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# ZEBULON

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NORTH CAROLINA

**TOWN OF ZEBULON  
JOINT PUBLIC HEARING  
ZEBULON BOARD OF COMMISSIONERS AND  
ZEBULON PLANNING BOARD**

**June 10, 2024**

**6:00 PM**

**I. CALL TO ORDER**

**II. APPROVAL OF THE AGENDA**

**III. NEW BUSINESS**

- a. Planned Development 2024-02 – 901 Mack Todd.** Planned Development request at 901 Mack Todd (PIN#1795827060) for the development of 13 Townhomes.

**IV. ADJOURNMENT**



**Topic:** PD 2024-02 – 901 Mack Todd Rd  
**Speaker:** Cate Farrell, Planner II  
**From:** Michael J. Clark, CNU-A, AICP, Planning Director  
**Prepared by:** Adam Culpepper, Senior Planner

**Executive Summary:**

The Board of Commissioners will consider a Conditional Zoning Map Amendment for 901 Mack Todd Rd (PIN# 1795827060) This is a legislative case.

**Background:**

The Town received a Planned Development request from TMTLA Associates (Pam Porter) to develop 13 townhome units on 2.30 acres. The property is owned by Capital Properties of North Carolina LLC and is currently in the Town of Zebulon ETJ and zoned R4-C for the development of a Bungalow Court (Ordinance 2021-75, Attached).

**Discussion:**

The Board shall consider the following questions to determine whether the rezoning is consistent with the intent of the Unified Development Ordinance (Section 2.2.24.J):

1. Does the request advance public health, safety, or welfare?
2. Is the request appropriate for its proposed location, and consistent with the purposes, goals, objectives, and Town’s policies?
3. Is the request reasonable and in the public interest?
4. Are there other factors which the Board of Commissioners determines relevant?
5. Is the proposed development better than what would otherwise be permitted under strict interpretation of the UDO 3.5.5?

**Policy Analysis:**

Grow Zebulon: Comprehensive Land Use Plan (Land Use Plan):

The Land Use Plan (adopted June 2021) designated this area “Suburban Residential”. This designation allows a mixture of product types, with increased open space to preserve an overall suburban character and encourages moderate density with the inclusion of single family attached lots (Land Use and Development Page 13 & 14, Attached).

Suburban Residential characteristics include a greater focus on the home and less on driveways consuming a large percentage of the front lawn. These characteristics are preserved through alley-loaded townhomes.

Play Zebulon: Parks and Recreation Master Plan (Park Master Plan):

The Park Master Plan identifies a greenway at the rear property boundary. The applicant has proposed the addition of the greenway through the site.

Unified Development Ordinance:

The UDO (Section 2.2.15) allows flexibility from some standards in exchange for a higher quality development more aggressively accomplishing other goals, such as amenities and

diverse housing. The applicant proposes a unique rear loaded design townhome project with amenities appropriate for the proposed occupancy.

**Financial Analysis:**

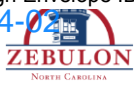
When complete, this development will generate approximately \$26,000 per year in property tax revenue.

**Staff Recommendation:**

Staff recommends seeking public input during a joint public hearing and referring the matter to the Planning Board for recommendation.

**Attachments:**


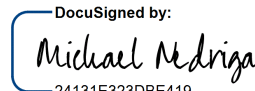
1. Application Material (Application, Neighborhood Meeting Packet, Site Plan, Utility allocation, and Traffic Letter)
2. Planned Development Narrative
3. Future Land Use and Character Map
4. Aerial Map
5. Zoning Map
6. Site Pictures
7. Public Hearing Notification Affidavit
8. Planned Development Standards (UDO Section 3.5.5)
9. Comprehensive Plan Excerpt

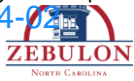


# APPLICATION FOR PLANNED DEVELOPMENT

PART 1. DESCRIPTION OF REQUEST/PROPERTY		
Street Address of the Property: <b>901 Mack Todd Road</b>	Acreage: <b>2.30</b>	
Parcel Identification Number (NC PIN): <b>1795-82-7060</b>	Deed Book: <b>17475</b>	Deed Page(s): <b>0821</b>
Existing Zoning of the Property: <b>R4</b>	Proposed Zoning of the Property: <b>PD</b>	
Existing Use of the Property: <b>vacant</b>	Proposed Use of the Property: <b>single family attached</b>	
Reason for rezoning to a Planned Unit Development: <b>Rezoning to increase density from previous rezoning on this parcel.</b>		

PART 2. APPLICANT/AGENT INFORMATION		
Name of Applicant/Agent: <b>TMTLA Associates (Contact: Pam Porter)</b>		
Street Address of Applicant/Agent: <b>5011 Southpark Drive, Ste. 200</b>		
City: <b>Durham</b>	State: <b>NC</b>	Zip Code: <b>27713</b>
Email of Applicant/Agent: <b>pam@tmtla.com</b>	Telephone Number of Applicant/Agent: <b>919-484-8880</b>	Fax Number of Applicant/Agent: <b>n/a</b>
Are you the owner of the property? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Are you the owner's agent? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<b>Note: If you are not the owner of the property, you <u>must</u> obtain the Owner's consent and signature giving you permission to submit this application.</b>

PART 3. PROPERTY OWNER INFORMATION		
Name of Property Owner: <b>Capital Properties of North Carolina LLC</b>		
Street Address of Property Owner: <b>1540 Grand Willow Way</b>		
City: <b>Raleigh</b>	State: <b>NC</b>	Zip Code: <b>27614</b>
Email of Property Owner: <b>cpncllc@gmail.com</b>	Telephone Number of Property Owner: <b>919-779-9664</b>	Fax Number of Property Owner: <b>n/a</b>
<i>I hereby state that the facts related in this application and any documents submitted herewith are complete, true, correct, and accurate to the best of my knowledge.</i>		
<b>Signature of Applicant:</b>  <small>DocuSigned by: Michael Nedriga 24131E323DBE419...</small>	<b>Print Name:</b> Michael Nedriga	<b>Date:</b> 1/24/2024
<b>Signature of Owner:</b>  <small>DocuSigned by: Michael Nedriga 24131E323DBE419...</small>	<b>Print Name:</b> Michael Nedriga	<b>Date:</b> 1/24/2024

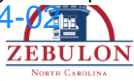


# APPLICATION FOR PLANNED DEVELOPMENT

## LEGISLATIVE CONSIDERATIONS – PLANNED DEVELOPMENT

The applicant shall propose site-specific standards and conditions that take into account the following considerations, which are considerations that are relevant to the legislative determination of whether or not the proposed planned development is in the public interest. These considerations do not exclude the legislative consideration of any other factor that is relevant to the public interest. Failure to adequately address the findings below may result in denial of the application. Please provide responses to the following standards as outlined in Section 2.2.15 of the Unified Development Ordinance.

<p>1. Please provide details on how the proposed Planned Development advances the public health, safety, or welfare</p> <p>Provide new housing to residents of Zebulon in close proximity to local shopping.</p>
<p>2. Please provide details on how the proposed Planned Development is appropriate for its proposed location, and is consistent with the purposes, goals, objectives, and policies of the Town’s adopted policy guidance.</p> <p>Proposed zoning and use will be in accordance with all zoning requirements and Town ordinances.</p>
<p>3. Please provide details on how the proposed Planned Development is reasonable and in the public interest.</p> <p>This development will provide new housing within close proximity to local shopping, businesses, and professional facilities and services. The development is small and will not disrupt local traffic or adjacent property owners.</p>
<p>4. Please provide details on how the proposed Planned Unit Development provides for innovative land planning and site design concepts that support a high quality of life and achieve a high quality of development, environmental sensitivity, energy efficiency, and other Town goals and objectives.</p> <p>This development will include high quality housing while protecting the environmentally sensitive land located in on site. This development will provide a much needed portion of the Corridor 8 greenway which will help connect residents to downtown Zebulon.</p>
<p>5. Please provide details on how the proposed planned unit development provides improved means of access, open space, and design amenities;</p> <p>This development will include a variety of amenities to residents, plentiful open space, and also provide a section of the Corridor 8 greenway. Access to this small development will be via a shared access (no new public roads planned).</p>



# APPLICATION FOR PLANNED DEVELOPMENT

6. Please provide details on how the proposed Planned Unit Development provides a well-integrated mix of residential and nonresidential land uses in the same development, including a mix of housing types, lot sizes, and densities;

This development is not large enough to provide multiple housing types - but it does provide a pocket of single family attached housing which helps to diversify housing type.

7. Please provide details on how the proposed Planned Unit Development creates a system of incentives for redevelopment and infill in order to revitalize established areas;

This small development, only 2.30 acres, could be considered infill development. It will help to introduce a new housing type in a small (i.e. not overwhelming) development in an area where no other single family attached homes are located.

8. Please provide details on how the proposed Planned Unit Development promotes a vibrant public realm by placing increased emphasis on active ground floor uses, pedestrian-oriented building façade design, intensive use of sidewalks, and establishment of public gathering areas;

This development will front units on Mack Todd Road and open space - all units will be rear loaded. This will place units closer to the street and allow for residents to interact with each other on a pedestrian level. Various amenities to promote public gathering will be included.

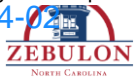
9. Please provide details on how the proposed Planned Unit Development provides for efficient use of land resulting in smaller networks of utilities and streets and thereby lowering development and housing costs; and

Due to the presence of a stream buffer on this small site, this development is forced to cluster units around those environmentally sensitive areas. This lowers infrastructure cost as it forces the development to be efficient with design.

10. Please provide details on how the proposed Planned Unit Development provides quality design and environmentally sensitive development that respects surrounding established land use character and respects and takes advantage of a site's natural and man-made features, such as trees, estuaries, shorelines, special flood hazard area, and historic features.

The proposed development works around the existing environmentally sensitive areas located on this site. Nestled around the existing stream buffer, this development sees those environmentally sensitive areas as an asset to this development, providing an abundance of green space for residents to enjoy.

11. Other factors as the Board of Commissioners may determine to be relevant.

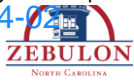


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11. Other factors as the Board of Commissioners may determine to be relevant.



# APPLICATION FOR PLANNED DEVELOPMENT

## OWNER'S CONSENT FORM

Name of Project: 901 Mack Todd Road Submittal Date: 2/1/2024

### OWNER'S AUTHORIZATION

I hereby give CONSENT to TMTLA Associates (type, stamp or print clearly full name of agent) to act on my behalf, to submit or have submitted this application and all required material and documents, and to attend and represent me at all meetings and public hearings pertaining to the application(s) indicated above. Furthermore, I hereby give consent to the party designated above to agree to all terms and conditions which may arise as part of the approval of this application.

I hereby certify I have full knowledge the property I have an ownership interest in is the subject of this application. I acknowledge and agree that, pursuant to Section 2.2.15. of the Town of Zebulon Unified Development Ordinance, that lands subject to a Planned Development shall be subject to all the standards, conditions, and plans approved as part of that application. These standards, plans, and approved conditions are perpetually binding on the land as an amendment to this Ordinance and the Official Zoning Map and may only be changed in accordance with the procedures established in this Ordinance. Development located outside the Town of Zebulon's corporate limits shall comply with all Town policies related to annexation and the extension of utilities. I understand that all other applicable standards and regulations of the UDO will remain applicable to the subject lands unless specifically listed as conditions or deviations as part of this request. I understand that any false, inaccurate, or incomplete information provided by me, or my agent will result in the denial, revocation or administrative withdrawal of this application, request, approval or permits. I acknowledge that additional information may be required to process this application. I further consent to the Town of Zebulon to publish, copy or reproduce any copyrighted document submitted as a part of this application for any third party. I further agree to all terms and conditions, which may be imposed as part of the approval of this application.

DocuSigned by:  
Michael Nedriga Michael Nedriga 1/24/2024  
*Signature of Owner* *Print Name* *Date*

### CERTIFICATION OF PROPERTY OWNER

I hereby certify the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related material and all attachments become official records of the Planning Department of the Town of Zebulon, North Carolina, and will not be returned.

DocuSigned by:  
Michael Nedriga Michael Nedriga 1/24/2024  
*Signature of Owner* *Print Name* *Date*

\*Owner of record as shown by the Wake County Revenue Department (www.wakegov.com). An option to purchase does not constitute ownership. If ownership has been recently transferred, a copy of the deed must accompany this form.

### CONCEPT PLAN REQUIREMENTS

Every applicant requesting Planned Development approval shall submit **8 copies** and **1 pdf (e-mail or USB Drive)** of a concept plan drawing with the application for a Planned Development. The concept plan shall contain sufficient information to adequately determine the type of development being proposed. The concept plan drawing shall include, at a minimum, the following features unless otherwise specified by the Planning Department:

**CHECK IF SUBMITTED**

**ITEM**

1.	Plot plan showing all existing and planned structures, building setback lines, perimeter boundaries, and easements.	√ _____
2.	Elevation drawings of all buildings indicating the proposed exterior finish materials.	√ _____
3.	Landscaping plan, lighting, fencing, screening, and walls, indicating all heights and locations.	√ _____
4.	Location of all ingress and egress.	√ _____
5.	Off-street parking and loading facilities, with calculations showing how the quantities were obtained.	√ _____
6.	All pedestrian walks and open areas for use by residents, tenants, or the public.	√ _____
7.	Proposed land uses indicating areas in square feet.	√ _____
8.	The location and types of all signs, including lighting and heights, with elevation drawings.	n/a _____
9.	Existing and/or proposed street names.	√ _____
10.	Proposed potable or reuse water, wastewater connections, and storm sewer line; proposed grading and drainage patterns; proposed water and sewer allocations.	√ _____
11.	Such additional items and conditions, including design standards as the Planning Board and Board of Commissioners deems necessary.	√ _____
12.	Trip generation data and TIA	n/a _____

## PROPOSED USES

An application has been duly filed requesting that the property described in this application be rezoned from R4 \_\_\_\_\_ to PD \_\_\_\_\_. It is understood and acknowledged that if the property is rezoned as requested, the property described in this request will be perpetually bound to the use(s) authorized and subject to such conditions as imposed, unless subsequently changed or amended as provided for in the Unified Development Ordinance. It is further understood and acknowledged that final plans for any specific development to be made pursuant to any such Planned Development shall be submitted for site or subdivision plan approval. Use additional pages as needed.

The Rezoned Lands may be used for, and only for, the uses listed immediately below. The permitted uses are subject to the limitations and regulations stated in the Use Table and any additional limitations or regulations stated below. For convenience, some relevant sections of the Unified Development Ordinance may be referenced; such references do not imply that other sections of the Unified Development Ordinance do not apply.

1.	Single Family Attached and permitted accessory uses	25.	
2.		26.	
3.		27.	
4.		28.	
5.		29.	
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20.		44.	
21.		45.	
22.		46.	
23.		47.	
24.		48.	

**PROPOSED DEVELOPMENT CONDITIONS**

The applicant hereby requests that the Zebulon Board of Commissioners, pursuant to Section 3.3.5 of the Unified Development Ordinance, approve the Proposed Planned Development with above listed use(s), subject to the following condition(s), requested deviations, and proposed alternative means of compliance. (Attach additional pages as needed)

1. Uses shall be limited to single family detached, single family attached, and permitted accessory uses.
2. Minimum single family attached unit shall be a minimum of 1,200 s.f.
3. Minimum driveway stem length shall be 20'.
4. Mack Todd Road – dedicate 5' of right of way. Build ½ of the ultimate 70' Right-of-Way section.  
Roadway section will include 5' wide sidewalk for the full length of property.
5. This project shall not utilize mass grading.
6. Provide a 10' wide Type A buffer along PIN 1795-82-9159 where single family attached units are located adjacent to the shared property line as shown on concept plan.
7. Slab foundation shall be permitted.
8. Vinyl siding shall not be permitted but vinyl accents, such as windows, decorative trim, and other elements shall be permitted.
9. Developer shall provide easement for and construct the section of the Corridor 8 greenway that runs along the east side of the development.
10. Native trees shall be used for any street tree or buffer planting.

### ADJACENT OWNERS

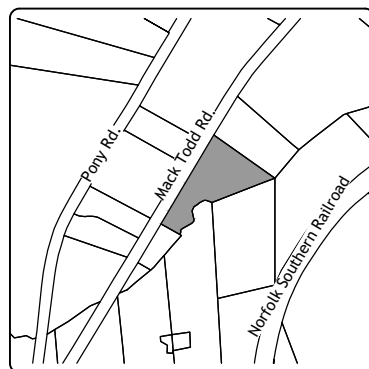
Provide a certified list of property owners subject to this application and all properties owners within 750-feet of the subject property, and any HOA Contacts for developments which fall within 750-feet of the subject property.

Parcel Address	Parcel ID Number	Owner's Name
please see attached		

### HOA CONTACTS

Development Name	Contact Person	Address
n/a		

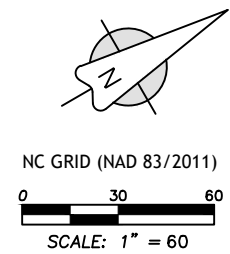
901 Mack Todd Road - Parcels within 750'		
Parcel Address	REID	Owner
970 MACK TODD RD	0188800	CAVALLERO, DARIO L EHMANN, DONNA CAVALLERO
750 PONY RD	0051771	CROUSE, DONNA M BULLOCK
100 SHANNON DR	0118145	HOUSING AUTH COUNTY OF WAKE
941 MACK TODD RD	0001204	JAM MAR PROPERTIES LLC
608 W BARBEE ST	0054481	BROWN, LARRY G BROWN, MARY J
535 MACK TODD RD	0075388	JNCJ PROPERTIES LLC
600 PONY RD	0036416	CHANDAK, GOVIND CHANDAK, MADHU
721 MACK TODD RD	0089314	HERITAGE BAPTIST CHURCH INC
560 W BARBEE ST	0104806	GAY FAMILY LIMITED PARTNERSHIP II
601 PONY RD	0186160	SILVER SPRING HOUSING ASSOC LLC
600 MACK TODD RD	0085216	LNP INC
950 MACK TODD RD	0115949	HSSW
780 W BARBEE ST	0252242	HERNANDEZ, MARIA A
551 PONY RD	0076634	ZEBULON HEALTH HOLDINGS LLC
0 W BARBEE ST	0337278	SMITH, TODD L
704 W BARBEE ST	0068443	PERRY QUINN PROPERTIES INC
521 DUGGINS OAK DR	0190619	ZEBULON GREEN ASSOCIATES LIMITED PARTNERSHIP
901 MACK TODD RD	0077886	CAPITAL PARTNERS OF NORTH CAROLINA LLC
0 W BARBEE ST	0476110	TODD, JAMES THOMAS JR TRUSTEE HOLDEN, BRENDA TODD HEIRS
808 W BARBEE ST	0070909	TODD, JAMES THOMAS JR TRUSTEE HOLDEN, BRENDA TODD HEIRS
934 W BARBEE ST	0070905	HARRISON, MIRANDA TODD TRUSTEE TODD PROTECTION TRUST
0 W BARBEE ST	0476109	TODD, GLENN A TODD, VERA L
820 W BARBEE ST	0070906	TODD, GLENN A TODD, VERA L
705 PONY RD	0060530	MERITAGE HOMES OF THE CAROLINAS INC
700 PONY RD	0245658	700 PONY LLC
801 MACK TODD RD	0082911	HERITAGE BAPTIST CHURCH INC
804 W BARBEE ST	0070907	PREDDY, MARY ANN TODD



Vicinity Map  
(No Scale)

**NOTES:**

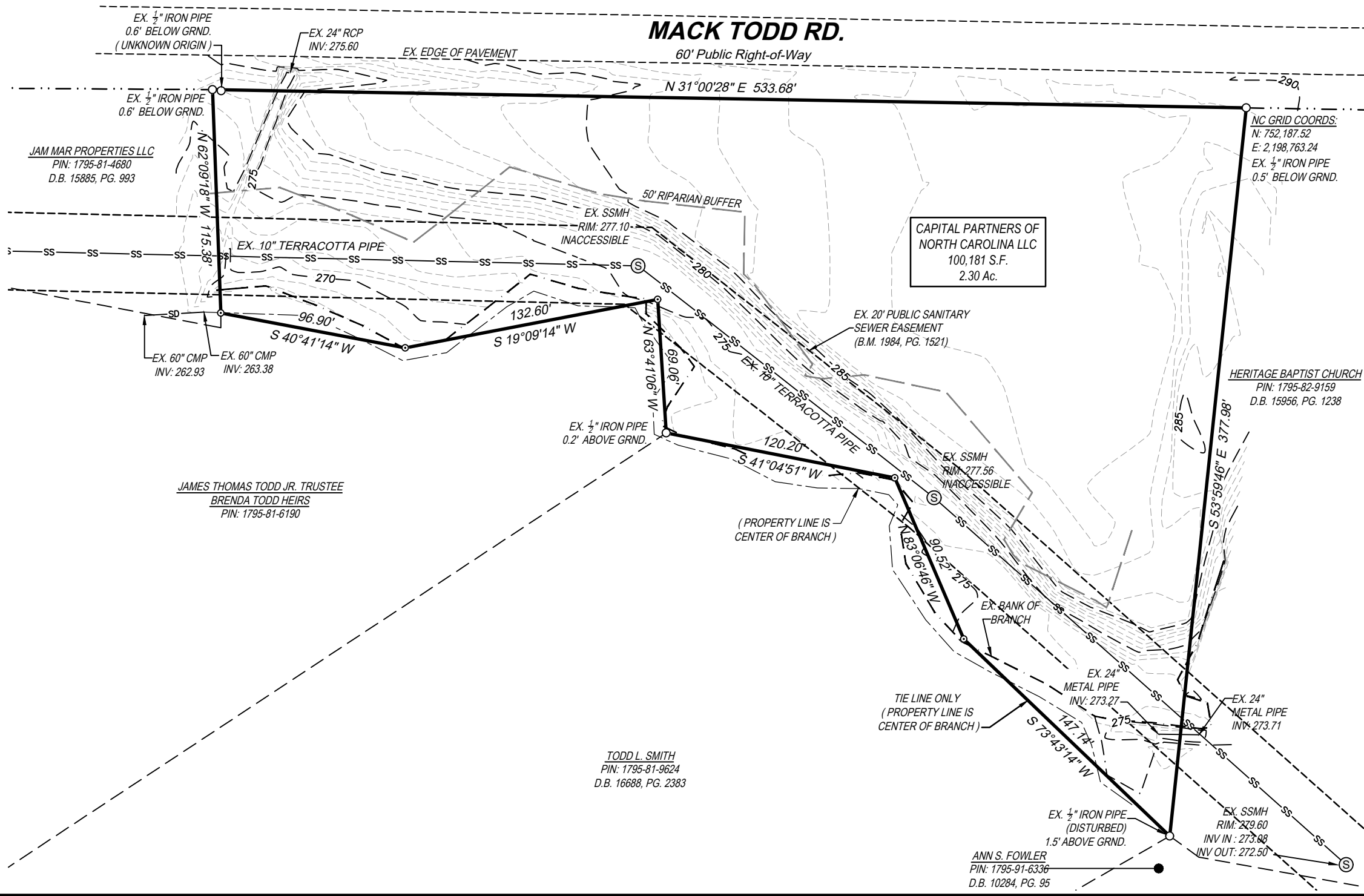
- 1) The basis of all easements, right-of-way's, property lines, buffers, setbacks and adjoiners, etc., referenced from Deed Book 18072, Page 2356 unless otherwise noted.
- 2) No investigation into the existence of jurisdictional wetlands or riparian buffers performed by this firm.
- 3) Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence or any other facts that an accurate and current title search may disclose.
- 4) Field survey performed January 29 & February 1, 2021.
- 5) Vertical datum = NAVD 88.



