

ZEBULON
BOARD OF COMMISSIONERS
AGENDA
April 3, 2023
6:00pm

Meetings are live streamed to YouTube.

1. PLEDGE OF ALLEGIANCE

2. APPROVAL OF AGENDA

3. SCHOOL RECOGNITION

A. Zebulon Elementary School

- i. Harper McKoy – Student
- ii. Mandy Bailey – Teacher

4. PUBLIC COMMENT

All wishing to speak must sign up prior to 5:50pm. The comment period will be no longer than 15 minutes with speakers having three minutes each to speak. No speaker can speak on a public hearing item or any item that would need to be discussed under Closed Session. Speakers cannot give their minutes to another speaker. If you would like to submit comments to be read into the record at the meeting, please send comments, of 400 words or less, to Lisa Markland at lmarkland@townofzebulon.org by 3:00pm on April 3, 2023.

5. CONSENT

A. Minutes

- i. March 6, 2023 – Regular Meeting
- ii. March 13, 2023 – Joint Public Hearing
- iii. March 16, 2023 – Work Session

B. Finance

- i. Monthly Financial Reports
- ii. Wake County Tax Report – January 2023

6. OLD BUSINESS

C. Planning

- i. Clifton Grove Annexation
 - a. Ordinance 2023-30

D. General

- i. Bee City USA Designation
 - a. Sample Resolution
- ii. Bond Referendum – Determination to Proceed
- iii. Board Compensation
- iv. Main Street Advisory Board Appointments

7. NEW BUSINESS

A. Public Works

- i. Green Pace/Arendell Signal Project
 - a. Ordinance 2023-35
 - b. Bid Decision

B. Parks and Recreation

- i. Ordinance 2023-33 – Recognition of Sponsorships for Special Events
- ii. Ordinance 2023-34 – CIP Reallocation

C. Public Works

- i. Resolution 2023-24 – Shepard Park Infrastructure Acceptance

8. BOARD OF COMMISSIONERS

- A. Branding Update – Sponsor Miles/Co-Sponsor Baxter
- B. Personnel Policy – Sponsor Miles/Co-Sponsor Baxter

9. BOARD COMMENTS

10. MANAGERS REPORT

11. CLOSED SESSION

Per N.C. General Statute § 143-318.11(a)(5): "... to instruct the [Town] staff or negotiating agents concerning the position to be taken by or on behalf of the [Town] in negotiating the price and other material terms of a contract or proposed contract for the acquisition of real property by purchase, option, exchange, or lease; ..."

12. ADJOURN

Zebulon Board of Commissioners
Minutes
March 6, 2023

Present: Glenn York, Quentin Miles, Larry Loucks, Shannon Baxter, Beverly Clark, Joe Moore-Town Manager, Lisa Markland-Town Clerk, Chris Ray-Public Works, Bob Grossman-Police, Chris Perry-Fire, Sheila Long-Parks & Recreation, Bobby Fitts-Finance, Michael Clark-Planning, Teresa Piner-Planning, Adam Culpepper-Planning, Eric Vernon-Town Attorney

Absent: Jessica Harrison

Mayor York called the meeting to order at 6:00pm.

PLEDGE OF ALLEGIANCE

The pledge of allegiance was led by Commissioner Baxter.

APPROVAL OF AGENDA

Mayor York asked to move the Manager's report before closed session.

Commissioner Baxter stated she met with Lisa Markland about corrections to the October 3, 2022 minutes and the Board was provided a copy of the corrections that were made.

Commissioner Clark made a motion, second by Commissioner Miles to approve the agenda as amended. There was no discussion and the motion passed unanimously.

SCHOOL RECOGNITION

Mayor York recognized teacher Keri-Sue Bonnaci, from Zebulon Middle School.

PUBLIC COMMENT

John Saffold gave an update from the Zebulon Chamber of Commerce and introduced Jennifer Williams as the new Board Chair.

Nick Robertson, the Hunger and Nutrition Program Director for Urban Ministries of Wake County, spoke about the Project Pivot Program which partnered with local non-profit agencies to ensure Wake County residents received groceries each week and school children received breakfast and snack items. Mr. Robertson asked for assistance from Town and City officials in Wake County to maximize the program.

Tracy Alford thanked the Board for their support of the Miss Zebulon Organization. Chloe Smothers, the 2023 Miss Zebulon, spoke about Empowered Girls Empower and her community work.

Kamryn Hollowell, Miss Zebulon Teen spoke about her community service work through Project Purple.

CONSENT

Board of Commissioners
Minutes
March 6, 2023

A. Minutes

Commissioner Baxter made a motion, second by Commissioner Loucks to approve the minutes of the October 3, 2022 regular meeting. There was no discussion and the motion passed unanimously.

Commissioner Baxter made a motion, second by Commissioner Loucks to approve the minutes of the February 13, 2023 joint public hearing. There was no discussion and the motion passed unanimously.

Commissioner Baxter made a motion, second by Commissioner Loucks to approve the minutes of the February 16, 2023 regular meeting. There was no discussion and the motion passed unanimously.

Commissioner Baxter made a motion, second by Commissioner Loucks to approve the minutes of the February 23, 2023 work session. There was no discussion and the motion passed unanimously.

B. Finance

Commissioner Baxter made a motion, second by Commissioner Loucks to approve the monthly financial report. There was no discussion and the motion passed unanimously.

Commissioner Baxter made a motion, second by Commissioner Loucks to approve the Wake County tax report – December 2022. There was no discussion and the motion passed unanimously.

C. Police

Commissioner Baxter made a motion, second by Commissioner Loucks to approve Ordinance 2023-27 – Police Vehicle – Appropriation of Insurance Proceeds. There was no discussion and the motion passed unanimously.

OLD BUSINESS

A. Parks and Recreation

- i. Resolution 2023-23 – Capital Improvement Plan FY '23
- ii. Ordinance 2023-28 – Little River Park Capital Project Fund
- iii. Ordinance 2023-29 – Budget Transfer

Sheila Long spoke about the Little River Park planning and explained the next steps were to establish a capital fund, seek grant funding and adopt the FY 2023 park Capital Improvement Plan (CIP). Agencies required matching funds and a CIP to demonstrate a community's intent to proceed with the project and commitment to effectively utilize their grants. The decision before the Board was whether to continue to prepare applications for the PARTF and LWCF grants. If interested in applying for the grants, the Board would increase their competitiveness by adopting the Budget Adjustment and the park Capital Improvement Plan.

There was discussion about the park bond and the Parks and Recreation impact fee. The various funding sources for future master plan projects were also detailed as well as options to fund the Little River Park project.

Commissioner Baxter made a motion, second by Commissioner Miles to approve Resolution 2023-23. There was no discussion and the motion passed unanimously.

Commissioner Clark made a motion, second by Commissioner Loucks to approve Ordinance 2023-28. There was no discussion and the motion passed unanimously.

Commissioner Clark made a motion, second by Commissioner Baxter to approve Ordinance 2023-29. There was no discussion and the motion passed unanimously.

B. Planning

i. North Carolina Main Street Appointment of Advisory Board

Michael Clark stated there were 10 applicants for the North Carolina Main Street Advisory Board. Staff recommended approval of a minimum of five members so the Town could move forward with the Main Street program.

The applicants who submitted an application were:

- Michael Croitour
- Damon Damphie
- Crystal Flowers
- Michael Germano
- Narcisa Johnson
- Rachel Lock
- Anthony Pirrello
- Cyrus Stacey
- Quinton Crosson-Taylor

Every applicant was in attendance except Anthony Pirrello who had to attend another meeting. Each applicant spoke about their reasons for wanting to serve on the Main Street Advisory Board.

Commissioner Loucks stated he wanted to have a Chamber of Commerce representative and a Commissioner on the Board as well as setting term limits.

Commissioner Clark wanted more time to review the information, was agreeable to someone serving on two advisory boards and thought it would be better to have a board made up of citizens and not to have a Commissioner on the advisory board.

Commissioner Miles shared advice he received from Liz Parham about how to choose the candidates.

Commissioner Baxter was agreeable with the statements made and thanked those willing to serve on the advisory board.

Mayor York thanked those who were interested in serving on the advisory board.

Commissioner Baxter made a motion, second by Commissioner Clark to table the North Carolina Main Street appointment of advisory board until after the Main Street conference.

There was some discussion.

Commissioner Baxter amended her motion to table the North Carolina Main Street appointment of advisory board until the March 23, 2023 retreat. Commissioner Clark seconded the amendment to the motion. There was no discussion and the motion passed unanimously.

NEW BUSINESS

A. Planning

i. Public Hearing

a. Clifton Grove Annexation – 921 & 1015 Pearce Road, 0, 9201, 9136 Pippin Road

Mayor York opened the public hearing.

Michael Clark presented the annexation petition for five parcels located at 921, 1015 Pearces Road and 0, 9102, 9136 Pippin Road. The applicant was DR-Horton and the current zoning was R2 Residential. The public hearing notice requirements were met, and the corporate boundaries were shown. The properties were adjacent to contiguous and satellite corporate boundaries.

Staff explained water and sewer were available. The sewer ran along the west boundary and the owner could not connect until the properties were annexed into corporate limits.

The proposal for the conservation subdivision was submitted two and a half years ago and the construction drawing process was being completed.

The annexation standards under 2.2.2.G included:

- Owner approval
- Services can be provided
- Cost/return
- Public health, safety and welfare

It was explained the developer was responsible for any right-of-way, utility and infrastructure improvements. Staff recommended approval of Ordinance 2023-30.

Commissioner Loucks inquired about the total number of units in the development and if a current traffic impact analysis had been performed. Staff explained the project included 237 units and stated the projected traffic increase from the development was included in the traffic impact analysis that was done.

Commissioner Baxter stated she needed to review the traffic impact analysis.

Commissioner Clark stated a traffic impact analysis did not affect the annexation of the property. Staff explained the traffic impact analysis was specific to the development request. The applicant was only requesting annexation of the land to continue the development process. There were questions about whether the project would come back before the Board for approval. Mike Clark

stated there was not a request to deviate from the ordinance and therefore would not come back before the Board.

Commissioner Miles stated he wanted a new traffic impact analysis to be performed.

Commissioner Loucks had concerns about the public health, safety and welfare from the traffic the development would cause.

Mayor York asked if there was anyone who wished to speak.

Jonathan Cooper stated he received site plan approval in December 2022 and the traffic impact analysis was current for the approval by incorporating future impacts. It was explained the request took longer than usual because it was a conservation subdivision and 50% of the land that was conserved had to be approved. There was discussion about the findings in the traffic impact analysis.

There were further discussions among the Board about traffic concerns. The consensus was to have more time to review the traffic impact analysis.

Mayor York asked if there was anyone who wished to speak in favor. There were none.

Mayor York asked if there was anyone who wished to speak in opposition. There were none.

Mayor York asked if anyone had any questions. There were none.

Mayor York closed the public hearing.

- ii. Ordinance 2023-30 Clifton Grove Annexation – 921 & 1015 Pearce Road, 0, 9201, 9136 Pippin Road – Deliberations

Commissioner Miles made a motion, second by Commissioner Loucks to table Ordinance 2023-30 to the April 3, 2023 meeting. There was no discussion and the motion passed unanimously.

Mayor York stated there would be a 10 minute recess.

The meeting was called back into session at 7:55pm.

BOARD OF COMMISSIONERS

A. Assistant Town Manager Position

Commissioner Miles asked for an update of the Assistant Town Manager job description and salary range. Joe Moore stated the position was not included in the budget and he could bring generic information to the Board about the responsibilities and pay range for an Assistant Town Manager. The Board had not heard all the FY 2024 position requests and Mr. Moore recommended discussing the need for an Assistant Town Manager after that time.

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Commissioner Baxter stated an Assistant Town Manager was needed and recommended it be included in the budget. There was consensus among the Board for the position to be budgeted for FY 2024.

B. Job Openings

Commissioner Miles inquired about the current job openings, where they could be found online, how people could apply and asked to have a job report added into the Manager's comments. Joe Moore stated an HR report could be added to the Manager's report. Lisa Markland gave information about the current job openings, where they were posted and how someone could apply.

Commissioner Loucks inquired about the Town Clerk and Main Street Coordinator positions. Lisa Markland explained she and the Mayor had worked on the Town Clerk job description which was shared with the Board for review and comments. Once the position was funded then the position could be advertised.

Michael Clark spoke about the Main Street Coordinator position. The regulation required someone to be on staff for 40 hours and contractor, Teresa Piner, was filling that roll. Anyone in that position was required to have experience and fundamental understanding of business development.

C. Commissioner Pay Increase

Commissioner Miles asked how elected officials' pay was calculated, who determined it and when the last compensation evaluation was done.

Joe Moore stated the Board determined fair compensation for their services. Ms. Markland provided information about compensation in surrounding communities.

Commissioner Loucks asked that the health insurance opt out calculation be included in the compensation number.

Commissioner Miles made a motion, second by Commissioner Baxter to add Board compensation as an agenda item at the April 3, 2023 meeting.

Mayor York stated compensation rates varied and in some municipalities the Mayor Pro Tem made a different salary than Commissioners.

Lisa Markland explained the practice was for the commissioners pay to be increased by the merit percentage that the Board approved for full-time employees.

There was no further discussion and the motion passed unanimously.

D. Fraternalization Policy and Personnel Policy

Commissioner Miles asked for an update on the Fraternalization Policy, Dissemination of Information, and the Rules of Procedure.

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Joe Moore gave some background information of Professor Maynard who was revising the personnel policy and offered information on the update of the draft policy. The Board would receive a copy at their April work session.

E. Bee City USA

Commissioner Baxter gave an update about the Bee City USA program. A statement from a 4th grader was read about their support of Zebulon becoming a Bee City.

Tim Huffman, Program Director for Five County Beekeepers, stated he was willing to help teach people about beekeeping.

Commissioner Loucks asked if Commissioner Baxter was willing to be the Town's coordinator for the program. Commissioner Baxter was willing to do so.

Joe Moore stated staff would prepare a budget adjustment for the program fee.

Commissioner Baxter made a motion, second by Commissioner Miles to direct staff to move forward in becoming a Bee City and to add the item to the April 3, 2023 agenda. There was no discussion and the motion passed unanimously.

BOARD COMMENTS

Commissioner Loucks reminded everyone there was a St. Patrick's event at the Fall line on March 18, the Town may soon be able to extend the ETJ from one mile to two miles and to look at the Parks and Recreation events schedule.

Commissioner Clark thanked all those who attended the meeting and applied for the Main Street Advisory Board.

Commissioner Miles thanked all the Main Street Advisory Board applicants, thanked staff for all of their hard work and honored Peggy Wilder.

Commissioner Baxter wished Commissioner Loucks a Happy Birthday and stated the Eastern Wake Local Government Association meeting was scheduled for March 29, 2023.

Mayor York read the recognition for Zebulon Middle School student, Justice Brown.

Commissioners Baxter, Miles and Harrison were thanked for coming out to the Shepherds Care Clinic ribbon cutting.

MANAGER'S REPORT

Michael Clark gave a monthly development update and introduced Adam Culpepper as the new Senior Planner.

Chris Ray spoke about the intersection improvement project at Green Pace and Arendell.

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Bobby Fitts reported the following budget transfers:

Planning:

Moved \$4,500 from Salaries to Travel & Training;
Moved \$4,000 from Minimum Housing to Professional Services

Property & Project Management:

Moved \$1,700 from Insurance & Bonds - \$600 to Cell Phones and \$1,100 to Community Center Electricity;
Moved \$750 from Municipal Complex Natural Gas to Public Works Facility Natural Gas

Operations:

Moved \$10,000 from Salaries - \$5,000 to Professional Services and \$5,000 to Contract Services - Streets;
Moved \$2,500 from Insurance & Bonds to Vehicle Maintenance;
Moved \$1,500 from Materials & Supplies (Snow & Ice) to Materials & Supplies (Stormwater).

Parks & Recreation:

Moved \$5,000 from Athletics to Part-time Salaries (Athletics);
Moved \$5,000 from Salaries to Part-time Salaries (Athletics);
Moved \$2,500 from Travel & Training to Grounds Maintenance;
Moved \$1,500 from Cemetery Landscape to Grounds Maintenance;
Moved \$5,000 from Community Center Programs to Part-time Salaries (Community Center);
Moved \$5,000 from Salaries to Part-time Salaries (Community Center);
Moved \$400 from Computers to Postage/Telephone.

Joe Moore gave an overview of topics for the upcoming work session on March 16.

Commissioner Baxter stated the Main Street conference ended at noon on March 16, 2023 and thought it would be best to move the start time for the work session to begin later.

Commissioner Baxter made a motion, second by Commissioner Loucks to move the meeting time to 6:00pm on March 16, 2023.

Commissioner Miles asked for an explanation of the minimum housing budget transfer. Michael Clark stated it was a form of enforcement that made sure dwellings were fully occupiable and the funds were transferred because it was unlikely there would be any more projects within the fiscal year.

Mayor York stated there would be a five-minute recess.

The meeting was called back into session at 9:06pm.

Mayor York stated the Board would go into closed session to instruct staff concerning the position to be taken in negotiating the acquisition of real property per GS 143-381.11(a)(5).

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Commissioner Loucks made a motion, second by Commissioner Clark to go into closed session. There was no discussion and the motion passed unanimously.

NOTE: In closed session, Commissioner Baxter made a motion, second by Commissioner Clark to come out of closed session. There was no discussion and the motion passed unanimously.

Commissioner Loucks made a motion, second by Commissioner Clark to approve Ordinance 2023-31 and Ordinance 2023-32. There was no discussion and the motion passed unanimously.

Commissioner Loucks made a motion, second by Commissioner Clark to adjourn. There was no discussion and the motion passed unanimously.

Adopted this the 3rd day of April 2023.

Glenn L. York—Mayor

SEAL

Lisa M. Markland, CMC—Town Clerk

Zebulon
Joint Public Hearing
Minutes
March 13, 2023

Present: Glenn York, Quentin Miles, Beverly Clark, Shannon Baxter, Jessica Harrison, Larry Loucks, Joe Moore-Town Manager, Lisa Markland-Town Clerk, Stacie Paratore-Deputy Town Clerk, Michael Clark-Planning, Jacqui Boykin-Police, Bobby Fitts-Finance, Adam Culpepper-Planning, Chris Ray-Public Works, Chris Perry-Fire, Sheila Long-Parks and Recreation, Sam Slater-Attorney

Planning Board Present: David Lowry, Michael Germano, Laura Johnson, Domenick Schilling, Stephanie Jenkins, Peggy Alexander, Genia Newkirk

Mayor York called the meeting to order at 6:00pm.

APPROVAL OF THE AGENDA

Commissioner Baxter made a motion, second by Commissioner Loucks to approve the agenda. There was no discussion and the motion passed unanimously.

PUBLIC HEARING

A. CZ 2023-02 0 Weavers Pond Dr. (Wall Purdy Tract)

Mayor York opened the Public Hearing.

Michael Clark stated the applicant, Weaver's Pond Development Company, LLC was requesting a 43.61 acre parcel be rezoned from R-40W to Residential Neighborhood-Conditional (R4-C) District for the development of an 87-lot residential subdivision. This property was currently outside of the Town's planning jurisdiction and the applicant was seeking annexation simultaneously with the rezoning application.

