Height: (0.05)	Dry A	SSD B	Water C	Gmb (0.001) D = A / (B-C)	Gmm E	% Voids	% Compaction	% Absorption (< 2%), (0.01) (E-A)/(E-C)x100
12256	1	2.30	2410.1	2417.9	1366.2	2.292	2.428	5.6	94.4	0.74
12256	2	1.89	1927.9	1943.1	1090.2	2.260	2.428	6.9	93.1	1.78
12256	3	2.23	2307.1	2327.5	1308.7	2.265	2.428	6.7	93.3	2.00

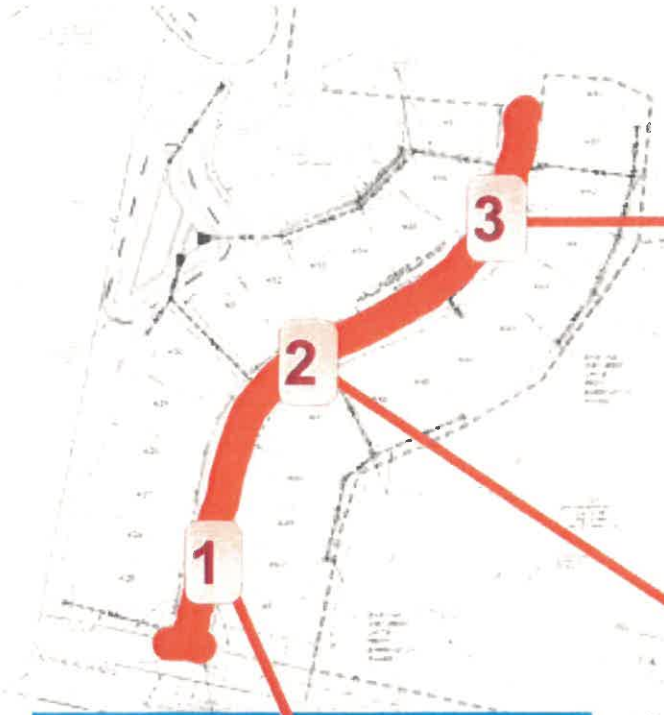
**Remarks:** Producer - Blythe - Gresham Lake  
 Avg. 93.6%

**Technician:** Abhilash Kusam      **Printed Name**  
 14905      **Certification #**  
      **Signature**



FIELD REPORT ATTACHMENTS

Project: **Barrington Phase 3B** Client: Dream Finders Homes Date: 11/02/23

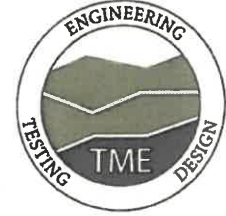


**Stone Density Tests**

All locations should be considered approximate and were not surveyed.

*ROUND  
APX  
DENSITIES*

BARRINGTON 3B -#7



June 21, 2024

Jeff Burrous  
Dream Finders Homes  
7200 Falls of Neuse Road, Suite 202  
Raleigh, NC 27615

*✓* **Cost**  
**APPROVED**  
**AS**  
**Submitted**  
**7-25-24**

Re: Summary of Interior Roadways **#7 SUBGRADE**  
**Barrington Phase 3B**  
Zebulon, North Carolina  
TM Engineering #230978C **ABC**

Dear Mr. Burrous:

TM Engineering, Inc. has provided construction materials testing services for Hallingsfield Way within Phase 3B of the Barrington subdivision in Zebulon, North Carolina. These services included the observation of soil subgrade and aggregate base course.

Subgrade conditions were evaluated by proofrolls and probing with a one-half inch diameter steel probe rod. The contractor conducted repairs necessary to provide adequate stability in identified areas to repair near surface issues. The aggregate base course was also evaluated by proofroll with no significant movement observed during proofroll. Stone density tests were performed with a frequency of 1 test per 150 linear feet on the aggregate base course which produced results of 100% compaction at the test locations. These conditions observed by proofrolls or testing are representative of the conditions at the time and could be altered by many factors such as weather or construction traffic.

This letter provides a summary of observations documented in our field reports and is not a warranty. No performance guarantee shall be assumed. In all cases the contractor is solely responsible for the direction and quality of work, adherence to the plans and specifications, and scheduling testing services. Only the client or its designated representatives with written consent may use this document.

TM Engineering appreciates the opportunity to have provided our services on this project. Please contact us if you should have questions regarding this information or if we may be of further assistance.

Thank you,

TM Engineering, Inc. (C3201)

Toby Mallik , P.E.  
NC Registration No. 026472



Kiron Allen  
Project Manager

Project Number: 230978C



FIELD REPORT

Project: Barrington 3B Client: Dream Finders Date: 10/17/23
City: Zebulon Forman: Brian Contractor: Kenneth West
Temperature: 52 Weather Conditions: Sunny Number of Trips: 2
Personnel: Erik Notified Brian of Kenneth West of results
1st Trip Arrived: 9:00 am Left: 11:30 am 2nd Trip Arrived: 1:00 pm Left: 4:00 pm

REMARKS

TME arrived on site as requested by contractor.

Kenneth West grading crew was on site to conduct a proof roll of the subgrade of the last third (from approximately Sta 5+50 to 8+50) of Hallingsfield Way for ABC stone. Proof roll was conducted with the city inspector present and was done with a fully loaded dump truck and probed with a 1/2" steel probe rod by tech. There were several small areas that were in need of repair where tech suggested cutting out 4 to 6 inches of material and replacing with extra ABC stone. Contractor and city inspector agreed and contractor proceeded to make repairs. There were two areas that needed more extensive repairs. Tech suggested cutting out 8 or more inches and placing geo-grid for stability. Then fill with ABC stone to grade and then repeat the process with geo-grid over that and then place ABC stone. Contractor and city inspector agreed and proceeded to make those repairs as well.

A second proof roll was performed of the first two thirds of Hallingsfield Way from Sta 0+0 to Sta 5+50. Proof roll was conducted with the city inspector present and was done with a fully loaded dump truck and probed with a 1/2" steel probe rod by tech. In the first third (Sta 0+0 to Sta 2+50) a few small areas that were in need of repair where tech suggested cutting out 4 to 6 inches of material and replacing with extra ABC stone. Contractor and city inspector agreed and contractor proceeded to make repairs.

The proof roll of the middle third (approximately Sta 2+50 to Sta 5+50) was found to be wet. The section had three to four inches of soft material all along the top. Tech suggested removal of the three to four inches of material and replacing it with dryer material from on site. Contractor and inspector agreed and contractor stated that they would make the repairs before placement of ABC Stone.

Contractor asked tech to return the next day for documentation of roadway repairs.

SUBGRADE PROOF ROLL

Signature:

[Handwritten signature]

TME's presence on site is to perform specific services limited to that scheduled by others based on the understanding of our agreement with our client. This report is not an acceptance or approval of site activities. Test results and inspections are representative of our observations only while onsite at that specific time and location and may vary at other locations. The frequency of testing is based on timely scheduling of work by others and properly conveying progress of work in progress. At no time will TME be responsible for Safety considerations for other parties on the site.

Project Number: 230978C



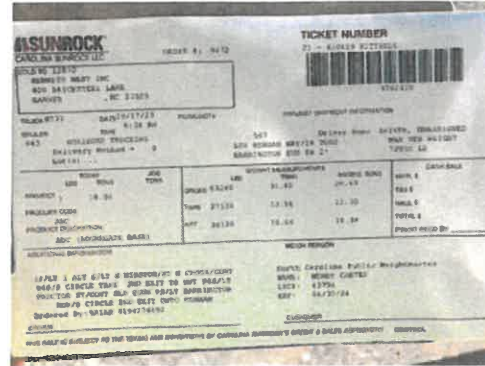
● - Proof Roll

### FIELD REPORT ATTACHMENTS

Project: **Barrington 3B**

Client: **Dream Finders**

Date: **10/17/23**



ITEM	QTY	UNIT	PRICE	TOTAL	UNIT PRICE	AMOUNT	TAX	TOTAL
GRAVEL	18.34	YD	31.00	568.54				568.54
PAVING SAND	11.33	YD	12.00	135.96				135.96
TOTAL				704.50				704.50



SUBGRADE  
PROOF ROLL

All locations should be considered approximate and were not surveyed.



Project Number:

● - Proof Roll

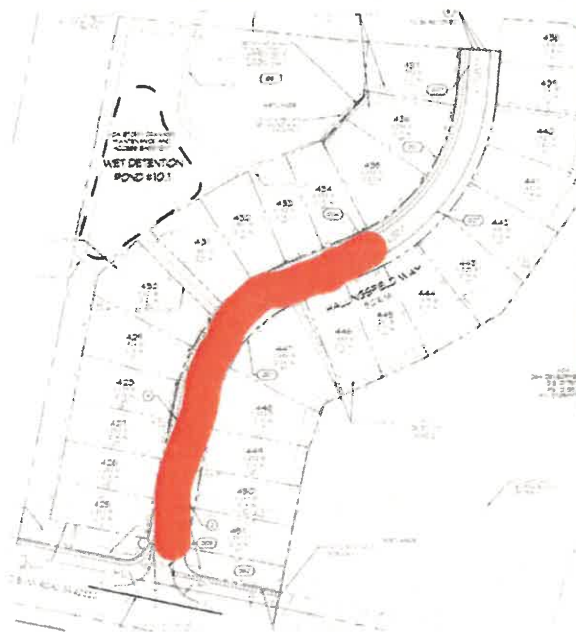


### FIELD REPORT ATTACHMENTS

Project: **Barrington 3B**

Client: **Dream Finders**

Date: **10/17/23**



**ASUNROCK**  
CAROLINA SUNROCK LLC

ORDER #: 2534

TICKET NUMBER  
31 - 81338 BYSTRELL

DATE: 10/17/23 TIME: 2:58 PM

TRUCK	WEIGHT	AXLES	WEIGHT MEASUREMENTS	WEIGHT PERmits	WEIGHT PERmits
PROJECT 1	119.57	3	SPRING 798.80	15.34	5.3 30
PROJECT 2	147	4	FALL 815.00	21.78	21.78

ADDITIONAL INFORMATION

18/22 | ALL SALS & WEIGHTS IN COUNTRIES  
SALS/WEIGHTS PERmits AND EXIST TO WPT 18/22/23  
PROJECT BY COUNTY SALS FROM BARRINGTON  
COUNTY SALS AND EXIST FROM BARRINGTON  
COUNTY BY SALS 18/22/23

WEIGHT PERmits

WPT-CAROLINA PUBLIC WEIGHMENT  
NAME: WPT-CAROLINA  
LTD#: 41194  
EST: 04-10-19



*SUBGRADE  
PROOF ROLL*

All locations should be considered approximate and were not surveyed.



FIELD REPORT

Project: Barrington 3B Client: Dream Finders Date: 10/18/23
City: Zebulon Forman: Brian Contractor: Kenneth West
Temperature: 57 Weather Conditions: Partly Cloudy Number of Trips: 1
Personnel: Erik Notified Brian of Kenneth West of results
1st Trip Arrived: 9:00 am Left: 11:00 am 2nd Trip Arrived: Left: 4:00 pm

REMARKS

TME arrived on site as requested by contractor.

Kenneth West grading crew was onsite to proof roll the middle third (from Sta 2+50 to 5+50) of Hallingsfield Way after repairs were made from the suggestions the day before. The proof roll was conducted with the city inspector present and was done with a fully loaded dump truck and probed with a 1/2" steel probe rod by tech. Several small areas were found to be in need of repair and tech suggested cutting out 4 inches of material and replacing with extra ABC stone. One area was suggested to have 6 inches of material removed, placement of geo-grid, and replacing removed material with extra ABC stone. Both city inspector and contractor agreed and contractor will make repairs before placing ABC stone as called for by plans.

SURGRADE
PROOF ROLL

Signature: [Handwritten Signature]

TME's presence on site is to perform specific services limited to that scheduled by others based on the understanding of our agreement with our client. This report is not an acceptance or approval of site activities. Test results and inspections are representative of our observations only while onsite at that specific time and location and may vary at other locations. The frequency of testing is based on timely scheduling of work by others and properly conveying progress of work in progress. At no time will TME be responsible for Safety considerations for other parties on the site.