**BOUNDARY & TOPGRAPHIC SURVEY**  
**901 MACK TODD RD.**  
**ZEBULON, NC**  
**LITTLE RIVER TOWNSHIP**  
**WAKE COUNTY, NC**  
**FEBRUARY 11, 2021**

**JC TAYLOR**  
LAND CONSULTANTS, PLLC  
License No P-0829  
1600 Olive Chapel Road, #140  
Apex, NC 27502 (919) 801-1104

- LEGEND:**
- Ex. property corner
  - Set property corner
  - Calculated point
  - ⊕ Water Meter
  - ⊕ Sanitary Sewer Cleanout
  - ⊕ Power Pole
  - ⊕ Power Pedestal
  - ⊕ Telephone Pedestal
  - ⊕ Cable Pedestal
  - ⊕ HVAC
  - ⊕ Wetland Flag
  - ⊕ Fire Hydrant
  - ⊕ Water Valve
  - ⊕ Fence
  - ⊕ Water
  - SS— Sanitary sewer pipe
  - SD— Storm drain pipe
  - OU— Overhead utility
  - B.M. Book of Maps
  - D.B. Deed Book
  - Pg. Page
  - S.F. Square Feet
  - Ac. Acres



I, Jeremy Taylor, certify that this plat was drawn under my supervision from an actual survey made under my supervision (deed and description recorded in Book referenced); that the boundaries not surveyed are indicated as drawn from information in Book referenced; that the ratio of precision or positional accuracy exceeds 1:10,000; and that this map meets the requirements of The Standard of Practice for Land Surveying in North Carolina (21 NCAC 56.1600). This 2nd Day of August, 2019

**PRELIMINARY FOR REVIEW PURPOSES ONLY**



Prepared by: Heyward G. Wall, PO Box 2282, Garner, NC 27529  
Mail to: Grantee

STATE OF NORTH CAROLINA

Excise tax: \$ 242.00

COUNTY OF WAKE

Tax I.D. # 0077886

**TRUSTEE'S DEED**

THIS DEED is made on this the 20th day of November, 2023 between **Heyward Wall Law, P.A., Substitute Trustee**, Grantor, and **Capital Properties of North Carolina, LLC**, Grantee, whose address is 1540 Grand Willow Way, Raleigh, NC 27614.

WITNESSETH:

WHEREAS, Michael W. Nedriga is the beneficiary, owner and holder of the following certain real estate Deed of Trust given in trust to secure the indebtedness as described therein:

<u>GRANTORS</u>	<u>DATE RECORDED</u>	<u>BOOK</u>	<u>PAGE</u>
Capital Partners of North Carolina, LLC	September 15, 2020	18072	2359

WHEREAS, in said Deed of Trust, the Trustee was empowered, pursuant to the request of the Beneficiary of said Deed of Trust upon the breach of any of the covenants contained therein, to sell said property with all improvements thereon, rights, privileges and appurtenances thereunto belonging; and

WHEREAS, default having occurred by said Grantors, foreclosure was initiated in file number 23 SP 2752 and the Wake County Clerk of Superior Court having ordered a sale of the premises pursuant to the provisions of said Deed of Trust; and

WHEREAS, the Substitute Trustee, in the execution of the powers and duties conferred and imposed upon it in said Deed of Trust, did on October 19, 2023 offer for sale said property with all improvements thereon, rights, privileges and appurtenances thereunto belonging at

Submitted electronically by "Heyward Wall Law, P.A."  
in compliance with North Carolina statutes governing recordable documents  
and the terms of the submitter agreement with the Wake County Register of Deeds.

public auction at the Courthouse door in Raleigh, North Carolina, to the highest bidder for cash, at which sale the noteholder made the highest and final bid of \$121,000.00; said bid was held open for the statutory period of ten (10) days without upset bid and said noteholder subsequently assigned his rights to the winning bid to Grantee who complied with the terms of said sale; and

NOW, THEREFORE, in consideration of the premises and the sum of \$121,000.00, the receipt of which is hereby acknowledged, said Grantor does hereby bargain, sell, grant, and convey with special warranty unto the Grantee and its assigns the following property situated in Wake County, North Carolina, and being more particularly described as follows:

**See attached Exhibit A**

TOGETHER with all the right, title, and interest which the party of the first part acquired in and to the property described above and the rights, privileges, and appurtenances thereunto belonging.

TO HAVE AND TO HOLD the same unto the party of the second part and its assigns forever.

IN WITNESS WHEREOF, the party of the first part has hereunto set its hand and seal, this November 20, 2023.

**Heyward Wall Law, P.A., Substitute Trustee**

By:  (SEAL)  
Heyward G. Wall, President

North Carolina, Wake County

I, a Notary Public of the County and State aforesaid, certify that Heyward G. Wall, President of Heyward Wall Law, P.A., Substitute Trustee, personally appeared before me this day and acknowledged the execution of the foregoing instrument. Witness my hand and official stamp or seal, this November 20, 2023.

  
Notary Public

My commission exp.: 8/15/2026

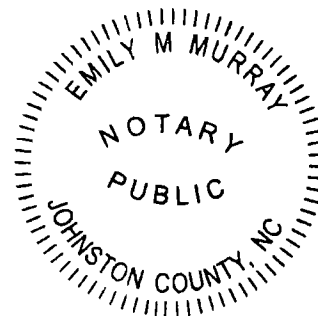


EXHIBIT "A"

Beginning at an iron stake in the intersection of the southern right of way line of U.S. Highway 64 and the line of H.W. Whitley property west of the corporate limits of the Town of Zebulon, runs thence with the line of H.W. Whitley property South 49° 8' East 378.00 feet to an iron stake; runs thence with the run of a branch as the property line in a southwesterly direction (tie line courses and distances: South 78° 35' West 147.14 feet, North 78° 15' West 90.52 feet, South 47° 1' West 113.72 feet, North 64° 30' West 69.00 feet, South 24° 1' West 132.60 feet, and South 45° 33' West 96.90 feet) to a point; runs thence North 56° 47' West 116 feet to an iron stake in the southern right of way line of U.S. Highway 64; runs thence with the southern right of way line of U.S. Highway 64 North 35° 52' East 533.20 feet to the point and place of Beginning, being all of a 2.36 acre tract of land on the southern side of U.S. Highway 64 as shown by survey and map Harold B. Mullen, R.L.S., and dated 3-1-72, and entitled "Property Survey for Russell Blue Williams and Pattie Perry Williams, Little River Township, Wake County, North Carolina."

## NOTICE OF NEIGHBORHOOD MEETING

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

Dear Neighbor:

You are invited to a neighborhood meeting to review and discuss the development proposal at:

901 Mack Todd Rd, Zebulon NC 27597

1795-82-7060

(Address)

(Pin Numbers)

in accordance with the Town of Zebulon Neighborhood Meeting procedures. This meeting is intended to be a way for the applicant to discuss the project and review the proposed plans with adjacent neighbors and neighborhood organizations before the submittal of an application to the Town. This provides neighbors an opportunity to raise questions and discuss any concerns about the impacts of the project before it is officially submitted. Once an application has been submitted to the Town, it may be tracked using the Interactive Development Map located on the Town of Zebulon website at <https://www.townofzebulon.org/services/planning>.

A Neighborhood Meeting is requested because this project will include:

- Conditional Rezoning
- Planned Unit Development
- Site Plan within the Downtown Core or Downtown Periphery Zoning Districts
- Zoning Map Amendment (results in more intensive uses or increased density)
- Special Use Permit (Quasi-Judicial Hearing)

\*Quasi-Judicial Hearing: The Board of Commissioners cannot discuss the project prior to the public hearing.

The following is a description of the proposed (also see attached map(s) and/or plan sheet(s)):

We are proposing a Planned Development rezoning to allow for the development of townhomes. The parcel is currently zoned as R4-C zoning designation.

Estimated Submittal Date: February 1, 2024

### MEETING INFORMATION:

Property Owner(s) Name(s) Capital Partners of North Carolina LLC

Applicant(s) TMTLA Associates

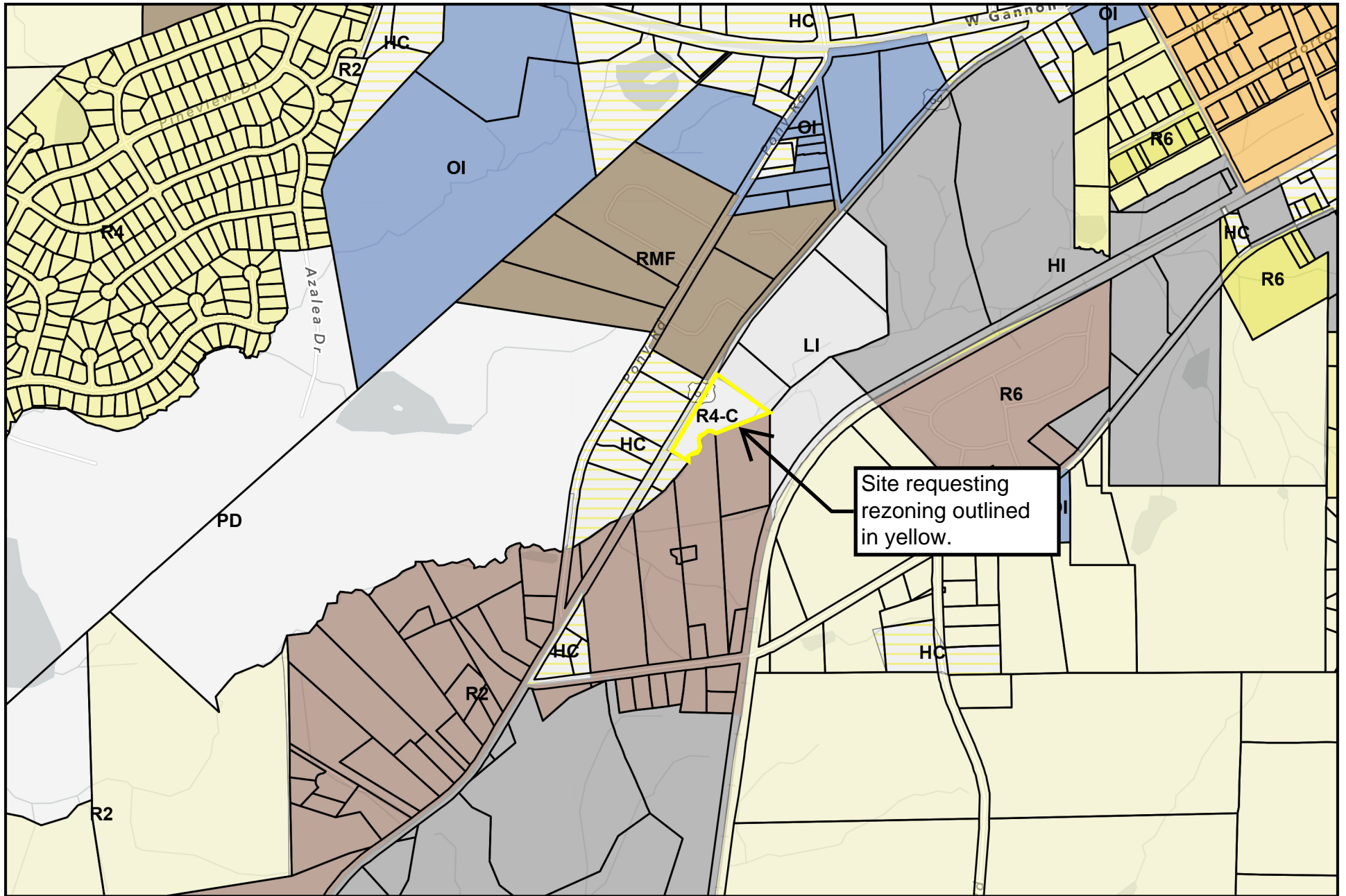
Contact Information (e-mail/phone) pam@tmtla.com/919-484-8880

Meeting Address: 301 S Arendell Ave, Zebulon, NC 27597 (Zebulon Community Center - Classroom A)

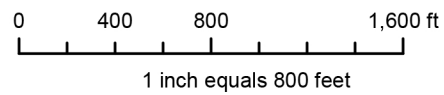
Date of Meeting: December 19, 2023

Time of Meeting: 5:00pm - 7:00pm

\*\*Meetings shall occur between 5:00 p.m.-9:00 p.m. on a Monday through Thursday (excluding Town recognized holidays). If you have questions about the general process for this application, please contact the Planning Department at 919-823-1809. You may also find information about the Zebulon Planning Department and on-going planning efforts at <https://www.townofzebulon.org/services/planning>



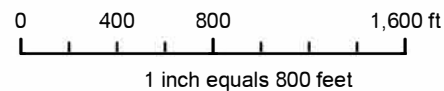
### 901 Mack Todd Rd - Existing Zoning



**Disclaimer**  
iMaps makes every effort to produce and publish the most current and accurate information possible. However, the maps are produced for information purposes, and are **NOT** surveys. No warranties, expressed or implied, are provided for the data therein, its use, or its interpretation.

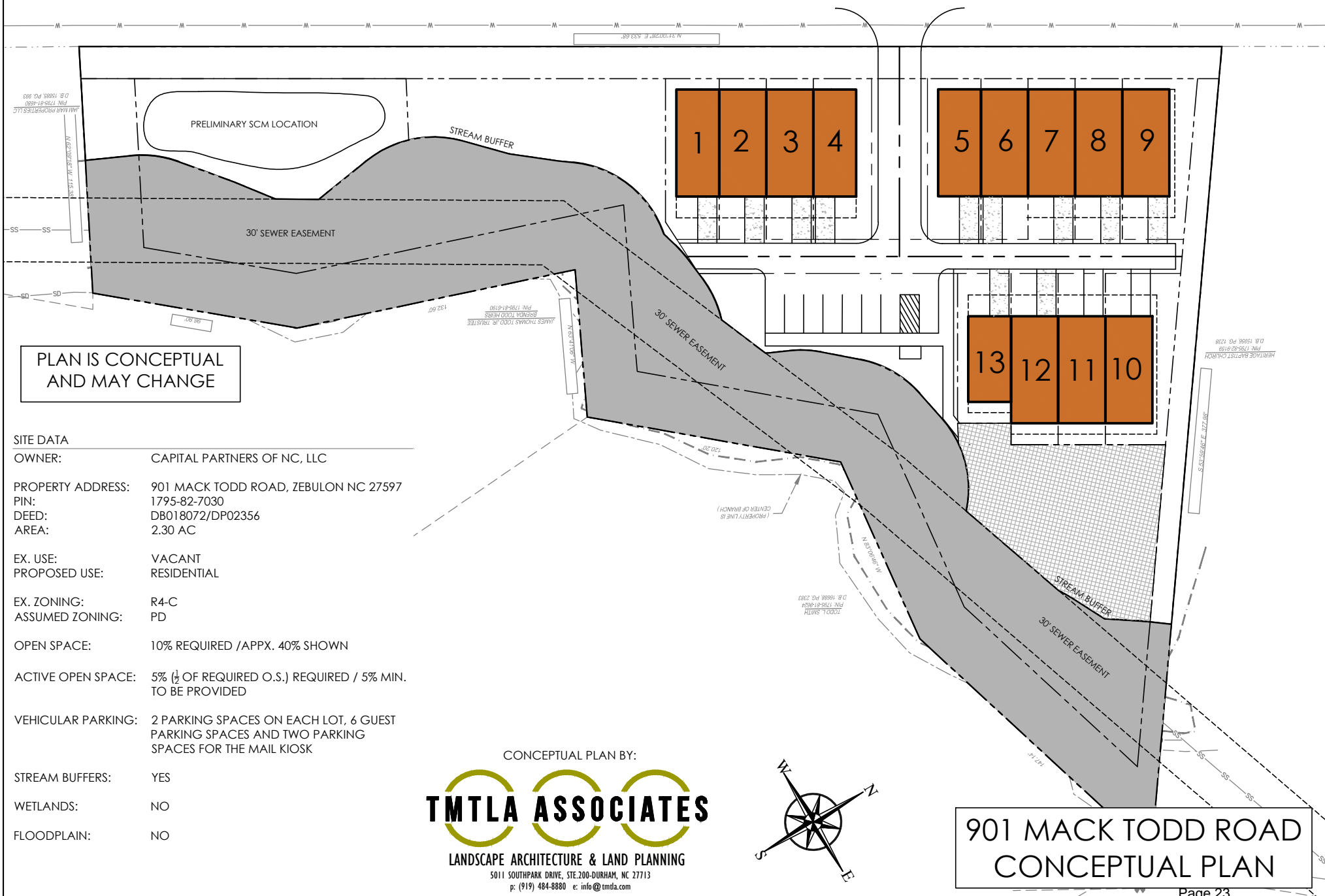


901 Mack Todd Rd - Vicinity Map



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# MACK TODD ROAD



PLAN IS CONCEPTUAL  
AND MAY CHANGE

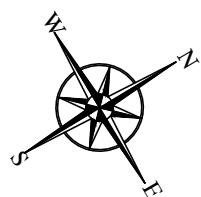
SITE DATA	
OWNER:	CAPITAL PARTNERS OF NC, LLC
PROPERTY ADDRESS:	901 MACK TODD ROAD, ZEBULON NC 27597
PIN:	1795-82-7030
DEED:	DB018072/DP02356
AREA:	2.30 AC
EX. USE:	VACANT
PROPOSED USE:	RESIDENTIAL
EX. ZONING:	R4-C
ASSUMED ZONING:	PD
OPEN SPACE:	10% REQUIRED / APPX. 40% SHOWN
ACTIVE OPEN SPACE:	5% (½ OF REQUIRED O.S.) REQUIRED / 5% MIN. TO BE PROVIDED
VEHICULAR PARKING:	2 PARKING SPACES ON EACH LOT, 6 GUEST PARKING SPACES AND TWO PARKING SPACES FOR THE MAIL KIOSK
STREAM BUFFERS:	YES
WETLANDS:	NO
FLOODPLAIN:	NO

CONCEPTUAL PLAN BY:

**TMTLA ASSOCIATES**

LANDSCAPE ARCHITECTURE & LAND PLANNING

5011 SOUTH PARK DRIVE, STE. 200-DURHAM, NC 27713  
p: (919) 484-8880 e: info@tmda.com

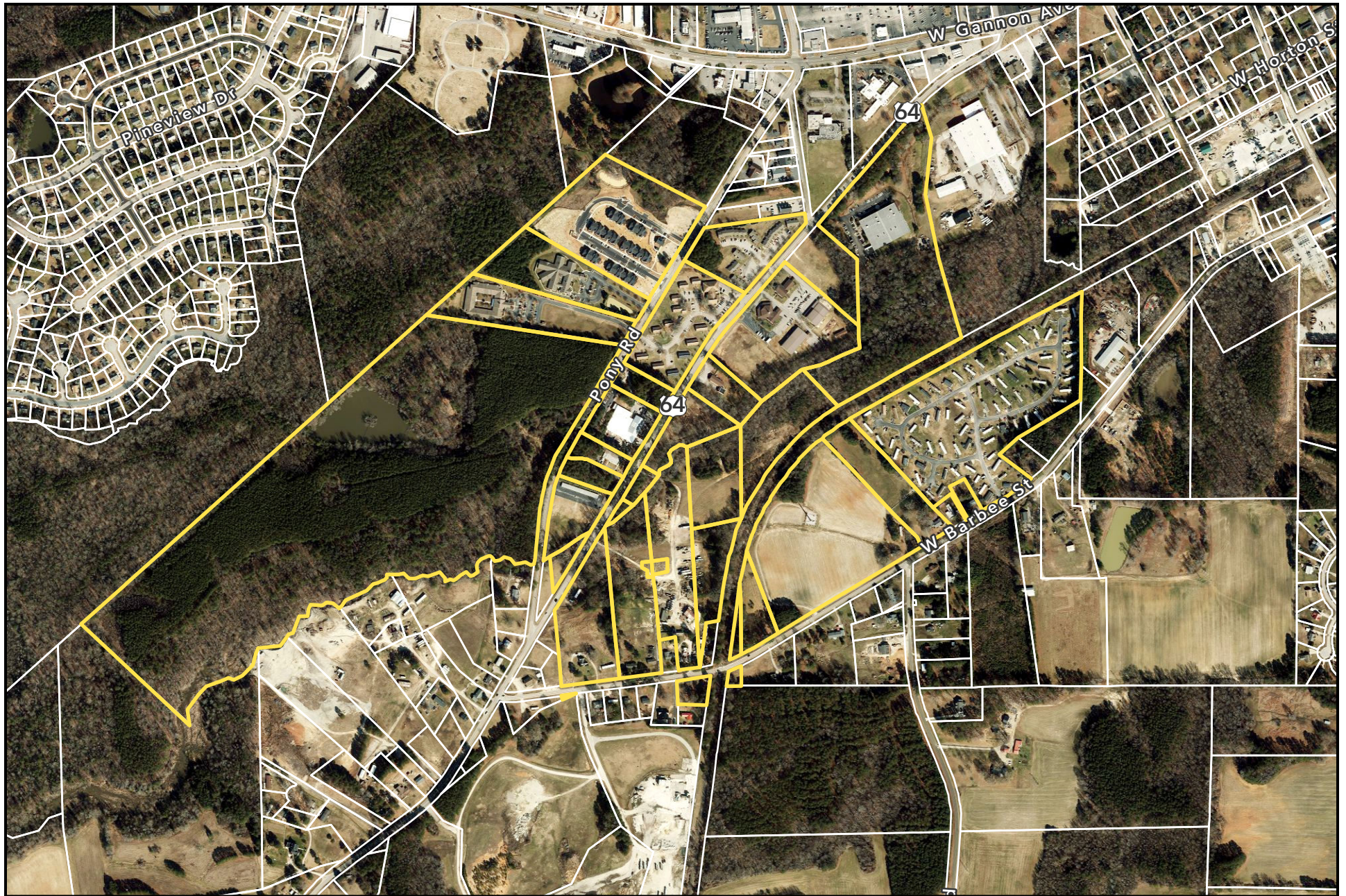


901 MACK TODD ROAD  
CONCEPTUAL PLAN

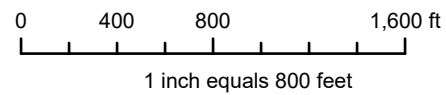
**Neighbors who live/own property within 750' of 901 Mack Todd Road**