The property was adjacent to the Weaver's Pont subdivision and proposed connection through the extension of two Town-maintained stub streets. The applicant was not requesting any deviations from the Ordinance.

The Unified Development Ordinance (UDO) Section 2.2.6.K provided the following standards for the Board to base their decision on the rezoning request:

1. Whether the proposed conditional rezoning advanced the public health, safety, or welfare;
2. Whether and the the extent to which the proposed conditional rezoning was appropriate for its proposed location, and was consistent with the purposes, goals, objectives, and policies of the Town's adopted policy guidance;
3. Whether an approval of the conditional rezoning was reasonable and in the public interest;
4. Whether and the extend to which the concept plan associated with the conditional rezoning was consistent with this Ordinance; and
5. Any other factors as the Board of Commissioners may determine to be relevant.

Part of the parcel was located within the watershed district. If the Board approved the rezoning it would automatically amend the future land use plan.

The Public Hearing notification process was detailed, and the aerial map was shown.

Michael Clark stated the applicant worked with Planning staff for months to achieve a proposal compliant with the UDO. The original proposal and the current proposal were detailed. The current proposal included:

- 87 lots
- Minimum lot width: 70 ft
- Minimum lot size: 8,700 sq. ft
- Greenway connection to Weavers Pond
- Architectural commitments to provide variety in housing stock

The concept plan, amenity plan and proposed elevations were shown. Mr. Clark explained the developer was exceeding the required UDO conditions by including:

- Commitment to residential design guidelines of Sec. 5.2 of the UDO
- Minimum two-car garage; doors with windows and carriage hardware
- Side loaded garages minimum 20% of homes
- Wrap around front porched minimum 20% of homes
- Garage doors recessed behind the front plain of home
- Cement fiber siding with brick/stone accents (no vinyl siding)
- Rear patio or deck minimum 100 sf ft
- Entire yard will be sodded
- Amenities included dog park, walking trails and open space
- HOA will limit number of rentals homes to a maximum of 20%

Staff stated the development offered a different product type, lower density, and a greenway expansion.

Mayor York asked if the Board had any questions.

Commissioner Baxter stated the stub streets to the north and the east indicated there was potential to continue development into the watershed. Michael Clark explained Wake County regulations allowed low density development into those areas and would be required to be on well and septic. The adjacent tracts would remain under Wake County's R40 zoning.

Commissioner Baxter stated she knew the development was submitted before the Utility Allocation Policy was adopted but asked for an indication of the points for the project. Staff explained items such as the private greenway connection, dog park, pollinator garden, and architecture design regulations added points but due to the number of proposed lots staff estimated the number would be under 60 points.

Commissioner Harrison expressed concerns with the elevations looking similar to Weaver's Pond and asked how the applicant was planning to make them look different. Michael Clark stated the

architectural features exceeded what was being constructed in other phases and gave some examples.

There was discussion about the Traffic Impact Analysis (“TIA”) that was performed. Staff clarified the Town’s TIA threshold was 100 peak trip generation units and the development did not warrant a TIA since it included 87 homes. Although not required, the applicant did perform a TIA for the development.

Mayor York asked if the Planning Board had any questions.

Michael Germano expressed concerns over stubs in new developments making it difficult for public safety to maneuver during an emergency.

Jacqui Boykin discussed how the Police Department decentralized their personnel and how they were accommodating a growing Town.

Chris Perry spoke about the turn around requirements for fire trucks and gave details how calls were dispatched.

Commissioner Miles had concerns about how long it took to get into the entrance of the community and the number of cars double parked.

Chris Perry spoke about the Fire Department’s four-minute travel goal. Most of Weaver’s Pond was outside that limit because of the location. An example of how the Department used Hopkins Fire Department as a resource for calls was given.

Michael Germano asked about the minimums of the architectural materials. Mr. Clark stated there were minimum percentages and that could be discussed with the applicant.

Jason Barron, with Morningstar Law Group, commended the staff for their work on the application and spoke about how the development reinforced the values of the Comprehensive Land Use Plan. An aerial map, amenity area, and elevation examples were shown. There were 21 architectural commitments that went beyond the ordinance and highlights of those were detailed.

Mr. Barron spoke about the growth of the Town and the need for more housing. The amenity area of the development provided dog parks, playground, maintained open space and walking trails.

There was discussion about stub streets and Mr. Barron stated the stub roads existed to facilitate future development.

Commissioner Baxter stated she felt the 20% rental limit was high. Mr. Barron stated he would check the number with his client to see if it could be lowered.

Commissioner Harrison asked if homeowners could use the amenities at Weaver’s Pond and Mr. Barron confirmed they could not.

Commissioner Loucks suggested adding school bus shelters in the neighborhood.

Domenick Schilling asked why the applicant was able to request conditional rezoning with annexation for the property but not apply for the remaining stub streets. Staff stated initially the development was one tract, but the UDO did not allow partial rezonings. The remainder would be in the county and fall under county regulations. The stub streets created interconnectivity to provide additional services and reduce the response times for emergency services. The remainder of the parcel was in the watershed district and utility connections were prohibited.

Jeremy Potter, of Ramey Kemp and Associates, performed the Traffic Impact Analysis (“TIA”) for the project.

Commissioner Baxter expressed concerns about the traffic 87 additional homes traveling through Weaver’s Pond would cause. Mr. Potter stated the study was based on 105 homes and did not cause any additional impacts to be mitigated based upon the trips. The intersections would be monitored through build out for future signalization.

There was discussion about the analysis done and peak hour warrant.

Commissioner Miles had concerns about traffic at Pearces, Pippin and Proctor. Mr. Potter stated the traffic from the 87 homes did not necessitate any additional roadway improvements.

Commissioner Loucks had traffic concerns and suggested adding the signal at 96 and Green Pace Road to a traffic study. Mr. Potter stated the parameters of the study were discussed with NCDOT and the Town and that intersection was outside the parameters agreed upon.

Michael Germano had concerns about congestion of the interior streets in the community and thought the traffic issues would worsen on Pippin Road with the new development. Mr. Potter stated the background traffic was included in the analysis and the volume traffic increased 3%. There was discussion about how traffic at Wakelon Elementary was accounted for and information given about the peak hour counting period.

Domenick Schilling suggested the study areas be widened. Michael Clark explained after the TIA was done the department’s internal process was changed to look at a wider area in TIA studies and gave an example.

Mr. Potter spoke about how TIA studies build upon other studies that were approved and offered clarification on some verbiage in the study.

Michael Germano had concerns about the 3% traffic growth rate used in the study and thought the Town’s should be higher. Michael Clark stated the traffic rate and growth rate were not the same. Mr. Potter explained it was a longer trend of growth and the 3% was vetted by NCDOT and the Town.

Mr. Potter spoke about peak hour warrants and how they were satisfied. When warrants were satisfied, improvements could be considered but were not warranted. The final decision would be made by NCDOT.

Commissioner Baxter stated the Town was growing higher than 3% and the growth had a cumulative effect inside the municipality.

Commissioner Loucks asked about the study area and validation of the previous studies that were used with the current study. Mr. Potter explained the area was agreed upon with NCDOT and spoke about why older studies were used with the current study.

Jason Barron stated his client was willing to change the rental maximum to 10% and they were researching school bus stops. Michael Clark stated Wake County Public Schools moved bus stops according to the route demands. Staff encouraged getting confirmation from Wake County Public Schools before building a school bus stop area in a neighborhood.

Commissioner Miles had concerns the development would have an impact on traffic, public safety, and Town personnel.

Mayor York asked if there were anymore questions. There were none.

Mayor York asked if anyone wished to speak in favor.

Lillian Ruth, Lacewing Drive, spoke about the speeding issue in Weaver's Pond and Pippin Rd, issues with littering and people not cleaning up after their pets.

Mayor York asked Ms. Ruth if her comments were in favor or opposition. Ms. Ruth clarified that her comments were in opposition.

Mayor York asked if anyone wished to speak in favor. There were none.

Mayor York asked if anyone wished to speak in opposition.

Markea Armond, Weaver's Pond, stated the Weaver's Pond HOA Board was controlled by the developer and spoke about her experience with rentals in the neighborhood.

Ted Taylor, Weaver's Pond, had concerns for emergency service response times with new houses being built and increased traffic.

Mayor York asked if anyone else wished to speak in opposition. There were none.

Commissioner Miles read some comments that were posted online.

Commissioner Baxter stated citizens had to submit their comments to the Town Clerk to be read into the record.

Joint Public Hearing
Minutes
March 13, 2023

Mayor York asked if anyone else wished to speak. There were none.
Mayor York closed the public hearing and referred the matter to the Planning Board.

Commissioner Loucks made a motion, second by Commissioner Harrison to adjourn the meeting.
There was no discussion and the motion passed unanimously.

Adopted this the 3rd day of April 2023.

Glenn L. York—Mayor

SEAL

Lisa M. Markland, CMC—Town Clerk

Zebulon Board of Commissioners
Work Session
Minutes
March 16, 2023

Present: Mayor Glenn York, Beverly Clark, Quentin Miles, Shannon Baxter, Jessica Harrison, Larry Loucks, Joe Moore-Town Manager, Stacie Paratore-Deputy Town Clerk, Chris Perry-Fire, Chris Ray-Public Works, Sheila Long-Parks and Recreation, Bobby Fitts-Finance, Jacqui Boykin-Police, Michael Clark-Planning, Eric Vernon-Attorney

Mayor York called the meeting to order at 6:00pm.

APPROVAL OF AGENDA

Commissioner Baxter asked to add an additional closed session for property acquisition per N.C. General Statute § 143-318.11(a)(5).

Commissioner Baxter made a motion, second by Commissioner Harrison to approve the agenda as amended. There was no discussion and the motion passed unanimously.

Joe Moore spoke about the topics to be presented at the meeting.

FY '23 QUARTERLY REPORT: PARKS AND RECREATION

Sheila Long spoke about the vision goals for the department. The focus was to maximize resources and impacts by implementing the Master Plan and expanding those who are served.

A detailed evaluation of the RecDesk software was given. Staff spoke about the changes that were made to provide better customer services. It was also stated a site translator was added to provide 132 languages as well as the facility use forms and registration forms were translated to Spanish.

There were updates given about the financial aid scholarship fund, recreation impact fees, completed capital projects, capital projects that were still in progress and athletics. Ms. Long spoke about the trends in sports since 2019. There was a rapid growth in soccer and basketball and baseball and softball remained consistent. The need for volunteers was growing.

Ms. Long spoke about the maintenance trends. Staff was seeing an increase in event support and expanding greenway network. With more people using the parks vandalism and litter had increased in the parks and was requiring more time from maintenance staff. There was also a need to increase the frequency of the application of playground safety surfacing and turf applications.

Some of the Parks and Recreation FY'24 requests included a full-time Parks and Facility Worker, general supply increases and repair increases.

Some outreach opportunities from the past year were the mobile market, Christmas blessing boxes, a toy drive, Santa letters, a blood drive and the Youth Service Provided Network. Some of the recent outreach opportunities were detailed.

The department added more fitness programs and had seen a 25% increase over the last year. Ms. Long spoke about how recreation had changed over the years and how the department was expanding their offerings to reach more people. Some new programs included special population programs and nature programs.

Sheila Long spoke about the various partnerships and community support. There were a series of events hosted by the Town this past year including movie nights, concert series, Veteran's Day celebration, Candy Cane Lane, winter celebration and Spring Fest. Ms. Long explained there would be expanded offerings and enhanced safety measures included in the FY '24 budget request.

Staff worked on adapting space at the Community Center by creating an early education sensory room. There had been 123 registered users utilize the space. Some future considerations would be to turn the exercise room into a multipurpose room and the warming kitchen into a learning kitchen.

Sheila Long stated there was a need to expand the operating hours of the Community Center to be open on Saturdays and there was discussion about transitioning the Community Center into a Recreation Center. The differences of each and how they operated were detailed.

There was a review of the operating budget for FY '24. In order to serve a growing town, the Department would need to:

- Meet growing need of athletics programs
- Respond to park and facility use increases
- Adapt use of the Community Center
- Respond to expanding efforts, inflation and cost increases

Mayor York asked about the age group for pickleball. Ms. Long explained it was primarily for adults, but more youth were participating in the sport.

Commissioner Harrison asked Sheila Long to send the Board the Parks and Recreation career ladder.

Sheila Long passed out a Parks and Recreation quarterly report handout for October 2022 to December 2022.

Joe Moore stated there was a big need for volunteers and encouraged the Board to share with anyone who wanted to be engaged in the community.

FY '23 QUARTERLY REPORT: PLANNING

Michael Clark spoke about the Planning Department's current services. The department's objectives were to give exceptional customer service, improve efficiencies, have a clean and safe environment and competent and timely reviews.

The growth trends from 2017 to 2022 and the population projections for Wake, Franklin and Johnston County for 2020, 2030, 2040 and 2050 were shown.

The current capabilities and staff structure were shown, and Mr. Clark spoke about ways the department was investing in staff.

Some of the capital action items included a downtown sub-area plan, design downtown bulb-outs and a plotter/scanner. A summary of the FY '24 budget requests were detailed as well as the long-range needs.

Commissioner Miles asked about the Planning Department's administrative assistant. Mr. Clark stated there was a Planning Technician and spoke about their duties. There was discussion about Michael Clark being the Economic Development Specialist's supervisor and how that could change in the future.

There was a question about why it was difficult to hire planning staff and the AICP exam requirements. Mr. Clark gave background on the hiring challenges and offered details about the AICP exam.

Mayor York stated there would be 10-minute recess.

The meeting was called back into session.

FY '23 QUARTERLY REPORT: LEGAL

Eric Vernon spoke about the duties and responsibilities of the Town attorney. There was a year to year cost comparison done comparing costs for meetings, growth driven, intergovernmental, departmental services and other non-recurring matters. It was stated growth and growth-related legal services were the most significant driver of legal services.

Wyrick's legal department members were shown and the year's key projects were detailed. The FY '24 budget for legal services was \$275,000.

BOND REFERENDUM: BOND AMOUNT, TYPE AND TIMING

Joe Moore stated the Board would receive information to help them decide if they wanted to place a bond referendum on the November 2023 ballot.

Bobby Fitts gave a timeline of next steps for the bond referendum. Staff performed an affordability analysis and stated the amounts for the projects were as follows:

- Transportation: \$15M
- Fire: \$18M
- Parks: \$15M
- Facility (PW, FCS, TH): \$15M

Ted Cole from Davenport performed two affordability analyses for the Board to consider and those two options were detailed to the Board.

Commissioner Baxter asked what tier staff used for Five County Stadium. Joe Moore stated it included the first phase.

The Board did a project prioritization exercise to help them determine which projects were most important to them.

The project in order of priority were:

- N. Arendell Access Management
- Proctor/Pearces Roundabout
- Fire Station #1
- Little River Park Phase I
- Greenway

Board of Commissioners
Minutes
March 16, 2023

- Five County Stadium – Basic Player Development League Requirements
- Little River Park Phase 2
- Public Works Expansion
- New Park
- Community Park
- Fire Station #2
- Little River Park Phase 3
- Five County Stadium – PDL Requirements and Fan Expansion
- Town Hall Campus Expansion
- Town Hall Renovation
- Five County Stadium 0 Expanded Player Development League Requirements

SPECIAL EVENTS: ALCOHOL CONSUMPTION STANDARDS AND PARADE GUIDANCE
Sheila Long spoke about the timeline for Special Events Standards. Staff made the Board's requested changes on parades and alcohol consumption.

Staff recommended adoption of the amendments to the Special Event Standards subject to any final edits and corrections included by Board motion.

Commissioner Loucks asked if the standards included the Chamber of Commerce and Ms. Long stated it applied to any event on Town property.

Commissioner Miles asked if the 15-member limit could be removed from the parade section. There was clarification that it was for 15 members together in the parade not a limit of 15 for the parade.

Commissioner Loucks made a motion, second by Commissioner Harrison to approve the special events standards.

Commissioner Miles stated the document had both standards and policies which made it unclear. Commissioner Baxter showed an example on page one where it referred to a special events policy versus a standard. Sheila Long stated she could make the grammatical change.

There was no further discussion and the motion with a vote 4 to 1 with Commissioner Loucks, Harris, Clark and Baxter voting in favor and Commissioner Miles voting in opposition.

SPECIAL CALLED MEETING: MARCH 29, 2023 AT 6:00PM AT FIVE COUNTY STADIUM
Joe Moore stated the Town was hosting the next East Wake Local Government Association meeting and recommend the Board call a special meeting.

Commissioner Baxter made a motion, second by Commissioner Miles to hold a special called meeting on March 29, 2023 at 6:00pm at Five County Stadium for the East Wake Local Government Association meeting. There was no further discussion and the motion passed unanimously.

CLOSED SESSION

Per N.C. General Statute § 143-318.11(a)(3): for the purpose to consult with an attorney.

Per N.C. General Statute § 143-318.11(a)(5): for the purpose to instruct staff concerning the position to be taken in negotiating the acquisition of real property.

Commissioner Clark made a motion, second by Commissioner Miles to go into closed session. There was no discussion and the motion passed unanimously.

NOTE: In closed session, Commissioner Baxter made a motion, second by Commissioner Loucks to come out of closed session. There was no discussion and the motion passed unanimously.

Commissioner Baxter made a motion, second by Commissioner Harrison to adjourn. There was no discussion and the motion passed unanimously.

Adopted this the 3rd day of April 2023.

Glenn L. York—Mayor

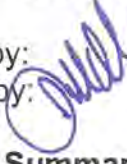
SEAL

Lisa M. Markland, CMC—Town Clerk

Topic: FY 2023 Monthly Financial Statement Update

Speaker: Bobby Fitts, Finance Director (if pulled from Consent)

Prepared by: Bobby Fitts, Finance Director

Approved by:  Joseph M. Moore II, PE, Town Manager**Executive Summary:**

A monthly report summarizing the status of the Town's revenues and expenditures.

Background:

The attached financials include information through March 20, 2023.

Information:Expenditures

Approximately 8 ½ months (63%) into Fiscal Year 2023, the Town has spent approximately 48% (~ \$10,614,000) of its General Fund budget of \$22,025,529. Some departments with higher expenditures reflect large purchases made early in the fiscal year (e.g., excavator, annual property & liability and workers compensation premiums, annual software fees, and completed paving project).

Revenues

- Property Tax (50% of annual revenues (the Town's largest revenue stream))
 - + FY 2023 collections: \$9,862,958 collected to date (~108.3% of budget).
 - + Observations:
 - # Tax base growth: 23.8% more than collected last fiscal year (\$7,964,886). Initial assessed value totals show a 20% increase (\$260 million) over last year. This would equate to roughly \$2 million in additional tax revenue.
 - # Vehicle taxes: Eight months of vehicle taxes have been collected for FY 2023 is 15.8% higher than last year. To date this year, we have collected on 351 more vehicles registered within Town limits than we did last year through the same period (+9.5%). A total of 481 additional vehicles year over year.
- Sales Tax (12% of annual revenues (second largest revenue stream))
 - + December's sales (reports lag 3-months):
 - # \$23,969 (11.9%) more collected than last December for all sales tax.
 - # \$9,962 (11.0%) more collected than last December for "local" sales tax.
 - # "Local" sales tax (Article 39) is generated within, and returns to, Wake County.
- Utilities Sales Tax (5% of revenue stream): Second quarter distribution received 3/15.
 - + \$4,203 (2.9%) collected over FY 2022 actual for same quarter
 - + Reflects natural gas and electricity sales and heavily weather dependent.
- Permits & Zoning
 - + \$160,595 collected total (64% of budgeted revenues (\$250,000))
 - + 11.3% more than what was collected this month last fiscal year (\$144,220). Single-Family Dwelling permits were down to 6 in January after a busy stretch from September to December that averaged 42/month. Activity picked back up in February with 36 permits issued.