Project Number: 230978C



● - Proof Roll

### FIELD REPORT ATTACHMENTS

Project: **Barrington 3B**

Client: **Dream Finders**

Date: **10/18/23**



K&SUNROCK		TICKET NUMBER																					
CAROLINA SANDROCK LLC		01 - 001276 SUPPLY																					
ORDER #:	9238	01 - 001276 SUPPLY																					
<table border="1"> <tr> <th>ITEM</th> <th>QTY</th> <th>UNIT</th> <th>PRICE</th> <th>TOTAL</th> </tr> <tr> <td>1</td> <td>1</td> <td>YARD</td> <td>12.96</td> <td>12.96</td> </tr> <tr> <td>2</td> <td>1</td> <td>YARD</td> <td>18.80</td> <td>18.80</td> </tr> <tr> <td><b>TOTAL</b></td> <td><b>2</b></td> <td><b>YARD</b></td> <td><b>31.76</b></td> <td><b>31.76</b></td> </tr> </table>				ITEM	QTY	UNIT	PRICE	TOTAL	1	1	YARD	12.96	12.96	2	1	YARD	18.80	18.80	<b>TOTAL</b>	<b>2</b>	<b>YARD</b>	<b>31.76</b>	<b>31.76</b>
ITEM	QTY	UNIT	PRICE	TOTAL																			
1	1	YARD	12.96	12.96																			
2	1	YARD	18.80	18.80																			
<b>TOTAL</b>	<b>2</b>	<b>YARD</b>	<b>31.76</b>	<b>31.76</b>																			



*SUBGRADE  
PROOF ROLL*

All locations should be considered approximate and were not surveyed.



**FIELD REPORT**

Project: Barrington 3B Client: Dream Finders Date: 10/19/23  
 City: Zebulon Forman: Brian Contractor: Kenneth West  
 Temperature: 50 Weather Conditions: Sunny Number of Trips: 2  
 Personnel: Erik Notified Brian of Kenneth West of results  
 1<sup>st</sup> Trip Arrived: 8:30 am Left: 10:00 am 2<sup>nd</sup> Trip Arrived: 11:00 am Left: 3:00 pm

**REMARKS**

TME arrived on site as requested by contractor.

Kenneth West grading crew was on site to complete the road widening of Old Bunn Road at the entrance to the subdivision at Hallingsfield Way. This road widening will be constructed of 10 inches of ABC stone, then \*4 inches of asphalt binder, and then 3 inches of asphalt topcoat. Tech probed the area with a 1/2" steel probe rod and found two small places that were in need of repair. Contractor dug out these areas another 12 inches and filled with extra ABC stone. Contractor then placed geo-grid over the areas and placed the remaining 0 inches of ABC stone. All other areas were found to be of firm bearing with no abnormalities.

Kenneth West grading crew was onsite to proof roll the ABC stone for curb on Hallingsfield Way. The proof roll was conducted with the city inspector present and was done with a fully loaded dump truck and probed with a 1/2" steel probe rod by tech. Several small areas were found to be in need of repair. Tech suggested cutting out 4 to 6 inches in these small areas and replacing with new ABC stone. After replacement, wet and roll those areas again. Contractor and city inspector agreed and contractor will make repairs before curb is installed. All other areas were found to be of firm bearing with no abnormalities.

*SUBGRADE  
PROOF ROLL  
SITE ROAD*

Signature: 

TME's presence on site is to perform specific services limited to that scheduled by others based on the understanding of our agreement with our client. This report is not an acceptance or approval of site activities. Test results and inspections are representative of our observations only while onsite at that specific time and location and may vary at other locations. The frequency of testing is based on timely scheduling of work by others and properly conveying progress of work in progress. At no time will TME be responsible for Safety considerations for other parties on the site.

Project Number: 230978C



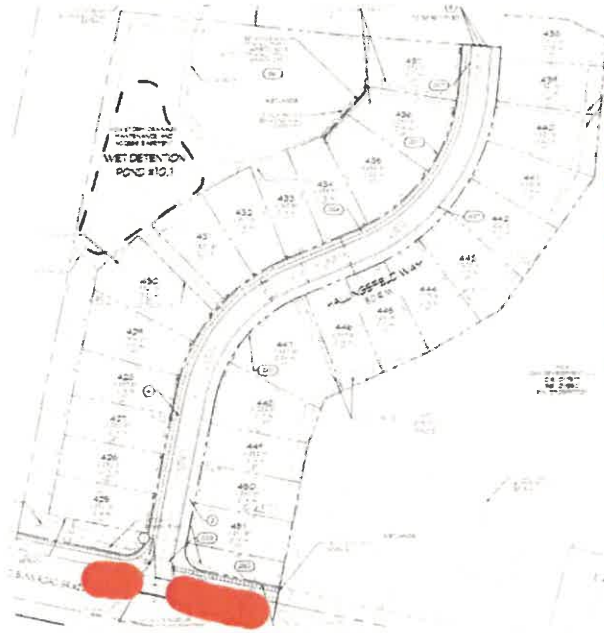
● - Probed Area

### FIELD REPORT ATTACHMENTS

Project: **Barrington 3B**

Client: **Dream Finders**

Date: **10/19/23**



All locations should be considered approximate and were not surveyed.

*SUBJECT  
PROOF ALL  
STATE ROAD*

Project Number:



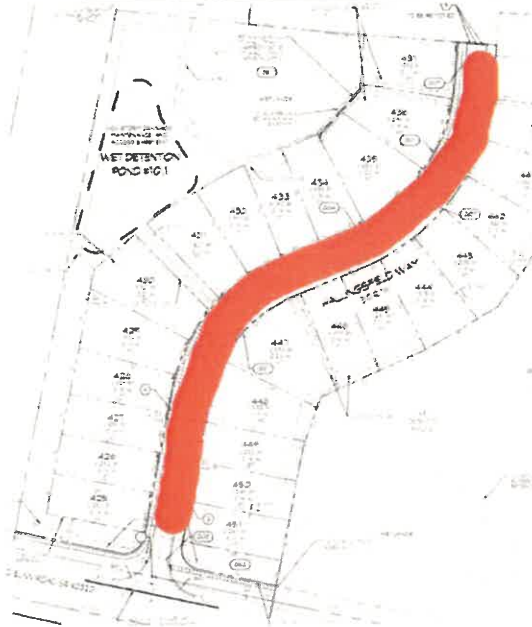
● - Proof Roll

### FIELD REPORT ATTACHMENTS

Project: **Barrington 3B**

Client: **Dream Finders**

Date: **10/19/23**



**ASUNROCK**  
CRACKS REPAIR KIT

TICKET NUMBER: 2023-00104 PPT000

ORDER #: 177

DATE: 10/19/23

ITEM	QTY	UNIT	PRICE	TOTAL
ASUNROCK CRACKS REPAIR KIT	1	EA	12.50	12.50
ASUNROCK CRACKS REPAIR KIT	1	EA	12.50	12.50
ASUNROCK CRACKS REPAIR KIT	1	EA	12.50	12.50
ASUNROCK CRACKS REPAIR KIT	1	EA	12.50	12.50
ASUNROCK CRACKS REPAIR KIT	1	EA	12.50	12.50



*ABC FOR CURBS + GUTTERS PROOF ROLL*

All locations should be considered approximate and were not surveyed.

*ABC  
8*



**FIELD REPORT**

Project: Barrington 3B Client: Dream Finders Date: 10/20/23  
 City: Zebulon Forman: Brian Contractor: Kenneth West  
 Temperature: 56 Weather Conditions: Sunny Number of Trips: 1 ▼  
 Personnel: Erik Notified Brian of Kenneth West of results  
 1<sup>st</sup> Trip Arrived: 7:30 am Left: 2:00 pm 2<sup>nd</sup> Trip Arrived: \_\_\_\_\_ Left: \_\_\_\_\_

**REMARKS**

TME arrived on site as requested by contractor.

Kenneth West contractors were conducting a proof roll of the front entrance of the subdivision for the roll curb area of the DOT section of the entrance. Proof roll was conducted with a fully loaded water truck and tech also probed with a 1/2" steel probe rod. All areas were found to be of firm bearing with no abnormalities.

Kenneth West was on site to pour approximately 1800 linear feet of concrete for curb along Hallingsfield Way. Tech took samples to perform on-site temperature, chase air indicator, and slump testing. Tech created 2 sets of 5 cylinders each and left on-site for over night curing.

*SUBGRADE  
PROOF  
STAKE ROD*

Signature: \_\_\_\_\_

TME's presence on site is to perform specific services limited to that scheduled by others based on the understanding of our agreement with our client. This report is not an acceptance or approval of site activities. Test results and inspections are representative of our observations only while onsite at that specific time and location and may vary at other locations. The frequency of testing is based on timely scheduling of work by others and properly conveying progress of work in progress. At no time will TME be responsible for Safety considerations for other parties on the site.



**CONCRETE FIELD REPORT**

Project: **Barrington 3B** Client: **Dream Finders** Date: 10/20/23  
 City: Zebulon Arrived On-Site: 7:30 am Left Site: 2:00 pm  
 Temperature: 56 Weather Conditions: Sunny Number of Trips: 1  
 Material(s) Tested:  Slab  Foundation  Wall  Masonry  Other: Curb  
 Personnel: Erik Notified Brian of Kenneth West of results  
 Concrete Supplier: ST Wooten Specified Strength: 3,000 psi Specified Slump: 1.5 inches  
 Steel Reinforcement Installed Per Plans: \_\_\_\_\_ Concrete Strength on ticket: 3,000 psi

**TEST DATA**

Truck No.	Batch Time	Plant No.	Ticket No.	Size of Load	Sample	Slump (in)	Air %	Unit Wt. (pcf)	H2O Added (gallons)	Concrete Temp.	No. of Test Samples	Daily Set No.
3,192	08:15	51	1166020	9.00	09:10	1.5	4.00	140.96	0.00	82	5	1
3,165	11:21	51	1166034	9.00	12:15	1.8	4.00	141.30	3.00	84	5	2

Daily Set No.	Sample Type	Specified Strength	Detailed Location
1	Concrete	3,000 psi	Barrington 3B Curb first 1000 feet
2	Concrete	3,000 psi	Barrington 3B Curb second 1000 feet
		psi	
		psi	
		psi	
		psi	

*CONCRETE  
 FOR  
 CURB  
 GUMMA  
 2/2*

The above report is the field rendition of the author only and subject to review



Project Number: 230978C



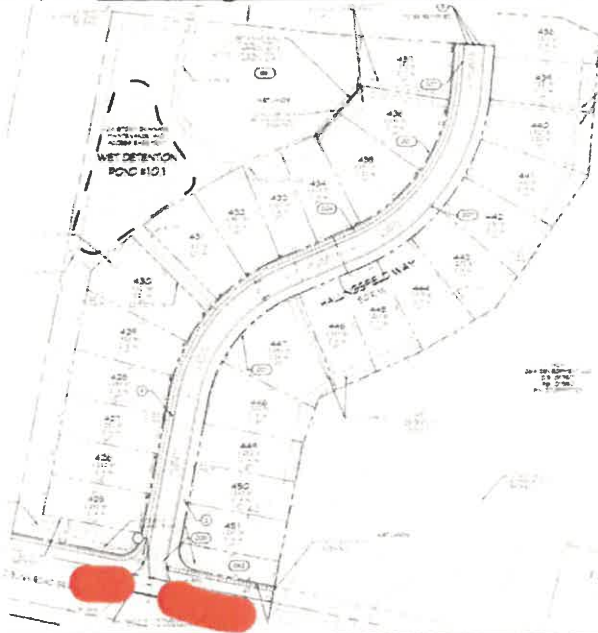
● - Proof Roll

FIELD REPORT ATTACHMENTS

Project: **Barrington 3B**

Client: **Dream Finders**

Date: **10/20/23**



ABC FOR  
CURB & GUTTER  
PROOF ROLL  
1/2  
STATE ROAD



All locations should be considered approximate and were not surveyed.