CAVALLERO, DARIO L EHMANN, DONNA CAVALLERO	1250 NORTH ST	PITTSFIELD MA 01201-1541
CROUSE, DONNA M BULLOCK	PO BOX 336	ZEBULON NC 27597-0336
HOUSING AUTH COUNTY OF WAKE	100 SHANNON DR	ZEBULON NC 27597-8967
JAM MAR PROPERTIES LLC	PO BOX 509	WENDELL NC 27591-0509
BROWN, LARRY G BROWN, MARY J	608 W BARBEE ST	ZEBULON NC 27597-9215
JNCJ PROPERTIES LLC	621 WALTERS DR	WAKE FOREST NC 27587-6180
CHANDAK, GOVIND CHANDAK, MADHU	PO BOX 99104	RALEIGH NC 27624-9104
HERITAGE BAPTIST CHURCH INC	615 MACK TODD RD	ZEBULON NC 27597-9396
GAY FAMILY LIMITED PARTNERSHIP II	PO BOX 10	ZEBULON NC 27597-0010
SILVER SPRING HOUSING ASSOC LLC	7706 SIX FORKS RD	RALEIGH NC 27615-5067
LNP INC (PARRISH REALTY C/O RENEE BAKER)	PO BOX 1128	ZEBULON NC 27597-1128
HSSW	1625 DAVISTOWN RD	WENDELL NC 27591-8984
HERNANDEZ, MARIA A	2037 BALLSTON PL	KNIGHTDALE NC 27545-7439
ZEBULON HEALTH HOLDINGS LLC	PO BOX 2568	HICKORY NC 28603-2568
SMITH, TODD L	1260 SUSSEX DR	EMPORIA VA 23847-6438
PERRY QUINN PROPERTIES INC	PO BOX 177	BUNN NC 27508-0177
ZEBULON GREEN ASSOCIATES LIMITED PARTNERSHIP	2939 BREEZEWOOD AVE STE 201	FAYETTEVILLE NC 28303-5497
CAPITAL PARTNERS OF NORTH CAROLINA LLC	1540 GRAND WILLOW WAY	RALEIGH NC 27614-6002
TODD, JAMES THOMAS JR TRUSTEE HOLDEN, BRENDA TODD HEIRS	PO BOX 509	WENDELL NC 27591-0509
HARRISON, MIRANDA TODD TRUSTEE TODD PROTECTION TRUST	179 THORNBURY ST	CLAYTON NC 27527-9315
TODD, GLENN A TODD, VERA L	1013 TRUMPET VINE CT	WENDELL NC 27591-9458
MERITAGE HOMES OF THE CAROLINAS INC	8800 E RAINTREE DR STE 300	SCOTTSDALE AZ 85260-3966
700 PONY LLC	PO BOX 890	FRANKLINTON NC 27525-0890
HERITAGE BAPTIST CHURCH INC	615 MACK TODD RD	ZEBULON NC 27597-9396
PREDDY, MARY ANN TODD	12308 STRICKLAND RD	RALEIGH NC 27613-1238
TOWN OF ZEBULON PLANNING DEPARTMENT	1003 N. Arendell Avenue	Zebulon, NC 27597
Capital Properties of NC, LLC	1540 Grand Willow Way	Raleigh, NC 27614





### 901 Mack Todd Rd - 750' Notification Map



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**NEIGHBORHOOD MEETING SIGN-IN SHEET:**

This document is a public record under the North Carolina Public Records Act and may be published on the Town’s website or disclosed to third parties.

Project Name: 901 Mack Todd Road  
 Meeting Address: 301 S Arendell Ave, Zebulon, NC 27597 (Zebulon Community Center - Classroom A)  
 Date of Meeting: December 19th, 2023 Time of Meeting: 5pm - 7pm  
 Property Owner(s) Names: Capital Partners of North Carolina LLC  
 Applicants: TMTLA Associates (contact: Pam Porter)

Please print your name below, state your address and/or affiliation with a neighborhood group, and provide your phone number and email address. Providing your name below does not represent support or opposition to the project; it is for documentation purposes only.

	Name/ Organization	Address	Phone#	E-mail
1				
2				
3				
4				
5				
6				
7				
8				
9				
10				
11				
12				
13				
14				
15				
16				
17				
18				
19				
20				
21				
22				
23				
24				
25				

Attach Additional Sheets If Necessary.

**Please note no one from the community attended this neighborhood meeting.**

**SUMMARY OF DISCUSSION FROM THE NEIGHBORHOOD MEETING**

This document is a public record under the North Carolina Public Records Act and may be published on the Town’s website or disclosed to third parties.

**Project Name:** 901 Mack Todd Road

**Meeting Address:** 301 S Arendell Ave, Zebulon, NC 27597 (Zebulon Community Center - Classroom A)

**Date of Meeting:** December 19th, 2023      **Time of Meeting:** 5pm - 7pm

**Property Owner(s) Names:** Capital Partners of North Carolina LLC

**Applicants:** TMTLA Associates (contact: Pam Porter)

Please summarize the questions/comments and your response from the Neighborhood Meeting in the spaces below (attach additional sheets, if necessary). Please state if/how the project has been modified in response to any concerns. The response should not be “Noted” or “No Response”. There has to be documentation of what consideration the neighbor’s concern was given and justification for why no change was deemed warranted.

**Question/ Concern #1** n/a

**Applicant Response:** \_\_\_\_\_

**Question/ Concern #2** n/a

**Applicant Response:** \_\_\_\_\_

**Question/ Concern #3** n/a

**Applicant Response:** \_\_\_\_\_

**Question/ Concern #4** n/a

**Applicant Response:** \_\_\_\_\_

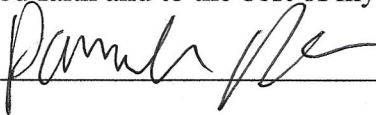
**Please note no one from the community attended this neighborhood meeting.**

**AFFIDAVIT OF CONDUCTING A NEIGHBORHOOD MEETING, SIGN-IN SHEET AND ISSUES/RESPONSES SUBMITTAL**

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

I, Pamela Porter, do hereby declare as follows:  
Print Name

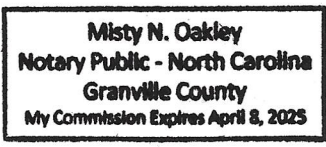
1. I have conducted a Neighborhood Meeting for the proposed Rezoning, Major Site Plan, Master Subdivision Plan, or Special Use Permit.
2. The meeting invitations were mailed to the Zebulon Planning Department, all property owners within 750 feet of the subject property and any neighborhood association that represents citizens in the area via first class mail a minimum of 10 days in advance of the Neighborhood Meeting.
3. The meeting was conducted at 301 S Arendell Ave, Zebulon, NC 27597 (location/address) on December 19, 2023 (date) from 5pm (start time) to 7pm (end time).
4. I have included the mailing list, meeting invitation, sign-in sheet, issue/response summary, and zoning map/reduced plans with the application.
5. I have prepared these materials in good faith and to the best of my ability.

1.24.2024 ✓ By:   
Date

STATE OF NC  
COUNTY OF Durham

Sworn and subscribed before me, Misty N Oakley, a Notary Public for the above State and County, on this the 24<sup>th</sup> day of January, 2024.

SEAL  

Notary Public

Misty N Oakley

Print Name

My Commission Expires:  
April 8 2025

# 901 Mack Todd Road Planned Development

## PLANNED DEVELOPMENT REZONING CONCEPT PLAN

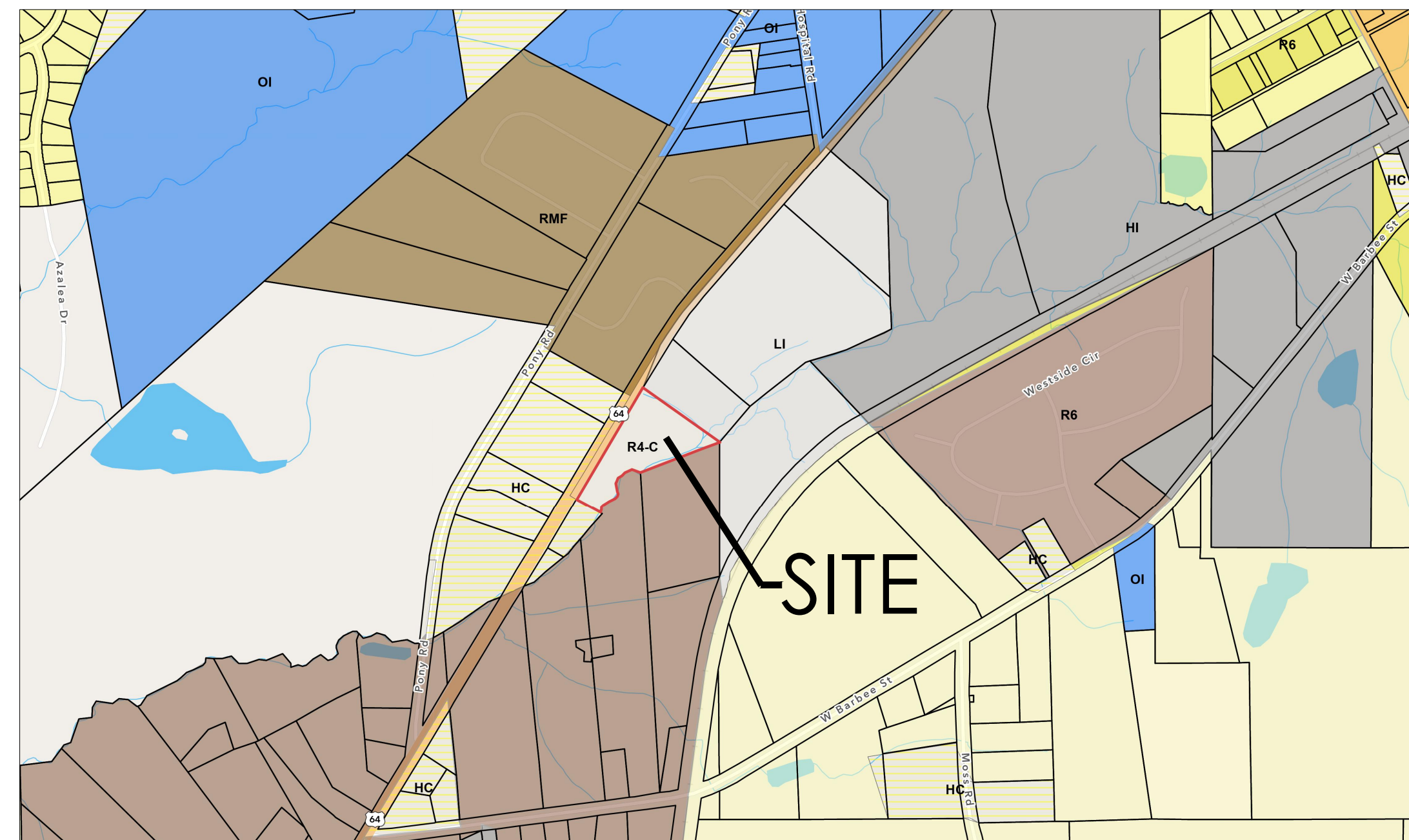
901 Mack Todd Road  
Zebulon, North Carolina

**OWNER/DEVELOPER:**  
Capital Properties of North Carolina LLC  
1540 Grand Willow Way  
Raleigh, NC 27614  
(919) 779-9664  
Contact: Michael Nedriga

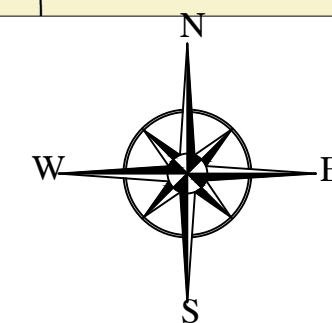
**LAND PLANNING/LANDSCAPE ARCHITECTURE:**  
TMTLA Associates  
5011 Southpark Drive, Suite 200  
Durham, NC 27713  
(919) 484-8880  
Contact: Pam Porter

**SITE DATA**

AREA:	2.30 AC
PINS:	1795-82-7060
EXISTING USE:	VACANT
PROPOSED USE:	TOWNHOMES
EXISTING ZONING:	R-4
PROPOSED ZONING:	PD
CURRENT FUTURE LAND USE DESIGNATION:	IL
PROPOSED FUTURE LAND USE DESIGNATION:	SR
REQUIRED SETBACKS:	SEE SHEET L-2
PROPOSED IMPERVIOUS:	40% MAX
OPEN SPACE REQUIRED:	10% MIN.
OPEN SPACE PROVIDED:	40% MIN.
FLOODPLAIN:	NONE
STREAM BUFFERS:	YES
WETLANDS:	NONE
REZONING CONDITIONS:	SEE NARRATIVE



**VICINITY MAP**  
SCALE 1"=500'

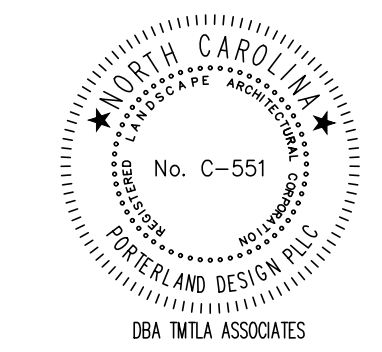


**SHEET INDEX**

COVER	
EXISTING CONDITIONS	L-1
CONCEPT PLAN	L-2
PRELIM. UTILITIES AND PONDS	L-3
CONCEPTUAL PHASING PLAN	L-4

**SUBMITTALS**

FIRST SUBMITTAL	2/1/2024
SECOND SUBMITTAL	4/12/2024
THIRD SUBMITTAL	5/6/2024



PRELIMINARY  
NOT FOR  
CONSTRUCTION

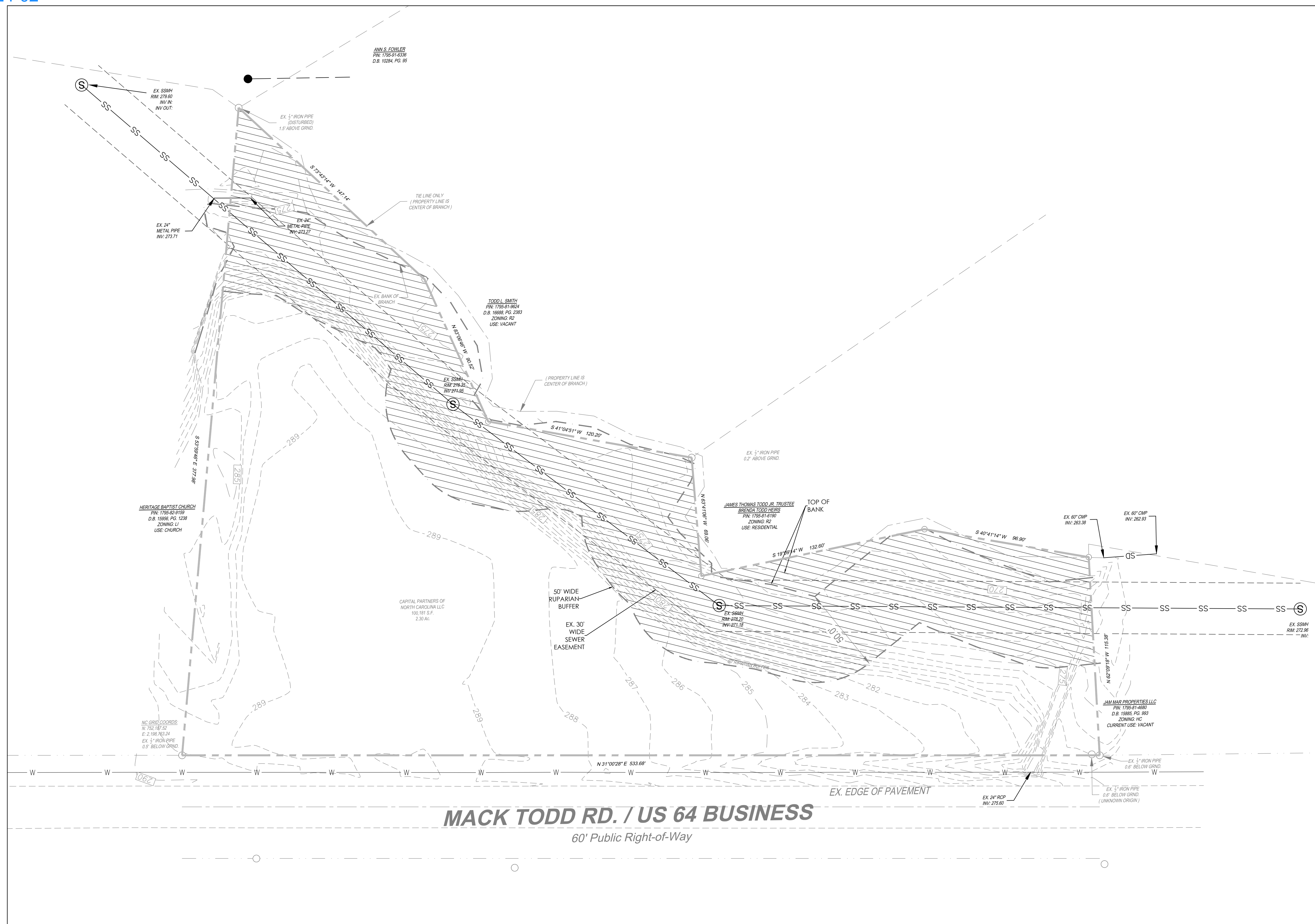
**REVISIONS:**

4-12-2024	
5-06-2024	

**COVER**  
901 MACK TODD ROAD  
901 MACK TODD ROAD  
ZEBULON, NC

SCALE:  
AS NOTED  
DRAWN BY:  
PMP  
PROJECT #  
23166  
DATE:  
2/1/2024

SHEET  
**COVER**  
OF 5



EXISTING CONDITIONS NOTES

- BOUNDARY AND FIELD TOPOGRAPHIC SURVEY PROVIDED BY TAYLOR LAND CONSULTING, FEBRUARY 2021.
- PROJECT SITE IS NOT LOCATED WITHIN ANY SPECIAL FLOOD HAZARD AREAS OR FUTURE CONDITIONS FLOOD HAZARD AREAS, AS SHOWN ON FIRM PANEL # 3720179500K (ZONE X) DATED JULY 19, 2022.
- THERE ARE NO PROTECTED WETLANDS WITHIN THE PROJECT SITE.
- THERE ARE BUFFERED STREAMS WITHIN THE PROJECT SITE.
- EXISTING CONDITIONS AS SHOWN ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND DO NOT INCLUDE MECHANICAL, ELECTRICAL AND MISCELLANEOUS STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW THE PROJECT SITE AND FAMILIARIZE WITH ACTUAL FIELD CONDITIONS PRIOR TO BIDDING AND COMMENCING WORK. IF FIELD CONDITIONS ARE FOUND TO BE SIGNIFICANTLY DIFFERENT THE CONTRACTOR SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT OR ENGINEER IMMEDIATELY.