- Parks & Recreation
 - + \$136,478 collected total (181% of budgeted revenues (\$75,500))
 - + 48.5% more than what was collected this month last fiscal year (\$91,880).
- Transportation Impact Fees
 - + \$666,370 collected to date. This reflects 422 homes and 261 townhomes. Homes and townhomes respectively generate 9.43 and 7.2 trips per day on average.
 - + 282% more than what was collected last fiscal year (\$236,030)
- Recreation Impact Fees
 - + \$2,049,000 collected to date. This reflects 683 single-family homes which are \$3,000 per unit.
 - + Fee has only been collected since January 2022 (\$3,392,000 has been collected since inception)

Policy Analysis: N/A

Financial Analysis:

Budgeted revenue in FY 2023 is \$22,025,529 while year to date revenue collected is \$17,341,358 (78.7% of budgeted). Budgeted revenue includes \$5.7M Fund Balance, meaning this amount of Unassigned Fund Balance has been appropriated.

Staff Recommendation:

No staff recommendation or Board action is necessary. This update is informational only.

Attachments:

1. General Fund Fiscal Year 2023 Expenditure Statement and Revenue Statement (as of March 20, 2023)
2. Sales Tax – FY 2023

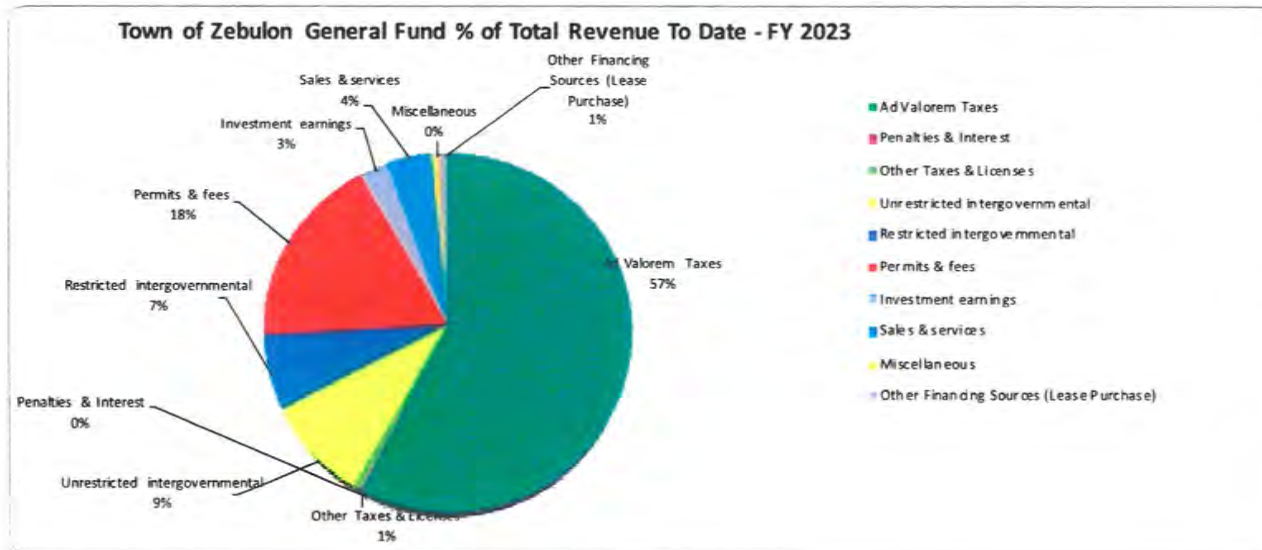
ZEBULON

NORTH CAROLINA

TOWN OF ZEBULON
 Revenue Statement: 2022 - 2023
 for Accounting Period 6/30/2023
 GENERAL FUND

As of 3/20/2023

<u>Revenue Categories</u>	<u>Estimated Revenue</u>	<u>Revenue YTD</u>	<u>% Collected</u>	<u>% of Total Revenue YTD</u>
Ad Valorem Taxes	\$9,152,000	\$9,974,033	109.0%	57.5%
Penalties & Interest	\$15,000	\$22,848	152.3%	0.1%
Other Taxes & Licenses	\$175,500	\$125,675	71.6%	0.7%
Unrestricted intergovernmental	\$2,576,800	\$1,564,691	60.7%	9.0%
Restricted intergovernmental	\$2,114,760	\$1,161,149	54.9%	6.7%
Permits & fees	\$1,006,750	\$3,069,274	304.9%	17.7%
Investment earnings	\$3,000	\$488,176	16272.5%	2.8%
Sales & services	\$944,900	\$683,859	72.4%	3.9%
Miscellaneous	\$130,809	\$96,652	73.9%	0.6%
Other Financing Sources (Lease Purchase)	\$155,000	\$155,000	0.0%	0.9%
Fund Balance Appropriated	\$5,751,010	\$0	0.0%	0.0%
Total Revenues	\$22,025,529	\$17,341,358	78.7%	100%



ZEBULON

NORTH CAROLINA

TOWN OF ZEBULON

Expenditure Statement:2022 - 2023

for Accounting Period 6/30/2023

GENERAL FUND

As of 3/20/2023

<u>Dept #</u>	<u>Department</u>	<u>Approp Amount</u>	<u>Expenditure YTD</u>	<u>% Exp.</u>
410	GOVERNING BODY	\$668,715	\$296,420	44.3%
420	FINANCE	\$460,200	\$348,150	75.7%
430	ADMINISTRATION	\$1,529,088	\$801,952	52.4%
490	PLANNING AND ZONING	\$655,280	\$397,526	60.7%
500	PUBLIC WORKS-PROPERTY & PROJECT MGMT	\$2,136,151	\$822,134	38.5%
510	POLICE	\$3,546,151	\$2,386,067	67.3%
520	PUBLIC WORKS-OPERATIONS	\$5,056,642	\$1,998,588	39.5%
530	FIRE	\$3,294,210	\$1,954,879	59.3%
570	POWELL BILL	\$513,772	\$468,953	91.3%
620	PARKS & RECREATION	\$2,602,420	\$1,062,970	40.8%
690	COMMUNITY & ECONOMIC DEVELOPMENT	\$1,562,900	\$76,683	4.9%
	Total Expenditures	\$22,025,529	\$10,614,321	48.2%

Sales Tax

FY 2023

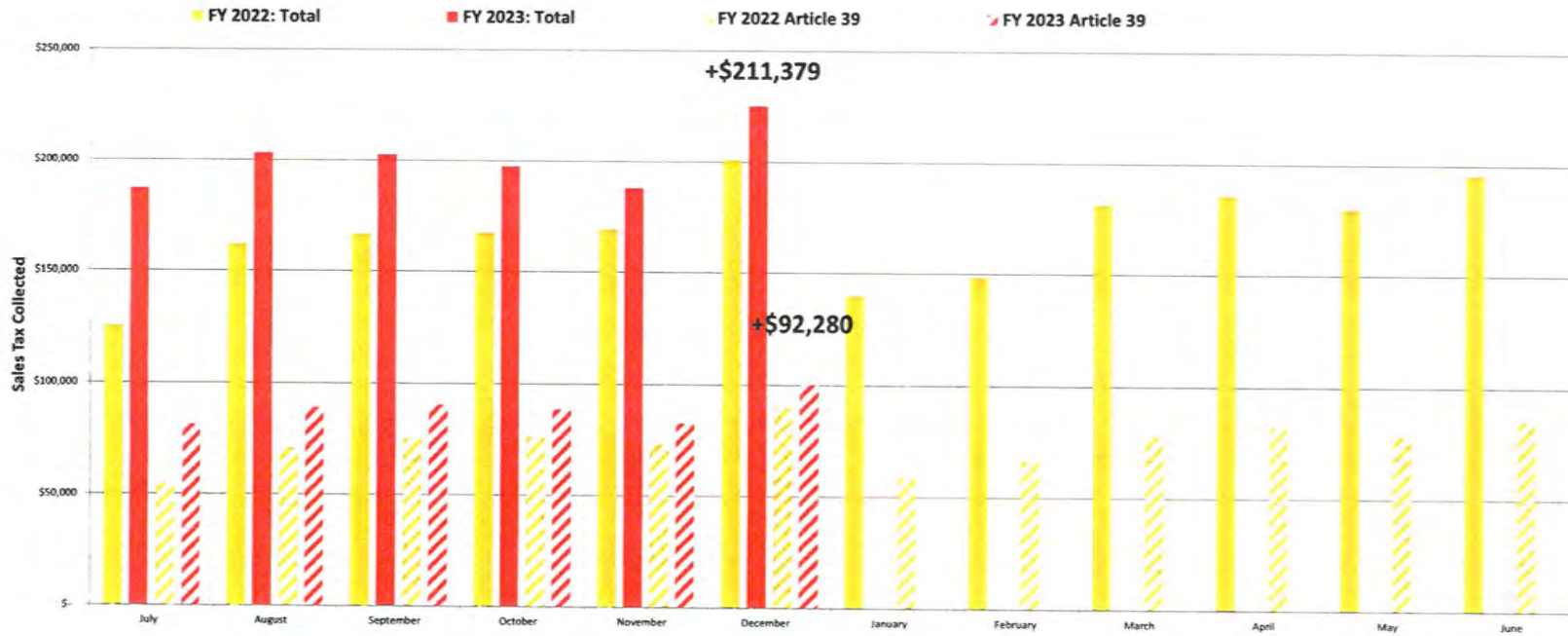
Month	Article 39 (1) *	Article 40 (1/2)	Article 42 (1/2)	Article 44 (1/2)	City Hold Harmless	FY 22 Totals	Prior Year (FY 2022)	% Inc (Dec) from Prior Yr
July	\$ 81,324	\$ 35,456	\$ 40,808	(1) \$	29,723	\$ 187,311	\$ 125,560	49.2%
August	89,152	37,948	44,690	1	31,591	203,381	162,100	25.5%
September	90,401	37,188	45,331	(9)	29,910	202,821	167,034	21.4%
October	88,724	35,842	44,468	(2)	28,631	197,664	167,586	17.9%
November	82,782	35,160	41,563	1	28,664	188,169	169,657	10.9%
December	100,596	41,335	50,512	0	32,950	225,394	201,425	11.9%
January	-	-	-	-	-	-	140,273	-100.0%
February	-	-	-	-	-	-	148,707	-100.0%
March	-	-	-	-	-	-	181,841	-100.0%
April	-	-	-	-	-	-	186,154	-100.0%
May	-	-	-	-	-	-	180,133	-100.0%
June	-	-	-	-	-	-	195,892	-100.0%
Total	\$ 532,980	\$ 222,929	\$ 267,372	(9) \$	181,468	\$ 1,204,740	\$ 993,362	21.3%

FY 2022

Month	Article 39 (1) *	Article 40 (1/2)	Article 42 (1/2)	Article 44 (1/2)	City Hold Harmless	FY 22 Totals	Prior Year (FY 2021)	% Inc (Dec) from Prior Yr
July	\$ 54,740	\$ 23,633	\$ 27,374	(8) \$	19,820	\$ 125,560	\$ 106,293	18.1%
August	70,908	30,305	35,575	0	25,312	162,100	98,134	65.2%
September	75,195	30,242	37,636	(8)	23,969	167,034	107,017	56.1%
October	76,033	30,096	38,111	1	23,345	167,586	105,056	59.5%
November	73,190	32,351	36,680	0	27,435	169,657	111,773	51.8%
December	90,634	36,407	45,390	6	28,988	201,425	128,204	57.1%
January	59,259	27,588	29,798	(0)	23,629	140,273	107,034	31.1%
February	67,203	26,858	33,643	(3)	21,007	148,707	85,810	73.3%
March	78,105	34,810	39,178	(0)	29,749	181,841	121,143	50.1%
April	82,591	34,357	41,347	4	27,856	186,154	115,436	61.3%
May	78,526	33,955	39,398	0	28,254	180,133	120,866	49.0%
June	85,604	36,686	42,943	(0)	30,659	195,892	129,315	51.5%
Total	\$ 891,987	\$ 377,287	\$ 447,074	(8) \$	310,023	\$ 2,026,362	\$ 1,336,082	51.7%

* Net proceeds of the Article 39 tax are returned to the county of origin.

Monthly Summary of Sales Tax Collected





Board of Commissioners

P.O. Box 550 • Raleigh, NC 27602

TEL 919 856 6180
FAX 919 856 5699

SHINICA THOMAS, CHAIR
SUSAN EVANS, VICE-CHAIR
VICKIE ADAMSON
MATT CALABRIA
DON MIAL
CHERYL STALLINGS
JAMES WEST

March 7, 2023

Ms. Lisa Markland
Town Clerk
Town of Zebulon
1003 North Arendell Avenue
Zebulon, North Carolina 27597

Dear Ms. Markland:

The Wake County Board of Commissioners, in regular session on March 6, 2023, approved and accepted the enclosed tax report for the Town of Zebulon.

The attached adopted actions are submitted for your review; no local board action is required.

Sincerely,

A handwritten signature in cursive script that reads "Yvonne Gilyard".

Yvonne Gilyard
Clerk to the Board

Wake County Board of Commissioners

Enclosure(s)



Wake County Tax Administration

Rebate Details

01/01/2023 - 01/31/2023

ZEBULON

DATE

02/20/2023

TIME

10:20:58 AM

PAGE

1

REBATE NUMBER	PROPERTY	CITY TAG	LATE LIST	BILLED INTEREST	TOTAL REBATED	PROCESS DATE	ACCOUNT NUMBER	TAX YEAR	BILLING YEAR	BILLING TYPE	OWNER
INDIVIDUAL PROPERTY ACCOUNTS											
836851	89.68	0.00	8.97	0.00	98.65	01/20/2023	0006954918	2022	2022	000000	LITTLE, YASMINE PATRICE
SUBTOTALS FOR INDIVIDUAL PROPERTY ACCOUNTS											
	89.68	0.00	8.97	0.00	98.65		1	Properties Rebated			
INDIVIDUAL REAL ESTATE ACCOUNTS											
836457	415.24	0.00	0.00	0.00	415.24	01/17/2023	0000355947	2022	2022	000000	TOWNES, MABLE VERNESE
SUBTOTALS FOR INDIVIDUAL REAL ESTATE ACCOUNTS											
	415.24	0.00	0.00	0.00	415.24		1	Properties Rebated			
TOTAL REBATED FOR ZEBULON											
	504.92	0.00	8.97	0.00	513.89		2	Properties Rebated for City			



Wake County Tax Administration

Rebate Details

01/01/2023 - 01/31/2023

ZEBULON

DATE

02/20/2023

TIME


10:20:58 AM

PAGE

1

REBATE NUMBER	PROPERTY	CITY TAG	LATE LIST	BILLED INTEREST	TOTAL REBATED	PROCESS DATE	ACCOUNT NUMBER	TAX YEAR	BILLING FOR	OWNER TYPE
Grand Total:	32,651.81	330.00	577.79	0.00	33,559.60			76	Properties Rebated for All Cities	

STAFF REPORT
ORDINANCE 2023-30
921 & 1015 PEARCES ROAD,
0, 9102, 9136 PIPPIN ROAD
ANNEXATION REQUEST
APRIL 3, 2023

Topic: Ordinance 2023-30 - 921 & 1015 Pearces Road;
0, 9102, 9136 Pippin Road - Annexation Request
Speaker: Joseph M. Moore II, PE, Town Manager
From: Michael J. Clark, AICP, CZO, Planning Director
Prepared by: Michael J. Clark, AICP, CZO, Planning Director
Approved by:  Joseph M. Moore II, PE, Town Manager

Executive Summary:

The Board of Commissioners will consider the voluntary annexation petition for 5 parcels, at 921 & 1015 Pearces Road and at 0, 9102, 9136 Pippin Road.

Background:

The governing board of any municipality may annex any area contiguous to its boundaries upon presentation of a petition signed by the owners of all the real property located within such area (NCGS §160A-58.1). The Town Clerk has certified the annexation request for sufficiency.

The Board of Commissioners held a public hearing at the March 6, 2023, meeting. No one from the public was present to speak in favor or opposition to the requested annexation. The Board voted to table the decision to allow time to review the Transportation Impact Assessment.

Discussion:

The discussion before the Board of Commissioners is whether to annex the subject tract of land into the Town of Zebulon Corporate Limits.

Unified Development Ordinance Section 2.2.2.G provides standards for the Board to consider when rendering a decision. These are as follows:

1. The annexation petition bears the signatures of all landowners within the area to be annexed;
2. The area to be annexed can be adequately served by the same municipal services provided within the Town's primary corporate limits;
3. The debt obligations from serving the subject lands do not exceed the anticipated revenues to the Town; and
4. The public health, safety, and welfare of Town residents and the residents of the lands proposed for annexation will be best served by the annexation.

Policy Analysis:

This annexation petition is consistent with the Comprehensive Plan requiring annexation of properties requesting water and sewer services to the site. The property is located within the Town of Zebulon's Extraterritorial Jurisdiction, meaning its annexation was expected and is keeping with the Comprehensive Plan.

STAFF REPORT
ORDINANCE 2023-30
921 & 1015 PEARCES ROAD,
0, 9102, 9136 PIPPIN ROAD
ANNEXATION REQUEST
APRIL 3, 2023

Financial Analysis:

The Town will increase property tax revenue by approximately \$14,120.22 for annexing the parcels in their current state. The estimated tax revenue generated post development is approximately \$362,000 per year.

Staff Recommendation:

Staff recommends acceptance of public comment and approval of the annexation as it is consistent with Comprehensive Plan policies and Ordinance 2023-30.

Attachments:

1. Application
2. Certificate of Sufficiency
3. Boundary Survey
4. Aerial Map
5. Zoning Map
6. ETJ Map
7. Land Use Map
8. Clifton Grove Site Plan
9. Site Pictures
10. Public Hearing Notice
11. 150' Radius of Notified by Mailed Property Owners
12. NCGS 160A-31
13. Ordinance 2023-30



APPLICATION FOR ANNEXATION

PART 1. DESCRIPTION OF REQUEST/PROPERTY		
Signed Address of the Property: 481 Pearlar Rd / 1015 Pearcross Rd / 0 Pippin Rd / 9136 Pippin Rd		Total Acreage: 120.52 AC
Parcel Identification Number (NC PD#): Please include all	Deed Book	Deed Page(s):
2706-06-4044	015098	02507
2706-07-5465	017407	01064
1796-96-0562	014535	02323
1796-96-4306	019828	02500
2706-15-4262	017360	01001
Name of Project (if Applicable): Clifton Grove	Current Zoning of the Property:	
Existing Use of the Property: Vacant Farm / SF House	Proposed Use of the Property: Conservation Subdivision	
Reason for Annexation: Utility Connections		

PART 2. APPLICANT/AGENT INFORMATION		
Name of Applicant/Agent: DR Horton - Central Carolina		
Street Address of Applicant/Agent: 2000 Aerial Center Parkway, Stall10		
City: Morrisville	State: NC	Zip Code: 27560
Email of Applicant/Agent: JLeeper1@DRHorton.com	Telephone Number of Applicant/Agent:	Fax Number of Applicant/Agent:
Are you the owner of the property? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Are you the owner's agent? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Note: If you are not the owner of the property, you must obtain the Owner's consent and signature giving you permission to submit this application.