Project Number:



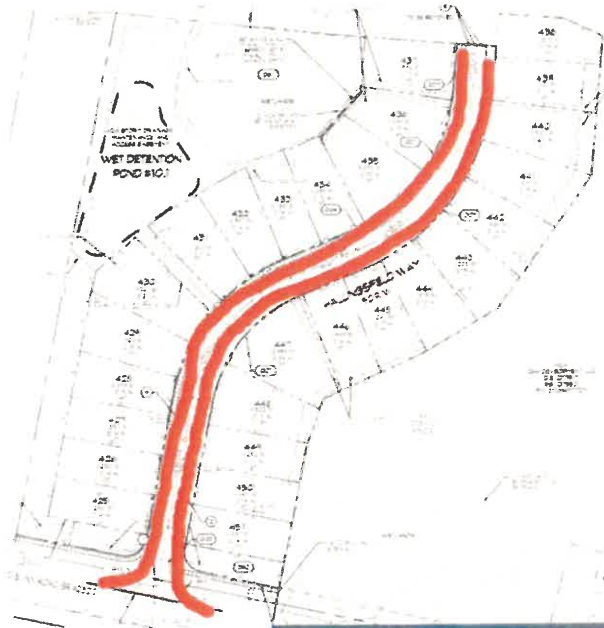
● - Curb

### FIELD REPORT ATTACHMENTS

Project: **Barrington 3B**

Client: **Dream Finders**

Date: **10/20/23**



**S.T. WOOTEN**

10/20/23 1191 1191 1.0 01 1148820

1191 1191 1191-01 11.00-01.00

1191 1191 1191-01 11.00-01.00

1191	1191	1191	1191
1191	1191	1191	1191
1191	1191	1191	1191

**S.T. WOOTEN**

10/20/23 1191 1191 1.0 01 1148820

1191 1191 1191-01 11.00-01.00

1191 1191 1191-01 11.00-01.00

1191	1191	1191	1191
1191	1191	1191	1191
1191	1191	1191	1191

*ABS*  
*CONCRETE*  
*TRUCK*  
*CURB & GUTTER*  
*1/2*

All locations should be considered approximate and were not surveyed.



# Strength Test Results

**Client:** TM Engineering, Inc.  
**Project:** Barrington / Zebulon, NC  
**Job No:** 1211069CA  
**Client Job No:**

**Date Cast:** 10/20/2023  
**Lab No:** 50375  
**Mix No:** 3000  
**Design Strength:** 3000

## Field Information

<b>Date Received in Lab:</b>	10/23/2023	<b>Water:</b>	
<b>Sampled by:</b>	TME	<b>Authorized by:</b>	
<b>Concrete Supplier:</b>	ST Woolen	<b>Temperature: Air</b>	56°F
<b>Plant Location:</b>	51	<b>Sample</b>	82°F
<b>Truck No:</b>	3192	<b>Size of Load (cy):</b>	9.0
<b>Time: Mixed</b>	08:15 AM	<b>Specified Strength (28 days):</b>	3000
<b>Time: Sampled</b>	09:10 AM	<b>LO:</b>	

**Location of Placement:** Barrington 38 curb first 1,000'

### Field Remarks:

Core	Test Date	Age (days)	Load (lbs)	Diameter (in)	Area (in <sup>2</sup> )	Strength (psi)	Corr. Factor	Fracture Type
A	10/27/2023	7	37,506	4.00	12.57	2,980	1.00	2
B	11/17/2023	28	50,108	4.00	12.57	3,990	1.00	5
C	11/17/2023	28	50,238	4.00	12.57	4,000	1.00	3
D	11/17/2023	28	48,478	4.00	12.57	3,860	1.00	2
E	11/17/2023	28	49,880	4.00	12.57	3,970	1.00	3

\* = Less than design strength

**Notes:** Strength tests performed in accordance with ASTM C-39.

**Distribution:** Ashley Mallik, David Truesdale, Laurel Ramsey, Toby Mallik

Strength testing performed by Chris Smith

*This report shall not be reproduced, except in full, without the prior written approval of GeoTechnologies Inc. P.A. These results relate only to the items inspected or tested*

Michael K. Morton

Submitted by \_\_\_\_\_ Report Date 11/17/2023

Signature \_\_\_\_\_

GeoTechnologies, Inc., P.A. -- 3200 Wellington Court, Suite 108 -- Raleigh, NC 27615 -- License No. C-0894



# Strength Test Results

Client: TM Engineering, Inc.  
 Project: Barrington / Zebulon, NC  
 Job No: 1211069CA  
 Client Job No:

Date Cast: 10/20/2023  
 Lab No: 50376  
 Mix No: 3000  
 Design Strength: 3000

## Field Information

Date Received in Lab:	10/23/2023	Water:	3.00 Gals. Added to 9.0 CY
Sampled by:	TME	Authorized by:	
Concrete Supplier:	ST Wooten	Temperature: Air	56°F Sample 84°F
Plant Location:	51	Size of Load (cy):	9.0
Truck No:	3165	Ticket #:	1166034
Time: Mixed	11:21 AM	Specified Strength (28 days):	3000
	Sampled	HI:	LO:

Location of Placement: Barrington 38 curb Second 1,000'

### Field Remarks:

Core	Test Date	Age (days)	Load (lbs)	Diameter (in)	Area (in <sup>2</sup> )	Strength (psi)	Corr. Factor	Fracture Type
A	10/27/2023	7	34,071	4.00	12.57	2,710	1.00	2
B	11/17/2023	28	44,406	4.00	12.57	3,530	1.00	2
C	11/17/2023	28	42,019	4.00	12.57	3,340	1.00	2
D	11/17/2023	28	42,719	4.00	12.57	3,400	1.00	3
E	11/17/2023	28	40,606	4.00	12.57	3,230	1.00	2

\* = Less than design strength

Notes: Strength tests performed in accordance with ASTM C-39.

Distribution: Ashley Mallik, David Truesdale, Laurel Ramsey, Toby Mallik

This report shall not be reproduced, except in full, without the prior written approval of GeoTechnologies Inc PA. These results relate only to the items inspected or tested

Strength testing performed by Chris Smith

Michael K. Morton

Submitted by

Report Date 11/17/2023

Signature

Project Number: 230978C



**FIELD REPORT**

Project: **Barrington Phase 3B** Client: Dream Finders Homes Date: 10/30/23  
 City: Zebulon Forman: Brian Jacoby Contractor: Kenneth West  
 Temperature: 64 Weather Conditions: Sunny Number of Trips: 1 ▼  
 Personnel: William Andre Notified Brian Jacoby of Kenneth West of results  
 1<sup>st</sup> Trip Arrived: 8:00 am Left: 9:00 am 2<sup>nd</sup> Trip Arrived: \_\_\_\_\_ Left: 4:00 pm

**REMARKS**

TME arrived on-site as requested by contractor. Tech performed Electrical Density Gauge (EDG) testing on the stone subgrade for roadway Hallingsfield Way. All tests passed within +/-3% of optimum moisture and with 100% compaction.

ABC  
DENSITIES  
1/3

Signature: William André

TME's presence on site is to perform specific services limited to that scheduled by others based on the understanding of our agreement with our client. This report is not an acceptance or approval of site activities. Test results and inspections are representative of our observations only while onsite at that specific time and location and may vary at other locations. The frequency of testing is based on timely scheduling of work by others and properly conveying progress of work in progress. At no time will TME be responsible for Safety considerations for other parties on the site.



Project: **Barrington Phase 3B** Client: Dream Finders Homes Date: 10/30/23 TME Personnel: William Andre  
 Arrived On-Site: 8:00 am Left Site: 9:00 am Notified: Brian Jacoby of Kenneth West  
 General Location Tested:  Building  Wall  Roadway  Utility  Other Req. Compaction: 100 %

**ELECTRONIC DENSITY GAUGE TEST DATA**

Test No.	Wet Density (PCF)	% Moisture	Dry Density (PCF)	Optimum Moisture %	M.D.D. (lbs/ft <sup>3</sup> )	Elev. (ft)	Approximate Test Location	Lot Fill Range	Compaction (%)
1	146.70	4.70	140.20	5.60	139.40		Hallingsfield Way		100.0
2	146.00	4.00	140.30	5.60	139.40		Hallingsfield Way		100.0
3	146.30	4.30	140.30	5.60	139.40		Hallingsfield Way		100.0

*ABC DENSITIES 2/3*

*ABC DENSITY TEST*

\*Test results are indicative of specific location only.

**ONE-POINT PROCTOR**

Proctor Point	Wet Soil & Mold (lbs)	Mold (lbs)	Wet Soil (lbs)	Volume of Mold (ft <sup>3</sup> )	Wet Density (lbs/ft <sup>3</sup> )	Wet Wt. of Moisture	Dry Wt. of Moisture	% Moisture	Dry Density (lbs/ft <sup>3</sup> )

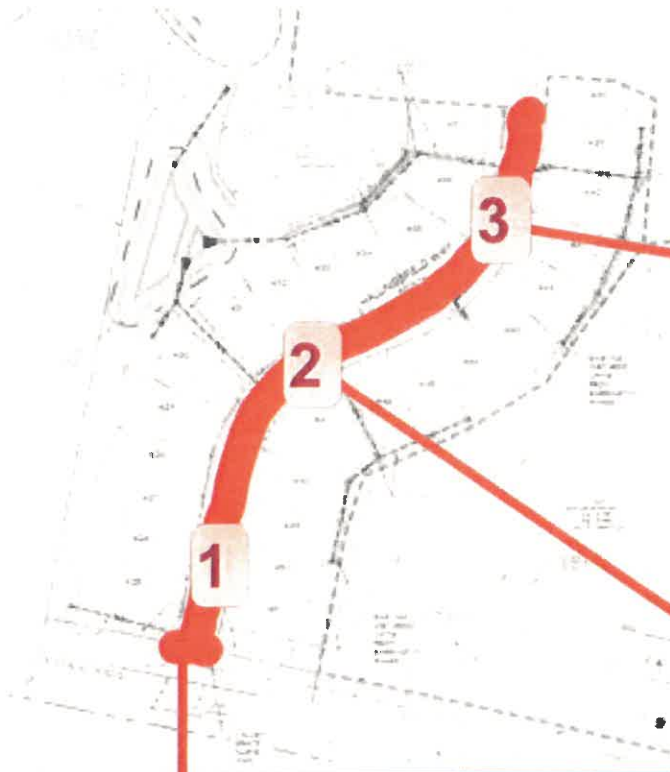
TME's presence on site is to perform specific services limited to that scheduled by others based on the understanding of our agreement with our client. This report is not an acceptance or approval of site activities. Test results and inspections are representative of our observations only while onsite at that specific time and location and may vary at other locations. The frequency of testing is based on timely scheduling of work by others and properly conveying progress of work in progress. At no time will TME be responsible for Safety considerations for other parties on the site.



FIELD REPORT ATTACHMENTS

*ABC DENSITY'S  
3/5*

Project: Barrington Phase 3B Client: Dream Finders Homes Date: 10/30/23



**Stone Density Tests**

*ABC  
DENSITY  
TEST*

All locations should be considered approximate and were not surveyed.



**FIELD REPORT**

Project: Barrington 3B Client: Dream Finders Date: 10/31/23  
 City: Zebulon Forman: Brian Contractor: Kenneth West  
 Temperature: 52 Weather Conditions: Overcast Number of Trips: 1 ▼  
 Personnel: Erik Notified Brian of Kenneth West of results  
 1<sup>st</sup> Trip Arrived: 9:30 am Left: 11:30 am 2<sup>nd</sup> Trip Arrived: \_\_\_\_\_ Left: 4:00 pm

**REMARKS**

TME arrived on site as requested by contractor.

Kenneth West grading crew was onsite to perform a proof roll the ABC stone for asphalt paving on Hallingsfield Way. The proof roll was conducted with the city inspector present and was done with a fully loaded dump truck and probed with a 1/2" steel probe rod by tech. All areas were found to be of firm bearing with no abnormalities.

*Runway ABC  
Proofroll*

Signature: 

TME's presence on site is to perform specific services limited to that scheduled by others based on the understanding of our agreement with our client. This report is not an acceptance or approval of site activities. Test results and inspections are representative of our observations only while onsite at that specific time and location and may vary at other locations. The frequency of testing is based on timely scheduling of work by others and properly conveying progress of work in progress. At no time will TME be responsible for Safety considerations for other parties on the site.