SITE DATA

AREA:	2.30 AC
PIN:	1795-82-7060
EX. USE:	VACANT
EX. ZONING:	R4-C
STREAM BUFFERS:	YES
WETLANDS:	NO
FLOODPLAIN:	NO

LEGEND

	PROJECT BOUNDARY
	STREAM BUFFER

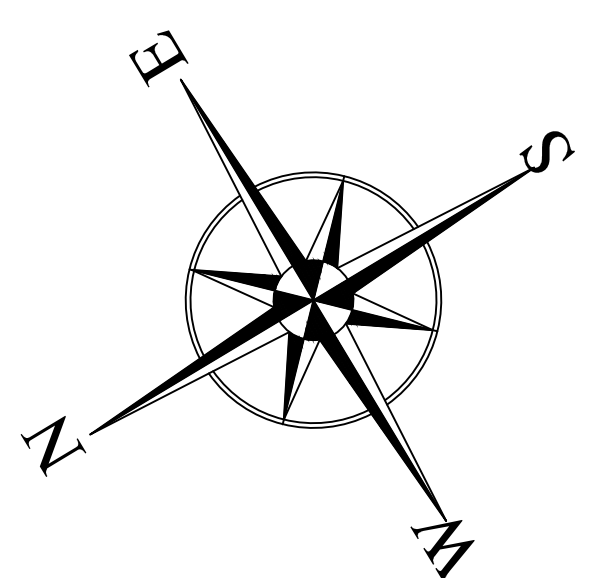
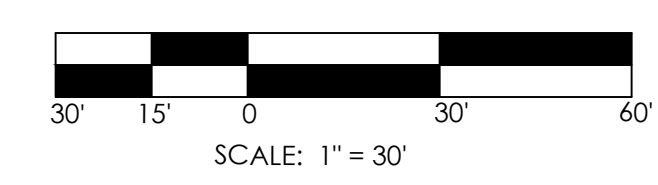


PRELIMINARY  
NOT FOR  
CONSTRUCTION

REVISIONS:

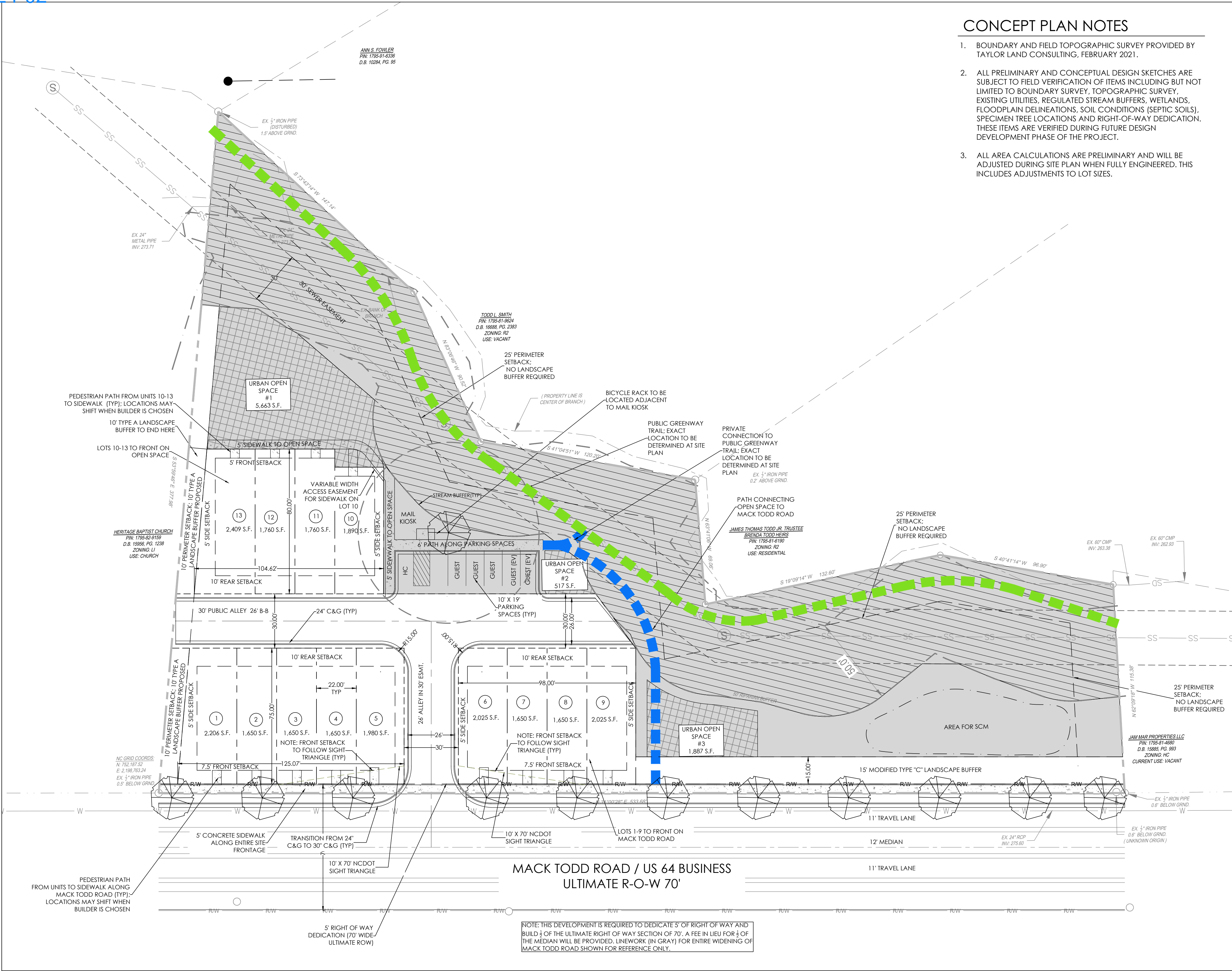
4-12-2024	
5-06-2024	

1 EXISTING CONDITIONS PLAN  
L-1 SCALE: 1"=30'



EXISTING CONDITIONS  
901 MACK TODD ROAD  
901 MACK TODD ROAD  
ZEBULON, NC

SCALE:  
AS NOTED  
DRAWN BY:  
PMP  
PROJECT #  
23166  
DATE:  
2/1/2024  
SHEET  
L-1  
OF 5



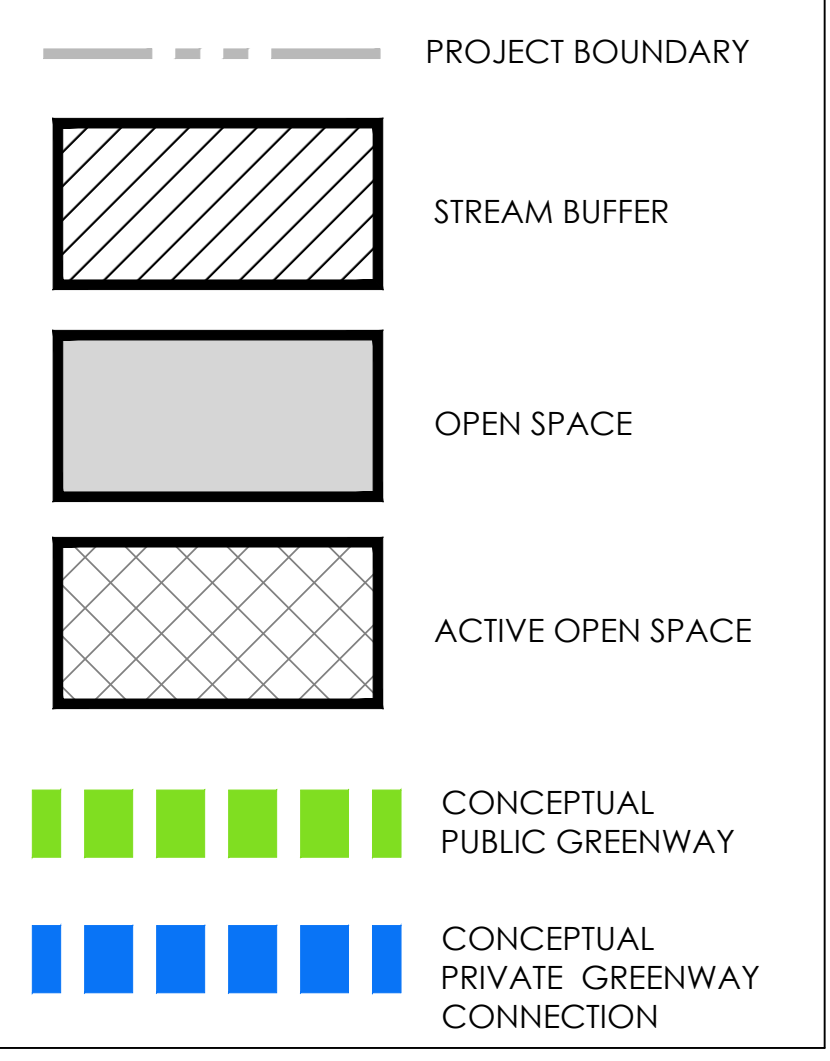
**CONCEPT PLAN NOTES**

- BOUNDARY AND FIELD TOPOGRAPHIC SURVEY PROVIDED BY TAYLOR LAND CONSULTING, FEBRUARY 2021.
- ALL PRELIMINARY AND CONCEPTUAL DESIGN SKETCHES ARE SUBJECT TO FIELD VERIFICATION OF ITEMS INCLUDING BUT NOT LIMITED TO BOUNDARY SURVEY, TOPOGRAPHIC SURVEY, EXISTING UTILITIES, REGULATED STREAM BUFFERS, WETLANDS, FLOODPLAIN DELINEATIONS, SOIL CONDITIONS (SEPTIC SOILS), SPECIMEN TREE LOCATIONS AND RIGHT-OF-WAY DEDICATION. THESE ITEMS ARE VERIFIED DURING FUTURE DESIGN DEVELOPMENT PHASE OF THE PROJECT.
- ALL AREA CALCULATIONS ARE PRELIMINARY AND WILL BE ADJUSTED DURING SITE PLAN WHEN FULLY ENGINEERED. THIS INCLUDES ADJUSTMENTS TO LOT SIZES.

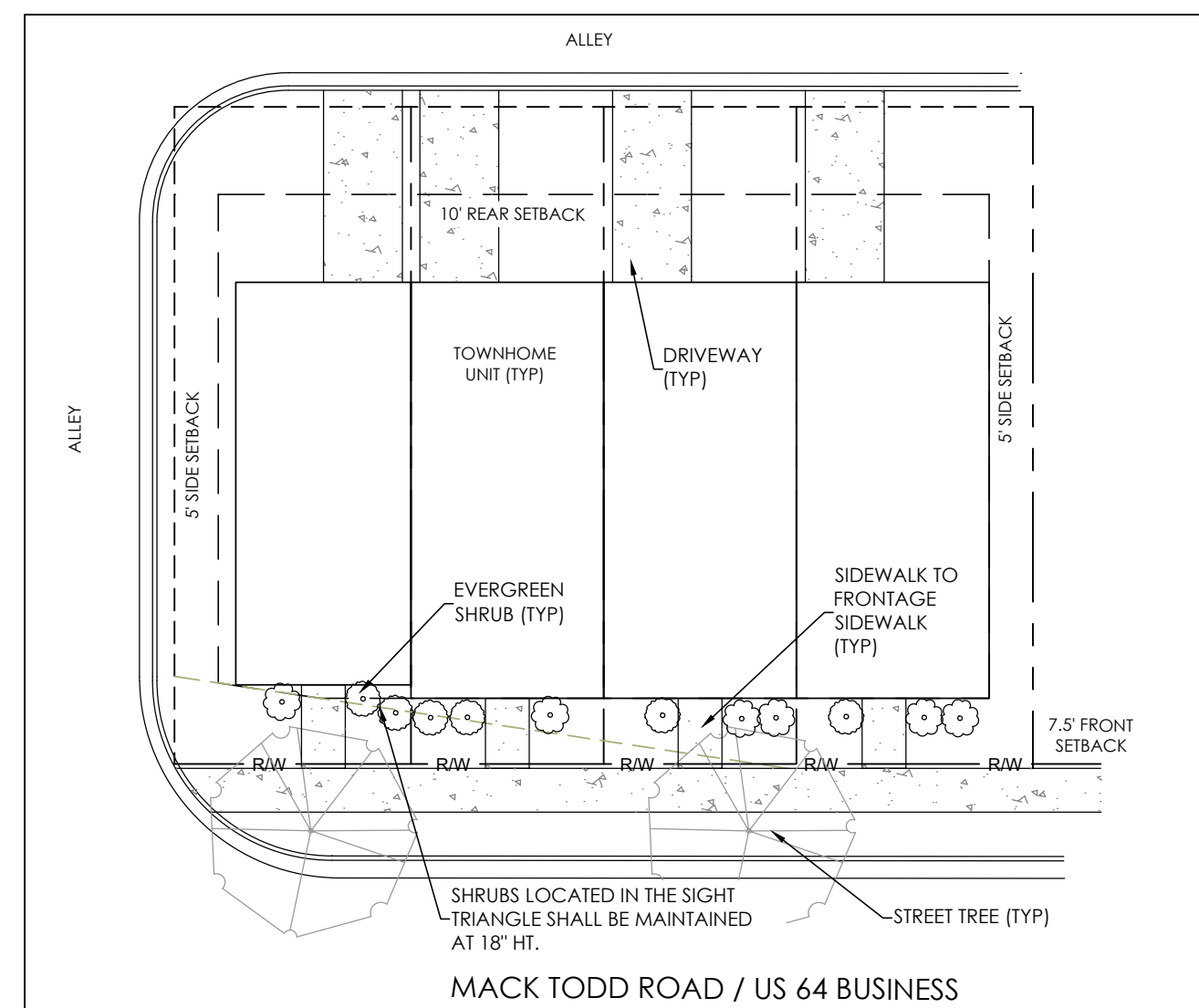
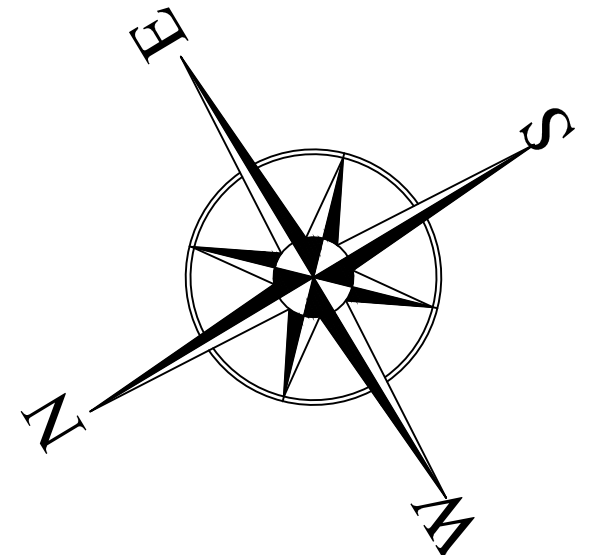
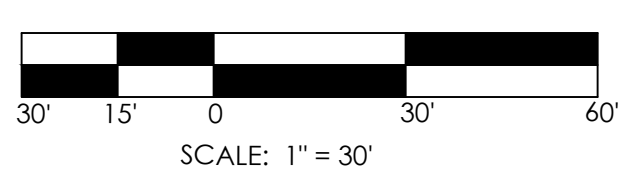
**SITE DATA**

AREA:	2.30 AC
PIN:	1795-82-7060
EX. USE:	VACANT
PROPOSED USE:	RESIDENTIAL - TOWNHOMES
EX. ZONING:	R4-C
PROPOSED ZONING:	PD
DENSITY:	5.65 DU/AC
OPEN SPACE REQUIRED:	10% (0.23 AC)
OPEN SPACE PROVIDED:	53% (1.22 AC)
URBAN O.S. REQUIRED:	5% (1/4 OF REQUIRED O.S.) - 0.12 AC
URBAN O.S. PROVIDED:	8.067 S.F. / 0.19 AC
SINGLE FAMILY ATTACHED:	13 UNITS MAX. REAR LOADED UNITS
PERIMETER SETBACKS:	10' AND 25' PERIMETER SETBACK AS NOTED
LOT SETBACKS:	5' FRONT SETBACK FOR LOTS 10-13/7.5' FRONT SETBACK FOR LOTS 1-9 5' SIDE SETBACK 10' REAR SETBACK
PARKING REQUIRED:	2 SPACES PER UNIT - 26 TOTAL 0.25 GUEST SPACE PER UNIT - 4 TOTAL 2 SPACES FOR MAIL KIOSK (1 OF THESE ADA)
PARKING PROVIDED:	2 SPACES PER UNIT (ON LOT) - 26 TOTAL 4 GUEST SPACES 1 REGULAR AND 1 HC SPACE FOR THE MAIL KIOSK
LANDSCAPE BUFFERS:	15' STREET TREE BUFFER ALONG MACK TODD RD.
STREAM BUFFERS:	YES
WETLANDS:	NO
FLOODPLAIN:	NO

**LEGEND**

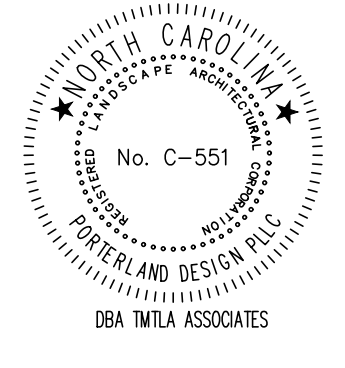


1 CONCEPT PLAN  
L-2 SCALE: 1"=30'



2 FOUNDATION LANDSCAPING TYPICAL  
L-2 SCALE: 1"=20'

- FOUNDATION LANDSCAPING NOTES:**
- THE FOUNDATION LANDSCAPING SHALL INCLUDE THE FOLLOWING:
    - 3 SMALL EVERGREEN SHRUBS INSTALLED AT 12" HT. PER UNIT
  - PLANT SELECTION DETERMINED AT SITE PLAN.
  - SHRUBS LOCATED IN THE SIGHT TRIANGLE SHALL BE MAINTAINED AT 18" HT.
  - FOUNDATION PLANTINGS ARE IN LIEU OF A STREETSCAPE BUFFER.
- BUILDINGS SHOWN IN THIS DETAIL ARE ILLUSTRATIVE; ACTUAL BUILDING SHAPE/SIZE MAY VARY.



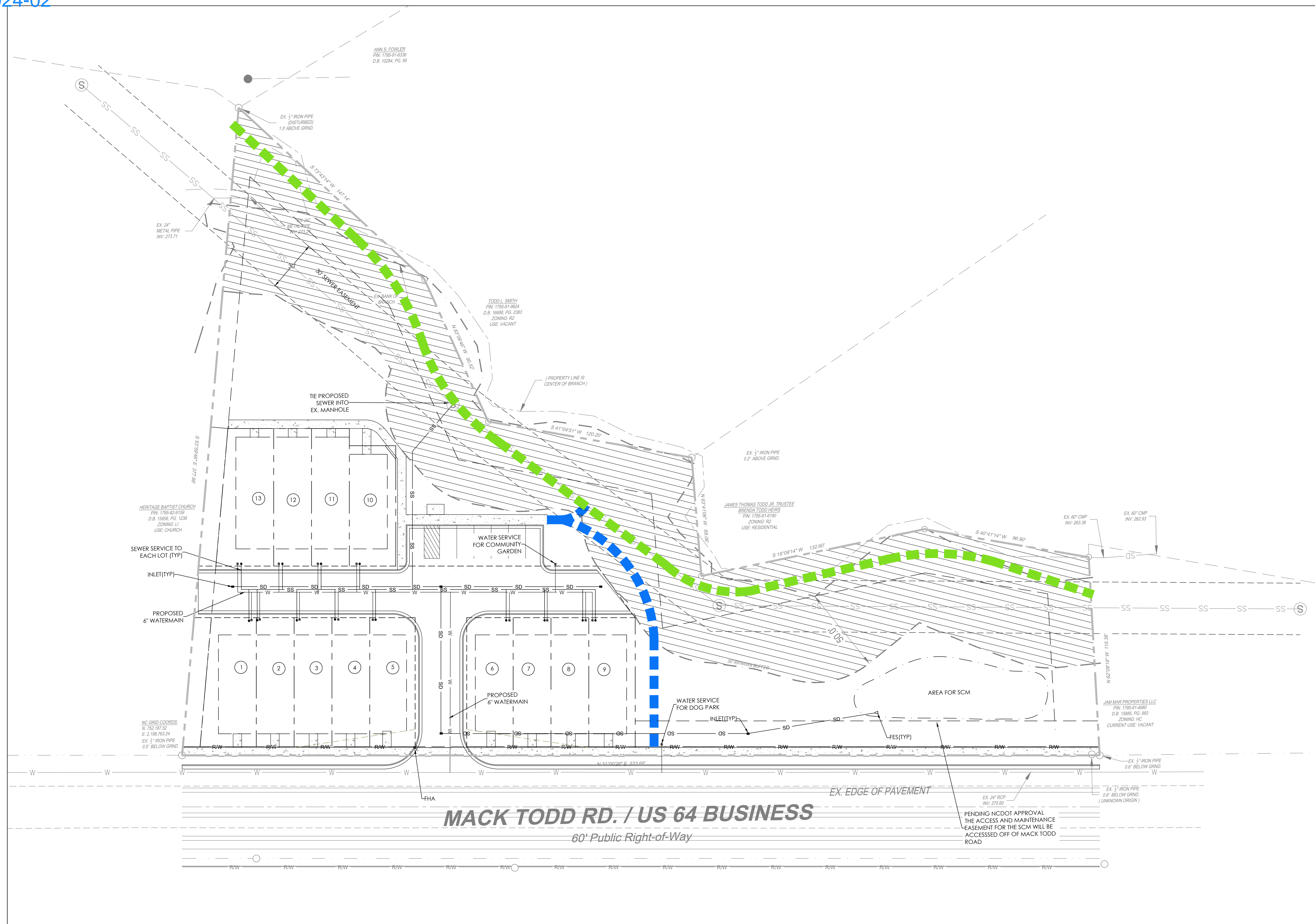
PRELIMINARY  
NOT FOR  
CONSTRUCTION

**REVISIONS:**

4-12-2024	
5-06-2024	

CONCEPT PLAN  
901 MACK TODD ROAD  
901 MACK TODD ROAD  
ZEBULON, NC

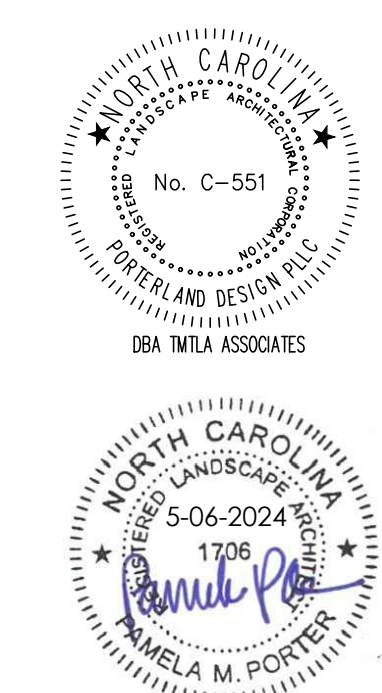
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PMP  
PROJECT #  
23166  
DATE:  
2/11/2024  
SHEET  
L-2  
OF 5



CONCEPTUAL UTILITY NOTES

1. CONCEPTUAL UTILITY DESIGN SHOWN ON THIS PLAN ARE CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE DURING SITE PLAN WHEN FULLY ENGINEERED. THIS CONCEPTUAL UTILITY PLAN SERVES AS AN ACKNOWLEDGEMENT EXISTING UTILITIES ARE PRESENT AND AVAILABLE TO CONNECT TO FOR NEW DEVELOPMENT.