PART 3. SURVEYOR INFORMATION		
Name of Surveyor: Randy D MASON		
Street Address of Surveyor: 1017 Passport way		
City: CARX	State: N.C.	Zip Code: 27513
Email of Surveyor: RMASON@M-iii.com	Telephone Number of Property Owner: 919-368-5127	Fax Number of Property Owner:
I hereby state that the facts related in this application and any documents submitted herewith are complete, true, correct, and accurate to the best of my knowledge.		
Signature of Surveyor: 	Print Name: Randy Mason	Date: 10/3/22



APPLICATION FOR ANNEXATION

PART 4. PROPERTY OWNER INFORMATION

To the Board of Commissioners of the Town of Zebulon, North Carolina:

1. We, the undersigned owners of real property, respectfully request that the area described in Part 4 be annexed to the Town of Zebulon, Wake County, North Carolina.
2. The area to be annexed is contiguous, non-contiguous (satellite) to the Town of Zebulon, North Carolina and the boundaries are as contained in the metes and bounds description attached hereto.
3. If contiguous, this annexation will include all intervening rights-of-way for streets, railroads and other areas as stated in G.S. 160A-31(f), unless otherwise stated in the annexation amendment.
4. I/We acknowledge that any zoning vested rights acquired pursuant to G.S. 160A385.1 or G.S. 153A-344.1 must be declared and identified on this petition. I/We further acknowledge that failure to declare such rights on this petition shall result in a termination of vested rights previously acquired for the property. (If zoning vested rights are claimed, indicate below and attach proof.)

All individual owners must sign. (If additional signatures are necessary, please attach an additional sheet.)

I hereby state that the facts related in this application and any documents submitted herewith are complete, true, correct, and accurate to the best of my knowledge.

<i>Signature of Owner:</i>	<i>Print Name:</i>	<i>Date:</i>
<i>Signature of Owner:</i>	<i>Print Name:</i>	<i>Date:</i>
<i>Signature of Owner:</i>	<i>Print Name:</i>	<i>Date:</i>
<i>Signature of Owner:</i>	<i>Print Name:</i>	<i>Date:</i>
<i>Signature of Owner:</i>	<i>Print Name:</i>	<i>Date:</i>
<i>Signature of Owner:</i>	<i>Print Name:</i>	<i>Date:</i>
<i>Signature of Owner:</i>	<i>Print Name:</i>	<i>Date:</i>

STATE OF _____
 COUNTY OF _____

Sworn and subscribed before me, _____, a Notary Public for the above State and County, this the _____ day of _____, 20_____.

 Notary Public

SEAL

 My Commission Expires:



APPLICATION FOR ANNEXATION

COMPLETE IF A CORPORATION:

In witness whereof, said corporation has caused this instrument to be executed by its President and attested by its Secretary by order of its Board of Directors, this the ___ day of ___, 20__.

Corporate Name

SEAL

By: Attest: President (Signature)

Secretary (Signature)

STATE OF NORTH CAROLINA COUNTY OF WAKE

Sworn and subscribed before me, ___, a Notary Public for the above State and County, this the ___ day of ___, 20__.

Notary Public

SEAL

My Commission Expires: _____

COMPLETE IF IN A LIMITED LIABILITY COMPANY

In witness whereof, Watson Family II, LLC a limited liability company, caused this instrument to be executed in its name by a member/manager pursuant to authority duly given, this the 4 day of November, 2022. Name of Limited Liability Company WATSON FAMILY II, LLC

By: JOHNNY WATSON

Johnny Watson
Signature of Member/Manager

STATE OF NORTH CAROLINA COUNTY OF WAKE

Sworn and subscribed before me, S. Elaine Hudspeth, a Notary Public for the above State and County, this the 4 day of November, 2022.

S. Elaine Hudspeth
Notary Public

SEAL

S ELAINE HUDSPETH
Notary Public
North Carolina
Forsyth County

11/4/22
My Commission Expires:

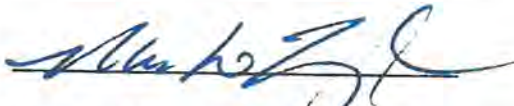
Metes and Bounds Description
for the Annexation of the
Watson Family II, LLC Parcels

Being the perimeter of those tracts or parcels of land, identified in the Wake County Geographic Information System with PIN #2706-06-4049, #1796-96-0562, #1796-96-4306, 2706-15-4262 and # 2706-07-5465, standing in the name of the Watson Family II, LLC, lying and being in the Little River Township, Wake County, North Carolina and being more particularly described as follows:

Beginning at a point, thence, S 02° 45' 28" W for a distance of 536.13 feet to a point, thence S 02° 45' 23" W for a distance of 834.51 feet to a point, thence N 89° 51' 39" E for a distance of 425.54 feet to a point, thence S 89° 56' 27" E for a distance of 243.94 feet to a point, thence S 03° 20' 19" W for a distance of 299.66 feet to a point, thence N 89° 30' 22" E for a distance of 499.89 feet to a point, thence N 89° 30' 22" E for a distance of 30.84 feet to a point, thence S 08° 04' 41" W for a distance of 25.70 feet to a point, thence S 10° 05' 52" W for a distance of 52.97 feet to a point, thence S 13° 26' 38" W for a distance of 92.03 feet to a point, thence S 15° 46' 14" W for a distance of 115.23 feet to a point, thence S 16° 15' 32" W for a distance of 48.14 feet to a point, thence N 65° 47' 26" W for a distance of 30.35 feet to a point, thence N 65° 47' 26" W for a distance of 190.16 feet to a point, thence S 24° 47' 55" W for a distance of 66.53 feet to a point, thence N 71° 43' 16" W for a distance of 61.37 feet to a point, thence S 31° 01' 11" W for a distance of 153.99 feet to a point, thence S 58° 14' 14" E for a distance of 309.44 feet to a point, thence S 58° 14' 14" E for a distance of 31.08 feet to a point, thence S 16° 35' 55" W for a distance of 158.25 feet to a point, thence S 16° 51' 04" W for a distance of 80.52 feet to a point, thence S 16° 22' 51" W for a distance of 120.00 feet to a point, thence N 80° 27' 03" W for a distance of 30.18 feet to a point, thence N 80° 27' 03" W for a distance of 25.20 feet to a point, thence N 76° 51' 37" W for a distance of 210.82 feet to a point, thence N 76° 50' 51" W for a distance of 53.14 feet to a point, thence N 77° 21' 57" W for a distance of 658.62 feet to a point, thence S 01° 45' 44" W for a distance of 76.66 feet to a point, thence N 88° 01' 23" W for a distance of 1103.82 feet to a point, thence N 88° 00' 09" W for a distance of 973.89 feet to a point, thence N 87° 55' 26" W for a distance of 61.02 feet to a point, thence N 12° 43' 33" E for a distance of 107.21 feet to a point, thence N 12° 43' 33" E for a distance of 11.50 feet to a point, thence N 12° 43' 33" E for a distance of 115.82 feet to a point, thence N 12° 37' 26" E for a distance of 215.55 feet to a point, thence N 38° 59' 02" W for a distance of 19.71 feet to a point, thence N 50° 24' 12" W for a distance of 23.40 feet to a point, thence N 30° 24' 01" W for a distance of 3.81 feet to a point, thence N 45° 44' 05" E for a distance of 10.75 feet to a point, thence N 33° 47' 08" E for a distance of 26.64 feet to a point, thence N 09° 04' 46" W for a distance of 25.99 feet to a point, thence N 40° 54' 04" E for a distance of 20.67 feet to a point, thence N 19° 55' 29" E for a distance of 16.04 feet to a point, thence N 01° 42' 15" W for a distance of 5.16 feet to a point, thence N 24° 46' 34" W for a distance of 8.46 feet to a point, thence N 41° 24' 18" W for a distance of 9.29 feet to a point, thence N 52° 44' 31" W for a distance of 5.97 feet to a point, thence N 01° 13' 41" W for a distance of 9.56 feet to a point, thence N 09° 43' 21" E for a distance of 8.72 feet to a point, thence N 34° 30' 46" W for a distance of 17.68 feet to a point, thence N 14° 28' 30" E for a distance of 9.41 feet to a point, thence N 21° 09' 01" E for a distance of 20.63 feet to a point,

thence N 14° 30' 39" E for a distance of 24.54 feet to a point, thence N 13° 48' 52" E for a distance of 22.93 feet to a point, thence N 27° 18' 34" W for a distance of 8.92 feet to a point, thence N 33° 51' 51" E for a distance of 21.33 feet to a point, thence N 05° 34' 30" E for a distance of 27.48 feet to a point, thence N 72° 29' 22" W for a distance of 15.79 feet to a point, thence N 00° 30' 42" E for a distance of 12.35 feet to a point, thence N 09° 55' 28" E for a distance of 13.91 feet to a point, thence N 05° 23' 37" E for a distance of 23.38 feet to a point, thence N 17° 10' 13" E for a distance of 14.74 feet to a point, thence N 05° 25' 59" W for a distance of 25.58 feet to a point, thence N 12° 26' 31" E for a distance of 13.66 feet to a point, thence N 41° 47' 48" W for a distance of 21.79 feet to a point, thence N 81° 46' 39" W for a distance of 13.54 feet to a point, thence N 16° 37' 57" E for a distance of 26.88 feet to a point, thence N 14° 09' 46" E for a distance of 11.32 feet to a point, thence N 53° 17' 33" E for a distance of 22.07 feet to a point, thence N 34° 14' 54" E for a distance of 20.63 feet to a point, thence N 85° 59' 34" E for a distance of 7.63 feet to a point, thence N 49° 34' 48" E for a distance of 4.92 feet to a point, thence N 23° 29' 40" E for a distance of 44.49 feet to a point, thence N 27° 40' 08" E for a distance of 0.62 feet to a point, thence N 15° 21' 19" W for a distance of 19.51 feet to a point, thence N 36° 53' 28" E for a distance of 22.34 feet to a point, thence N 26° 41' 42" E for a distance of 12.19 feet to a point, thence N 10° 39' 05" W for a distance of 20.83 feet to a point, thence N 03° 51' 44" E for a distance of 9.69 feet to a point, thence N 08° 09' 51" W for a distance of 11.86 feet to a point, thence N 21° 20' 34" E for a distance of 28.89 feet to a point, thence N 08° 13' 38" W for a distance of 22.55 feet to a point, thence N 04° 50' 41" E for a distance of 11.01 feet to a point, thence N 22° 54' 37" E for a distance of 18.79 feet to a point, thence N 37° 31' 01" E for a distance of 27.11 feet to a point, thence N 41° 36' 52" E for a distance of 9.80 feet to a point, thence N 31° 55' 19" E for a distance of 18.89 feet to a point, thence N 54° 09' 28" E for a distance of 26.49 feet to a point, thence N 23° 14' 09" E for a distance of 10.90 feet to a point, thence N 37° 02' 35" E for a distance of 23.07 feet to a point, thence N 22° 08' 05" E for a distance of 9.31 feet to a point, thence N 29° 59' 54" E for a distance of 11.54 feet to a point, thence N 35° 37' 59" E for a distance of 16.98 feet to a point, thence N 29° 26' 31" E for a distance of 25.06 feet to a point, thence N 11° 23' 53" W for a distance of 1.24 feet to a point, thence N 01° 07' 33" E for a distance of 15.93 feet to a point, thence N 01° 38' 35" E for a distance of 20.63 feet to a point, thence N 08° 03' 40" W for a distance of 14.39 feet to a point, thence N 15° 22' 52" W for a distance of 21.06 feet to a point, thence N 02° 14' 55" W for a distance of 18.04 feet to a point, thence N 02° 22' 48" E for a distance of 8.83 feet to a point, thence N 18° 56' 14" W for a distance of 18.67 feet to a point, thence N 33° 02' 11" W for a distance of 21.22 feet to a point, thence N 18° 09' 29" W for a distance of 23.08 feet to a point, thence N 24° 36' 03" W for a distance of 22.95 feet to a point, thence N 29° 26' 40" W for a distance of 27.24 feet to a point, thence N 42° 43' 49" W for a distance of 33.91 feet to a point, thence N 32° 25' 07" W for a distance of 23.83 feet to a point, thence N 31° 28' 41" W for a distance of 18.76 feet to a point, thence N 34° 18' 48" W for a distance of 33.00 feet to a point, thence N 36° 35' 37" W for a distance of 63.21 feet to a point, thence N 33° 07' 06" W for a distance of 27.79 feet to a point, thence N 34° 43' 47" W for a distance of 26.15 feet to a point, thence N 21° 17' 54" W for a distance of 31.84 feet to a point, thence N 11° 19' 05" W for a distance of 23.75 feet to a point, thence N 00° 34' 52" W for a distance of 20.68 feet to a point, thence N 13° 20' 58" W for a distance of 29.26 feet to a point, thence N 15° 20' 46" W for a distance of 19.25 feet to a point, thence N 05° 04' 13" W for a distance of 28.90 feet to a point, thence N 01° 29' 19" W for a distance of 12.92 feet to a point, thence N 09° 00' 55" E for a distance of 17.94 feet to a point,

thence N 12° 02' 10" W for a distance of 19.74 feet to a point, thence N 09° 11' 51" W for a distance of 5.99 feet to a point, thence N 18° 50' 10" W for a distance of 15.64 feet to a point, thence N 08° 13' 40" W for a distance of 28.88 feet to a point, thence N 10° 42' 30" W for a distance of 20.12 feet to a point, thence N 16° 45' 28" W for a distance of 26.19 feet to a point, thence N 74° 23' 52" E for a distance of 1.26 feet to a point, thence S 15° 36' 08" E for a distance of 30.00 feet to a point, thence S 15° 36' 08" E for a distance of 218.00 feet to a point, thence N 74° 23' 52" E for a distance of 200.00 feet to a point, thence S 15° 36' 08" E for a distance of 82.13 feet to a point, thence N 74° 08' 06" E for a distance of 99.79 feet to a point, thence N 74° 24' 14" E for a distance of 100.40 feet to a point, thence N 74° 21' 04" E for a distance of 99.75 feet to a point, thence N 74° 45' 46" E for a distance of 102.91 feet to a point, thence N 73° 56' 36" E for a distance of 116.16 feet to a point, thence N 21° 49' 22" W for a distance of 155.79 feet to a point, thence N 68° 30' 01" E for a distance of 50.13 feet to a point, thence N 68° 20' 41" E for a distance of 238.68 feet to a point, thence N 01° 42' 57" W for a distance of 135.00 feet to a point, thence N 77° 28' 15" E for a distance of 204.99 feet to a point, thence N 80° 18' 53" E for a distance of 62.18 feet to a point, thence S 06° 02' 23" E for a distance of 386.11 feet to a point, thence S 88° 23' 00" E for a distance of 611.67 feet to a point, thence N 06° 01' 25" W for a distance of 470.68 feet to a point, thence N 85° 05' 46" E a distance of 348.58 feet to the point and place of beginning, containing 120.52 acres, more or less.



Mark W. Yarbrough, PLS L-3396

01/19/23

Date



Seal

AN2023-02 Attachment 1

OWNER

JUAREZ, BENITO JUAREZ, ANA ISABEL
BOBBITT, ANNE B RAY, MARTHA B
BALLESTEROS, MARIA ANGELICA
ACEVEDO, YUDITH ELVIRA
WEAVERS POND ASSOC LLC
SHIELDS, DONNA L
OWENS, CASSANDRA PATRICE OWOH, STEVEN EDGAR
COONEY, SAMANTHA TOTH, MELISSA
OBE, TOKUNBO O OBE, FOLUSHO O
WEAVERS POND HOMEOWNERS ASSOCIATION INC
ROGERS, HARRY L
TARYN LAKE HOMEOWNERS ASSOCIATION INC
PRF PROPERTIES LLC lots23-50
MEJIA, JUAN D JR
GONZALEZ-VIERA, CASSANDRA EDITH SANCHEZ, DAVID FABIAN NIETO
WEAVERS POND TOWNHOME OWNERS ASSOCIATION INC
ROJAS, RAUL JR ULLRICH-ROJAS, LUCY MARIA
BMSSI LLC
HARRATH, AYMANE HARRATH, SOFIA
CASPER, PAUL M JR CASPER, DEBBIE T
GUTIERREZ, ANGELICA GUTIERREZ, ESMERALDA
WATSON FAMILY II LLC
HALL, TIMOTHY A HALL, TWANDA A
MARSHALL, JEFFREY A
GREEN, VIVIAN B
BRASWELL, ANGELIA S BRASWELL, RONALD KEITH
PRUITT, DEREK C PRUITT, AMANDA M
ZEBULON UNITED METHODIST CHURCH TRUSTEES OF THE
DOMALESKI, GARY DOMALESKI, GAIL
TAYLOR-HERNANDEZ, DOLORES M
HINTON, BETH ANN
MEJIA, JUAN D JR
ZENIL, NAHUM FUENTES LINARES, REBECA NATERAS

ADDR1

9116 PIPPIN RD
1938 ZEBULON RD
9100 PIPPIN RD
9108 PIPPIN RD
9407 BARTONS CREEK RD
PO BOX 157
3124 GINGER LAKE CT
9112 PIPPIN RD
600 ROSE MALLOW DR
11010 RAVEN RIDGE RD
608 ROSE MALLOW DR
2000 AERIAL CENTER PKWY STE 110A
9407 BARTONS CREEK RD
9128 PIPPIN RD
9124 PIPPIN RD
4020 WAKE FOREST RD STE 102F
604 ROSE MALLOW DR
1140 KILDAIRE FARM RD STE 209
612 ROSE MALLOW DR
PO BOX 9
2921 GREENRIDGE VIEW LN
6220 FORESTVILLE RD
2909 GREENRIDGE VIEW LN
2917 GREENRIDGE VIEW LN
2925 GREENRIDGE VIEW LN
9201 PIPPIN RD
2801 HUNTERS COVE CT
121 W GANNON AVE
2913 GREENRIDGE VIEW LN
9137 PIPPIN RD
9124 HUNTERS GREENE DR
9128 PIPPIN RD
9205 LITTLE RIDGE PL

AN2023-02 Attachment 1

WHEELER, LANCE J WHEELER, CECILY A
BEDDINGFIELD, LARRY R
PERRY, LAURA ELIZABETH ELLIS, JUSTIN WADE
MILLS, JANICE MCCRAW HEIRS
RAY, MICHAEL K RAY, AMY G
ARMSTRONG, JASON R ARMSTRONG, ANGELA S
TIMBERLAKE, ROBERT F TIMBERLAKE, SHELLEY E
CASPER, PAUL M JR CASPER, DEBBIE T
DUKE, JANET LYNN
CREECH, MICHAEL C CREECH, KELLY A
STANLEY, KARI B
CARTER, DANIEL C CARTER, BARBIE A
HALL, TIMOTHY A HALL, TWANDA A
HEWITT, EMORY EUGENE III HEWITT, JENNIE H
HENDREN, JASON L HENDREN, AMY S
WATERS, JAMES F WATERS, DONNA D
TANT, ODELL C TANT, SARAH T
WIRTH, LARRY F WIRTH, SUSAN J
BUTLER ROAD ASSOC LLC
TARYN LAKE HOMEOWNERS ASSOCIATION INC
ZENIL, NAHUM FUENTES LINARES, REBECA NATERAS
REDDICK, RICHARD BRUCE REDDICK, CLINT HARLAN
RODRIGUEZ, RAFAEL RODRIGUEZ, CHRISTINE
TANT, ODELL C TANT, SARAH T
RICOSSA, MARIA MAGDALENA TRUSTEE THE 1997 MARIA MAGDALENA RICOSSA REVOCABLE TRUST