Project Number: 230978C

● - Proof Roll

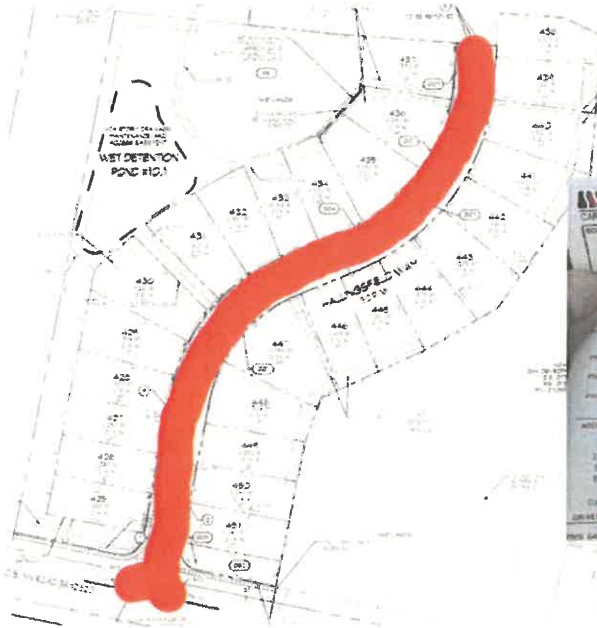


### FIELD REPORT ATTACHMENTS

Project: **Barrington 3B**

Client: **Dream Finders**

Date: **10/31/23**



**ASUNROCK**  
CAROLINA SURROCK LLC

ORDER # 230978C

**TICKET NUMBER**  
11 4 21 PM 477022

ORDER NO. 12310  
BUYER'S WEST CO. 400 BARRINGTON LANE  
GRAND - NC 27029

DATE 10/31/23  
TIME 10:00 AM

PROJECT NO. 230978C

LINE	DESCRIPTION	AMOUNT	TAXES	TOTAL
1	CONCRETE	12.75		12.75
2	PAVING	12.75		12.75
3	GRASS	12.75		12.75
4	LANDSCAPE	12.75		12.75
5	WATER	12.75		12.75
6	ELECTRICAL	12.75		12.75
7	MECHANICAL	12.75		12.75
8	PLUMBING	12.75		12.75
9	ROOFING	12.75		12.75
10	FOUNDATION	12.75		12.75
11	DEMOLITION	12.75		12.75
12	CONCRETE	12.75		12.75
13	PAVING	12.75		12.75
14	GRASS	12.75		12.75
15	LANDSCAPE	12.75		12.75
16	WATER	12.75		12.75
17	ELECTRICAL	12.75		12.75
18	MECHANICAL	12.75		12.75
19	PLUMBING	12.75		12.75
20	ROOFING	12.75		12.75
21	FOUNDATION	12.75		12.75
22	DEMOLITION	12.75		12.75
23	CONCRETE	12.75		12.75
24	PAVING	12.75		12.75
25	GRASS	12.75		12.75
26	LANDSCAPE	12.75		12.75
27	WATER	12.75		12.75
28	ELECTRICAL	12.75		12.75
29	MECHANICAL	12.75		12.75
30	PLUMBING	12.75		12.75
31	ROOFING	12.75		12.75
32	FOUNDATION	12.75		12.75
33	DEMOLITION	12.75		12.75
34	CONCRETE	12.75		12.75
35	PAVING	12.75		12.75
36	GRASS	12.75		12.75
37	LANDSCAPE	12.75		12.75
38	WATER	12.75		12.75
39	ELECTRICAL	12.75		12.75
40	MECHANICAL	12.75		12.75
41	PLUMBING	12.75		12.75
42	ROOFING	12.75		12.75
43	FOUNDATION	12.75		12.75
44	DEMOLITION	12.75		12.75
45	CONCRETE	12.75		12.75
46	PAVING	12.75		12.75
47	GRASS	12.75		12.75
48	LANDSCAPE	12.75		12.75
49	WATER	12.75		12.75
50	ELECTRICAL	12.75		12.75
51	MECHANICAL	12.75		12.75
52	PLUMBING	12.75		12.75
53	ROOFING	12.75		12.75
54	FOUNDATION	12.75		12.75
55	DEMOLITION	12.75		12.75
56	CONCRETE	12.75		12.75
57	PAVING	12.75		12.75
58	GRASS	12.75		12.75
59	LANDSCAPE	12.75		12.75
60	WATER	12.75		12.75
61	ELECTRICAL	12.75		12.75
62	MECHANICAL	12.75		12.75
63	PLUMBING	12.75		12.75
64	ROOFING	12.75		12.75
65	FOUNDATION	12.75		12.75
66	DEMOLITION	12.75		12.75
67	CONCRETE	12.75		12.75
68	PAVING	12.75		12.75
69	GRASS	12.75		12.75
70	LANDSCAPE	12.75		12.75
71	WATER	12.75		12.75
72	ELECTRICAL	12.75		12.75
73	MECHANICAL	12.75		12.75
74	PLUMBING	12.75		12.75
75	ROOFING	12.75		12.75
76	FOUNDATION	12.75		12.75
77	DEMOLITION	12.75		12.75
78	CONCRETE	12.75		12.75
79	PAVING	12.75		12.75
80	GRASS	12.75		12.75
81	LANDSCAPE	12.75		12.75
82	WATER	12.75		12.75
83	ELECTRICAL	12.75		12.75
84	MECHANICAL	12.75		12.75
85	PLUMBING	12.75		12.75
86	ROOFING	12.75		12.75
87	FOUNDATION	12.75		12.75
88	DEMOLITION	12.75		12.75
89	CONCRETE	12.75		12.75
90	PAVING	12.75		12.75
91	GRASS	12.75		12.75
92	LANDSCAPE	12.75		12.75
93	WATER	12.75		12.75
94	ELECTRICAL	12.75		12.75
95	MECHANICAL	12.75		12.75
96	PLUMBING	12.75		12.75
97	ROOFING	12.75		12.75
98	FOUNDATION	12.75		12.75
99	DEMOLITION	12.75		12.75
100	CONCRETE	12.75		12.75

ORDERED BY: BRIAN P13427483

DATE: 10/31/23

ISSUED BY: [Signature]

THIS SALE IS SUBJECT TO THE TERMS AND CONDITIONS OF CAROLINA SURROCK'S CREDIT & SALES AGREEMENT. CONTACT: [Phone Number]



*Removal ABC  
Proof roll*

All locations should be considered approximate and were not surveyed.



FIELD REPORT

Project: Barrington Phase 3B Client: Dream Finders Homes Date: 11/02/23
City: Zebulon Forman: Brian Jacoby Contractor: Kenneth West
Temperature: 35 Weather Conditions: Sunny Number of Trips: 1
Personnel: William Andre Notified Brian Jacoby of Kenneth West of results
1st Trip Arrived: 8:00 am Left: 9:30 am 2nd Trip Arrived: Left: 4:00 pm

REMARKS

TME arrived on-site as requested by contractor. Brian Jacoby of Kenneth West grading stated that the Town of Zebulon wanted stone density tests performed every 150 feet instead of every 300 feet, so he asked TME to return to the site and perform 3 more density tests. Tech performed 3 additional Electrical Density Gauge (EDG) tests on the stone subgrade for roadway Hallingsfield Way. All tests passed within +/-3% of optimum moisture and with 100% compaction.

ROADWAY A/C DENSITIES

Signature: William Andre

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Project: **Barrington Phase 3B** Client: **Dream Finders Homes** Date: 11/02/23 TME Personnel: **William Andre**

Arrived On-Site: **8:00 am** Left Site: **9:30 am** Notified: **Brian Jacoby** of **Kenneth West**

General Location Tested:  Building  Wall  Roadway  Utility  Other Req. Compaction: **100 %**

**ELECTRONIC DENSITY GAUGE TEST DATA**

Test No.	Wet Density (PCF)	% Moisture	Dry Density (PCF)	Optimum Moisture %	M.D.D. (lbs/ft <sup>3</sup> )	Elev. (ft)	Approximate Test Location	Lot Fill Range	Compaction (%)
1	145.60	3.60	140.60	5.60	139.40		Hallingsfield Way		100.0
2	145.90	3.70	140.70	5.60	139.40		Hallingsfield Way		100.0
3	146.10	3.80	140.70	5.60	139.40		Hallingsfield Way		100.0

*ROADWAY ABC DENSITIES*

**ONE-POINT PROCTOR**

Proctor Point	Wet Soil & Mold (lbs)	Mold (lbs)	Wet Soil (lbs)	Volume of Mold (ft <sup>3</sup> )	Wet Density (lbs/ft <sup>3</sup> )	Wet Wt. of Moisture	Dry Wt. of Moisture	% Moisture	Dry Density (lbs/ft <sup>3</sup> )

\*Test results are indicative of specific location only.

TME's presence on site is to perform specific services limited to that scheduled by others based on the understanding of our agreement with our client. This report is not an acceptance or approval of site activities. Test results and inspections are representative of our observations only while onsite at that specific time and location and may vary at other locations. The frequency of testing is based on timely scheduling of work by others and properly conveying progress of work in progress. At no time will TME be responsible for Safety considerations for other parties on the site.

# PRIEST, CRAVEN, & ASSOCIATES, INC.

## LAND USE CONSULTANTS

December 19, 2023

Michael Fowler  
Capital Improvement Management Division  
3324 Lake Woodard Drive  
P.O. Box 590  
Raleigh, NC 27602-0590

✓  
7-25-24  
Approved  
PB  
Submitted

**Re: Installed per Plans Statement Barrington Subdivision Phase 3  
Section B for Public Water and Public Sanitary Sewer.**

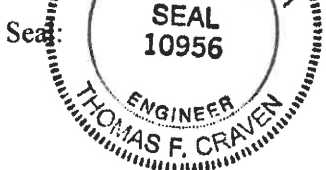
Mr. Fowler,

### Engineer Certification Statement

**I, Thomas F. Craven as a duly registered professional in the state of North Carolina, having been authorized to observe periodically, the construction of the project, Barrington Subdivision, Phase 3 Section B, hereby state that, to the best of my abilities, due care and diligence was used in the observation of the construction such that by my inspection of the constructed improvements and my review of the as built survey data hereby certify that the (1) public improvements, (2) private improvements and (3) public safety of the above referenced project as constructed are in compliance with the requirements of the improvements as prescribed in the approved construction drawings, approved design documents, and / or any approved modifications, except as noted as "strike throughs" on the "as built" drawings. Furthermore, I certify that the "strike through" exceptions do not adversely affect the required performance or public safety aspects of the improvements.**

Name: Thomas F Craven

Date: 12/19/23



Thomas F. Craven, P.E. Registration Number 10956  
Priest, Craven & Associates, Inc.

PLANNERS / LANDSCAPE DESIGNERS / ENGINEERS / SURVEYORS

3803-B Computer Drive, Suite 104, Raleigh NC 27609, Phone: (919) 781-0300 Fax (919) 782-1288

✓  
Approved  
AS  
Submitted  
7/25/24

**DEVELOPER LIEN WAIVER AND RELEASE**

I the undersigned, am the owner of Barrington Phase 3B as indicated by my signature below.

All work related to the Development of Barrington Phase 3B as shown on construction plans by Priest, Craven and Associates, Inc. dated 02/24/2023.

DFC Barrington, LLC has not made any financial considerations for the supply of any construction materials for the development of Barrington Phase 3B.

Witness the following signature this 19<sup>TH</sup> day of JULY, 2024

James Woofter (Signature)

Name: James Woofter

Title: Vice President of Land Development

Company: Dream Finders Homes – POA for DFC Barrington, LLC

State of North Carolina; County/City of Wake

Subscribed and sworn to before me this 19 day of July, 2024

My Commission Expires: 11/23/2024

Subdivision: Barrington Phase 3B Kimberly R. Litman



BARRINGTON 3B #10

#10 LIEN WAIVER - CONTRACTOR

✓  
7-25-24  
APPROVED  
AS  
Submitted

**CONTRACTOR'S FINAL WAIVER AND RELEASE OF LIEN - UNCONDITIONAL**

(To Accompany Application For Final Payment)

**UNCONDITIONAL FINAL WAIVER AND RELEASE OF LIEN**

The undersigned Kenneth West, Inc., in consideration of Final Payment in the amount of \$ 114,403.00, the receipt and sufficiency of which is hereby acknowledged, hereby waives and releases its lien and right to claim a lien for labor, services, or materials furnished to DFC Barrington, LLC ("Owner") to the following property:

Barrington PH3B ("Property")

Owned by DFC Barrington, LLC ("Owner")

Kenneth West, Inc. certifies that all of its sub-contractors(s), supplier(s) and/or agent(s) furnishing labor, services or materials to or for it in connection with its Work at the Property have been paid in full by Kenneth West, Inc.