LEGEND	
	PROJECT BOUNDARY
	STREAM BUFFER
	CONCEPTUAL GREENWAY
	CONCEPTUAL STORM PIPE
	CONCEPTUAL SEWER
	CONCEPTUAL WATER

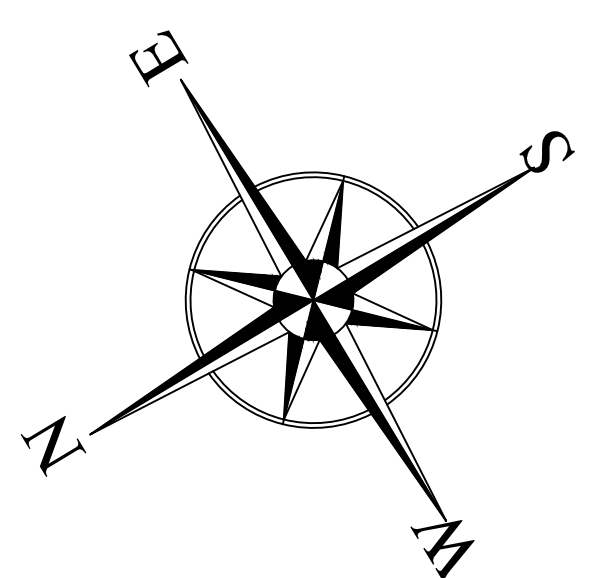
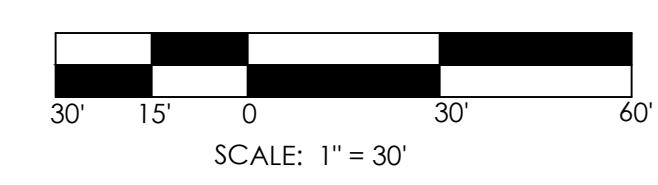


PRELIMINARY  
NOT FOR  
CONSTRUCTION

REVISIONS:

4-12-2024	
5-06-2024	

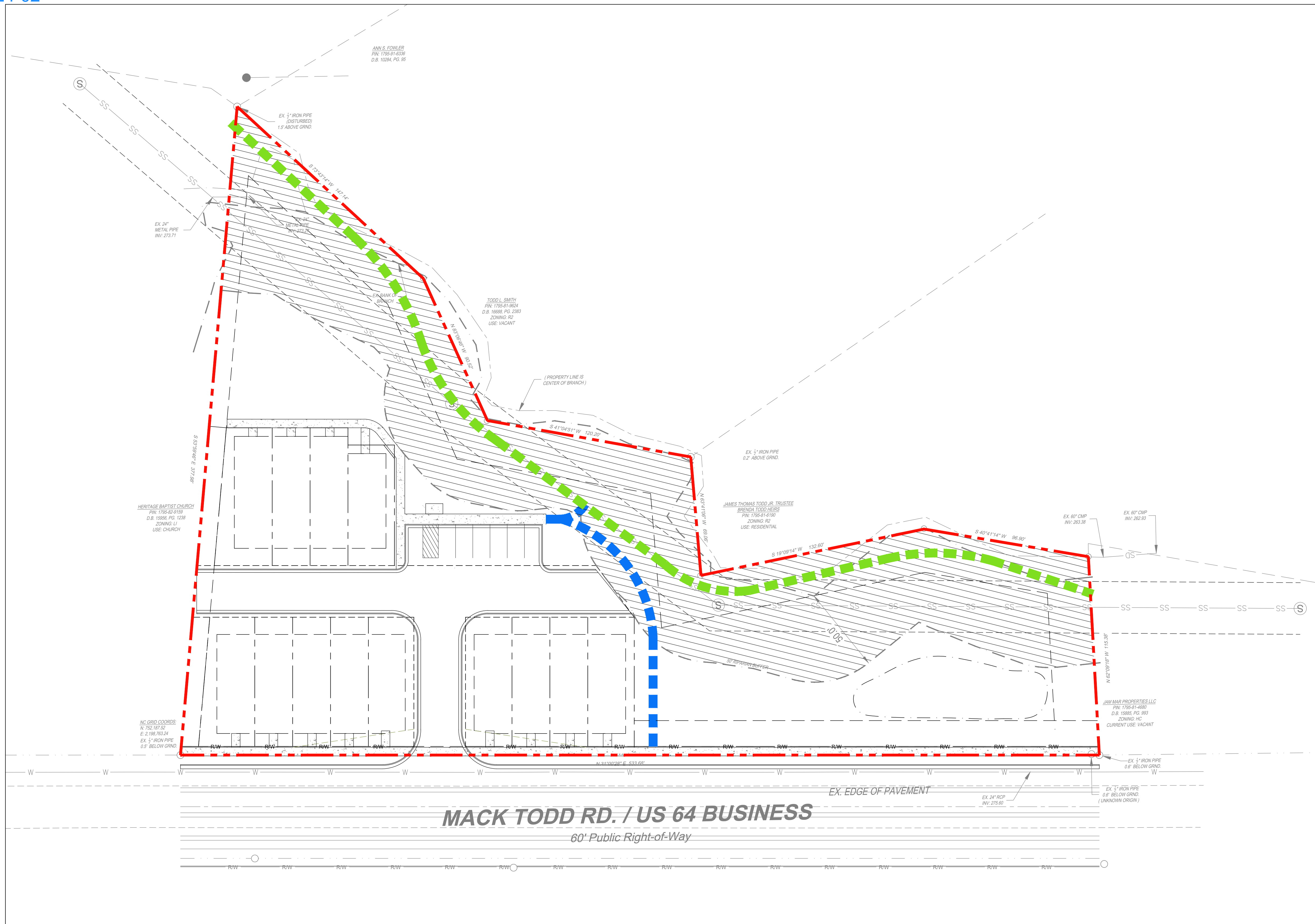
1 CONCEPTUAL UTILITIES AND SCM  
L-3 SCALE: 1"=30'



CONCEPTUAL UTILITIES AND SCM  
901 MACK TODD ROAD  
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ZEBULON, NC

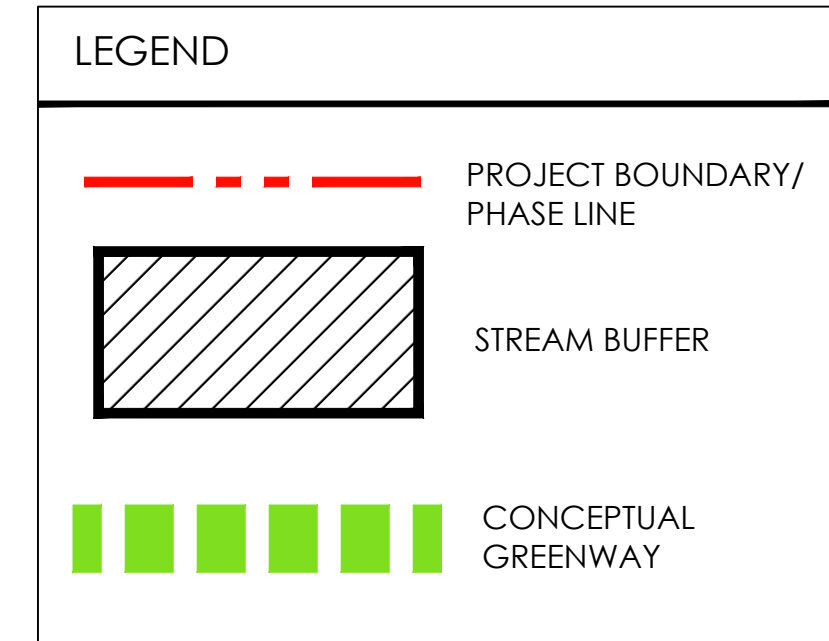
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23166  
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SHEET  
L-3  
OF 5



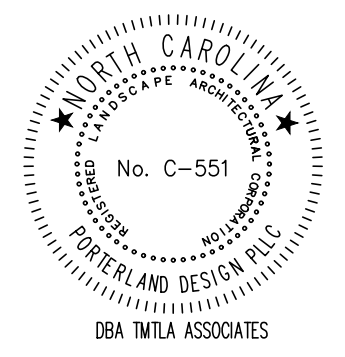


PHASING NOTES

THIS WILL BE CONSTRUCTED IN ONE PHASE.



LANDSCAPE ARCHITECTURE & LAND PLANNING  
5011 SOUTHPARK DRIVE, STE. 200-DURHAM, NC 27713  
p: (919) 484-8880 e: info@tmtla.com



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NOT FOR  
CONSTRUCTION

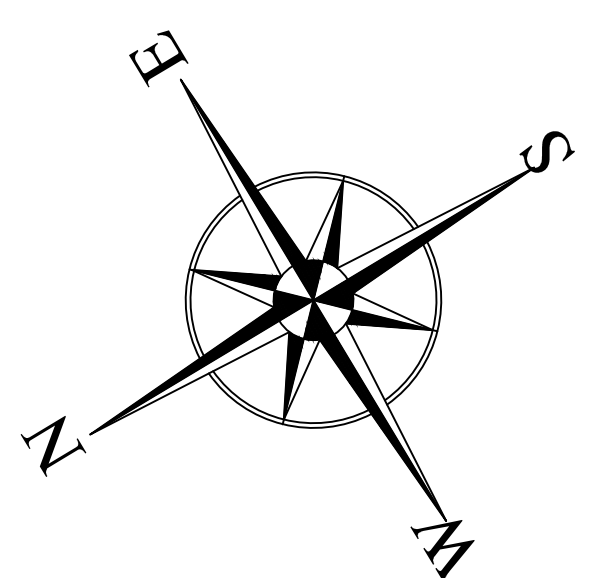
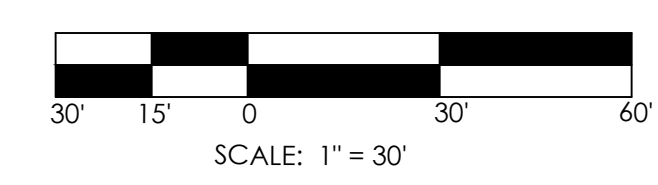
REVISIONS:

4-12-2024	
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CONCEPTUAL PHASING PLAN  
901 MACK TODD ROAD  
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L-4  
OF 5

2 CONCEPT PLAN  
L-1 SCALE: 1"=30'





## **MUNICIPAL UTILITY ALLOCATION POLICY**

### **Statement of Purpose and Goals**

#### *Introduction*

Drinking water supplies throughout the greater City of Raleigh distribution system are finite, subject to disruption by drought and/or other calamity and Zebulon's allocation is contractually limited. The Town staff, the Planning Board, and the Board of Commissioners have given a great deal of thought and study as to the best utilization of this valuable resource to benefit current and future citizens.

The Town of Zebulon's municipal water and sewer capacity is a valuable resource that must be conserved and apportioned to new development projects that promote the Town's policy of ensuring a diversified tax base and housing supply. Such an allocation policy will tend to promote diversity of housing available to a wide cross section of citizens of diverse socio-economic backgrounds and promote economic viability and sustainability by providing for retail and other commercial development within the Town of Zebulon.

In order to preserve and enhance property values, manage its limited water supply as a vital natural resource, promote economic development, and incentivize smart growth practices, the allocation of Zebulon's potable water capacity shall hereafter be in accordance with this policy.

#### *Land Use and the Tax Base*

The local government expense of providing fire and police protection, schools, parks, social services, water and sewage systems and other essential public services to residential neighborhoods is generally greater than the ad valorem tax revenue generated by such neighborhoods. On the other hand, the cost of providing services to commercial and industrial development is generally less than the tax revenue accruing to the local government. Having a predominantly residential tax base would require the Town of Zebulon over time to assess a higher tax levy to raise funds to provide essential services or to reduce the level of public services provided. This is one reason among many why local governments including Zebulon strive to achieve a balance of both residential and non-residential growth.

Zebulon's historical development is transitioning from industrial to residential, leading to a current tax base of approximately 40% residential and 60% commercial/industrial. The following table shows Zebulon's tax base over the past five years <sup>1</sup>

**Zebulon Tax Base (Past Five Years)**

<b>Fiscal Year</b>	<b>Commercial</b>	<b>Residential</b>
2021-2022	60%	40%
2020-2021	65%	35%
2019-2020	72%	28%
2018-2019	73%	27%
2017-2018	71%	29%

<sup>1</sup> "Tax Base Components | Wake County Government," *Wake County North Carolina*, <https://www.wakegov.com/departments-government/tax-administration/data-files-statistics-and-reports/tax-base-components>

As shown in the table above, the residential tax base has steadily increased proportionally over the past five years. This trend in the tax base data, combined with the vested planned residential development in the coming years, demonstrates the need for the Town to address this shift through policy. The Zebulon Board of Commissioners believes that it is fiscally responsible and otherwise in the public interest to promote and encourage non-residential development in the jurisdiction as an alternative to rapid residential development to keep the ratio between the two development types well balanced. A goal of maintaining a tax base of 60% residential and 40% commercial/industrial is hereby established.

***Development Goals for the Full Build-Out of Zebulon***

Communities without a wide variety of housing types and styles also put pressure on the Wake County Public School System which remains committed to having students of a wide range of socio-economic backgrounds attend each local school. In addition to the goal of maintaining a balanced tax base, the Town of Zebulon is committed to achieving a balance of housing types within its jurisdiction.

This commitment is consistent with both the Town’s Strategic Plan and Comprehensive Plan. The *Town of Zebulon: Vision 2030 Strategic Plan* lists “Growing Smart” as one of its three focus areas, calling for the planning of appropriate land uses and affordability of the community. The *Grow Zebulon Comprehensive Land Use Plan* identifies six guiding principles for the town. Two of those principles are “Zebulon will be BALANCED” and “Zebulon will be PRUDENT.” A balance should be achieved for the Town’s tax base, its land uses, and its housing types to allow for an affordable community with employment and business opportunities that will help the community prosper. The achievement of balance in Zebulon will contribute to the Town being prudent. As stated previously, a local government’s cost of providing services to commercial properties is generally less than that of residential properties. Having a balanced tax base that is not proportionally over-saturated with residential properties will contribute to keeping the Town financially sound.

Below are three development goals that are integral to the utility allocation policy and the future of the Town. These development goals apply to the entire, future Zebulon jurisdiction including the ETJ, short-range and long-range urban service areas.

**GOAL #1:** Maintain 60%-40% ratio of residential to non-residential tax values.

<u>Upon Adoption-January 2021</u> 60% Residential - 40% Non-Residential
--

**GOAL #2:** Residential Housing Percentage Breakdown  
SFD|TH|MF – 75%|10%|15% (Note – Duplex counted as MF)

<u>Upon Adoption-January 2021</u> 80.5%   0.5%   19%
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**GOAL #3:** Encourage Mixed Use Development to improve pedestrian connectivity to non-residential activity.

## Policy and Procedures

### *Water Allocation*

All existing parcels of real property within the corporate limits of Zebulon, regardless of proposed acreage, shape, or location as of the adoption of this ordinance are entitled to **115 gallons per day** of water allocation to build and sustain a single family or a limited business or commercial use. No additional water allocation will be awarded for proposed development except in accordance with the requirements of this policy.

### *Wastewater Connection*

All projects considered for utility allocation must provide a wastewater system connection with adequate receiving capacity, as determined by the Wake County Health Department and/or City of Raleigh Public Utilities Department and approved by the Town of Zebulon Planning Director.

### *General Conditions & Requirements*

- All proposed projects must be within the existing corporate limits or have filed a valid and complete petition for Voluntary Annexation.
- All proposed projects under consideration must have a complete application submitted for the appropriate Master Plan, Subdivision, Site Plan, Special Use Permit, Conditional Zoning Request, Zoning Compliance Permit, Building Permit, or any other necessary approval.
- All projects are subject to a Utility Allocation or Developer's Agreement approved by the Town's Board of Commissioners. If the Developer/Applicant fails to meet all terms of that agreement the unused allocation will be reclaimed, no new building permits will be issued, and no new connections to the water or wastewater systems will be permitted. Active building permits will have certificates of occupancy held until mitigating measures are agreed to by all parties.
- Projects with proven vested rights upon adoption of this ordinance will be permitted to finish their projects as previously approved.
- Public water may be utilized for irrigation purposes so long as the Primary Use associated with the site has previously gained water allocation through the Town.
- Any third parties who buy land to build upon are bound by the approved Utility Allocation Agreement or Development Agreement for that property. If the agreement is not fulfilled, the above terms and conditions still apply regardless of who owns the land.

### *Compliance Required*

This policy allocates municipal water in gallons per day for new development proposals, master plans, site plans, building plans, and/or structures seeking construction approval. Each phase of a phased development must comply with the terms and development schedule of an approved Utility Allocation Agreement before the next phase can begin or the development risks loss of previously reserved allocation.

Previously dedicated but unused allocation can be reclaimed by the Town's Board of Commissioners for:

- (1) the lack of compliance with any existing Utility Allocation or Developer's Agreement;
- (2) violation of applicable town policy provision, ordinance standard, condition of approval;
- (3) violation of federal or state regulation; or
- (4) other good cause.

### *Utility Allocation Application Process*

Upon receiving a new development proposal requesting water capacity, the Planning Staff shall direct the Developer/Applicant to demonstrate the project's qualifications. A Developer/Applicant shall state on the appropriate application, and stipulate within an approved Utility Allocation Agreement, the use or uses proposed to be built as part of the project along with the construction design and materials. Town action on the request will be deferred until the application is complete and the requested information has been provided.

Proposed projects shall complete the UTILITY ALLOCATION WORKSHEET according to its instructions to determine the total number of points achieved. The Utility Allocation Application package will be reviewed for completeness and compliance by the Technical Review Committee (TRC) in conjunction with the applicable development approval for the subject property (conditional rezoning, planned development, site plan, etc.).

Qualification for water allocation is judged by:

- The level of developer investment
- Anticipated increases in the Town's ad valorem tax base
- Construction and dedication of public infrastructure
- Provision of employment opportunities for Zebulon citizens
- Provisions of diversified housing stock
- Preservation of open space
- Protection of existing tree canopy
- Conservation of existing habitat
- The provision of recreational amenities for current or future Zebulon residents

Projects must be awarded **60 TOTAL POINTS** or more to merit water allocation.

Points are awarded in two categories, BASE POINTS and BONUS POINTS. BONUS POINTS are broken down into six categories.

1. Nonconformity Abatement and Public Infrastructure Improvements
2. Green Development Standards
3. Gateway and Transit Improvements
4. Amenities
5. Affordable Housing
6. Other

Unless a project can gain all necessary BONUS POINTS from a single improvement identified in the approved list, improvements must be made from at least two of the categories of BONUS POINTS.

All features and/or improvements that earn a projects BONUS POINTS must be clearly shown on a development plan for each application type.

***Expiration of Allocation Award***

A developer/applicant who has secured allocation according to this policy and hasn't progressed in construction plan approval, building permit approval, or on-site construction for a period of 12 months will lose the award of allocation without benefit.

***Annual Review of Policy & Appeals***

This policy shall be reviewed in January of each year and, when appropriate, readjusted by the Town's Board of Commissioners. The Town's overall progress on policy goals will be considered and the multipliers and/or point thresholds readjusted accordingly.

Appeals of any provision of this ordinance shall be decided upon by the Town's Board of Commissioners upon receiving a recommendation from the Planning Board.

**BASE POINTS: List of Preferred Land Uses and Required Characteristics:**

The uses listed below have been determined to be the most desirable and important uses for the Town of Zebulon to promote and maintain economic and housing diversity. Only projects that completely meet the stated performance characteristics will be considered for utility allocation. Please select one of the following Base Point classifications.

60 Base Points	<p><b>Single Family Homes (Expedited Subdivision or Recombination)</b> Newly constructed Single Family Homes built upon new lots created via the minor subdivision, exempt subdivision, expedited subdivision (3 or fewer lots) or recombination process.</p>
60 Base Points	<p><b>Change of Use</b> This category captures renovation, rehabilitation, up-fit or retrofit of existing buildings or portions of buildings that pre-date this policy and require a code summary sheet, change in building occupancy, certificate of occupancy, building permit and/or building inspections and do not increase the utility demand from the previous use of the building.</p>
45 Base Points	<p><b>Business Office/Finance/ Insurance / Professional Services Center - Large</b> Qualifying projects must exceed 100,000 square feet of heated floor space and create at least 150 employment positions that exceed the average annual Wake County salary according to Wake County Economic Development or the Employment Security Commission. Employees perform professional, scientific, and technical services for others. Such services require a high degree of expertise and training and provide high salaried employment opportunities. Examples include software engineering, legal, medical, accounting, consulting, architectural, biomedical, chemical, research and development, and administrative services. Finance or Insurance Centers shall also pool financial risks by underwriting insurance and annuities. Some establishments support employee benefit programs. Examples include bank or credit union headquarters, brokerages, investments, insurance, financing, and data processing establishments.</p>
45 Base Points	<p><b>Manufacturing/Industrial Employment Center</b> Manufacturing or Industrial establishments in this category exceed 200,000 square feet of floor space located in plants, factories, or mills and employ power-</p>

	<p>driven machines and materials-handling equipment. They may also employ workers who assemble or create new products by hand, without the characteristic machinery-intensive enterprise. Many manufacturing establishments process products of agriculture, forestry, fishing, mining, or quarrying as well as products of other manufacturing establishments. Most manufacturing establishments have some form of captive services (e.g., research and development, and administrative operations, such as accounting, payroll, or management) in conjunction on-site.</p>
45 Base Points	<p><b>Governmental Uses/Public Administration</b> This category encompasses centers for all government functions; it includes federal, state, and local government agencies that administer, oversee, and manage public programs and budgets and have executive, legislative, or judicial authority. Establishments develop policy, create laws, adjudicate civil and criminal legal cases, and provide for public safety and national defense.</p>
40 Base Points	<p><b>Single Use Retail</b> Newly constructed single use, stand-alone building used primarily for retail, restaurant, or similar commercial use.</p>
40 Base Points	<p><b>Hotels, Motels, or other Accommodation Service Establishments</b> This category serves lodging and short-term accommodations for travelers. They may offer a wide range of services, from overnight sleeping space to full-service hotel suites. They may offer these services in conjunction with other activities, such as entertainment or recreation. Stays in these establishments are generally less than one month. This classification does not include boarding or rooming houses.</p>
40 Base Points	<p><b>Arts/Entertainment/Museums</b> These establishments operate facilities or provide services for a variety of cultural, entertainment, and performing art functions. Establishments include those that produce, promote, or participate in live performances, events, or exhibits intended for public viewing; those that preserve and exhibit objects and sites of historical, cultural, or educational interest; and those that operate facilities or provide services to serve activities associated with the aforementioned.</p>
40 Base Points	<p><b>Amusement, Sports or Recreational Establishment</b> Establishments in this category operate either indoor or outdoor facilities offering family activities (i.e. sports, recreation, or amusement) and provide services, such as facilitating amusement in places operated by others, operating recreational sports groups and leagues. Examples include golf courses, indoor sports venues, bowling alleys, miniature golf courses, athletic clubs, skating rinks and arcades. This category may be used in conjunction with a commercial or residential development as a mixed use development.</p>
40 Base Points	<p><b>Mixed Use Development (Transit Oriented)</b> Newly constructed or substantially rehabilitated collection of vertically mixed retail, office and residential uses in multi-story buildings centered within a one-half mile radius of an existing rail or bus transit station or the intersection of</p>