9116 HUNTERS GREENE DR
9205 PIPPIN RD
2800 HUNTERS COVE CT
9209 PIPPIN RD
9108 HUNTERS GREENE DR
2805 GREENRIDGE VIEW LN
2813 GREENRIDGE VIEW LN
PO BOX 9
4632 HOPKINS CHAPEL RD
905 PEARCES RD
9204 LITTLE RIDGE PL
1021 PEARCES RD
2909 GREENRIDGE VIEW LN
2465 VILLAGE OF WAKEFIELD DR
2461 VILLAGE OF WAKEFIELD DR
2457 VILLAGE OF WAKEFIELD DR
912 PEARCES RD
2453 VILLAGE OF WAKEFIELD DR
PO BOX 568
2000 AERIAL CENTER PKWY STE 110A
9205 LITTLE RIDGE PL
1009 PEARCES RD
9309 WAKEFIELDS OAK GROVE DR
912 PEARCES RD
2469 VILLAGE OF WAKEFIELD DR

AN2023-02 Attachment 1

ADDR2

ZEBULON NC 27597-7863
ZEBULON NC 27597-8146
ZEBULON NC 27597-7863
ZEBULON NC 27597-7863
RALEIGH NC 27615-9707
ZEBULON NC 27597-0157
ZEBULON NC 27597-5737
ZEBULON NC 27597-7863
ZEBULON NC 27597-5407
RALEIGH NC 27614-8837
ZEBULON NC 27597-5407
MORRISVILLE NC 27560
RALEIGH NC 27615-9707
ZEBULON NC 27597-7863
ZEBULON NC 27597-7863
RALEIGH NC 27609-6866
ZEBULON NC 27597-5407
CARY NC 27511-4597
ZEBULON NC 27597-5407
ZEBULON NC 27597-0009
ZEBULON NC 27597-7374
RALEIGH NC 27604-8618
ZEBULON NC 27597-7374
ZEBULON NC 27597-7374
ZEBULON NC 27597-7374
ZEBULON NC 27597-7866
ZEBULON NC 27597-7306
ZEBULON NC 27597-2623
ZEBULON NC 27597-7374
ZEBULON NC 27597-7864
ZEBULON NC 27597-7309
ZEBULON NC 27597-7863
ZEBULON NC 27597-7387



LIMITED LIABILITY COMPANY ANNUAL REPORT

SOSID: 0463182
Date Filed: 3/9/2022
Elaine F. Marshall
North Carolina Secretary of State
CA2022 068 03676

NAME OF LIMITED LIABILITY COMPANY: WATSON FAMILY, II, LLC

SECRETARY OF STATE ID NUMBER: 0463182 STATE OF FORMATION: NC

REPORT FOR THE CALENDAR YEAR: 2022



Filing Office Use Only
Changes

SECTION A: REGISTERED AGENT'S INFORMATION

1. NAME OF REGISTERED AGENT: JOHNNY WATSON

2. SIGNATURE OF THE NEW REGISTERED AGENT:

SIGNATURE CONSTITUTES CONSENT TO THE APPOINTMENT

3. REGISTERED AGENT OFFICE STREET ADDRESS & COUNTY 4. REGISTERED AGENT OFFICE MAILING ADDRESS

6220 Forestville Road

6220 Forestville Road

Raleigh, NC 27604 Wake

Raleigh, NC 27604 Wake

SECTION B: PRINCIPAL OFFICE INFORMATION

1. DESCRIPTION OF NATURE OF BUSINESS: Farm Property Owner

2. PRINCIPAL OFFICE PHONE NUMBER: 9192663982

3. PRINCIPAL OFFICE EMAIL

Privacy Redaction

4. PRINCIPAL OFFICE STREET ADDRESS

5. PRINCIPAL OFFICE MAILING ADDRESS



6220 Forestville Road

6220 Forestville Road

Raleigh, NC 27604 Wake

Raleigh, NC 27604 Wake

6. Select one of the following if applicable. (Optional see instructions)

[] The company is a veteran-owned small business

[] The company is a service-disabled veteran-owned small business

SECTION C: COMPANY OFFICIALS (Enter additional company officials in Section E.)

NAME: Johnny P Watson

NAME:

NAME:

TITLE: Manager

TITLE:

TITLE:

ADDRESS:

ADDRESS:

ADDRESS:

6220 Forestville Rd.

Raleigh, NC 27604 Wake

SECTION D: CERTIFICATION OF ANNUAL REPORT Section D must be completed in its entirety by a person/business entity.

Signature of Johnny P. Watson

SIGNATURE

3-2-22

DATE

Form must be signed by a Company Official listed under Section C of This form.

Johnny Watson

Print or Type Name of Company Official

Manager

Print or Type Title of Company Official

SUBMIT THIS ANNUAL REPORT WITH THE REQUIRED FILING FEE OF \$200

MAIL TO: Secretary of State, Business Registration Division, Post Office Box 29525, Raleigh, NC 27626-0525

- File an Annual Report/Amend an Annual Report
- Upload a PDF Filing
- Order a Document Online
- Add Entity to My Email Notification List
- View Filings
- Print a Pre-Populated Annual Report form
- Print an Amended a Annual Report form

Limited Liability Company

Legal Name

WATSON FAMILY, II, LLC

Information

SosId: 0463182

Status: Current-Active ⓘ

Date Formed: 6/26/1998

Citizenship: Domestic

Annual Report Due Date: April 15th

Current Annual Report Status:

Registered Agent: Watson, Johnny

Addresses

Mailing

6220 Forestville Road
Raleigh, NC 27604

Principal Office

6220 Forestville Road
Raleigh, NC 27604

Reg Office

6220 Forestville Road
Raleigh, NC 27604

Reg Mailing

6220 Forestville Road
Raleigh, NC 27604

Company Officials

All LLCs are managed by their managers pursuant to N.C.G.S. 57D-3-20.

Manager

Johnny P Watson
6220 Forestville Rd.
Raleigh NC 27604

ZEBULON

NORTH CAROLINA

1003 N Arendell Avenue
Zebulon, NC 27597
919.823.1800

www.townofzebulon.org

Certificate of Sufficiency

Pin # 2706064049 – 1015 Pearces Road
Pin # 2706075465 – 0 Pippin Road
Pin # 1796960562 – 9102 Pippin Road
Pin # 1796964306 – 9136 Pippin Road
Pin # 2706154262 – 921 Pearces Road

To the Board of Commissioners of the Town of Zebulon, North Carolina:

I, Lisa M. Markland, Clerk to the Zebulon Board of Commissioners, do hereby certify that I have investigated the petition attached hereto, and have found as a fact that said petition is signed by all the owners or their legal representative of real property lying in the area described therein, in accordance with G.S. 160A-31.

In witness whereof, I have here unto set my hand and affixed the seal of the Town of Zebulon, this 10th day of February 2023.




Lisa M. Markland, CMC—Town Clerk

QUINCY CERTIFICATE

I, W. L. CANNON, Surveyor General of the State of North Carolina, do hereby certify that the above described plat was duly filed for record in my office on the 12th day of February, A.D. 2023, and that the same is a true and correct copy of the original filed for record in my office.

NAME OF SURVEY: WATSON FAMILY II, LLC TRACTS ANNEXATION PLAT
DATE OF SURVEY: FEBRUARY 10, 2023
DATE OF RECORD: FEBRUARY 12, 2023
COMMISSIONER: W. L. CANNON
REGISTERED OFFICE: WAKE COUNTY, NORTH CAROLINA
REGISTERED ADDRESS: 100 S. HAYWOOD ST., WAKE FOREST, NC 27157
REGISTERED PHONE: 919.515.1100
REGISTERED FAX: 919.515.1100

TYPE OF PLAT

1. THIS IS A PARTIAL PARTITION AND SEVERALTY PLAT.
2. THIS IS A PARTITION OF LAND BEING PART OF THE ESTATE OF WATSON FAMILY II, LLC AS SHOWN ON MAP NO. 200436 OF WAKE COUNTY, NORTH CAROLINA, AS FILED FOR RECORD IN MY OFFICE ON THE 12th DAY OF FEBRUARY, A.D. 2023.



LEGEND

--- 1/4" = 1" SCALE

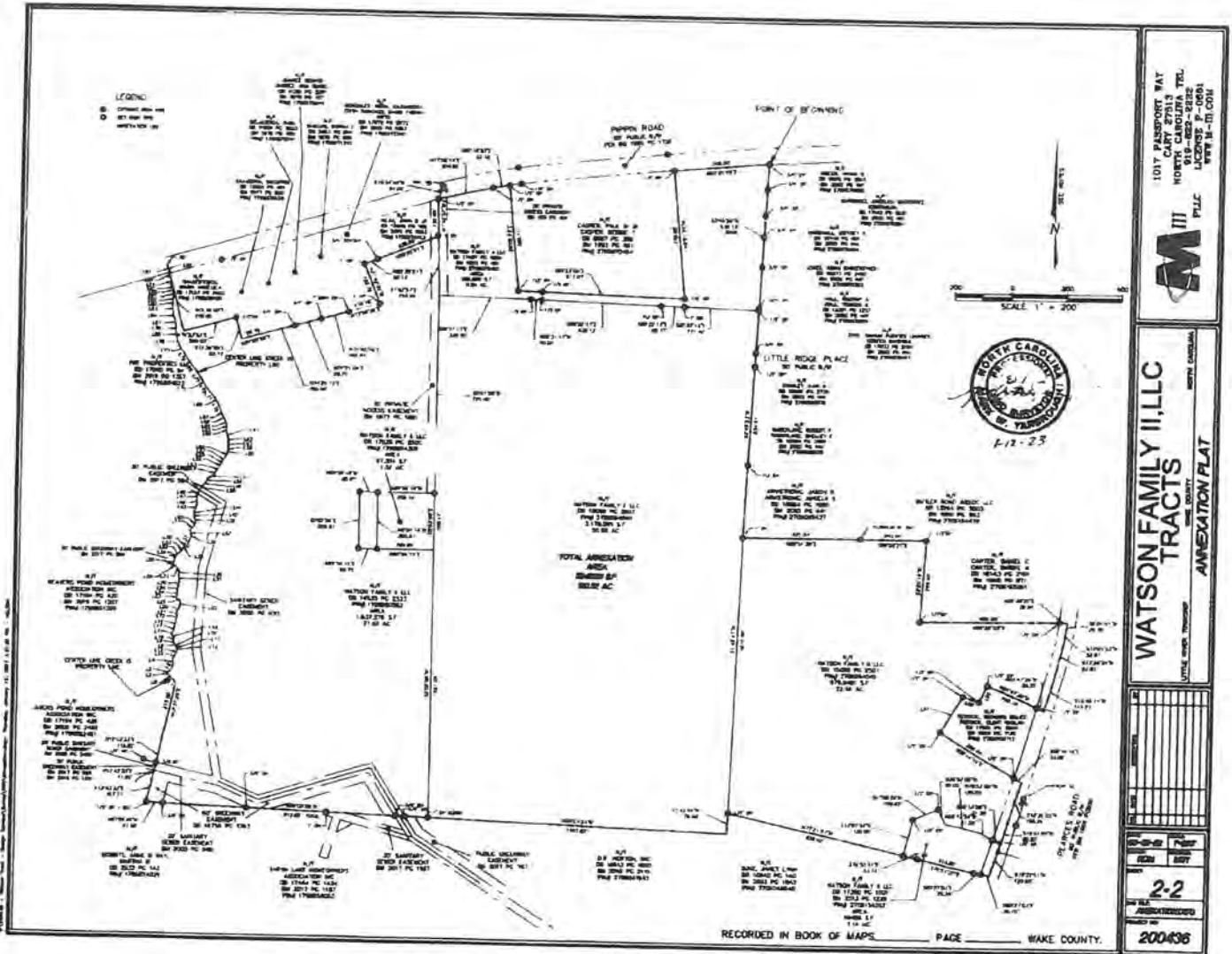
MAP/DEED REFERENCE S

1. WATSON FAMILY II, LLC TRACTS ANNEXATION PLAT, MAP NO. 200436, WAKE COUNTY, NORTH CAROLINA, FILED FOR RECORD IN MY OFFICE ON THE 12th DAY OF FEBRUARY, A.D. 2023.

NOTES

- 1. THE SURVEY IS BASED ON THE FOLLOWING:
- 2. THE SURVEY IS BASED ON THE FOLLOWING:
- 3. THE SURVEY IS BASED ON THE FOLLOWING:
- 4. THE SURVEY IS BASED ON THE FOLLOWING:
- 5. THE SURVEY IS BASED ON THE FOLLOWING:
- 6. THE SURVEY IS BASED ON THE FOLLOWING:
- 7. THE SURVEY IS BASED ON THE FOLLOWING:
- 8. THE SURVEY IS BASED ON THE FOLLOWING:
- 9. THE SURVEY IS BASED ON THE FOLLOWING:
- 10. THE SURVEY IS BASED ON THE FOLLOWING:

TRACT NO.	ACRES	TRACT NO.	ACRES	TRACT NO.	ACRES
101	1.12	102	1.12	103	1.12
104	1.12	105	1.12	106	1.12
107	1.12	108	1.12	109	1.12
110	1.12	111	1.12	112	1.12
113	1.12	114	1.12	115	1.12
116	1.12	117	1.12	118	1.12
119	1.12	120	1.12	121	1.12
122	1.12	123	1.12	124	1.12
125	1.12	126	1.12	127	1.12
128	1.12	129	1.12	130	1.12
131	1.12	132	1.12	133	1.12
134	1.12	135	1.12	136	1.12
137	1.12	138	1.12	139	1.12
140	1.12	141	1.12	142	1.12
143	1.12	144	1.12	145	1.12
146	1.12	147	1.12	148	1.12
149	1.12	150	1.12	151	1.12
152	1.12	153	1.12	154	1.12
155	1.12	156	1.12	157	1.12
158	1.12	159	1.12	160	1.12
161	1.12	162	1.12	163	1.12
164	1.12	165	1.12	166	1.12
167	1.12	168	1.12	169	1.12
170	1.12	171	1.12	172	1.12
173	1.12	174	1.12	175	1.12
176	1.12	177	1.12	178	1.12
179	1.12	180	1.12	181	1.12
182	1.12	183	1.12	184	1.12
185	1.12	186	1.12	187	1.12
188	1.12	189	1.12	190	1.12
191	1.12	192	1.12	193	1.12
194	1.12	195	1.12	196	1.12
197	1.12	198	1.12	199	1.12
200	1.12	201	1.12	202	1.12
203	1.12	204	1.12	205	1.12
206	1.12	207	1.12	208	1.12
209	1.12	210	1.12	211	1.12
212	1.12	213	1.12	214	1.12
215	1.12	216	1.12	217	1.12
218	1.12	219	1.12	220	1.12
221	1.12	222	1.12	223	1.12
224	1.12	225	1.12	226	1.12
227	1.12	228	1.12	229	1.12
230	1.12	231	1.12	232	1.12
233	1.12	234	1.12	235	1.12
236	1.12	237	1.12	238	1.12
239	1.12	240	1.12	241	1.12
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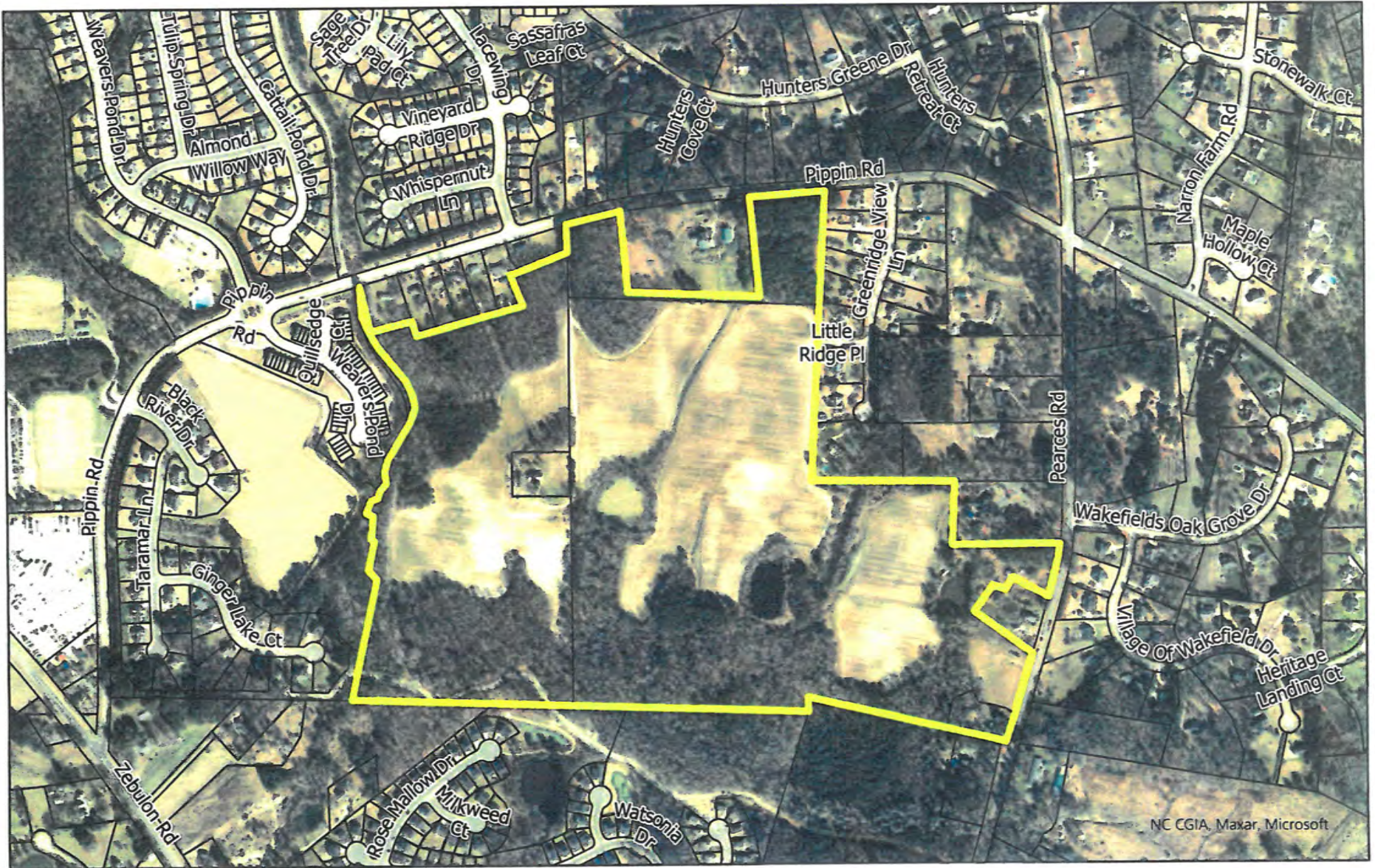
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 CARY 27513
 NORTH CAROLINA
 919-482-2822
 LICENSE P-0884
 WWW.M-IT.COM