Kenneth West, Inc., for and in consideration of the above-referenced Final Payment, hereby unconditionally waives, releases and discharges Owner, its agents, assigns, attorneys and successors-in-interest, of and from any and all past, present or future claims, demands, obligations, actions, causes of action, rights, damages, punitive or exemplary damages, attorney's fees, expenses, costs and/or compensation of any kind or nature whatsoever, both at law and in equity, whether presently known or unknown, that Kenneth West, Inc. ever had, now has or may hereafter have, for or arising out of, connected with, or in any way resulting from Kenneth West, Inc. Work at the Property.

This Final Waiver and Release of Liens constitutes a representation by the undersigned Contractor, for and on behalf of its Subcontractor/Supplier, that the payment referenced above, once received, CONSTITUTES FULL AND COMPLETE PAYMENT FOR ALL WORK PERFORMED, AND COSTS OR EXPENSES INCURRED (including, but not limited to, costs for supervision, field office overhead, home office overhead, interest, profit and general conditions costs, filing fees, and attorney's fees) relative to all work performed at the Property by its Subcontractors/Suppliers.

Kenneth West, Inc. acknowledges and agrees that this Final Lien Waiver and Release is executed and delivered with the intent that the same be relied upon by Owner. This Final Lien Waiver and Release shall inure to the benefit of Owner, its respective successors and assigns, and shall be binding upon Kenneth West, Inc., its successors and assigns.

DATED on June 18, 2024.

Kenneth West, Inc.

By: Brian S. Jacoby  
[Kenneth West, Inc. Signature]

BRIAN S. JACOBY  
[Kenneth West Inc. Name]

800 BRICKSTEEL LANE  
GARNER, NC 27527  
[Kenneth West, Inc. Address]

BARRINGTON 3B #11



# INVOICE

Invoice: N5352173701  
Invoice Date: 5/16/2024  
Page: 1 of 1

Email sent to customer on 05/16/2024

Bill to: DREAM FINDERS HOMES 7200 FALLS OF NEUSE RD., SUITE 202 JAMES WOOFER RALEIGH NC 27615	Customer ID: 000311746 PO / Contract No: Payment Terms: Net 30 Due Date: 6/15/2024 Amount Due: \$4,494.00
--	---

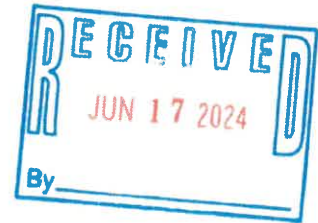
Invoice for work or services performed at: 1632 Old Bunn Rd ZEBULON NC  
BARRINGTON 3B #11 BARRINGTON 3B STREET LIGHTS FEE

For questions about your invoice, please contact Mary Patterson at 919/882-5077

Line	Date of Charge	Description	Net Amount
1	05/15/2024	UL UG for Lighting UPFRONT UNDERGROUND SERVICE CHARGE FOR 7 LIGHTS	\$4,200.00
2	05/15/2024	DEP ELECTRIC SALES TAX	\$294.00

Amount Due: \$4,494.00

Invoice #: 15352173701  
 Vendor: 4 Duke Energy  
 Coding: 99 BARRINGTON, 1033  
 Coding: \_\_\_\_\_  
 Coding: \_\_\_\_\_  
 Invoice Amount: \$ 4,494.00  
 Retainage Amount: \$ 0  
 Total Payment: \$ 4,494.00  
 Director Approval: \_\_\_\_\_  
 VP Approval: \_\_\_\_\_  
 Date: \_\_\_\_\_



To pay electronically, please allow 24 hours from the time this invoice is received and use website <https://www.e-billexpress.com/ebpp/DukeEnergy>. Enter your customer ID and billing zip code from above.

TO AVOID SERVICE INTERRUPTION, PLEASE DO NOT SEND MONTHLY UTILITY ACCOUNT PAYMENTS TO THIS ADDRESS

Please detach and return with your payment. Please indicate invoice number on check.

### Payment Coupon

Please make check payable to: \_\_\_\_\_ ACH Instructions: \_\_\_\_\_  
 Duke Energy Progress Wells Fargo - Progress  
 PO Box 602874 121000248  
 Charlotte NC 28260-2874 Duke Energy Progress  
 002062660000020

Invoice Number: N5352173701  
 Corporation Code: 50126  
 Please Pay By: 6/15/2024  
 Customer ID: 000311746  
 Total Amount Due: \$4,494.00

Fed Tax ID # 56-2155481

DREAM FINDERS HOMES  
 7200 FALLS OF NEUSE RD., SUITE  
 202  
 JAMES WOOFER  
 RALEIGH NC 27615

Amount Enclosed



1814353335323137333730310000700004494008

BARRINGTON 3B - #12



✓  
7-25-24  
Approved  
AS  
Submitted

3932

## Notification of Conditional Acceptance

of Water and Wastewater Infrastructure in Raleigh Water Merger Communities  
(Garner, Knightdale, Rolesville, Wake Forest, Wendell, Zebulon)

Project Name: BARRINGTON

Project Phase: PHASE 3-B

Permit Number(s): W - 3932

S - 5050

The City of Raleigh Water Department has completed field inspections and testing on the water and/or wastewater infrastructure associated with the development project/phase referenced above. Installation meets Raleigh Water specifications and the infrastructure is available for use. This preliminary acceptance is conditional on a final review of digital as-built data, project records and other submitted documentation. Formal notification of acceptance is pending and will be provided on successful completion of the conditional review.

Inspector Name: MICHAEL R. FOWLER

Date: 06 / 10 / 2024

Comments:

FINAL / SIGNED ACCEPTANCE LETTER TO FOLLOW

Notes on Project Phasing: Acceptance occurs after water and sewer infrastructure in an approved phase is installed, inspected/tested and the required supporting documentation has been received. Phases of construction must extend from and/or connect to existing (or concurrently accepted) infrastructure to be considered for acceptance. Acceptance boundaries are defined by the limits identified in the Raleigh Water approved utility phasing plan(s). Acceptance of unapproved sub-phases and/or partially complete phases will not be considered. Additional information can be found in the Raleigh Water Handbook at [www.raleighnc.gov](http://www.raleighnc.gov).



BARRINGTON 3B -#15

✓  
7-25-24  
APPROVED  
AS  
Submitted

**ZEBULON**  
NORTH CAROLINA

Town of Zebulon  
1003 N. ARENDELL AVENUE  
ZEBULON, NC 27597

Invoice #: 24-00378

Vendor: Town of Ze

Coding: 99BRNG-M, J07

Coding: \_\_\_\_\_

Coding: \_\_\_\_\_

YOU CAN PAY ONLINE BY CREDIT CARD  
WWW.EDMUNDSGOVPAY.CO  
YOU WILL NEED YOUR ACCOUNT NUMBER

INVOICE #  
24-00378

ACCOUNT ID: PREIST PIN: 798281  
INVOICE DATE: 06/28/24  
DUE DATE: 07/05/24

Priest, Craven & Associates

Invoice Amount: \$ 120,405.87

Retainage Amount: \$ 0

Total Payment: \$ 120,405.87

Director Approval: Jeff Burruss Signed by:

VP Approval: James Wooster

Date: 7/9/2024

RECEIVED  
JUL 09 2024  
By \_\_\_\_\_

QUANTITY/UNIT	SERVICE	UNIT PRICE	AMOUNT
	Barrington 3B fees		
1.0000	MAJORSUB MAJOR SUBDIVISION FINAL PLAT Barrington 3B fees	300.000000	300.00
29.0000/LOT	PLAT PER MAJ SUBDIVISION PLAT FEE/LOT Barrington 3B fees	10.000000	290.00
27.0000	RECIMPSF RECREATION IMPACT FEE - SINGLE Barrington 3B fees	3,000.000000	81,000.00
731.0000/LF	STORMMAP STORMWATER MAPPING FEES Barrington 3B fees	1.750000	1,279.25
731.0000/LF	STORMDRA Storm Drainage Constr. Inspect Barrington 3B fees	1.200000	877.20
969.0000/LF	SIDEWALK Sidewalk Construction Inspect Barrington 3B fees	1.200000	1,162.80
27.5400	TRANSPOR Transportation Impact Fee Barrington 3B fees	1,200.540000	33,062.87
825.0000/LF	STREETCU Streets/Curb/Gutter Constr Ins Barrington 3B fees	2.950000	2,433.75

TOTAL DUE: \$ 120,405.87

PAID

JUL 17 2024

CGW

PAYMENT COUPON - PLEASE DETACH AND RETURN THIS PORTION ALONG WITH YOUR PAYMENT

Town of Zebulon  
1003 N. ARENDELL AVENUE  
ZEBULON, NC 27597  
(919)823-1806

INVOICE #: 24-00378  
DESCRIPTION: Barrington 3B fees  
ACCOUNT ID: PREIST PIN: 798281  
DUE DATE: 07/05/24  
TOTAL DUE: \$ 120,405.87

Priest, Craven & Associates



TownofZe Town of Zebulon  
Raleigh, NC 27615

Dream Finders Homes LLC  
14701 Philips Highway  
8949A-99990177  
Jul 16, 2024 \$120,405.87  
Ameris Bank  
0612017542049488949

Date	Invoice	Reference	Payment Amt	Retention	Discount	Total Payment
06/28/24	9999 Bill Pay - Landbank 24-00378	99BRNGTN,999	120,405.87	0.00	0.00	120,405.87
Total Remittance			120,405.87	0.00	.00	120,405.87

TownofZe Town of Zebulon  
Raleigh, NC 27615

Dream Finders Homes LLC  
Check Number 8949A-99990177  
Check Date Jul 16, 2024

Date	Invoice	Reference	Payment Amt	Retention	Discount	Total Payment
06/28/24	9999 Bill Pay - Landbank 24-00378	99BRNGTN,999	120,405.87	0.00	0.00	120,405.87
Total Remittance			120,405.87	0.00	.00	120,405.87

**Dream Finders Homes LLC**

14701 Philips Highway  
Jacksonville, FL 32256

Ameris Bank  
100 Southpark Blvd  
Suite 104  
St. Augustine, FL 32086

061201754

Void after 90 days

Date  
Jul 16, 2024

Check Number  
8949A-99990177

Pay **\*One Hundred Twenty Thousand Four Hundred Five Dollars 87 Cents \***

Amount  
\$120,405.87

To **Town of Zebulon**  
The **Raleigh, NC 27615**  
Order  
Of

Dream Finders Homes LLC

Per 

PAYABLE IN US DOLLARS

# BARRINGTON SUBDIVISION

## PHASE 3B

AS BUILT SUBMITTAL FOR PHASE 3B ZEBULON STORM

ZEBULON, NORTH CAROLINA

IDT PROJECT #725615

### PROJECT STATISTICS

PROPERTY DEVELOPER: H&L CONSTRUCTORS OF FAYETTEVILLE, LLC  
 2100 BREEMWOOD AVENUE, SUITE 400 FAYETTEVILLE, NC 28409  
 PROJECT ADDRESS: 0 OLD IRON ROAD, ZEBULON, NC 27892  
 PERMIT PANEL NUMBER: 725615 (DATE OF PERMIT: 02/20/2023)  
 POSTING ZONING: S-18 SLO  
 WATERSEED: WINK-HOCCASIN CREEK WATERSHED

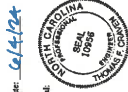
COVER SHEET  
 C4300, C7260-C702  
 1/4" = 1' POINT INFO



VICINITY MAP 1:500

**APPROVED**  
 Town of Zebulon - Planning  
 Aaron Chalker  
 02/20/2023

**Engineer Certification Statement**  
 I, Thomas F. Craven as a duly registered professional in the state of North Carolina, having been authorized to observe periodically, the construction of the above described project, hereby certify that the construction of the project conforms with the approved construction drawings, approved improvements as prescribed in the approved construction drawings, approved "trickle through" on the "trickle through" drawings, except as noted as follows:  
 Name: Thomas F. Craven Date: 2/14/24



Thomas F. Craven, P.E. Registration Number 10926  
 Project: Craven & Associates, Inc.