	Horton Street and North Arendell Avenue in Downtown Zebulon. In order to qualify as mixed use, developments must dedicate at least one-third of the total heated square footage to residential use and the remainder to a mix of retail and office uses. All three use types must be represented and at least 10% of the heated square footage must be dedicated to street level, storefront retail uses.
40 Base Points	<b>Mixed Use Development (Urban Infill)</b> Newly constructed or substantially rehabilitated collection of mixed retail, office and residential uses in a multi-story building on a previously developed parcel within the corporate limits. In order to qualify as mixed use, developments must dedicate at least one-third of the total heated square footage to residential use and the remainder to a mix of retail and office uses. All three use types must be represented and at least 10% of the heated square footage must be dedicated to street level, storefront retail uses.
40 Base Points	<b>Mixed Use Development (Greenfield)</b> Newly constructed collection of mixed retail, office and residential uses in a multi-story building or buildings on a previously undeveloped parcel. In order to qualify as mixed use, developments must dedicate at least one-third of the total heated square footage to residential use and the remainder to a mix of retail and office uses. All three use types must be represented and at least 10% of the heated square footage must be dedicated to street level, storefront retail uses.
35 Base Points	<b>Housing Services for the Elderly Establishments</b> This category offers housing services for the aged, not requiring a license from the North Carolina Department of Health and Human Services, such as independent retirement housing, multi-unit assisted housing with services (MAHS), and continuing care retirement centers. All facilities must provide, but not necessarily be limited to, the following services/facilities: On-site laundry facilities, on site management, guaranteed transportation services at least four days per week, on-site exercise facilities, on-site computer access, and a clubhouse/common lounge area for all residents.
35 Base Points	<b>Mixture of Use Development (Retail/Office-Institutional/Commercial)</b> Newly constructed collection of horizontally arranged uses including retail, office-institutional and commercial within a master planned project on a previously undeveloped parcel or parcels totaling at least 10 acres. Mixture of use projects must include at least two (2) use types with at least 25% of the space devoted to each use type included in the development.
30 Base Points	<b>Retail/Commercial Center</b> Newly constructed center of at least 50,000 square feet, typically containing an anchor such as a grocery store and other smaller spaces and/or outparcels for subordinate uses. Uses are entirely consumer-driven and include all manner of retail, service and office possibilities.
30 Base Points	<b>Business Office/Finance/ Insurance / Professional Services Center – Medium</b> Qualifying projects must exceed 50,000 square feet of heated floor space and create at least 75 employment positions that exceed the average annual Wake County salary according to Wake County Economic Development or the



	<p>Employment Security Commission. Employees perform professional, scientific, and technical services for others. Such services require a high degree of expertise and training and provide high salaried employment opportunities. Examples include software engineering, legal, medical, accounting, consulting, architectural, biomedical, chemical, research and development, and administrative services. Finance or Insurance Centers shall also pool financial risks by underwriting insurance and annuities. Some establishments support employee benefit programs. Examples include bank or credit union headquarters, brokerages, investments, insurance, financing, and data processing establishments.</p>
30 Base Points	<p><b>Business Office/Finance/ Insurance / Professional Services Center – Small</b> Qualifying projects 50,000 square feet of heated floor space or less. Employees perform professional, scientific, and technical services for others. Such services require a high degree of expertise and training and provide high salaried employment opportunities. Examples include software engineering, legal, medical, accounting, consulting, architectural, biomedical, chemical, research and development, and administrative services. Finance or Insurance Centers shall also pool financial risks by underwriting insurance and annuities. Some establishments support employee benefit programs. Examples include bank or credit union headquarters, brokerages, investments, insurance, financing, and data processing establishments.</p>
30 Base Points	<p><b>Multi-Tenant Retail Center</b> Newly constructed center 50,000 square feet or less, typically containing a more than one tenant space within a single structure. Uses are entirely consumer-driven and include all manner of retail, service and office possibilities.</p>
30 Base Points	<p><b>Single Use Office</b> Newly constructed single use, stand-alone building used primarily for office and professional.</p>
30 Base Points	<p><b>Bungalow Court or Pocket Neighborhood</b> Newly constructed Bungalow Court or Pocket Neighborhood per the standards of the Unified Development Ordinance.</p>
30 Base Points	<p><b>Distribution/Trucking Center</b> Newly constructed center of at least 500,000 square feet where products and resources are transported to and delivered from via truck or rail.</p>
25 Base Points	<p><b>Warehouse</b> Newly constructed center of at least 500,000 square feet where products and resources are stored.</p>
25 Base Points	<p><b>Religious Institutions</b> Any facility such as a church, temple, synagogue, mosque or monastery used for worship by a non-profit organization and their customarily related uses.</p>
20 Base Points	<p><b>Intensive Industrial Uses:</b> Uses classified as Special Land Uses within the Industrial Classification.</p>

20 Base Points	<b>Multi-Family Residential &amp; Condo Units</b>
20 Base Points	<b>Major Subdivision 4- 25 Lots</b> Any subdivision of land of four (4) – 25 Lots.
10 Base Points	<b>Major Subdivision 26 lots or more</b> Any subdivision of land of 26 or more lots.
Board Determination	<b>All Other Uses Not Categorized</b> This category of use captures all other uses not categorized elsewhere. Allocations for such uses are left to the discretion of the Town’s Board of Commissioners upon recommendation of the Planning Board and acted on a case-by-case basis.

### BONUS POINTS

Proposed projects can gain BONUS POINTS by agreeing to provide any of the following items over and above the UDO or Standard Specification requirements for their development proposal.

NOTE: No bonus points are given for UDO requirements.

#### CATEGORY 1 – Non-Conformity Abatement and Public Infrastructure Improvements

<b>Section 1A - Abatement of Nonconformities</b>		(Max - 3 points)
	Abatement of any existing non-conforming structures	3
	Abatement of any existing non-conforming use of land	2
	Abatement of any existing non-conforming lots	1

<b>Section 1B - Roadway Infrastructure Not Warranted by TIA/UDO/CTP</b>		(Max - 10 points)
	Construction of full cross section of existing off-site public street	5
	Nearby intersection improvements	5
	Traffic signal improvements	4
	Signage or striping improvements	1

<b>Section 1C - Off-Site Public Greenway Improvements</b>		(Max - 10 points)
	Construct more than 4000 linear feet of 10-foot-wide path	10
	Construct more than 3000 linear feet of 10-foot-wide path	8
	Construct more than 2000 linear feet of 10-foot-wide path	6
	Construct more than 1000 linear feet of 10-foot-wide path	4
	Construct 500 to 1000 linear feet of 10-foot-wide path	2

<b>Section 1D – Off-Site Bike-Ped Improvements</b>		(Max – 5 points)
	Construction of off-site sidewalk improvements (Subject to TRC Approval)	2
	Construction of off-site bike lane improvements (Subject to TRC Approval)	3

#### CATEGORY 2. Green Development Standards/ Building & Site Design

<b>Section 2A - Conservation of Natural Habitat Meeting Active Open Space Requirements as Defined in the UDO</b>		(Max - 10 points)
	One point per acre up to 10 acres	1 - 10

<b>Section 2B - Parking</b>		(Max – 15 points)
	Structured Parking Facilities - must reduce footprint by 20%	10
	EV Charging Stations (two-port)	5
	Provision of on-street public parking (1 point per stall up to 10 Max)	1 - 10

<b>Section 2C - Stormwater SCM's</b>		(Max – 10 points)
	Stormwater - Restored Riparian Buffer	10
	Construct a fountain or other stormwater amenity within the BMP/SCM (as approved by Staff)	4
	Stormwater - Landscaped Green Roof	5
	Stormwater - Underground capture system for on-site irrigation	5
	Stormwater - Bioretention	5
	Stormwater - Wetland	5
	Exclusive use of porous pavement in parking areas where suitable	2

<b>Section 2D - Building/Site Design</b>		(Max - 20 points)
	Compliance with residential design guidelines per Section 5.2 of the UDO	10
	Non-Residential building design that incorporates an active upper story.	5
	Pedestrian oriented and walkable site design which promotes alternatives to vehicular travel within the development. (Subject to TRC Approval)	5

<b>Section 2E - Infill/Redevelopment</b>		(Max – 16 points)
	Development or Redevelopment within DTC	10
	Development or Redevelopment within DTP	6
	Redevelopment of previously vacant building space over 20,000 square feet	6
	Redevelopment of previously vacant building space under 20,000 square feet	5

<b>Section 2F - Historic Preservation</b>		
	Historic Structure Preservation via Deed Restriction (Determined by TRC)	10
	Restoration of Historic Structure (Must be approved by TRC)	5

<b>Section 2G – LEED Certification</b>		(Max – 10 points)
	LEED Certification for Neighborhood Development (LEED ND)	10
	Platinum LEED Certification	10
	Gold LEED Certification	8
	Silver LEED Certification	6
	Bronze LEED Certification	4
	LEED Certified Certification	2

CATEGORY 3 – Outdoor Enhancement and Transit Improvements

<b>Section 3A – Outdoor Enhancement</b>		(Max – 12 points)
	Construction of a Parkway Street Section on a Collector level street	5

	Construction or Preservation of Gateway Landscaping or Structure (Subject to Comprehensive Plan Consistency and TRC approval)	5
	Outdoor Display of Public Art (Subject to TRC Approval)	4
	Public Facing Outdoor Mural (Subject to TRC Approval)	4
	Maintenance of Roadside Gateway Plant Bed (requires maintenance agreement)	3
	Planting Pollinator Garden (225 Square Foot Minimum)	3
	Exclusive use of xeriscaping techniques and drought tolerant species	3
	Enhanced Roadside Landscaping (Subject to TRC Approval)	2
	Enhanced Buffer Landscaping (Subject to TRC Approval)	2
	Construction of a Parkway Street Section on a Local level street	2
	Installation of Native Shade Tree Species (per Tree up to 10 Trees)	1

<b>Section 3B – Transit (Pursuant to location being adjacent to a planned or active transit route)</b>		(Max - 8 points)
	Provision of more than 50 designated Park & Ride Stalls	8
	Provision of 25 designated Park & Ride Stalls	5
	Provision of 10 designated Park & Ride Stalls	3
	Provision of mass transit easement w/ structure (bus stop with shelter & bench)	2

CATEGORY 4 - Amenities

<b>Section 4A - Private Greenway</b>		(Max - 3 points)
	Construction of more than 3000 linear feet private greenway meeting Town of Zebulon standards	3
	Construction of more than 2000 linear feet of private greenway meeting Town of Zebulon standards	2
	Construction of more than 1000 linear feet of private greenway meeting Town of Zebulon standards	1

<b>Section 4B – Pool (Combinations may be approved by TRC)</b>		(Max - 8 points)
	Olympic Pool and Aquatic Center	8
	Junior Olympic Pool	5
	Lap Pool (four lane minimum)	3
	Resort Style Pool	2
	Any Other Pool	1

<b>Section 4C - Outdoor Deck/Patio</b>		(Max - 3 points)
	Deck/Patio - More than 3000 square feet	3
	Deck/Patio - More than 2000 square feet	2
	Deck/Patio - More than 1000 square feet	1

<b>Section 4D - Pool Amenities</b>		(Max - 2 points)
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	Jacuzzi/Hot Tub/Whirlpool	2
	Water Playground with apparatus	2
	Sauna/Steam room	2

<b>Section 4E - Clubhouse</b>		(Max - 10 points)
	Commercial Coffee Shop with at least 10 designated public seating spaces.	10
	With full kitchen and over 4000 square feet of meeting space	10
	With full kitchen and less than 4000 square feet of meeting space	9
	Meeting space without kitchen more than 3500 square feet	8
	Meeting space without kitchen 2500 - 3499 square feet	7
	Meeting Space without kitchen 1500 - 2499 square feet	5
	Meeting Space without kitchen less than 1500 square feet	4
	No meeting space, bathrooms and changing rooms only	3
	Outdoor Kitchen or Grills	2

<b>Section 4F - Additional Active Recreation</b>		(Max - 10 points)
	Gymnasium (regulation size indoor basketball court)	10
	Baseball/Softball Field (regulation size)	5
	Football/Soccer Field (regulation size)	5
	Skate Park	5
	Tennis Courts (two regulation courts, fenced)	5
	Multi-Use Hardcourt (two regulation basketball courts, street hockey, fenced)	5
	Pickleball Court (three regulation courts, fenced)	5
	Pocket Park – 5,000 square feet	3
	IPEMA Certified Playground Equipment	4
	Lighted Field of Play for nighttime use	3
	Electronic Scoreboard or Covered Dugouts or Bleachers	3
	Community Garden – 15-foot by 15-foot, with water access and potting shed.	3

<b>Section 4G – Additional Urban Open Space Enhancements (Within Non Residential Zoning Districts)</b>		(Max – 10 points)
	Fountain	2
	Canopy Including Fixed Permanent Seating	2
	Drinking Fountain with Pet Fountain	2
	Permanent Game Tables	1
	Permanent Tables with Shade Cover	1
	All Weather Bulletin Board	1
	Covered or Internal Bicycle Parking	1
	Artist-Design Bicycle Racks	1
	Little Free Library	1
	Drinking Fountain	1
	Public Work Bike Stand With Tools	1

CATEGORY 5 – Affordable Housing

<b>Inclusion of a percentage of the provided housing stock of a proposed development cost no more than 30% of a household income not exceeding 80% of the Area Median Income (AMI)</b>		(Max – 10 Points)
	15% Affordable Housing	10
	10% Affordable Housing	5

CATEGORY 6 – Other

(Max 5 Points)

	Integrated public safety operation systems (EX. Flock Safety or others as approved by the Police Department)	3
	Smart Waste and Recycling Stations	2



March 15<sup>th</sup>, 2024

Mike Nedriga  
Capital Properties of NC, LLC  
1540 Grand Willow Way  
Raleigh, NC 27614  
cpncllc@gmail.com  
919-779-9664

**RE: Trip Generation Memorandum  
901 Mack Todd Road, Zebulon, NC**

Dear Mr. Nedriga,

Timmons Group is providing traffic engineering services for the proposed residential development located at 901 Mack Todd Road in Zebulon, NC. The proposed development will consist of 13 townhome units. Per Town of Zebulon (Town) Unified Development Ordinance (Section 6.13.3), a Traffic Impact Analysis (TIA) is required when projected peak hour trips exceed 100 vehicles per hour (VPH).

The site-generated trips shown in **Table 1** are based on trip generation information provided in the 11<sup>th</sup> Edition of the Institute of Transportation Engineers' (ITE's) *Trip Generation Manual* and the anticipated development size. The trip generation was calculated using the proposed number of residential units as the independent variable and the provided regression equation.

**Table 1: Trip Generation Summary**

ITE Land Use Code	Independent Variable	ADT	AM Peak Hour			PM Peak Hour		
			In	Out	Total	In	Out	Total
215-Single-Family Attached Housing	13 Units	94	0	1	1	2	2	4

SOURCE: Institute of Transportation Engineers' *Trip Generation Manual* 11<sup>th</sup> Edition (2021)

AM peak hour trips totaled 1 incoming and 0 outgoing where PM peak hour trips totaled 2 incoming and 2 outgoing. Average daily traffic (ADT) volumes generated by the development totaled 94 VPD. No trip reductions were included due to internal capture or pass-by trips.

As shown in **Table 1**, projected trips do not meet the Town's peak hour trip threshold (100 VPD). Therefore, no TIA is required due to the development's construction.

Should you have any questions regarding this memorandum, do not hesitate to contact me.

Sincerely,

Jeffrey P. Hochanadel, PE, PTOE  
Principal | North Carolina Transportation Group Leader

5410 Trinity Rd. Suite 102 | Raleigh, NC 27807

TEL 919.866.4952 FAX 919.859.5663

Site Development | Residential | Infrastructure | Technology

www.timmons.com



# Planned Development Rezoning

## 901 Mack Todd Road

### A Planned Development Zebulon, North Carolina

Date: February 1, 2024  
Revised: April 12, 2024  
Revised: May 6, 2024

#### **Owner/Developer:**

##### **Capital Properties of North Carolina LLC**

1540 Grand Willow Way  
Raleigh, NC 27614  
(919) 779-9664  
Contact: Michael Nedriga

#### **Consultants:**

##### **Landscape Architecture & Land Planning:**

##### **TMTLA Associates**

5011 Southpark Drive, Suite 200  
Durham, NC 27713  
919-484-8880  
Contact: Pam Porter  
[pam@tmtla.com](mailto:pam@tmtla.com)

## **Section 1: Table of Contents**

### **TABLE OF CONTENTS**

Section 1:	Table of Contents
Section 2:	Vicinity Map
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Section 8:	Off-Street Parking, Loading and Sidewalks
Section 9:	Signs
Section 10:	Public Facilities
Section 11:	Natural Resources and Environmental Protection
Section 12:	Stormwater Management
Section 13:	Parks and Recreation
Section 14:	Consistency with 2030 Land Use Map
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Appendix A:	Building Elevations

## Section 2: Vicinity Map



## Section 3: Project Data

Name of the Project: 901 Mack Todd Road

Applicant/Prepared by:

Pamela Porter, PLA, LEED AP  
TMTLA Associates  
5011 Southpark Drive, Suite 200  
Durham, NC 27713  
Phone: 919-484-8880  
[pam@tmtla.com](mailto:pam@tmtla.com)

Current and Proposed Zoning:

Current: R-4  
Proposed: PD

Proposed Land Use:

Suburban Residential

Size of Project:

2.30 acres

## Section 4: Purpose Statement

901 Mack Todd Road is a small 2.30-acre parcel that sits about one mile west of Downtown Zebulon. The location and size of this lot position it perfectly for a small single family attached infill development.

This development is currently zoned R-4C. The Future Land Use Map designates this lot as IL. This lot, however, is not suited for industrial development given its size and the amount of environmentally sensitive areas located within it's boundary. We are proposing the Future Land Use Map be changed to Suburban Residential, which supports single family attached development, to accommodate this request.

The intent of this Planned Development is to provide high-quality single family attached housing tucked in around the environmentally sensitive areas within the boundaries of our development while also providing opportunities for gathering and recreation. The commitment to preservation of open space and providing a variety of amenities is to reconnect people within the community to nature as well as each other.

Bordered by a stream to the east, this development will protect the riparian buffer from development. A greenway, as shown on the Town's Greenway Plan, will be constructed as part of this development.

The residential development will fulfill the need for housing stock. The preservation of the environmentally sensitive areas and the greenway fulfill the Zebulon Town of Zebulon Comprehensive Plan and Land Use Map for Open Space.

Access to the site will be provided via a private alley. The units in this development will be rear-loaded and either front on Mack Todd Road or front on open space. No public street are proposed with this development.

The proposed Planned Development will meet all requirements of the Zebulon Transportation Plan. Open space shall exceed the Town of Zebulon minimum requirement of 10% as over 50% of the development will be open space.

The 901 Mack Todd Road Planned Development will be sensitive to and compatible with surrounding uses and proposed development character. The development will enhance the value of surrounding property values.

Phasing:

This development is proposed to be developed in no more than two phases.

## Section 5: Permitted Uses

Table 1 below provides a listing of the proposed permitted uses for the 901 Mack Todd Road PD Development. This listing allows the development to fulfill the intent of the commitment to a mix of residential uses. Uses are subject to general and specific regulations of the Town of Zebulon UDO.

**Table 1**

PERMITTED USES TABLE	
	P = Permitted Use
USE TYPE	
Residential Uses	
Single Family Attached and permitted accessory uses	P

## Section 6: Design Controls

### Residential – 2.30 acres

#### Density

Density: 5.65 dwelling units per acre max (overall)

Units: 13 dwelling units max  
All units shall be Single Family Attached.

#### Building Height

Maximum Height / # of Stories: 35 ft. / 3 Stories

**Building Setbacks** (see below)

Front:	5 ft. min. for lots 10-13 7.5' min. for lots 1-9
Side:	5 ft. min.
Rear:	10 ft. min.

Note: All single family attached units shall be rear loaded.

**Buffers (Refer to PD Map)**

**Streetscape Buffers:**

Mack Todd Road

None proposed in front of units; foundation plants along the front façade of the units that front on Mack Todd Road in lieu of a streetscape buffer.

A modified 15' Type C buffer shall be provided along the frontage that does not contain residential units.

**Perimeter Buffers:**

Adjacent to the adjoining lots

Type A buffer along PIN 1795-82-9159 where single family attached units are located adjacent to the shared property line as shown on concept plan.

All streetscape and perimeter buffers shall be provided in accordance with the Town of Zebulon UDO

## Section 7: Architectural Standards

### Standard Rezoning Conditions

The style of buildings will be any variety of the following: Craftsman, Traditional, Colonial, Neoclassical. the intent is to foster multiple styles to create a community that is not monotonous.

All residential structures shall have three (3) or more of the following features:

- Front Porch
- Awnings
- Columns
- Balconies
- Broken Roof Lines
- Dormer
- Arched Architectural Features
- Chimney
- All Brick -or All Stone Façade
- Other architectural features approved by the Planning Director

All residential structures shall have at least four (4) of the following features:

- Decorative Shake
- Decorative Porch Railings/Posts
- Shutters
- Decorative/Functional Air Vents on Roof or Foundation
- Trimmed Windows or Recessed Windows
- Decorative/Period Windows
- Decorative Brick or Stone (10% min. required on the front elevation)
- Decorative Gables
- Decorative Cornices
- Tin/Metal Roof
- Other decorative features approved by the Planning Director.

Roofs:

Roof lines shall be varied to reduce the scale of the structure and add visual interest. Rood shapes (for example: flat, hip, mansard, gable, or shed) and material shall be architecturally compatible with façade elements and the rest of the structures. Shed roofs may be used on porches and dormers.



### Facades:

- The principal structure's front façade must incorporate recesses and projections along at least 50% of the length of the façade. Windows, awnings, and porch area shall total at least 50% of the façade length abutting a public street.
- Façades shall incorporate a repeating pattern of change in color, texture, and material modules.
- Façade renovations shall incorporate original building details to the maximum extent practicable.
- If roof cornices have been removed or damaged on an existing structure, renovations of that structure must include retaining, repairing, and replacing the roof cornices.

### Entryways:

- Doors shall have built-in windows; alternatively, a solid door is allowed provided side lights (side windows) are installed immediately adjacent to the solid door.
- Variations in color schemes and textures are encouraged in order to articulate entryways so as to give greater recognition to these features.

### Materials and Color Palette:

- Predominant exterior building materials shall be high quality materials, including brick, wood, stone, fiber cement, and/or wood composite. Vinyl siding is not permitted; however, vinyl windows, decorative elements and trim are permitted.
- Front and side porches with open foundations shall have brick or stone piers and openings shall be fully screened with evergreen plantings.
- A varied color palette shall be utilized on homes throughout the subdivision and shall include siding, trim, shutter, and accent colors complementing the siding colors.

### Single-family Attached (Townhomes) - Specific Requirements:

1. Each house will have a min. of 2 stories and a maximum of 3 stories.
2. Min. dwelling size shall be 1,200 s.f.
3. All townhomes may have a raised slab foundation or crawl space.
4. Garage doors must have windows, decorative details or carriage-style adornments.
5. The front elevation of each single family attached unit shall contain a min. of 10% masonry (brick or stone) and shall contain a min. of two siding materials (i.e. stone and hardiplank; brick and shake). No two

consecutive units within a single building shall contain the exact same front elevation with regard to materials or color palette.