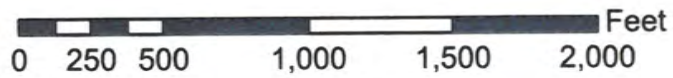
WATSON FAMILY II, LLC TRACTS ANNEXATION PLAT



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NO. OF TEMPLATES	0
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Attachment 4 - Aerial Map

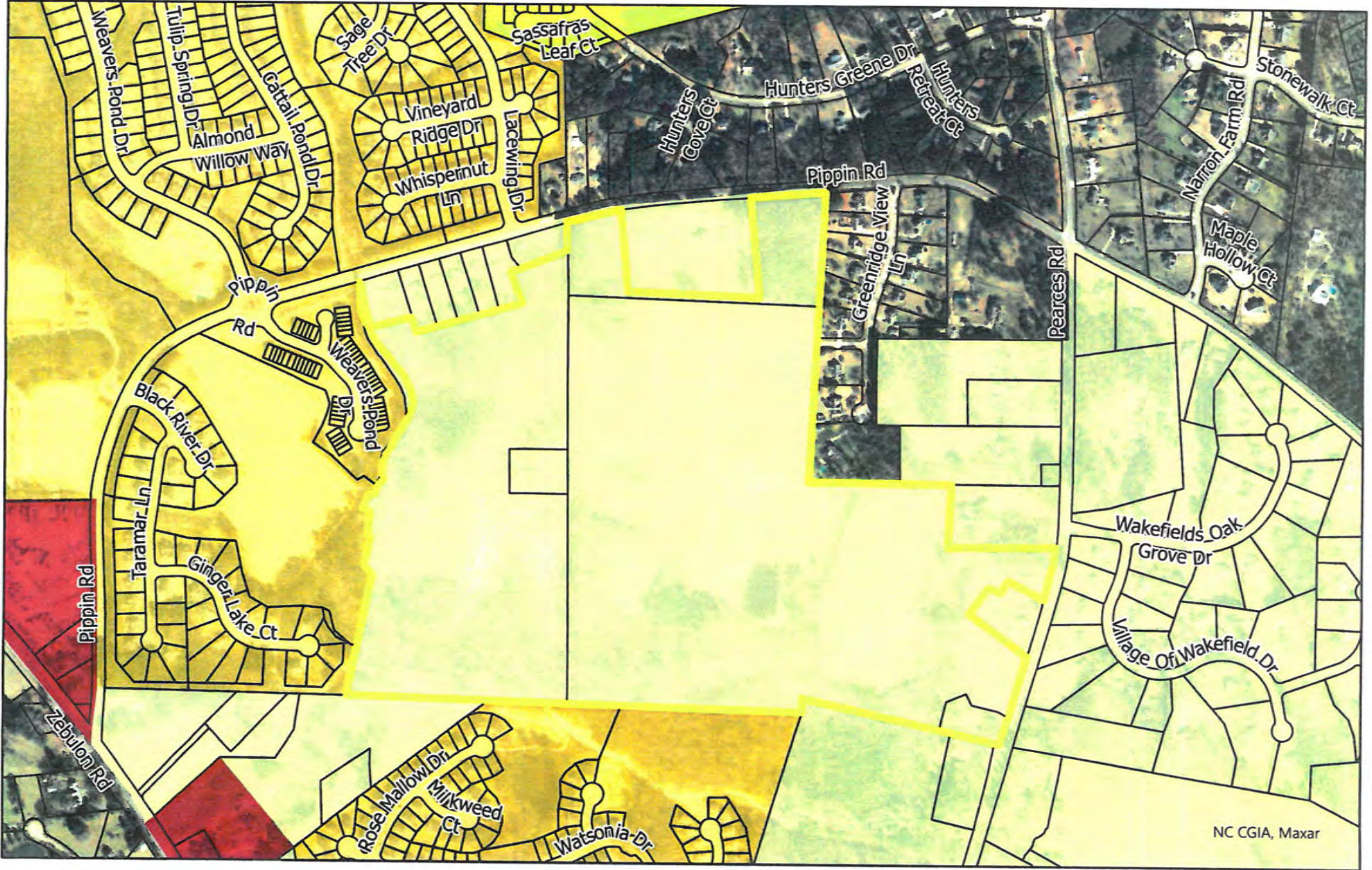


NC CGIA, Maxar, Microsoft

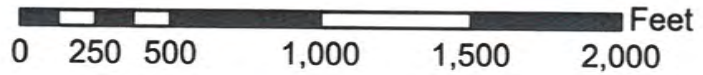








-  Subject Property
-  Parcels

Attachment 5 - Zoning Map

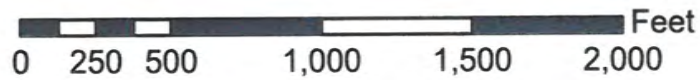
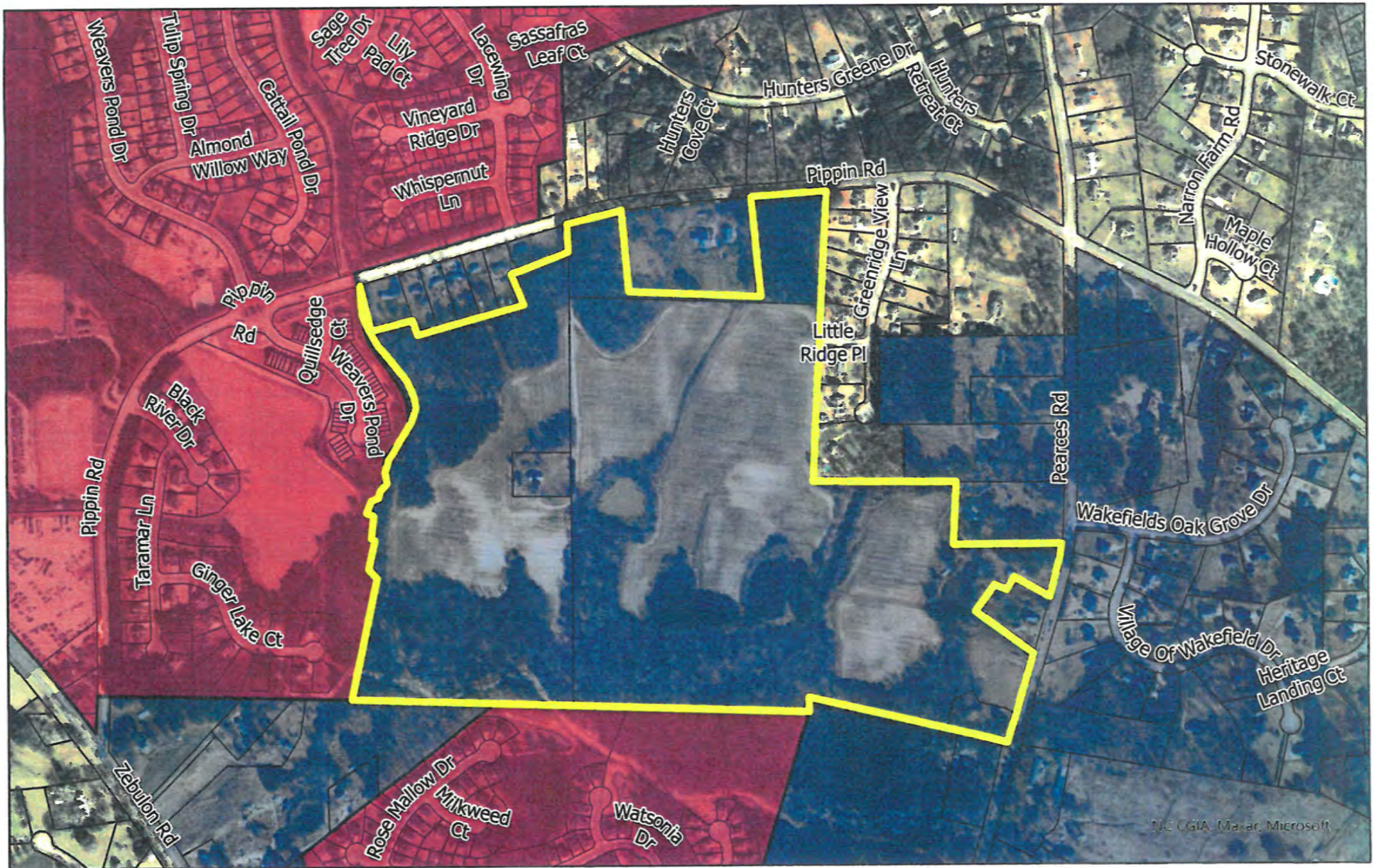






NC CGIA, Maxar



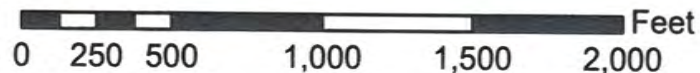
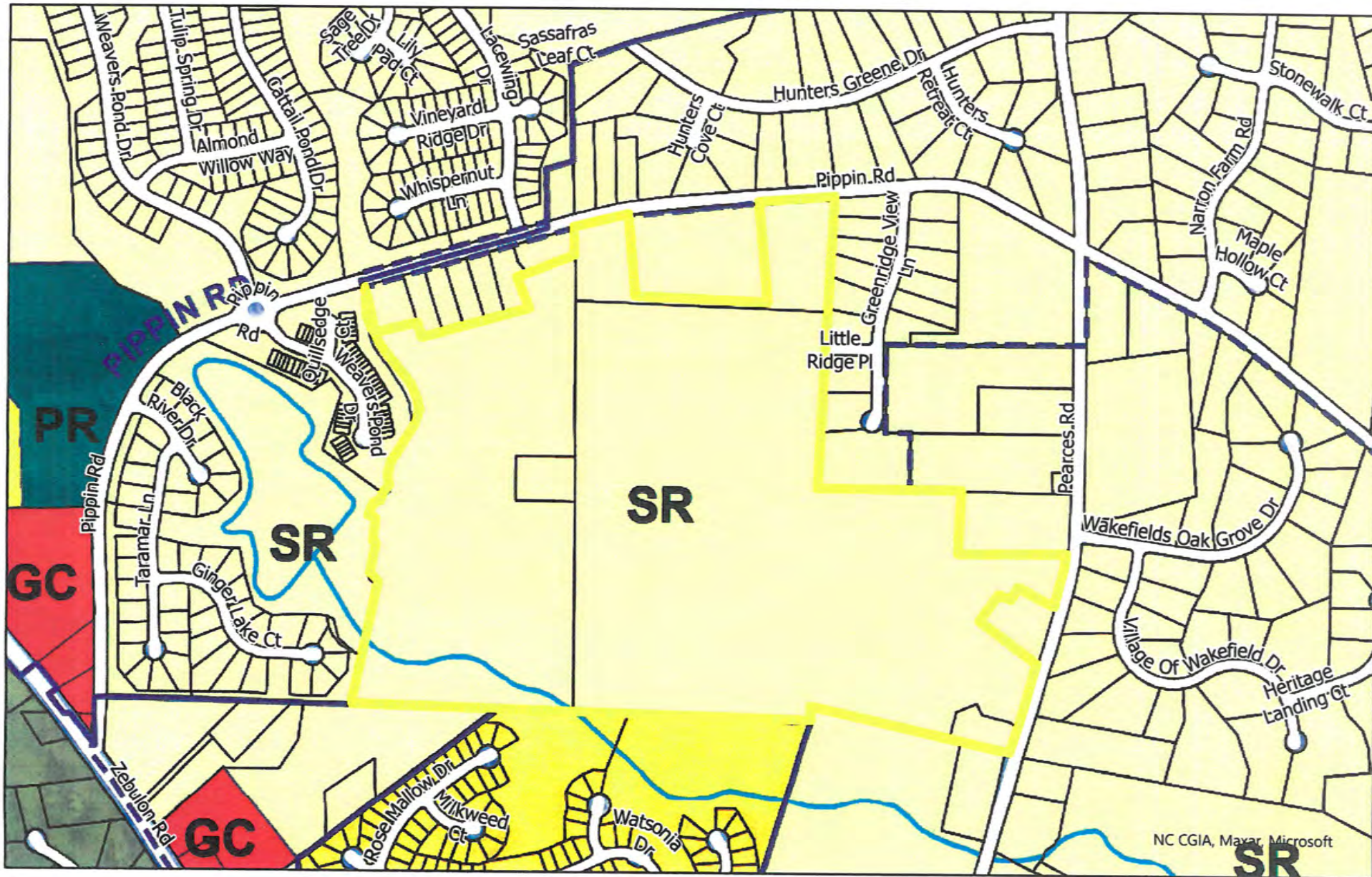
-  Subject Property
-  Parcels
- Zoning Districts**
-  R2, Residential Suburban
-  R4, Residential Neighborhood
-  R-13 SUD, Residential 13 - Special Use Districts
-  HC, Heavy Commercial




Attachment 6 - ETJ Map



-  Subject Property
-  Corporate Limits
-  Zebulon ETJ
-  Parcels

Attachment 7 - Land Use Map



-  Subject Property
-  Suburban Residential (SR)
-  Rural Conservation (RC)
-  Parks and Recreation (PR)
-  General Commercial (GC)
-  General Residential (GR)

AN2023-02 Attachment 8



Public Improvement Quantity Table

Phase Number(s)	PHASE 1	PHASE 2	PHASE 3	PHASE 4	PHASE 5
Number of Lot No.	34	24	44	47	54
Lot Number (s) No.	175-251	1-24	54-87	151-174, 180-201	444A, 58-59
Phase			57-64, 81-87	21-56, 101-106	100-109
Number of Units	38	38	64	47	54
Leasable Buildings	38	38	64	47	54
Open Space (s)	YES 74.80 ac.	YES 27.44 ac.	YES 12.95 ac.	YES 3.77 ac.	YES 4.15 ac.
Number of Open Spaces/Lots	1	2	2	1	1
Public Water (s,F)	1152	2062	2972	3029	1467
Public Sewer (s,F)	2762	2815	2912	2114	1899
Public Street (s,F) - FULL	4728	2303	2929	2215	1957
Public Street (s,F) - PARTIAL	616	693	0	0	0
Public Sidewalk (s,F)	4929	4917	3842	3289	1982
Street Signs	15	8	11	11	9
Water Service Scales	58	25	44	47	54
Sewer Service Scales	58	29	44	47	54

NOTE: SEE SHEET CS-3 SHEET KEY FOR GRAPHICAL DEPICTION OF PHASING.



1. All improvements shall be in accordance with applicable municipal ordinances, specifications, and rules. Work shall comply with all applicable codes, standards, and specifications of the State of North Carolina. All improvements shall be installed and maintained in accordance with the standards and specifications of the State of North Carolina. All improvements shall be installed and maintained in accordance with the standards and specifications of the State of North Carolina.
2. The contractor shall be responsible for coordinating with all utility owners for all utility work.
3. All improvements shall be installed and maintained in accordance with the standards and specifications of the State of North Carolina.
4. The contractor shall provide and install all necessary utility lines, including water, sewer, and stormwater.
5. All improvements shall be installed and maintained in accordance with the standards and specifications of the State of North Carolina.
6. The contractor shall provide and install all necessary utility lines, including water, sewer, and stormwater.
7. All improvements shall be installed and maintained in accordance with the standards and specifications of the State of North Carolina.
8. The contractor shall provide and install all necessary utility lines, including water, sewer, and stormwater.
9. All improvements shall be installed and maintained in accordance with the standards and specifications of the State of North Carolina.
10. The contractor shall provide and install all necessary utility lines, including water, sewer, and stormwater.
11. All improvements shall be installed and maintained in accordance with the standards and specifications of the State of North Carolina.
12. The contractor shall provide and install all necessary utility lines, including water, sewer, and stormwater.
13. All improvements shall be installed and maintained in accordance with the standards and specifications of the State of North Carolina.
14. The contractor shall provide and install all necessary utility lines, including water, sewer, and stormwater.
15. All improvements shall be installed and maintained in accordance with the standards and specifications of the State of North Carolina.
16. The contractor shall provide and install all necessary utility lines, including water, sewer, and stormwater.
17. All improvements shall be installed and maintained in accordance with the standards and specifications of the State of North Carolina.
18. The contractor shall provide and install all necessary utility lines, including water, sewer, and stormwater.
19. All improvements shall be installed and maintained in accordance with the standards and specifications of the State of North Carolina.
20. The contractor shall provide and install all necessary utility lines, including water, sewer, and stormwater.

NOTE:
PAVING IMPROVEMENTS FOR THE AMENITY CENTER AND DRIVE ON THESE PLANS ARE TO BE CONSTRUCTED CONCURRENTLY WITH PHASE 2 CLIFTON GROVE INFRASTRUCTURE IMPROVEMENTS. THE DETAILS, LANDSCAPING, AND SPECIFICATIONS FOR THE AMENITY CENTER IMPROVEMENTS AS SET FORTH IN THE APPROVED CLIFTON GROVE AMENITY CENTER (TOWN OF REBOL PROJECT ID 564053) SHALL SUPERSEDE THE DESIGN DATA WITHIN THESE INFRASTRUCTURE PLANS.

ATTENTION CONTRACTORS
The Commission Contractor responsible for the execution of water, sewer, and stormwater, as approved in these plans, is responsible for obtaining the Public Utilities Department's PUD 104-248 or similar form before any work or beginning any of their construction.

Failure to comply with City Department in all-year of beginning construction, will result in the suspension of any permits, and require re-issuance of any water or sewer facilities be installed as a result of this notification.

Failure to call for inspection, install a backflow prevention device, backflow preventer, or other device, as required by the City of Raleigh, will result in a Fine and Possible Exclusion from being used in the City of Raleigh.

NOTE:
THIS PROJECT IS SUBJECT TO THE PROVISIONS OF AN APPROVED ADMINISTRATIVE ADJUSTMENT (PROJECT ID 564053) DATED 06/14/21.

Public
Water Distribution / Extension System
The City of Raleigh is responsible for the installation and maintenance of the City's public water system as shown on this plan. The contractor and Commission Contractor shall be responsible for the installation and maintenance of the City's Public Utilities Department's PUD 104-248 or similar form before any work or beginning any of their construction.

City of Raleigh
Public Utilities Department Permit # W-3961
Authorizations or Comments:

Public
Sewer Collection / Extension System
The City of Raleigh is responsible for the installation and maintenance of the City's public sewer system as shown on this plan. The contractor and Commission Contractor shall be responsible for the installation and maintenance of the City's Public Utilities Department's PUD 104-248 or similar form before any work or beginning any of their construction.