### CONSULTANT:

**PIEST CRAVEN & ASSOCIATES, INC.**  
 3803 - B Computer Drive, Suite 104, Raleigh, NC 27609  
 Phone 919 / 781-4300 Fax 919 / 782-1288  
 Email: pc@piestcraven.com FRM#: C-0468

### OWNER

**DFC BARRINGTON, LLC**  
 14701 PHILIPS HIGHWAY, SUITE 300  
 JACKSONVILLE, FL 32256  
 919-291-1090

### ATTENTION CONTRACTORS

The Contractor shall be responsible for the construction of all utility structures and appurtenances shown on this plan. The Contractor shall be responsible for the construction of all utility structures and appurtenances shown on this plan. The Contractor shall be responsible for the construction of all utility structures and appurtenances shown on this plan.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF ALL UTILITY STRUCTURES AND APPURTENANCES SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF ALL UTILITY STRUCTURES AND APPURTENANCES SHOWN ON THIS PLAN.



**CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION**  
 I, the undersigned, hereby certify that the above described project conforms with the approved construction drawings, approved improvements as prescribed in the approved construction drawings, approved "trickle through" on the "trickle through" drawings, except as noted as follows:  
 Name: Thomas F. Craven Date: 2/14/24

**CITY OF RALEIGH SITE PERMITTING APPROVAL**  
 I, the undersigned, hereby certify that the above described project conforms with the approved construction drawings, approved improvements as prescribed in the approved construction drawings, approved "trickle through" on the "trickle through" drawings, except as noted as follows:  
 Name: Thomas F. Craven Date: 2/14/24

APPROVED FOR THE CITY OF RALEIGH  
 DATE: 2/14/24  
 SIGNATURE: Thomas F. Craven

REPAIR/ALTER IMPROVEMENT QUANTITY	QUANTITY
LF OF PUBLIC ROWS	2400
LF OF PUBLIC SIDEWALKS	1111 LF
LF OF PUBLIC SIDEWALKS (BURN IN)	207 LF

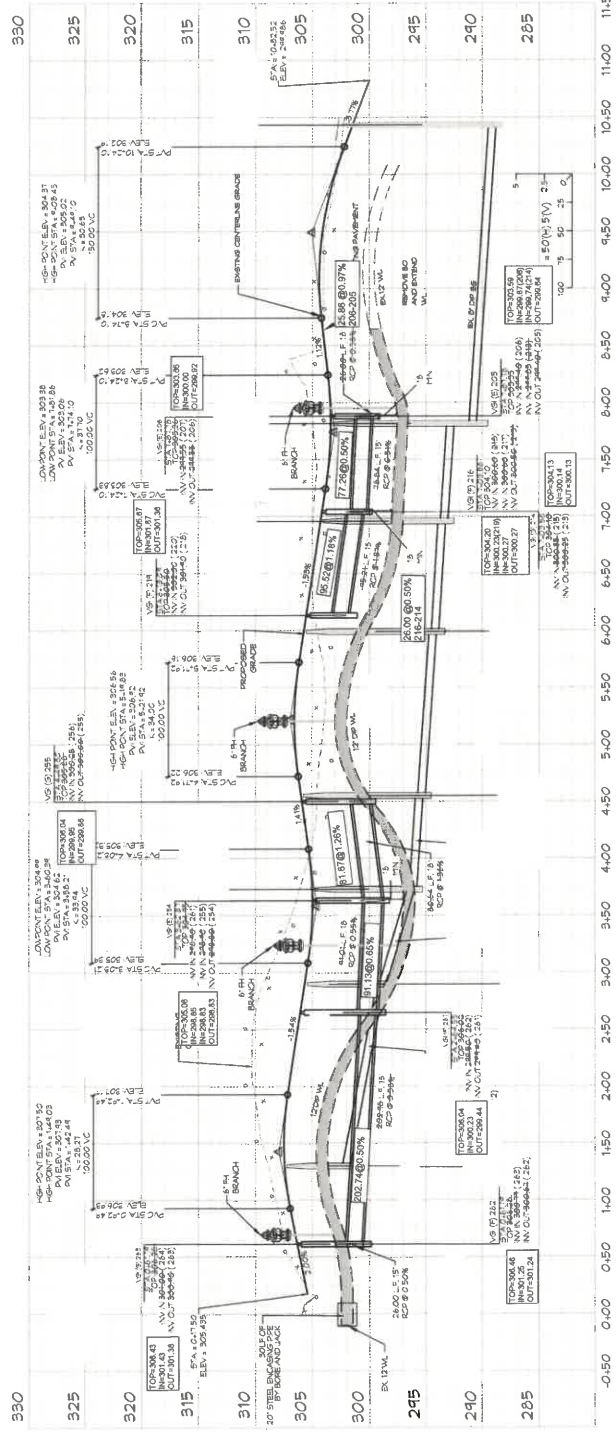
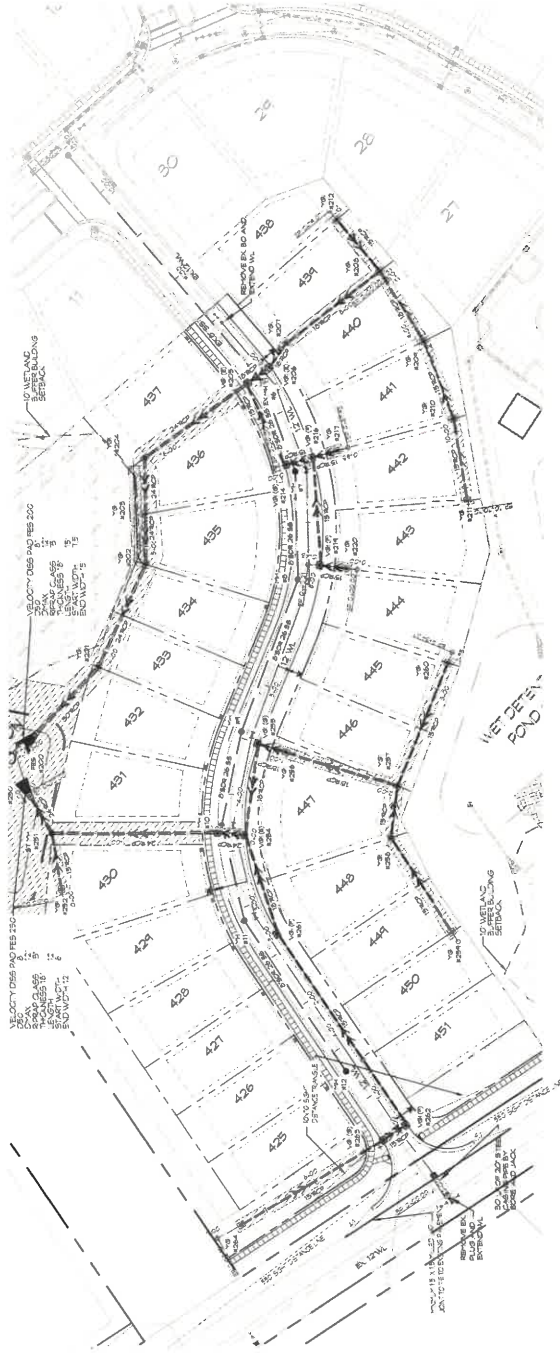
LINEAR FEET OF PUBLIC STREETS	STREET	CONSTRUCTION	STREET TYPE	ROW WIDTH	LINEAR FOOTAGE
TOTAL					2400
MINIMUM					2400

PIPE TYPE	NO. LF / QUANTITY	PUBLIC LF / QUANTITY
12" RCP	0	2400
18" RCP	404	255
24" RCP	235	205
30" RCP	0	0
36" RCP	0	0
42" RCP	0	0
48" RCP	0	0
LANDSCAPE PLANTS	18	0
CURBS/LEIS	0	11

APPROVED CHANGE TO MAKE STREET SECTION, SEE DETAIL SHEET 6101



ORIGINAL DATE: MARCH 9, 2022



# HALLINGSFIELD WAY

**120** BARRINGTON SUBDIVISION PHASE 9B ZEPHIRUS NORTH CAROLINA

SCALE: VERT. 1" = 10'-0" HORIZ. 1" = 25'-0"

DATE: 10/11/2024

PROJECT NUMBER: 2024-002-001

CLIENT: BARRINGTON DEVELOPMENT, LLC

CONSTRUCTION DRAWING

DESIGNED BY: CFC BARRINGTON, LLC

DATE: 10/11/2024

**HALLINGSFIELD WAY - PLAN & PROFILE**

DATE: 10/11/2024

PROJECT NUMBER: 2024-002-001

CLIENT: BARRINGTON DEVELOPMENT, LLC

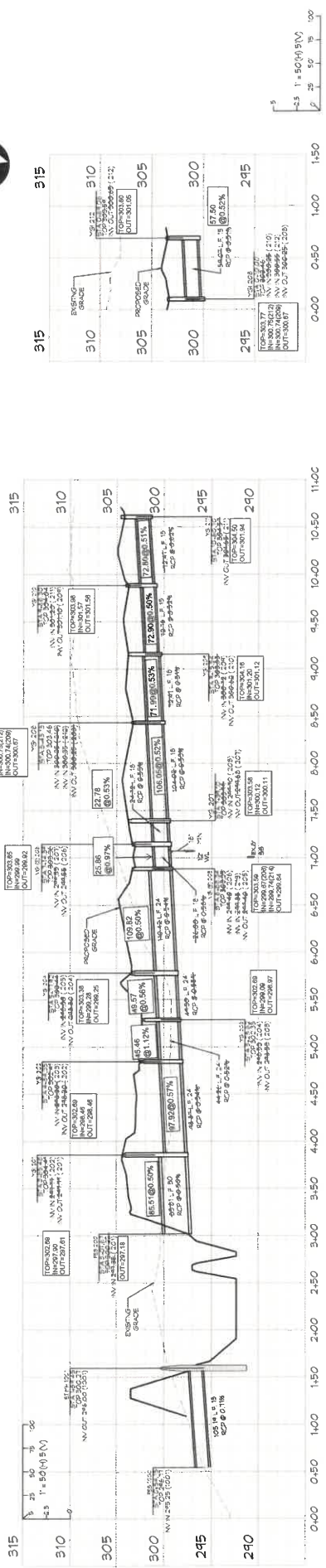
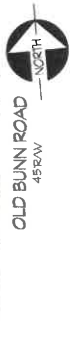
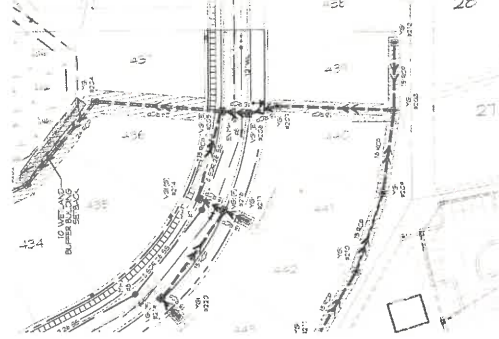
CONSTRUCTION DRAWING

**PRIEST, CRAVEN & ASSOCIATES, INC.**

LAND USE CONSULTANTS / PLANNERS / SURVEYORS / ENGINEERS

3801 S. Cooper Street, Raleigh, NC 27609 Phone: (919) 878-1288 Fax: (919) 878-1289 Email: pc@pcra.com Website: www.pcra.com

**SHEET #** C6.00



YGI 200 - YGI 212

FES 200 - YGI 211



**CITY OF RALPHIGH SITE PERMITTING APPROVAL**  
 Water and Sewer Permits for Installation, Construction, and Extension of the City's Public Sewer System as shown on this plan. The master and detail drawings are prepared in accordance with the standards and specifications of the City of Raleigh Public Utilities Department, S. 3560.  
 The City of Raleigh consents to the connection and extension of the City's Public Sewer System as shown on this plan. The master and detail drawings are prepared in accordance with the standards and specifications of the City of Raleigh Public Utilities Department, S. 3560.  
 This City of Raleigh consent to the connection and extension of the City's Public Sewer System as shown on this plan. The master and detail drawings are prepared in accordance with the standards and specifications of the City of Raleigh Public Utilities Department, S. 3560.  
 Any modification to this approval must be reviewed and approved by the City of Raleigh Public Utilities Department Permit # \_\_\_\_\_ N/A.