6. All sides of a principal structure that face an abutting public street shall have architectural and decorative features as described above.
7. A mail kiosk shall be located internal to the development as shown on the conceptual plan. If a kiosk shelter is incorporated it shall be designed with similar architectural style, materials, and color palette as the homes in the neighborhood. The kiosk shelter may be partially enclosed or open on all 4 sides.

We commit to exceed the architectural requirements in Section 5.2.4 of the UDO.

## **Section 8: Parking and Loading**

All parking and loading areas shall comply with all applicable requirements of the Town of Zebulon UDO Section 5.8. Electric vehicle (EV) charging stations shall be provided for two of the parking spaces.

## **Section 9: Signs**

All signage shall comply with applicable standards and requirements of the Town of Zebulon UDO Section 5.11.

## **Section 10: Public Facilities**

### Water and Sanitary Sewer:

All lots shall be served by City of Raleigh water and sanitary sewer.

### Streets:

No streets being proposed internal to the development.

Mack Todd Road - dedicate 5' of right of way. Build  $\frac{1}{2}$  of the ultimate 70' Right-of-Way section less median. Provide a fee in lieu for  $\frac{1}{2}$  of the 12' wide median. Roadway section will include 5' wide sidewalk for the full length of property.

### Sidewalks:

A 5' wide sidewalk shall be provided along the frontage of 901 Mack Todd Road.

### Alleys:

All residential alleys shall be public and shall be a 26' asphalt pavement within a 30' wide Town of Zebulon Alley Right of Way. Alleys shall be maintained by the HOA.

### Greenway Trails:

Developer shall provide easement for and construct the section of the Corridor 8 greenway that runs along the east side of the development.

## **Section 11: Natural Resource and Environmental Data**

### Existing Vegetation:

This development site consists of wooded forests and scrubby undergrowth. Wooded areas differ from dense hardwood forested areas to softwood pine stands typical of the region and is mainly located within the extents of the stream buffer along the east side of the site. The area of scrubby undergrowth is situated where site development will take place.

Existing streams with designated and delineated buffers protected by and in accordance with the Town of Zebulon UDO and NCDWR Regulations. Any and all impacts requiring permits shall be obtained and permitted thru the Town of Zebulon, NCDWR. and the US Army Corps of Engineers where applicable.

This site is within the Neuse River Basin.

No portion of this site are located within Special Flood Hazard areas defined by FEMA FIRM Map 3720179500K dated July 19, 2022.

### Historic Structures and Significance:

This site does not contain any historic structures or contains any historical significance.

## **Section 12: Stormwater Management**

901 Mack Todd Road will meet all applicable requirements and standards as described in the Town of Zebulon Street and Storm Drainage Standard and Specifications Manual. This project will meet all stormwater reduction requirements including limiting the post-development stormwater flows to not exceed the pre-development stormwater runoff.

The 901 Mack Todd Road Development will use approved devices to control the stormwater and sediment runoff. These devices may include detention ponds, retention ponds, bio-retention areas or any other approved BMP stormwater control. Stormwater control devices shall be landscaped and constructed to be an amenity to the development and shall blend into the surroundings.

A fountain will be provided in the SCM.

## **Section 13: Parks and Recreation**

50% of our open space shall be urban open space per UDO Sec. 5.7.4.

The following list of amenities shall be included in the urban open space area as noted on the concept plan:

Open Space #1:

- Pocket Park (5,000 s.f.)
- Outdoor Grill
- Two Picnic Tables
- Pollinator Garden (min. 225 s.f.)

Open Space #2:

- Community Garden (with storage shed)

Open Space #3:

- Dog Park: Min. 1,500 s.f. of fenced area; shall include a min. of one benches, one trash can, one dog waste station, and one drinking

fountain with dog fountain. Dog park fence shall be a min. of 4' tall chain link fence – either galvanized or vinyl-coated.

Design of these areas will be done at site plan.

In addition to the amenities in the open space area the following amenities shall be provided:

- A private connection to the Corridor 8 greenway trail shall be provided. Exact location to be determined at site plan.
- An artist designed bicycle rack shall be provided adjacent to the mail kiosk.
- Outdoor display of public art (TBD) to be located adjacent to guest parking.
- Pollinator Garden. Exact location to be determined at site plan.

Developer shall provide easement for and construct the section of the Corridor 8 greenway that runs along the east side of the development.

## **Section 14: Consistency with Comprehensive Plan and Land Use Map**

901 Mack Todd Road is consistent with the Town of Zebulon Comprehensive Plan and Land Use Map goals and objectives.

1. This development proposes single family attached residential development, which supports the desire for a variety of housing types and price points within the Town limits. This will help to draw new residents to the Town as well as keep existing residents within Town limits when looking to move.
2. This development proposes a higher density residential development that is nestled around the environmentally sensitive areas located on this site. This helps to buffer our development from adjacent development that is not as dense as our proposal.
3. This development will assist in the expansion of the sidewalk and greenway network in the Town.

In summary, this development proposal is consistent with the goals and objectives of the Town of Zebulon Comprehensive Plan.

While this development is not consistent with the Future Land Use Map, this parcel is not suited to light industrial development due to its size, shape, and the presence of environmentally sensitive areas. Given the proximity to Downtown Zebulon, this site is suited better towards a small residential infill development.

### **Section 15: Compliance with the UDO**

The Project will comply with all other relevant portions of the Town of Zebulon Unified Development Ordinance.

### **Section 16: Features of Development Included per the Utility Allocation Policy**

Points Required: 60

<u>Point Item</u>	<u>Point Value</u>	<u>Location (if known)</u>
Base Points	20	
EV Charging Station (two-port)	5	Guest Parking
Fountain/Stormwater Amenity in SCM	4	SCM
Compliance with UDO Sec. 5.2	10	Building Design
Outdoor Display of Public Art	4	TBD at Site Plan
Pollinator Garden (225 sf. Min)	3	Open Space #1
Enhanced Buffer Landscaping	2	Next to Lots 1 & 13
Installation of Native Shade Trees	1	In Type A Buffer
Outdoor Kitchen or Grill	2	Open Space #1
Pocket Park (5,000 sf. Min.)	3	Open Space #1
Community Garden <i>(15' x 15' with water access &amp; potting shed)</i>	3	Open Space #2
Drinking Fountain with Pet Fountain	2	Open Space #3
Artist-Designed Bicycle Rack	1	Next to Mail Kiosk
<b>TOTAL</b>	<b>60</b>	

## Section 17: Zoning Conditions

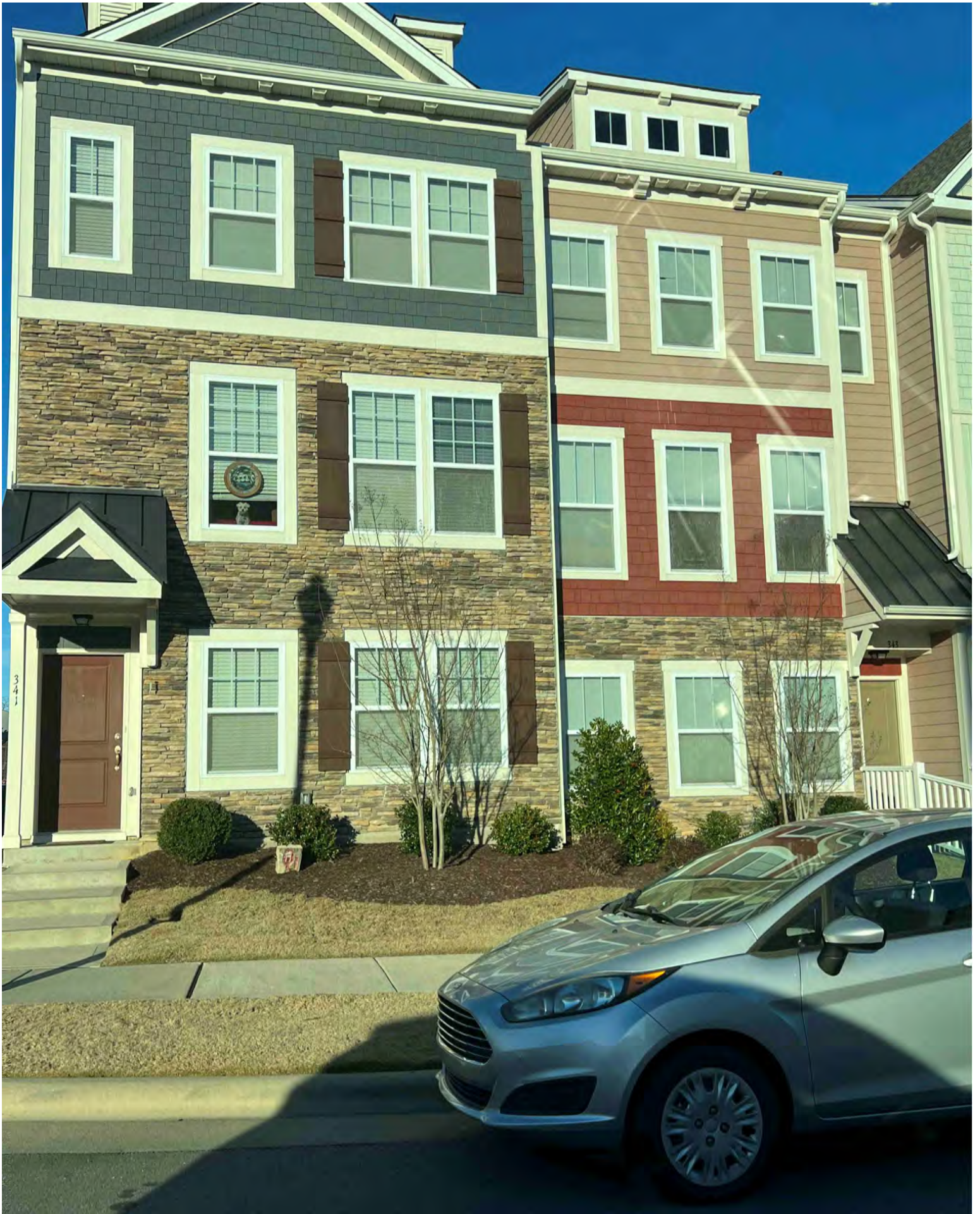
The following zoning conditions are being offered for consideration:

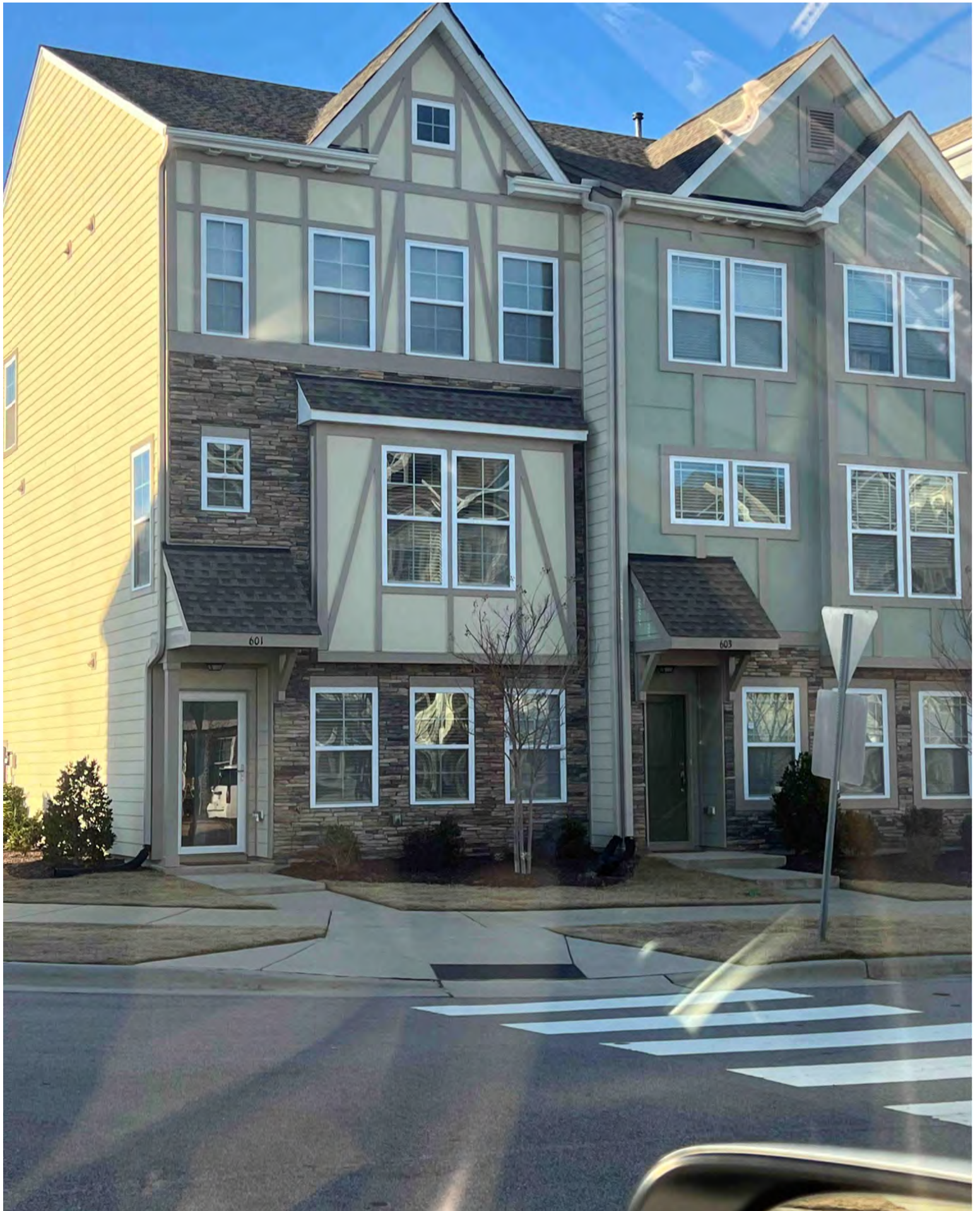
- 1) Uses shall be limited to single family detached, single family attached, and permitted accessory uses.
- 2) Minimum single family attached unit shall be a minimum of 1,200 s.f..
- 3) Minimum driveway stem length shall be 20'.
- 4) Mack Todd Road - dedicate 5' of right of way. Build  $\frac{1}{2}$  of the ultimate 70' Right-of-Way section. Roadway section will include 5' wide sidewalk for the full length of property.
- 5) This project shall not utilize mass grading.
- 6) Provide a 10' wide Type A buffer along PIN 1795-82-9159 where single family attached units are located adjacent to the shared property line as shown on concept plan.
- 7) Provide foundation plants along the front façade of the units that front on Mack Todd Road in lieu of a streetscape buffer. A minimum of the following shall be planted: 3 evergreen shrubs (12" height @ installation) per unit and shall be a plant than can be maintained at 18" height where located in the sight triangle. Plant selection to be determined at site plan. See detail on L-2 for typical example of foundation landscaping.
- 8) Slab foundation shall be permitted.
- 9) Vinyl siding shall not be permitted but vinyl accents, such as windows, decorative trim, and other elements shall be permitted.
- 10) Developer shall provide easement for and construct the section of the Corridor 8 greenway that runs along the east side of the development.
- 11) Native trees shall be used for any street tree or buffer planting.
- 12) 50% of the required open space shall be dedicated to urban open space.

## **Appendix A: Building Elevations**

***Please note any photo or graphic shown in this Appendix is to speak to the quality of the development and are not indicative of the exact design or facade to be included in this development. Any structure within this development shall follow the architectural guidelines listed in Section 7: Architectural Standards.***