City of Raleigh
Public Utilities Department Permit # S-5098
Authorizations or Comments:

SHEET NO.	DESCRIPTION
CS-1	COVER
CS-2	GENERAL NOTES
CS-3	EXISTING EXISTING CONDUITS PLAN
CS-4	EXISTING EXISTING CONDUITS PLAN
CS-5	EXISTING EXISTING CONDUITS PLAN
CS-6	EXISTING EXISTING CONDUITS PLAN
CS-7	EXISTING EXISTING CONDUITS PLAN
CS-8	EXISTING EXISTING CONDUITS PLAN
CS-9	EXISTING EXISTING CONDUITS PLAN
CS-10	EXISTING EXISTING CONDUITS PLAN
CS-11	EXISTING EXISTING CONDUITS PLAN
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CS-30	EXISTING EXISTING CONDUITS PLAN
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CS-45	EXISTING EXISTING CONDUITS PLAN
CS-46	EXISTING EXISTING CONDUITS PLAN
CS-47	EXISTING EXISTING CONDUITS PLAN
CS-48	EXISTING EXISTING CONDUITS PLAN
CS-49	EXISTING EXISTING CONDUITS PLAN
CS-50	EXISTING EXISTING CONDUITS PLAN

PROJECT DATA

PROJECT NAME: Clifton Grove
RALEIGH COUNTY PIN & SITE ADDRESS: 2706.06.0549 - 1015 Pippin Road, 2706.06.0549 - 1015 Pippin Road, 1796.96.0542 - 8152 Pippin Road, 1796.96.4306 - 8135 Pippin Road, 2706.07.5485 - D Pippin Road.
PREPARED BY: Wilson C. Opriak & Associates, PA, 1150 SE Maynard Road Suite 260, Cary, NC 27511. Tel: 919.467.9709 / Fax: 919.460.7580, wco@wco-pa.com
OWNER: Watson Family LLC, 6220 Forestville Road, Raleigh, NC 27604. Tel: 919.818.5509 / Fax: 919.818.5509, wco@watson.com
CONTRACT TO PURCHASE: D.R. Horton, Inc., 2000 Aerial Center Parkway Suite 1100, Morrisville, NC 27560. Tel: 919.766.6363 / Fax: 919.766.6363, rdh@drhorton.com
ANNEXATION #: pending
ZONING: R2
CURRENT FUTURE LAND USE CLASSIFICATION: Suburban Residential
PROPOSED FUTURE LAND USE CLASSIFICATION: Suburban Residential
AREA OF TRACTS: 119.05 Acres
PROPOSED LOTS: 217
REQUIRED SETBACKS: for single family units:
FRONT: 20'
CORNER: 5'
SIDE: 5'
REAR: 5'
REQUIRED BUFFERS:
ADJACENT TO PIPPIN RD: 15' STREETSCAPE
ADJACENT TO FRANCES RD: 15' STREETSCAPE
OTHER PERMITTER: 15' TREE A
REAR OF LOTS 168-169: 20' TREE D
OPEN SPACE (CONSERVATION) REQUIRED: 59.88 Acres
OPEN SPACE (CONSERVATION) PROVIDED: 60.57 Acres
PRIMARY CONSERVATION AREA: 44.65 Acres
SECONDARY CONSERVATION AREA: 15.92 Acres
OPEN SPACE: 65.57 Acres
ACTIVE: 2.98 Acres
PASSIVE: 62.59 Acres
FEMA FLOODMAP #: 372017860I May 2, 2006, 372027600I May 2, 2006, etc. contours, see site elevation

THIS INFORMATION SUBMITTED IS INTENDED TO BE USED IN ACCORDANCE WITH SECTION 4.2 OF THE TOWN OF ZEBULON LIMITED EMPLOYMENT INSURANCE. ALL APPLICABLE REGULATIONS OF THAT SECTION WILL BE APPLIED TO.

CS-19	WATSON FARM TRAIL PLAN/PROFILE
CS-20	WATSON FARM TRAIL PLAN/PROFILE
CS-21	WATSON FARM TRAIL PLAN/PROFILE & DETAIL E
CS-22	WATSON FARM TRAIL PLAN/PROFILE
CS-23	WATSON FARM TRAIL PLAN/PROFILE
CS-24	WATSON FARM TRAIL PLAN/PROFILE
CS-25	WATSON FARM TRAIL PLAN/PROFILE
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CS-28	WATSON FARM TRAIL PLAN/PROFILE
CS-29	WATSON FARM TRAIL PLAN/PROFILE
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CS-36	WATSON FARM TRAIL PLAN/PROFILE
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CS-40	WATSON FARM TRAIL PLAN/PROFILE
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CS-46	WATSON FARM TRAIL PLAN/PROFILE
CS-47	WATSON FARM TRAIL PLAN/PROFILE
CS-48	WATSON FARM TRAIL PLAN/PROFILE
CS-49	WATSON FARM TRAIL PLAN/PROFILE
CS-50	WATSON FARM TRAIL PLAN/PROFILE
E-1	LANDSCAPE PLAN
C-1	CONSERVATION & TREE/SETBACK/VEGETATION MAP
104	SITE LAYOUT MAP

Wm. G. Daniel & Assoc.
 Engineering Planning
 Site Design
 1180 SE MAYNARD ROAD
 SUITE 260
 CARY, NC 27511
 PH: 919-467-9709 F: 919-460-7580
 C-0121



Revisions
 07.11.22 Per City/Town 1st review
 10.12.22 Per City/Town 2nd review
 01.12.23 Per City/Town 3rd review

Owner:
 Watson Family LLC
 6220 Forestville Road
 Raleigh, NC 27604
 919.818.5500

Project:
 Clifton Grove

City:

Date:
 February 15, 2022

Scale:
 1" = 300'

Sheet

CS-1



All Streets and Driveways within Clifton Grove subdivision shall be public and in accordance with the latest version of the Town of Zebulon Street and Storm Drainage Standards and Specifications Manual. The details in Clifton Grove will conform to Section 4.3.3.P. of the UDC.

- NOTES**
1. The applicant is responsible for the responsibility of this site.
 2. The applicant must provide for maintenance of drainage swales, ditches, ditches and other storm drains.
 3. Storm Drains: Local Storms - 2" of 8.5C flow of 905 tributary to the 7" flow capacity of 8.5C shall be provided. Collector capacity and flow to be shown in plans until final zoning is finalized.
 4. Storm Drains: Collector Storms - 2.5" of 8.5C flow of 800 total of flow.
 5. The flow capacity of 1.5" of 8.5C shall be indicated. Designer capacity and flow to be shown in plans until the final zoning is finalized.
 6. Storm Drain Construction shall be completed with Section 4 of the storm drain Storm Drain Construction Manual.
 7. Storm Drains: Storm Drains, per storm drains, shall include storm, trash, debris and road and roadway storm.
 8. All streets to be Public with Clifton Grove.
 9. The applicant is responsible for providing a Letter of Credit or Bond for the site.
 10. Storm Drains: Storm Drains, per storm drains, shall include storm, trash, debris and road and roadway storm.
 11. Storm Drains: Storm Drains, per storm drains, shall include storm, trash, debris and road and roadway storm.
 12. Storm Drains: Storm Drains, per storm drains, shall include storm, trash, debris and road and roadway storm.
 13. Storm Drains: Storm Drains, per storm drains, shall include storm, trash, debris and road and roadway storm.
 14. Storm Drains: Storm Drains, per storm drains, shall include storm, trash, debris and road and roadway storm.
 15. Storm Drains: Storm Drains, per storm drains, shall include storm, trash, debris and road and roadway storm.
 16. Storm Drains: Storm Drains, per storm drains, shall include storm, trash, debris and road and roadway storm.
 17. Storm Drains: Storm Drains, per storm drains, shall include storm, trash, debris and road and roadway storm.
 18. Storm Drains: Storm Drains, per storm drains, shall include storm, trash, debris and road and roadway storm.
 19. Storm Drains: Storm Drains, per storm drains, shall include storm, trash, debris and road and roadway storm.
 20. Storm Drains: Storm Drains, per storm drains, shall include storm, trash, debris and road and roadway storm.

PROJECT LOCATION

Clifton Grove, NC 27528

Wm. G. Daniel & Assoc.
 Engineering Planning
 Site Design
 1100 SE WATKINS ROAD
 SUITE 200
 CARY, NC 27511
 PHONE: (919) 469-4050
 FAX: (919) 469-4050
 WWW: WWW.WGDANIEL.COM

Revisions

07.13.22	Per City/Town
	1st Review
10.12.22	Per City/Town
	2nd Review
02.12.23	Per City/Town
	3rd Review

Owner:
 Weston Family LLC
 8225 Forestville Road
 Raleigh, NC 27604
 919.619.5599

Project
 Clifton Grove

Sheet Key - Overall Plan

Date
 February 15, 2022

Scale
 1" = 200'

Sheet

CS-2

Wm. G. Daniel & Assoc.
Engineering Planning
Site Design

1160 W. MARYLAND ROAD
SUITE 200
CARY, NC 27511
TEL: 919.487.8700 FAX: 919.487.8100
CARY, NC



Revisions
07.13.22 Per City/Town
181 Review
10.12.22 Per City/Town
2nd review
01.12.23 Per City/Town
3rd review



UTILITY WARNING
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING RECORDS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPLY WITH ALL CODES APPLICABLE IN THE AREA, OTHER IN SOURCE OF INFORMATION. THE SURVEYOR FURTHER STATES NOT BE RESPONSIBLE FOR THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATIONS INDICATED ALTHOUGH HE EXERCISES REASONABLE CARE TO ACCURATELY AS ASSEMBLED AS ACCURATE AS IS POSSIBLE FROM INFORMATION AVAILABLE TO HIM. THE SURVEYOR WILL NOT BE PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

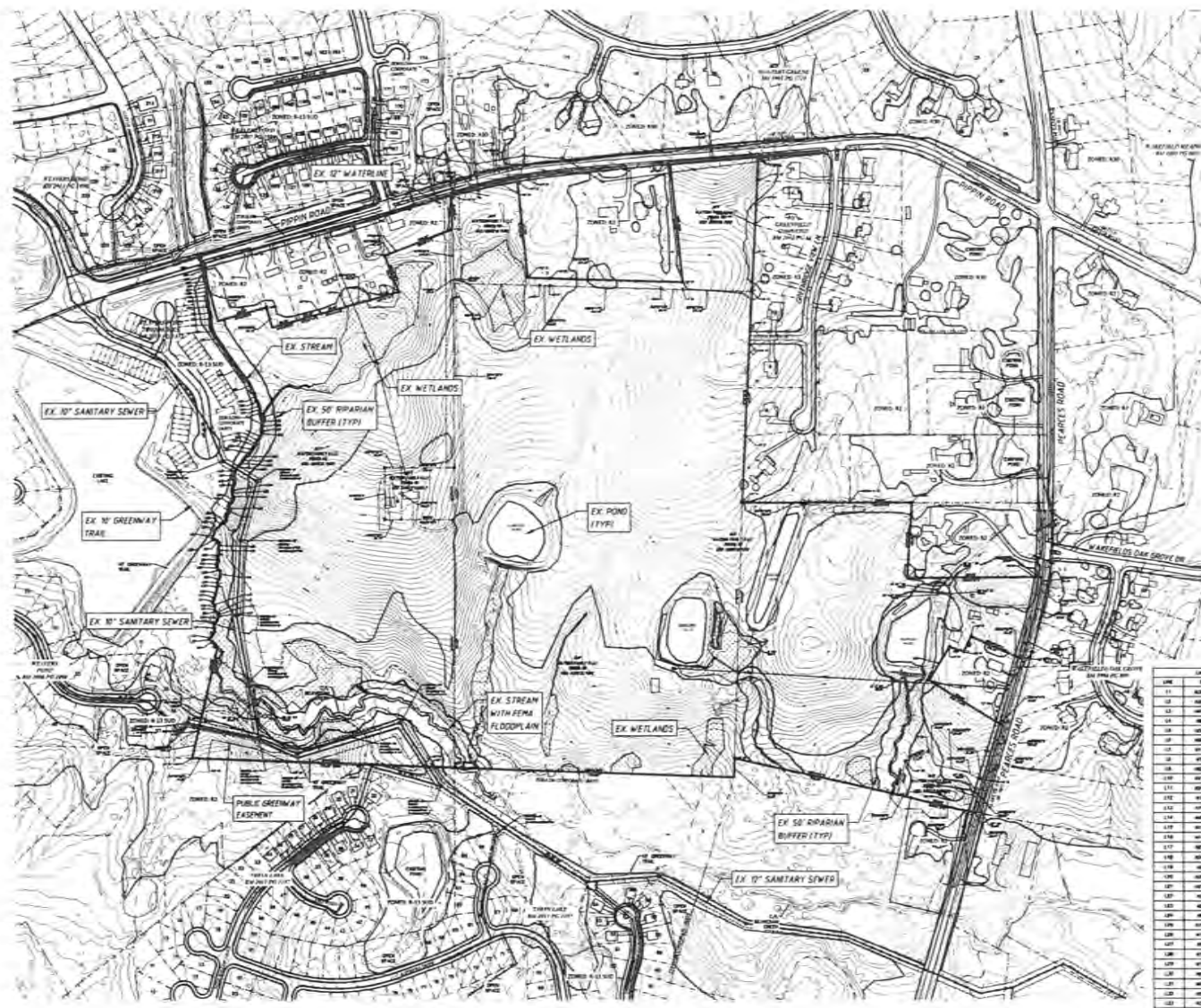
FEMA FLOODMAP # 372012900J May 2, 2006
372021060J May 2, 2006
SITE CONTAINS 100 YEAR FLOODPLAIN

LEGEND

10' BUFFER	---
50' BUFFER	---
100' BUFFER	---
10' BUFFER	---
50' BUFFER	---
100' BUFFER	---
10' BUFFER	---
50' BUFFER	---
100' BUFFER	---
10' BUFFER	---
50' BUFFER	---
100' BUFFER	---
10' BUFFER	---
50' BUFFER	---
100' BUFFER	---
10' BUFFER	---
50' BUFFER	---
100' BUFFER	---

NOTE:
FLOODPLAIN AND FLOODWAY DEPICTED ON THIS PLAN IS BASED ON INTERPOLATION OF PUBLISHED FEMA MAPPING AND ADAPTATION OF THE BASE FLOOD ELEVATION IS ADJUSTED TO CONFORM TO FIELD SURVEYED TOPOGRAPHY. FLOODWAY TO CONFORM TO FIELD SURVEYED TOPOGRAPHY. FLOODWAY TO CONFORM TO FIELD SURVEYED TOPOGRAPHY. FLOODWAY TO CONFORM TO FIELD SURVEYED TOPOGRAPHY.

LINE	TYPE	DESCRIPTION	LINE	TYPE	DESCRIPTION	LINE	TYPE	DESCRIPTION
101	ADJUSTMENT	0.00	102	ADJUSTMENT	0.00	103	ADJUSTMENT	0.00
104	ADJUSTMENT	0.00	105	ADJUSTMENT	0.00	106	ADJUSTMENT	0.00
107	ADJUSTMENT	0.00	108	ADJUSTMENT	0.00	109	ADJUSTMENT	0.00
110	ADJUSTMENT	0.00	111	ADJUSTMENT	0.00	112	ADJUSTMENT	0.00
113	ADJUSTMENT	0.00	114	ADJUSTMENT	0.00	115	ADJUSTMENT	0.00
116	ADJUSTMENT	0.00	117	ADJUSTMENT	0.00	118	ADJUSTMENT	0.00
119	ADJUSTMENT	0.00	120	ADJUSTMENT	0.00	121	ADJUSTMENT	0.00
122	ADJUSTMENT	0.00	123	ADJUSTMENT	0.00	124	ADJUSTMENT	0.00
125	ADJUSTMENT	0.00	126	ADJUSTMENT	0.00	127	ADJUSTMENT	0.00
128	ADJUSTMENT	0.00	129	ADJUSTMENT	0.00	130	ADJUSTMENT	0.00
131	ADJUSTMENT	0.00	132	ADJUSTMENT	0.00	133	ADJUSTMENT	0.00
134	ADJUSTMENT	0.00	135	ADJUSTMENT	0.00	136	ADJUSTMENT	0.00
137	ADJUSTMENT	0.00	138	ADJUSTMENT	0.00	139	ADJUSTMENT	0.00
140	ADJUSTMENT	0.00	141	ADJUSTMENT	0.00	142	ADJUSTMENT	0.00
143	ADJUSTMENT	0.00	144	ADJUSTMENT	0.00	145	ADJUSTMENT	0.00
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198	ADJUSTMENT	0.00	199	ADJUSTMENT	0.00	200	ADJUSTMENT	0.00



Owner:
Watson Family 6 LLC
8320 Forestville Road
Raleigh, NC 27604
919.813.5500

Project:
Clifton Grove

Overall Existing
Conditions Plan

Date:
February 15, 2022

Scale:
1" = 200'

Sheet:

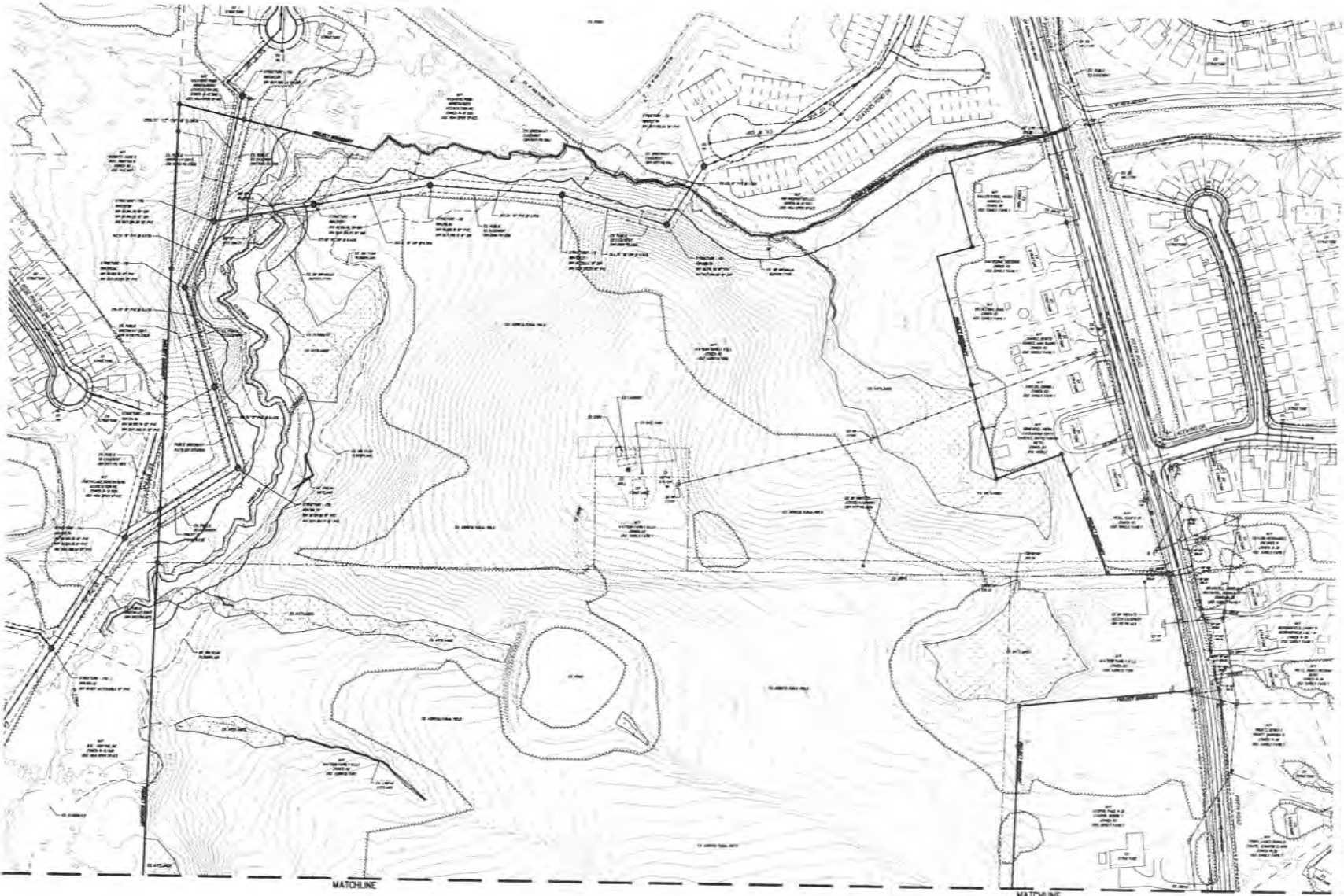
CS-3

FEMA FLOODMAP # 3720179600J May 2, 2006
 3720270600J May 2, 2006
 SITE CONTAINS 100 YEAR FLOODPLAIN

LEGEND

100 Year Floodplain	(Symbol)
500 Year Floodplain	(Symbol)
100 Year Floodway	(Symbol)
500 Year Floodway	(Symbol)
Water	(Symbol)
Proposed Road	(Symbol)
Proposed Driveway	(Symbol)
Proposed Structure	(Symbol)
Proposed Utility	(Symbol)
Proposed Easement	(Symbol)
Proposed Setback	(Symbol)
Proposed Boundary	(Symbol)
Proposed Area	(Symbol)
Proposed Note	(Symbol)

NOTE:
 FLOODPLAIN AND FLOODWAY DEPICTED ON THIS PLAN IS
 BASED ON INTERPOLATION OF PUBLISHED FEMA MAPPING AND
 ADAPTION OF THE BASE FLOOD LIMITS & ASSOCIATED
 FLOODWAY TO CONFORM TO FIELD SURVEYED TOPOGRAPHIC
 MAPPING & STREAM LOCATION.