**ATTENTION CONTRACTORS**  
 Attention Contractors: Please refer to the notes on this drawing for specific construction requirements. The City of Raleigh is not responsible for any errors or omissions on this drawing. The contractor shall be responsible for obtaining all necessary permits and approvals from the City of Raleigh Public Utilities Department. The contractor shall also be responsible for obtaining all necessary permits and approvals from the appropriate regulatory agencies. The contractor shall also be responsible for obtaining all necessary permits and approvals from the appropriate regulatory agencies. The contractor shall also be responsible for obtaining all necessary permits and approvals from the appropriate regulatory agencies.

SCALE	AS SHOWN
SHEET NUMBER	121
CLIENT	BARRINGTON SUBDIVISION PHASE 3B
DATE	10/1/2019
PROJECT	CONSTRUCTION DRAWINGS

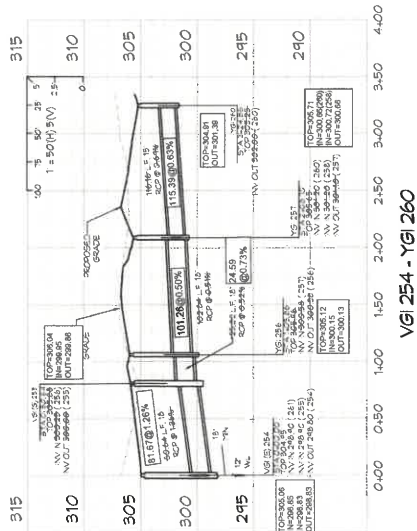
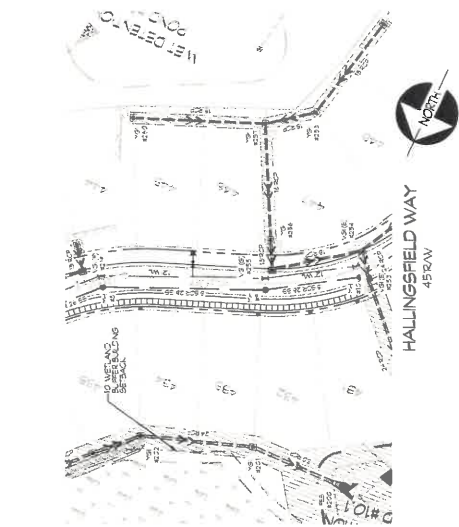
**121 BARRINGTON SUBDIVISION PHASE 3B** FES/CON, NORTH CAROLINA

**STORMWATER OUTFALL PLAN AND PROFILE**

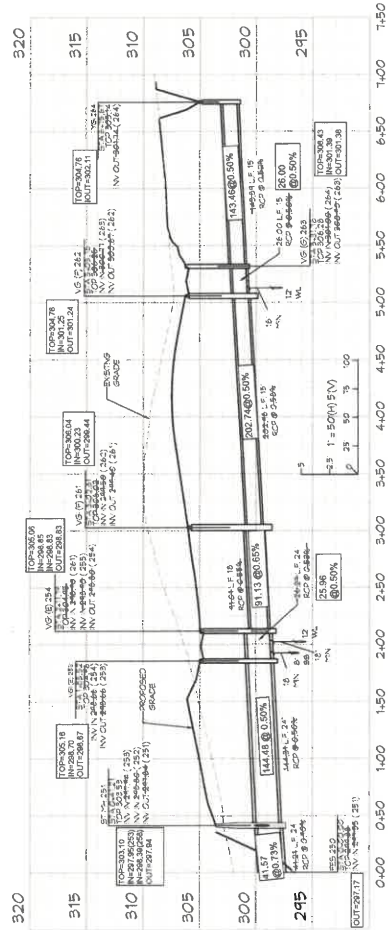
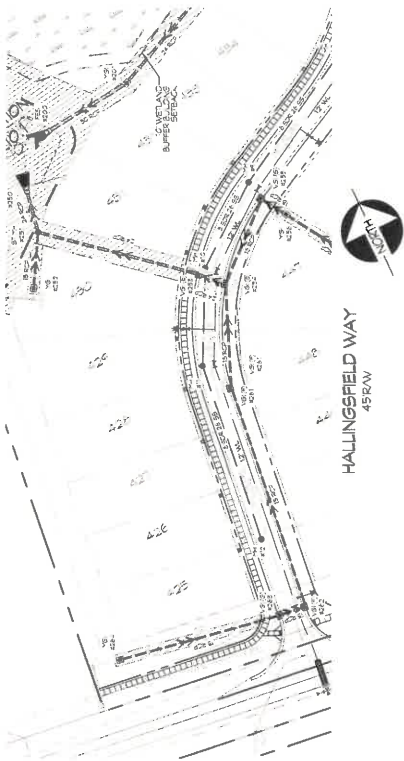
**PRIEST, CRAVEN & ASSOCIATES, INC.**  
 LAND USE CONSULTANTS / PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS  
 981 S. Cooper Street, Suite 100, Raleigh, NC 27601 | Phone: 919.771.9096 | Fax: 919.770.1388 | Email: PCAD@PriestCraven.com | www.priestcraven.com

CITY OF RALPHIGH DEVELOPMENT APPROVAL  
 Raleigh Water Revenue Officer

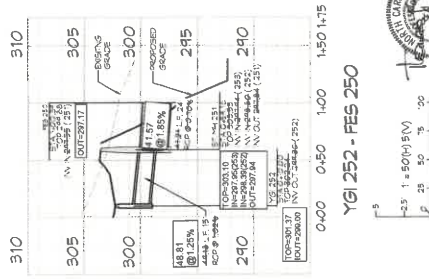
**SHEET #** CT.00



FES 254 - YG 260



FES 250 - YG 264



YGI 252 - FES 250

**CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION**  
 Electronic Approval: This approval is being issued electronically. This approval is not a substitute for the physical stamp of the City Engineer. The City will retain a copy of the approved plans. Any work done on the plans without the City's approval is at the contractor's risk. Any modification to this approval must be issued with this approval.

**CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PERMIT #** N/A

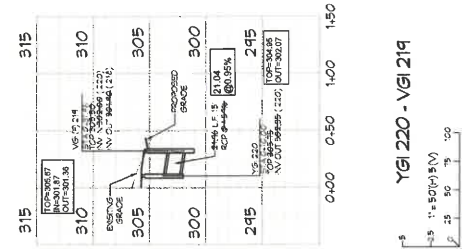
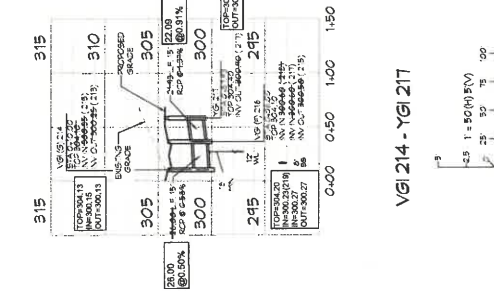
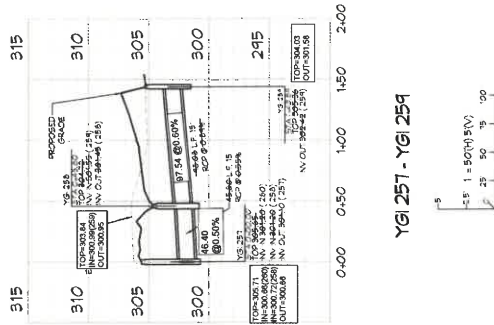
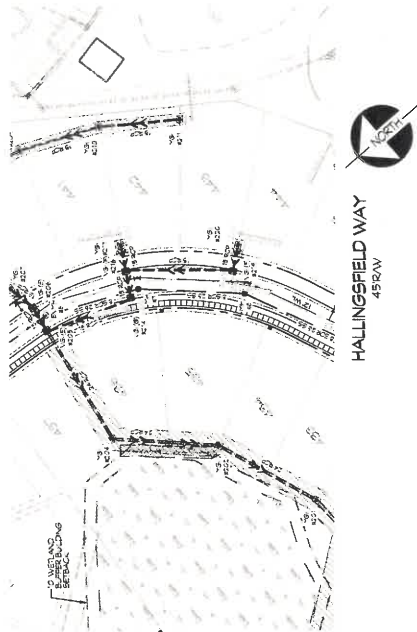
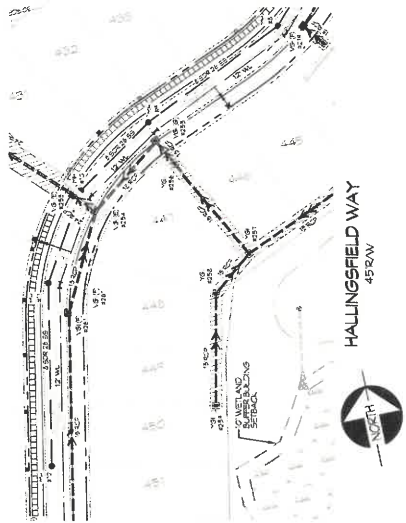
**City of Raleigh Water Service Officer**

**Water and Sewer Permits (if applicable)**  
 The City of Raleigh Public Utilities Department requires that all water and sewer connections be installed in accordance with the standards set forth in the City of Raleigh Public Utilities Handbook, Section 5.0100. The City of Raleigh reserves the right to modify these standards at any time without notice.

**ATTENTION CONTRACTORS**  
 The City of Raleigh requires that all water and sewer connections be installed in accordance with the standards set forth in the City of Raleigh Public Utilities Handbook, Section 5.0100. The City of Raleigh reserves the right to modify these standards at any time without notice.

**ATTENTION CONTRACTORS**  
 The City of Raleigh requires that all water and sewer connections be installed in accordance with the standards set forth in the City of Raleigh Public Utilities Handbook, Section 5.0100. The City of Raleigh reserves the right to modify these standards at any time without notice.

**ATTENTION CONTRACTORS**  
 The City of Raleigh requires that all water and sewer connections be installed in accordance with the standards set forth in the City of Raleigh Public Utilities Handbook, Section 5.0100. The City of Raleigh reserves the right to modify these standards at any time without notice.



**CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION**  
 Electronic Approval: This approval is being issued electronically. This approval is not valid until it is signed by the City Engineer. The City Engineer will retain a copy of this approval. Any work performed under this approval is subject to the City Engineer's review and approval. Any modifications to this approval issued will invalidate this approval.

City of Raleigh Development Approval  
 Raleigh Water Service Officer

**CITY OF RALEIGH SITE PERMITTING APPROVAL**  
 Water and Sewer Permits (if applicable)  
 Public Water System as shown on this plan. The material and construction of the City of Raleigh Public Water System shall conform to the standards and specifications of the City of Raleigh Public Utilities Handbook - S. 5100. The City of Raleigh reserves the right to amend the standards and specifications of the City of Raleigh Public Utilities Handbook - S. 5100. The City of Raleigh reserves the right to amend the standards and specifications of the City of Raleigh Public Utilities Handbook - S. 5100. The City of Raleigh reserves the right to amend the standards and specifications of the City of Raleigh Public Utilities Handbook - S. 5100.

**LAND USE CONSULTANTS / PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS**  
 3801-B Computer Drive, Suite 101 Raleigh, NC 27607, Phone 919 / 781-1338, Fax 919 / 781-1338, Email P&C@pccra.com

**ATTENTION CONTRACTORS**  
 Verify the location of all existing utilities and structures shown on this plan. The contractor shall be responsible for locating and marking all existing utilities and structures. The contractor shall be responsible for obtaining all necessary permits from the City of Raleigh. The contractor shall be responsible for maintaining access to all adjacent properties. The contractor shall be responsible for protecting all existing utilities and structures. The contractor shall be responsible for restoring the site to its original condition after construction is complete. The contractor shall be responsible for all costs associated with the construction of the project. The contractor shall be responsible for all costs associated with the construction of the project.