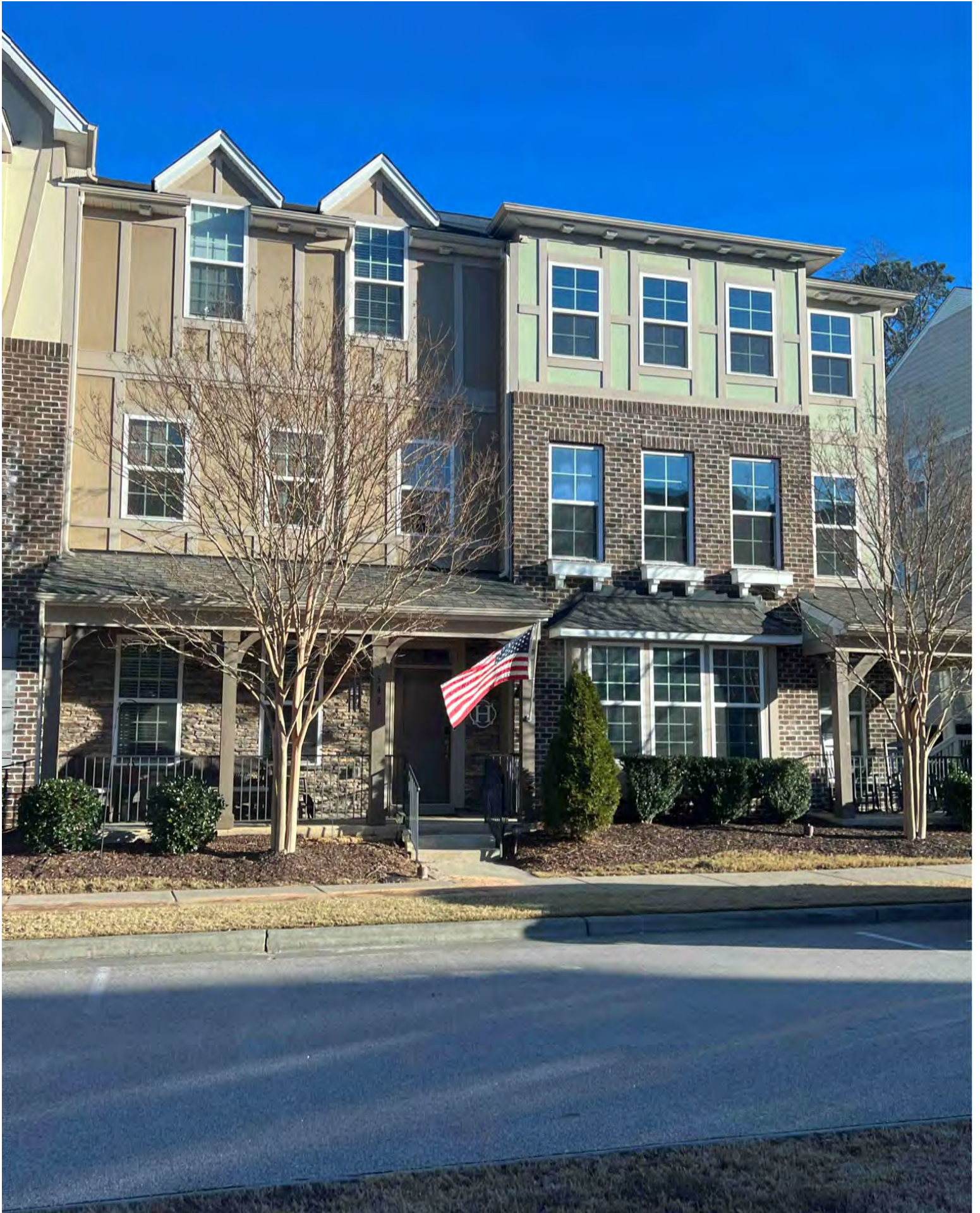




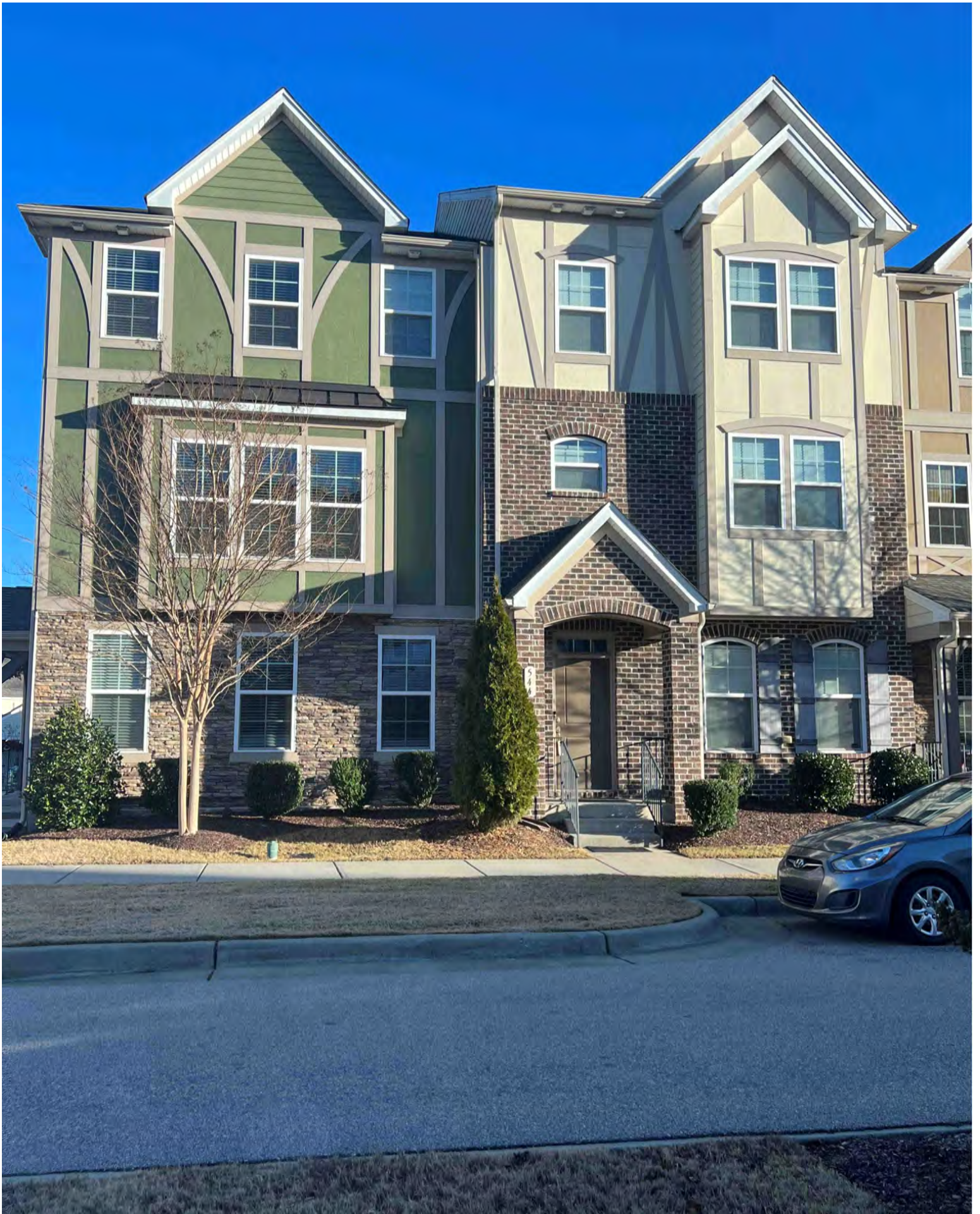






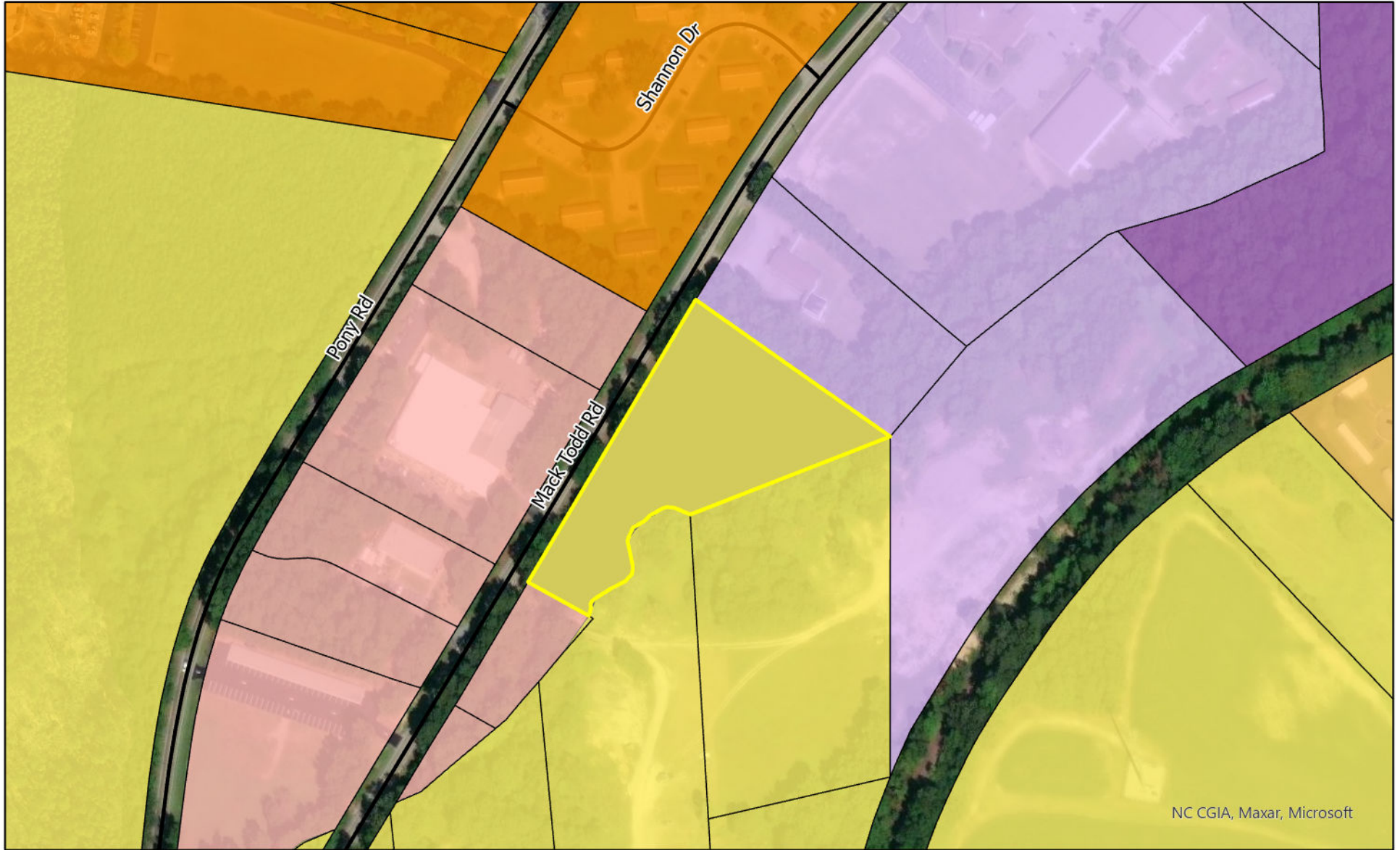




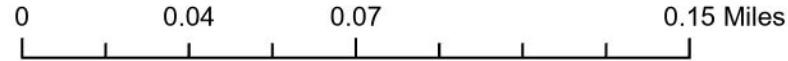




# Future Land Use Map



NC CGIA, Maxar, Microsoft



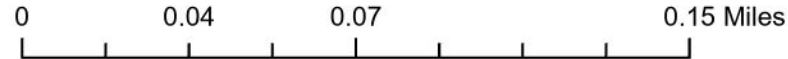
- 901 Mack Todd Rd
- Parcels
- Streets
- Zebulon\_FutureLandUse**
- Land Use/Character**
- General Residential (GR)
- Urban Residential (UR)
- Residential Mix (RM)
- Suburban Commercial (SC)
- Industrial Light (IL)
- Industrial Heavy (IH)



# Aerial Map



NC CGIA, Maxar, Microsoft



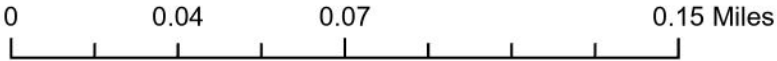
-  901 Mack Todd Rd
-  Parcels
-  Streets



# Zoning Map



NC CGIA, Maxar, Microsoft



- |                              |                                |
|------------------------------|--------------------------------|
| 901 Mack Todd Rd             | RMF, Residential Multi-Family  |
| Parcels                      | HC, Heavy Commercial           |
| Streets                      | LI, Light Industrial           |
| <b>Zoning Districts</b>      |                                |
| R2, Residential Suburban     | HI, Heavy Industrial           |
| R4, Residential Neighborhood | PD, Planned Development        |
| R6, Residential Urban        | MHO, Manufactured Home Overlay |
|                              | CZ, Conditional Zoning         |









# ZEBULON

NORTH CAROLINA

CASE # PD 2024-02 IDT# 1230462 – 901 Mack Todd Rd

PROJECT ADDRESS 901 Mack Todd Rd

PIN NUMBER: 1795827060

HEARING DATE: June 10, 2024

State of North Carolina

County of Wake

BEFORE ME, the undersigned Notary, E. McKinney Warner on this 28<sup>th</sup> day of May 2024, personally appeared Michael J. Clark, known to me to be a credible person and of lawful age, who being by me first duly sworn, on his oath, deposes and says:

I Michael J. Clark, acting as the Planning Director for the Town of Zebulon, affirm that the following Public Notice Procedures have been completed in accordance with applicable North Carolina General Statute and Town of Zebulon Unified Development Ordinance Section 2.3.6 have been satisfied for the above referenced hearing.

- First Class Mailing Sent on **5/28/2024** (see attached mailing list and copy of mailing)
- Advertisement in a Paper of General Circulation sent on **5/21/2024** (Wake weekly, publication dates **5/31 & 6/7/2024**)
- Posting Public Hearing Signage on Property on **5/28/2024** (pictures attached)
- Posted to Planning Department Website **5/28/2024**
- Sent to E-Mail Distribution List on **5/28/2024**

[Signature]

5/28/2024

Michael J. Clark, AICP, CNU-A

Date

Subscribed and sworn to before me, this 28<sup>th</sup> day of May 2024.

[Notary Seal:]

[Signature]

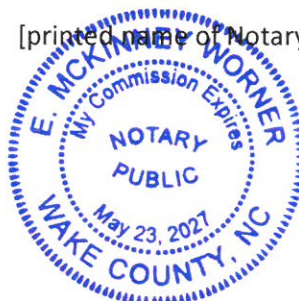
E. McKinney Warner

[signature of Notary]

[printed name of Notary]

NOTARY PUBLIC

My commission expires: May 23, 2027.



## **Notice of Public Hearing**

Notice is hereby given pursuant to the provisions of Article 2.3.6 of the Town of Zebulon Unified Development Ordinance that a public hearing will be held on **June 10, 2024, at 6:00 PM** at the **Zebulon Municipal Complex, 1003 N. Arendell Avenue**, and will be conducted by the Board of Commissioners and Planning Board of the Town of Zebulon for the purpose of considering the following items:

***IDT Project Number 1230462 - PD 2024-02 – 901 Mack Todd Rd***

*PIN # 1795827060.* A request by TMTLA Associates on behalf of property owner Capital Properties of North Carolina LLC, for a rezoning to the Planned Development (PD) zoning district for the development of a 13 unit Planned Development.

Public comments may be submitted to Deputy Town Clerk Stacie Paratore at [SParatore@TownofZebulon.org](mailto:SParatore@TownofZebulon.org) no later than 12:00 Noon on the day of the hearing to be read into the record. Links will be provided along with the full application packet and documentation on the Planning Department web page at <https://www.townofzebulon.org/departments/planning/public-hearing-information> For questions or additional information, please contact us at (919) 823-1816.

901 Mack Todd Road - Parcels within 750'		
Parcel Address	REID	Owner
970 MACK TODD RD	0188800	CAVALLERO, DARIO L EHMANN, DONNA CAVALLERO
750 PONY RD	0051771	CROUSE, DONNA M BULLOCK
100 SHANNON DR	0118145	HOUSING AUTH COUNTY OF WAKE
941 MACK TODD RD	0001204	JAM MAR PROPERTIES LLC
608 W BARBEE ST	0054481	BROWN, LARRY G BROWN, MARY J
535 MACK TODD RD	0075388	JNCJ PROPERTIES LLC
600 PONY RD	0036416	CHANDAK, GOVIND CHANDAK, MADHU
721 MACK TODD RD	0089314	HERITAGE BAPTIST CHURCH INC
560 W BARBEE ST	0104806	GAY FAMILY LIMITED PARTNERSHIP II
601 PONY RD	0186160	SILVER SPRING HOUSING ASSOC LLC
600 MACK TODD RD	0085216	LNP INC
950 MACK TODD RD	0115949	HSSW
780 W BARBEE ST	0252242	HERNANDEZ, MARIA A
551 PONY RD	0076634	ZEBULON HEALTH HOLDINGS LLC
0 W BARBEE ST	0337278	SMITH, TODD L
704 W BARBEE ST	0068443	PERRY QUINN PROPERTIES INC
521 DUGGINS OAK DR	0190619	ZEBULON GREEN ASSOCIATES LIMITED PARTNERSHIP
901 MACK TODD RD	0077886	CAPITAL PARTNERS OF NORTH CAROLINA LLC
0 W BARBEE ST	0476110	TODD, JAMES THOMAS JR TRUSTEE HOLDEN, BRENDA TODD HEIRS
808 W BARBEE ST	0070909	TODD, JAMES THOMAS JR TRUSTEE HOLDEN, BRENDA TODD HEIRS
934 W BARBEE ST	0070905	HARRISON, MIRANDA TODD TRUSTEE TODD PROTECTION TRUST
0 W BARBEE ST	0476109	TODD, GLENN A TODD, VERA L
820 W BARBEE ST	0070906	TODD, GLENN A TODD, VERA L
705 PONY RD	0060530	MERITAGE HOMES OF THE CAROLINAS INC
700 PONY RD	0245658	700 PONY LLC
801 MACK TODD RD	0082911	HERITAGE BAPTIST CHURCH INC
804 W BARBEE ST	0070907	PREDDY, MARY ANN TODD



**ARTICLE 3: DISTRICTS**

3.5. General Mixed Use Zoning Districts

3.5.5 Planned Development (PD) District

**3.5.5. PLANNED DEVELOPMENT (PD) DISTRICT****A. PURPOSE AND INTENT**

The Planned Development (PD) districts are established and intended to encourage innovative land planning and site design concepts that support a high quality of life and achieve a high quality of development, environmental sensitivity, energy efficiency, and other Town goals and objectives by:

- a. Reducing or diminishing the inflexibility or uniform design that sometimes results from strict application of zoning and development standards designed primarily for individual lots;
- b. Allowing greater freedom in selecting the means of providing access, open space, and design amenities;
- c. Allowing greater freedom in providing a well-integrated mix of residential and nonresidential land uses in the same development, including a mix of housing types, lot sizes, and densities;
- d. Creating a system of incentives for redevelopment and infill in order to revitalize established areas;
- e. Promoting a vibrant public realm by placing increased emphasis on active ground floor uses, pedestrian-oriented building façade design, intensive use of sidewalks, and establishment of public gathering areas;
- f. Providing for efficient use of land resulting in smaller networks of utilities and streets and thereby lowering development and housing costs; and
- g. Promoting quality design and environmentally sensitive development that respects surrounding established land use character and respects and takes advantage of a site's natural and man-made features, such as trees, estuaries, shorelines, special flood hazard area, and historic features.

**B. GENERAL STANDARDS FOR ALL PLANNED DEVELOPMENTS****1. HOW ESTABLISHED**

A planned development is established in a manner similar to the establishment of a conditional zoning district in accordance with the procedures and requirements in Section 2.2.13, Planned Development.

**2. MASTER PLAN REQUIRED**

All development configured as a PD shall be subject to a master plan submitted and approved as part of the application to establish the district. The master plan shall:

- a. Include a statement of planning objectives for the district;
- b. Describe the specific ways in which any modifications to the generally applicable standards in this Ordinance will result in a development of higher quality than would have otherwise resulted if the development was established without any proposed modifications to the standards in this Ordinance.
- c. Identify the general location of individual development areas, identified by land use(s) and/or development density or intensity;
- d. Depict the general configuration and relationship of the principal elements of the proposed development, including general building types;
- e. Identify for the entire district and each development area the acreage, types and mix of land uses, number of residential units (by use type), nonresidential floor area (by use type), residential density, and nonresidential intensity;
- f. Identify the general location, amount, and type (whether designated for active, passive, or urban) of open space;
- g. Identify the location of environmentally sensitive lands, wildlife habitat, and resource protection lands;
- h. Identify the on-site transportation circulation system, including the general location of all public and private streets, existing or projected transit service, pedestrian and vehicular circulation features, and how they will connect with existing and planned systems;
- i. Identify the general location of on-site potable water and wastewater facilities, and how they will connect to existing systems;
- j. Identify the general location of on-site stormwater management facilities, and how they will connect to existing public systems; and

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- k. Identify the general location of all other on-site public facilities serving the development, including but not limited to parks, schools, bus shelters, and facilities for fire protection, police protection, EMS, and solid waste management.

### 3. COMPLIANCE WITH SUBDIVISION STANDARDS

Planned developments that include the division of land into two or more lots shall be subject to the subdivision standards in Article 6: Subdivisions, and shall be subject to the requirements of Section 2.2.14, Preliminary Plat, and Section 2.2.10, Final Plat, prior to the issuance of a building permit.

### 4. SITE PLAN REVIEW

- a. The planned development master plan may take the form of a generalized concept plan for development that provides a general indication of building and site feature location, or may it may be configured to the level of detail associated with site plans and construction drawings depicting exact building placement, location and profile of public infrastructure, and configuration of site features like parking, landscaping, and similar elements.
- b. In cases where the master plan is more general or conceptual in nature, the development proposed in the planned development designation shall also undergo site plan review in accordance with Section 2.2.17, Site Plan.
- c. In cases where the master plan is detailed and meets the minimum requirements for a site plan in the opinion of the Board of Commissioners, the applicant shall request, and the Board of Commissioners may grant an exemption from subsequent site plan review.
- d. If a site plan review exemption is granted by the Board of Commissioners, the proposed development shall fully comply with the development configuration depicted in the planned development master plan. Failure to comply with the approved master plan configuration shall require an amendment of the planned development application in accordance with Section 2.2.17.I, Amendment.

### 5. DENSITIES/INTENSITIES

The densities for residential development and the intensities for nonresidential development applicable in each development area of a PD district shall be as established in the master plan, and shall be consistent with adopted policy guidance.

### 6. DIMENSIONAL STANDARDS

The dimensional standards applicable in each development area of a PD district shall be as established in the master plan. The master plan shall include at least the following types of dimensional standards:

- a. Minimum lot area;
- b. Minimum lot width;
- c. Minimum and maximum setbacks;
- d. Maximum lot coverage;
- e. Maximum building height;
- f. Maximum individual building size;
- g. Floor area ratio; and
- h. Minimum setbacks from adjoining residential development or residential zoning districts.

### 7. DEVELOPMENT STANDARDS

- a. All development in a PD district shall comply with the development standards of Article 5: Development Standards, and the subdivision and infrastructure design standards of Article 6: Subdivisions, unless modified in accordance with this section.
- b. In no instance shall a planned development district seek to modify, waive, or reduce any of the following standards:
  - i. Section 3.8, Overlay Zoning Districts; or
  - ii. Section 6.5, Owners' Associations.
- c. In cases where a planned development district is proposed as part of redevelopment of an existing site and the existing site does not comply with the standards in subsection (b) above, the development contemplated in the planned development shall not be required to achieve full



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compliance, but shall not increase the degree to which the development fails to comply with the standards in subsection (b) above.

#### 8. CONSISTENCY WITH ADOPTED POLICY GUIDANCE

The PD zoning district designation, the master plan, and the terms and conditions document should be consistent with the Comprehensive Plan, and any applicable functional plans and small area plans adopted by the Town.

#### 9. COMPATIBILITY WITH SURROUNDING AREAS

Development along the perimeter of a PD district shall be compatible with adjacent existing or proposed development. Where there are issues of compatibility, the master plan shall provide for transition areas at the edges of the PD district that provide for appropriate buffering and/or ensure a complementary character of uses. Determination of complementary character shall be based on densities/intensities, lot size and dimensions, building height, building mass and scale, hours of operation, exterior lighting, siting of service areas, or other aspects identified by the Board of Commissioners.

#### 10. DEVELOPMENT PHASING PLAN

If development in the PD district is proposed to be phased, the master plan shall include a development phasing plan that identifies the general sequence or phases in which the district is proposed to be developed, including how residential and nonresidential development will be timed, how infrastructure (public and private) and open space will be provided and timed, and how development will be coordinated with the Town's capital improvements program.

#### 11. CONVERSION SCHEDULE

- a. The planned development application may include a conversion schedule that identifies the extent to which one type of residential use may be converted to another type of residential use or one type of nonresidential use may be converted to another type of nonresidential use (i.e., residential to residential, or nonresidential to nonresidential). These conversions may occur within development areas and between development areas, as long as they occur within the same development phase, as identified by the approved development phasing plan, and are consistent with established extents of conversion set down in the conversion schedule.
- b. In the event an applicant seeks to revise the development in accordance with an approved conversion schedule, the applicant shall provide a revised site plan depicting the proposed conversions to the TRC for review and approval prior to commencing any conversions.

#### 12. ON-SITE PUBLIC FACILITIES

##### a. DESIGN AND CONSTRUCTION

The master plan shall establish the responsibility of the developer/landowner to design and construct or install required and proposed on-site public facilities in compliance with applicable Town, state, and federal regulations.

##### b. DEDICATION

The master plan shall establish the responsibility of the developer/landowner to dedicate to the public the right-of-way and easements necessary for the construction or installation of required and proposed on-site public facilities in compliance with applicable Town, state, and federal regulations.

##### c. MODIFICATIONS TO STREET STANDARDS

In approving a master plan, the Board of Commissioners may approve modifications or reductions of street design standards—including those for right-of-way widths, pavement widths, required materials, provision of public transit amenities, and turning radii, with NCDOT approval, on finding that:

- i. The master plan provides for adequate separation/integration of vehicular, pedestrian, and bicycle traffic;
- ii. Access for emergency service vehicles is not substantially impaired;
- iii. Adequate parking is provided for the uses proposed; and

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iv. Adequate space for public utilities is provided within the street right-of-way.

### 13. USES

The uses allowed in a PD district are identified in Table 4.2.3, Principal Use Table, as allowed subject to a master plan. Allowed uses shall be established in the master plan. Allowed uses shall be consistent with adopted policy guidance, the purpose of the particular PD district, and subject to any additional limitations or requirements set forth in Section 4.3, Use-Specific Standards, for the PD district. Nothing shall limit an applicant from seeking to modify an otherwise applicable use-specific standard in accordance with the standards in Section 3.5.5.B.2, Master Plan Required.

### C. PLANNED DEVELOPMENT TERMS AND CONDITIONS

The terms and conditions document shall incorporate by reference or include, but not be limited to:

1. Conditions related to approval of the application for the PD zoning district classification;
2. The master plan, including any density/intensity standards, dimensional standards, and development standards established in the master plan;
3. Conditions related to the approval of the master plan, including any conditions related to the form and design of development shown in the master plan;
4. Provisions addressing how transportation, potable water, wastewater, stormwater management, and other infrastructure will be provided to accommodate the proposed development;
5. Provisions related to environmental protection and monitoring; and
6. Any other provisions the Board of Commissioners determines are relevant and necessary to the development of the PD in accordance with applicable standards and regulations.

### D. AMENDMENTS TO APPROVED MASTER PLAN

Amendments or modifications to a master plan shall be considered in accordance with the standards in Section 2.2.13, Planned Development.

## General Residential

This designation covers areas of primarily single-family detached residential use where accommodation of the automobile is more visually dominant relative to more prominent green space in Suburban Residential character areas. This is typically due to relatively smaller and narrower lots, and often with limited open space set-asides or amenities for residents.

### Primary Land Use Types

- Detached residential dwellings.
- Other attached residential forms (e.g., duplexes and multiplexes, patio homes, townhomes, multi-family, etc.) as permitted by zoning.
- Planned developments, potentially with a mix of housing types and varying densities, subject to compatibility and open space standards.



Shepard's Point subdivision along Old Bunn Road, adjacent to the Hamilton Acres subdivision to the east.

### Where on the Map

In some central areas of Zebulon, such as west of N.C. 96 and north of West. Gannon Avenue. Also provides a transition to Suburban Residential areas in other locations, such as north of U.S. 64/264 and southwest of town.

### Characteristics

- Residential neighborhoods with less openness and separation between dwellings compared to Suburban Residential areas.
- Auto Urban character, especially where driveways and front-loading garages dominate the front yards and front facades of homes. This can be offset by landscaping, "anti-monotony" architectural standards, and limitations on "cookie cutter" subdivision layouts characterized by straight streets and uniform lot sizes and arrangement.
- Neighborhood-oriented commercial uses may emerge over time and should be encouraged on corner sites or other locations at the edge of predominantly residential areas, at a scale and with a site design that is compatible with nearby residential uses.