**SCALE**  
 SCALE NUMBER: 1" = 50' (H) 5" (V)  
 SCALE TYPE: CONSTRUCTION DRAWINGS

**123 BARRINGTON SUBDIVISION PHASE 3B** ZEBULON, NORTH CAROLINA

**STORMWATER OUTFALL PLAN AND PROFILE**

**PRIEST, CRAVEN & ASSOCIATES, INC.**  
 3801-B Computer Drive, Suite 101 Raleigh, NC 27607, Phone 919 / 781-1338, Fax 919 / 781-1338, Email P&C@pccra.com

**SHEET #** C7.02

SPONSORED BY: PCC BARRINGTON, LLC

DATE: 05/14/2019

SCALE: 1" = 50' (H) 5" (V)

SCALE TYPE: CONSTRUCTION DRAWINGS



VICINITY MAP 1" = 1000'

PTS	NORTH	EAST	ELEV.	DESC.
97	79562.409	220938.346	304.900	TYP
440	79562.409	220938.346	304.900	TYP
441	79562.409	220938.346	304.900	TYP
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487	79562.409	220938.346	304.900	TYP
488	79562.409	220938.346	304.900	TYP
489	79562.409	220938.346	304.900	TYP
490	79562.409	220938.346	304.900	TYP
491	79562.409	220938.346	304.900	TYP
492	79562.409	220938.346	304.900	TYP
493	79562.409	220938.346	304.900	TYP
494	79562.409	220938.346	304.900	TYP
495	79562.409	220938.346	304.900	TYP
496	79562.409	220938.346	304.900	TYP
497	79562.409	220938.346	304.900	TYP
498	79562.409	220938.346	304.900	TYP
499	79562.409	220938.346	304.900	TYP
500	79562.409	220938.346	304.900	TYP



**POINT MAP**

SCALE: 1"=40'  
 DATE: 6/1/2024  
 PROJECT: 2021-009,001

AS BUILT SUBMITTAL  
**BARRINGTON PH 3 SECTION B**

**PRIEST, CRAVEN & ASSOCIATES, INC.**  
 LAND USE CONSULTANTS PLANNERS LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS

3801-B Computer Drive, Suite 104 Raleigh, NC 27604, Phone 919 / 791-0100, Fax 919 / 791-1268, Email PC@PriestCraven.com  
 Form E-C4488



**RESOLUTION 2025-03  
ACCEPTING ROADWAY, AND STORM DRAINAGE  
INFRASTRUCTURE FOR BARRINTON PHASE 3B**

**WHEREAS**, DFC Barrington, LLC the developers of Barrington Phase 3B requests the Town of Zebulon assume ownership and maintenance of the roadway and storm drainage infrastructure within the public right-of-way or dedicated easements of Barrington Phase 3B consisting of 698 linear feet (LF) of drainage infrastructure, and 825 LF of roadway:

- 825 LF of Hallingsfield

**WHEREAS**, the Town of Zebulon has inspected said infrastructure; and

**WHEREAS**, DFC Barrington, LLC has completed all punch list tasks; and

**WHEREAS**, the Town of Zebulon has received all required documentation needed for Dedication and Warranty; and

**WHEREAS**, the Town of Zebulon has received a Subdivision Bond from Eular Hermes North America Insurance Company for completion of final asphalt roadway overlay, five-foot sidewalk, SCM conversion, access ramps, signage, striping, and asphalt and concrete repair and etc; and

**WHEREAS**, the Town of Zebulon may accept an offer of dedication of streets, sidewalks, curb and gutter, and storm drainage by resolution of the Board of Commissioners per the Town of Zebulon Uniform Development Ordinance section 6.10.4.

**NOW, THEREFORE, BE IT RESOLVED** that the Board of Commissioners of the Town of Zebulon accepts dedication of the roadway, and storm drainage.

Adopted this 9th day of September 2024.

\_\_\_\_\_  
Glenn L. York – Mayor

SEAL

\_\_\_\_\_  
Lisa M. Markland, CMC - Town Clerk

**Topic: FY 2025 Monthly Financial Report Addendum**

**Executive Summary:**

A monthly report summarizing the status of the Town's revenues and expenditures.

**Background:**

The attached financials are a summary of revenues and expenditures to date. These monthly reports are provided to inform the Board of revenue and expenditure trends throughout the year. The enclosed statements are through August 23, 2024.

**Information:**

Expenditures

With Fiscal Year 2024 almost closed with only one more month of sales tax and the final quarter of utilities sales tax remaining, the revenues and expenditures appear to be the following approximately:

- Revenues: \$23,336,000 (up 10.3% from FY 2023)
- Expenditures: \$19,165,000 (up 17.6% from FY 2023)

With approximately 2 months into Fiscal Year 2025 expenditures complete, the Town has spent approximately 9% (~ \$3,219,000) of its General Fund budget of \$35,506,009. It is important to note some larger early year expenditures – some vehicle and equipment purchases, most all the annual property & liability as well as the workers compensation premiums have been paid. This is why some departments have higher amounts of percent of budget spent at this early point in the year. Some discussion on some early revenue activity such as zoning fees and property taxes are below. The revenue and expenditure statements are included for your review.

Revenues

- Property Tax (the Town's largest revenue stream)
  - + FY 2025 collections: \$316,694 collected to date (~ 2.13% of budget).
  - + Observations:
    - # 53% less than collected last fiscal year (\$684,375).
    - # One month of vehicle taxes have been collected for FY 2025.
- Sales Tax (second largest revenue stream)
  - + May's sales (reports lag 3-months):
    - # \$9,427 (4.5%) more collected than last May for all sales tax.
    - # \$2,912 (3.2%) more collected than last May for "local" sales tax.
    - # "Local" sales tax (Article 39) is generated within, and returns to, Wake County.
    - # For every \$100,000 in local sales, \$3.55 comes back to the Town of Zebulon.
  - + Year-to-Date comparisons (sales through the first eleven months of the fiscal year)
    - # \$158,378 (+7.4%) more collected than at this time last year for all sales tax
    - # Collections represent 91% of budgeted revenues at 92% of the fiscal year.

- # Robust sales and an increased share (resulting from recent census data showing population increase) were factors in the collections exceeding budget.
- Utilities Sales Tax (5% of revenue stream): fourth quarterly disbursement to be received September 15.
  - + The first distribution of FY 2025 will not be received until December 15
  - + Reflects natural gas and electricity sales and heavily weather dependent
- Permits & Zoning
  - + \$28,219 collected total (11% of budgeted revenues (\$250,000))
  - + 4.86% more than what was collected this time last fiscal year (\$26,847).
- Parks & Recreation
  - + 39,276 collected total (33% of budgeted revenues (\$115,000))
  - + 3.76% more than what was collected this month last fiscal year (\$37,817).
- Transportation Impact Fees
  - + \$33,063 collected to date in FY 2025
  - + 66% less than what was collected last fiscal year (\$97,032).
  - + Revenue placed in reserve for transportation projects to be spent within 10 years
- Recreation Impact Fees
  - + \$81,000 collected to date in FY 2025
  - + 78% less than what was collected last fiscal year (\$366,000).
  - + Collections since inception of fee (January 2022) ~ \$5,066,000

**Policy Analysis: N/A**

**Financial Analysis:** Budgeted revenue in FY 2025 is \$35,506,009 while year to date revenue collected is \$913,718 (2% of budgeted). Budgeted revenue includes \$11.1M Fund Balance.

**Staff Recommendation:**

No staff recommendation or Board action is necessary. These are informational only.

**Attachments:**

1. General Fund Fiscal Year 2025 Expenditure Statement and Revenue Statement (as of August 23, 2024)

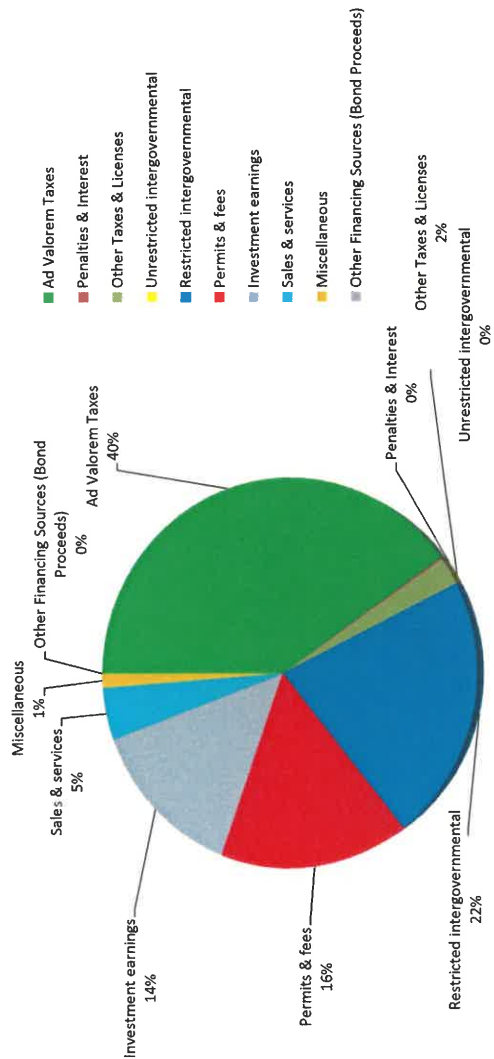


TOWN OF ZEBULON  
 Revenue Statement: 2024 - 2025  
 for Accounting Period 6/30/2025  
 GENERAL FUND

As of 8/23/2024

Revenue Categories	Estimated Revenue	Revenue YTD	% Collected	% of Total Revenue YTD
Ad Valorem Taxes	\$ 14,857,000.00	\$ 387,945.02	2.5%	40.3%
Penalties & Interest	\$ 25,000.00	\$ 1,809.81	7.2%	0.2%
Other Taxes & Licenses	\$ 205,500.00	\$ 20,133.00	9.8%	2.2%
Unrestricted intergovernmental	\$ 3,328,000.00	\$ -	0.0%	0.0%
Restricted intergovernmental	\$ 2,496,514.00	\$ 196,335.96	7.9%	21.5%
Permits & fees	\$ 1,659,500.00	\$ 148,257.94	8.9%	16.2%
Investment earnings	\$ 500,000.00	\$ 127,674.77	25.5%	14.0%
Sales & services	\$ 1,047,000.00	\$ 40,556.07	3.9%	4.4%
Miscellaneous	\$ 70,000.00	\$ 11,005.20	15.7%	1.2%
Other Financing Sources (Bond Proceeds)	\$ 250,000.00	\$ -	0.0%	0.0%
Fund Balance Appropriated	\$ 11,067,495.00	\$ -	0.0%	0.0%
<b>Total Revenues</b>	<b>\$ 35,506,009.00</b>	<b>\$ 913,717.77</b>	<b>2.6%</b>	<b>100%</b>

Town of Zebulon General Fund % of Total Revenue To Date - FY 2025





TOWN OF ZEBULON  
 Expenditure Statement: 2024 - 2025  
 for Accounting Period 6/30/2025  
 GENERAL FUND

As of 8/23/2024

<u>Dept #</u>	<u>Department</u>	<u>Approp Amount</u>	<u>Expenditure YTD</u>	<u>% Exp.</u>
410	GOVERNING BODY	\$944,300	\$54,532	5.8%
420	FINANCE	\$632,900	\$74,039	11.7%
430	ADMINISTRATION	\$1,883,545	\$220,847	11.7%
490	PLANNING AND ZONING	\$1,015,474	\$129,174	12.7%
500	PUBLIC WORKS-PROPERTY & PROJECT MGMT	\$4,303,184	\$279,466	6.5%
510	POLICE	\$4,621,344	\$513,315	11.1%
520	PUBLIC WORKS-OPERATIONS	\$9,190,176	\$488,590	5.3%
530	FIRE	\$6,290,974	\$1,139,264	18.1%
570	POWELL BILL	\$279,460	\$3,008	1.1%
590	ENGINEERING	\$265,300	\$57,379	21.6%
620	PARKS & RECREATION	\$4,791,702	\$239,142	5.0%
690	COMMUNITY & ECONOMIC DEVELOPMENT	\$1,287,650	\$20,997	1.6%
<b>Total Expenditures</b>		<b>\$35,506,009</b>	<b>\$3,219,753</b>	<b>9.1%</b>