Wm. G. Daniel & Assoc.
 Engineering Planning
 Site Design
 1100 SF MAYNARD ROAD
 SUITE 200
 CARY, NC 27511
 PH 919-487-8708 FX 919-487-7561
 C-0129



Revisions
 07.13.22 Per City/Town
 1st review
 10.12.22 Per City/Town
 2nd review
 01.12.23 Per City/Town
 3rd review

Owner:
 Watson Family LLC
 8220 Forestville Road
 Raleigh NC 27604
 919.819.5505

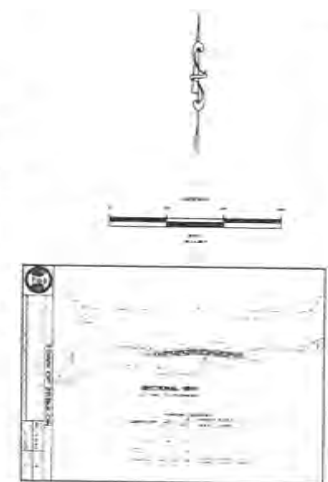
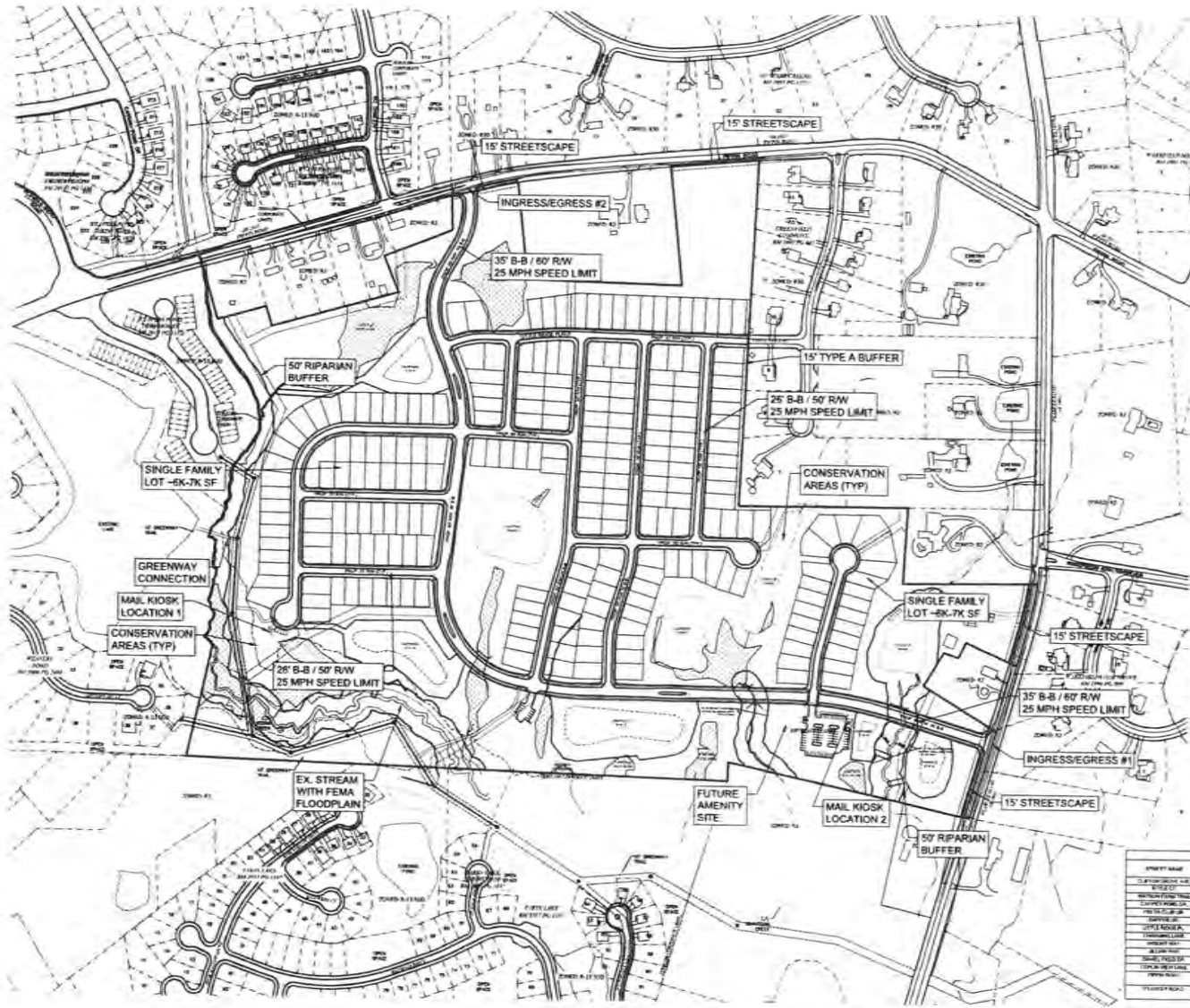
Project
 Clifton Grove
 Existing Conditions Plan

Date
 February 15, 2022

Scale
 1" = 100'

Sheet

CS-3a



- NOTES:
1. ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH ALL TOWNSHIP ORDINANCES AND SPECIFIC ORDINANCES AND ANY OF APPLICABLE. BOUNDARY WAS PROVIDED BY A SURVEYING.
 2. CONSTRUCTION SHALL BE PROVIDED BY A SURVEYING.
 3. CONSTRUCTION SHALL BE PROVIDED BY A SURVEYING.
 4. UTILITIES AND LOCATIONS EXIST ON SITE AND HAVE BEEN FIELD LOCATED AND INDICATED BY SURV. & ENVIRONMENTAL CONSULTANTS.
 5. DRAINAGE SYSTEMS SHALL BE PROVIDED IN ACCORDANCE WITH ALL EXISTING ORDINANCES.
 6. ALL DISTANCES ARE TO BACK OF CURB OR RIGHT-OF-WAY UNLESS OTHERWISE SPECIFIED.
 7. MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 10 FEET FROM THE POINT OF TANGENCY AND NO INTERFERING PARKING SPACES SHALL ENCROACH ON THIS MINIMUM CORNER CLEARANCE.
 8. RIGHT-OF-WAY SHALL BE CLEARED AND CONVEYED WITHIN 100 FEET OF ALL STREET INTERSECTIONS.
 9. NO SIGN OBSTRUCTION OR PARTIALLY OBSTRUCTING WALL, FENCE, SIGNAGE, SIGN, PARKED VEHICLES, SIGN OR OTHER OBJECTS BETWEEN THE PROJECTIONS OF TWO FEET AND EIGHT AND FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST GRADELAD WAY IF NO CURBING EXISTS SHALL BE PLACED WITHIN A STREET TRAVELWAY.
 10. ALL SIGNAGE SHALL BE PROVIDED IN ACCORDANCE WITH ALL APPLICABLE ENGINEERING STANDARDS AND ANY OF APPLICABLE. WHERE SIGNAGE IS NOT REQUIRED ALONG THE PUBLIC ROW, CURB IS TO BE DECREASED AT ALL BANK LOCATIONS SHOWN IN THIS PLAN.

ROADWAY DATA TABLE				
STREET NAME	CLASSIFICATION	PERMANENT WIDTH	PUBLIC OR PRIVATE	LENGTH OF STRIP (FEET)
CLAYTON DRIVE	LOCAL STREET	30'-0"	PUBLIC	450'-0"
WILSON DRIVE	LOCAL STREET	30'-0"	PUBLIC	450'-0"
CLAYTON DRIVE	LOCAL STREET	30'-0"	PUBLIC	450'-0"
WILSON DRIVE	LOCAL STREET	30'-0"	PUBLIC	450'-0"
CLAYTON DRIVE	LOCAL STREET	30'-0"	PUBLIC	450'-0"
WILSON DRIVE	LOCAL STREET	30'-0"	PUBLIC	450'-0"
CLAYTON DRIVE	LOCAL STREET	30'-0"	PUBLIC	450'-0"
WILSON DRIVE	LOCAL STREET	30'-0"	PUBLIC	450'-0"
CLAYTON DRIVE	LOCAL STREET	30'-0"	PUBLIC	450'-0"
WILSON DRIVE	LOCAL STREET	30'-0"	PUBLIC	450'-0"
CLAYTON DRIVE	LOCAL STREET	30'-0"	PUBLIC	450'-0"
WILSON DRIVE	LOCAL STREET	30'-0"	PUBLIC	450'-0"
CLAYTON DRIVE	LOCAL STREET	30'-0"	PUBLIC	450'-0"
WILSON DRIVE	LOCAL STREET	30'-0"	PUBLIC	450'-0"
CLAYTON DRIVE	LOCAL STREET	30'-0"	PUBLIC	450'-0"
WILSON DRIVE	LOCAL STREET	30'-0"	PUBLIC	450'-0"
CLAYTON DRIVE	LOCAL STREET	30'-0"	PUBLIC	450'-0"
WILSON DRIVE	LOCAL STREET	30'-0"	PUBLIC	450'-0"
CLAYTON DRIVE	LOCAL STREET	30'-0"	PUBLIC	450'-0"
WILSON DRIVE	LOCAL STREET	30'-0"	PUBLIC	450'-0"

Wm. G. Daniel & Assoc.
 Engineering Planning
 Site Design
 1110 16th MAYNARD ROAD
 SUITE 200
 CARY, NC 27511
 (919) 487-8700 FAX (919) 487-8700
 C-0122



- Revisions
- 07.13.22 Per City/Town 1st review
 - 10.12.22 Per City/Town 2nd review
 - 01.12.23 Per City/Town 3rd review

Owner
 Watson Family LLC
 8225 Foreville Road
 Raleigh NC 27684
 919.819.5509

Project
 Clifton Grove

Overall Subdivision
 Layout Plan

Date
 February 15, 2022

Scale
 1" = 200'

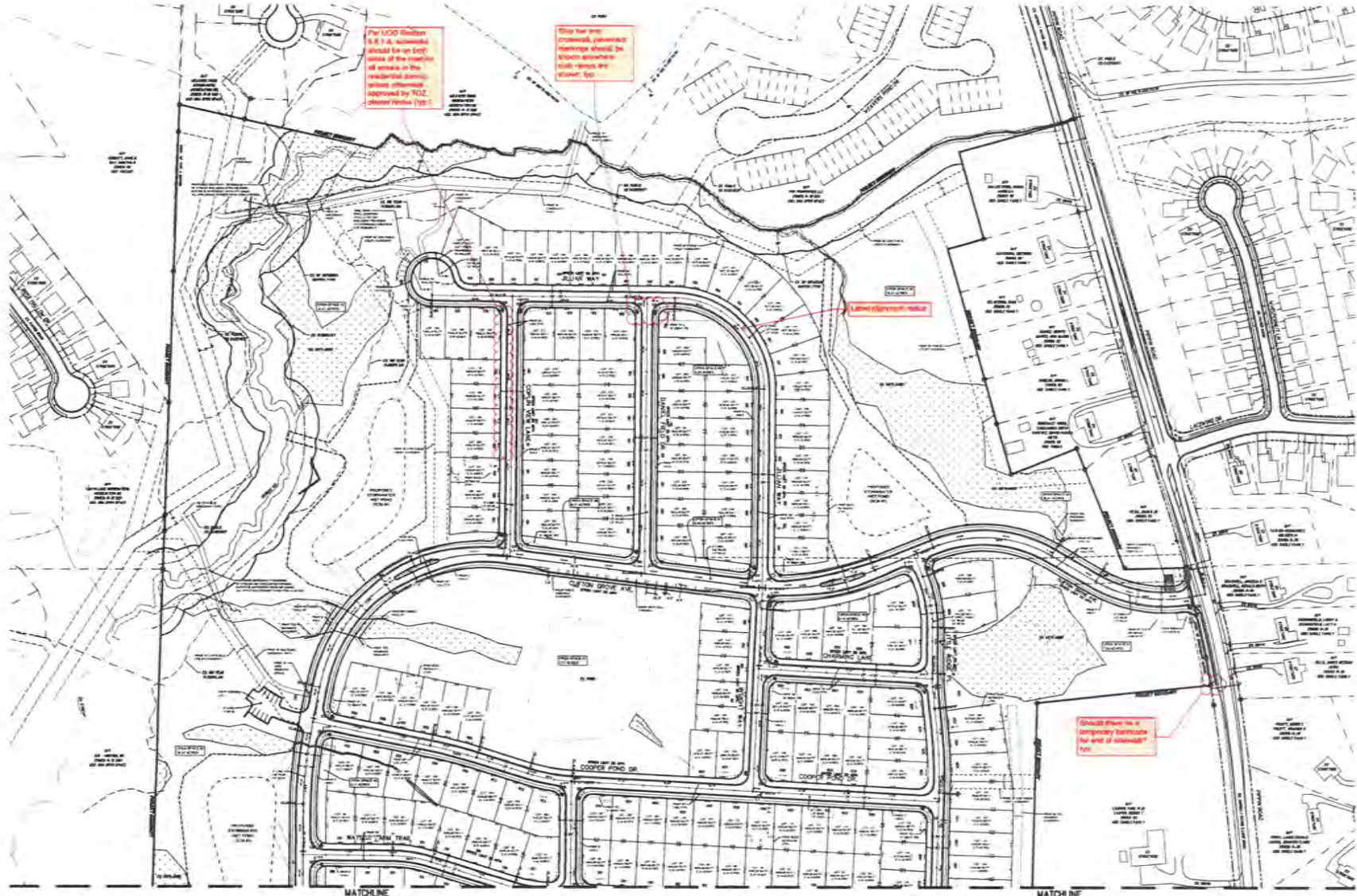
Sheet

CS-4

NOTES:
 1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TYPICAL STANDARD AND SPECIFICATIONS AND NOTED IF APPLICABLE.
 2. BOUNDARY WAS PROVIDED BY AER SURVEYING.
 3. CENTERLINE AND PROPERTY BOUNDARIES ARE SHOWN BY DASHED LINES.
 4. WETLAND LOCATIONS SHOWN BY SHADING AND DELINEATED BY BOLD & DOTTED LINES.
 5. THIS SITE OF FUTURE IMPROVEMENTS IS SUBJECT TO ALL APPLICABLE REGULATIONS.
 6. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING UTILITIES.
 7. ALL DISTANCES ARE TO BACK OF CURB UNLESS OTHERWISE SPECIFIED.
 8. MINIMUM CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 10 FEET FROM THE POINT OF INTERSECTION AND 10 FEET FROM THE END OF THE DRIVEWAY.
 9. MINIMUM CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 10 FEET FROM THE POINT OF INTERSECTION AND 10 FEET FROM THE END OF THE DRIVEWAY.
 10. MINIMUM CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 10 FEET FROM THE POINT OF INTERSECTION AND 10 FEET FROM THE END OF THE DRIVEWAY.
 11. THE NEAREST TRAFFIC SIGNAL SHALL BE PLACED WITHIN A SIGN TRIANGLE.
 12. THE NEAREST TRAFFIC SIGNAL SHALL BE PLACED WITHIN A SIGN TRIANGLE.
 13. WHERE SIDEWALK IS NOT REQUIRED ALONG THE PUBLIC ROW, CURB IS TO BE DEPOSED AT ALL RAMP LOCATIONS SHOWN ON THIS PLAN.

CR - DENOTES CURB RAMP

FOR TRACT METES AND BOUNDS DESCRIPTION OF TRACT BOUNDARY PLEASE SEE CS-3A & 3B



Wm. G. Daniel & Assoc.
 Engineering Planning
 Site Design
 1100 DE MARSHALL ROAD
 SUITE 200
 CARY, NC 27511
 PH: 919-441-8708 F: 919-440-7585
 C: 919-279-1122



Revisions
 07.13.22 Per City/Town
 1st review
 10.12.22 Per City/Town
 2nd review
 01.12.23 Per City/Town
 3rd review

Owner:
 Watson Family II LLC
 6225 Forestville Road
 Raleigh, NC 27604
 919 519 5599

Project:
 Clifton Grove
 Subdivision Layout Plan

Date:
 February 15, 2022

Scale:
 1" = 100'

Sheet

CS-4a

- NOTES
1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL STANDARDS AND SPECIFICATIONS AND NOTICES IF APPLICABLE.
 2. BOUNDARY WAS PROVIDED BY SURVEYING.
 3. EXISTING AND PROPOSED UTILITIES ARE SHOWN BY DASHED LINES.
 4. WETLAND LOCATIONS ARE SHOWN BY Wavy LINE PATTERNS LOCATED AND IDENTIFIED BY THE ENVIRONMENTAL CONSULTANTS.
 5. THIS SITE IS FROM MAPS MAP 17701 FROM A 2010 PLAN.
 6. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL UTILITIES LOCATED.
 7. ALL DISTANCES ARE TO BACK OF CURB OR RIGHT OF WAY UNLESS OTHERWISE SPECIFIED.
 8. MINIMUM CURB CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 10 FEET FROM THE POINT OF INTERSECTION AND ALL DISTANCES IN PARKING SPACES SHALL COMPLY WITH THE MINIMUM CURB CLEARANCE.
 9. AREAS OF WAY SHALL BE CLEARED AND CARRIED WITHIN 100 FEET OF ALL STREET INTERSECTIONS.
 10. NO SIGN OR STRUCTURE OR PARTIALLY COVERING WALL, FENCE, JUNCTION, BEAM, PARALLEL PARALLEL SIGN OR OTHER OBJECT BETWEEN THE SIDES OF THE CURB AND EDGE OF CURB LOW ELEVATION OR THE MARKED TRAFFIC WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE.
 11. ALL UTILITY MARKERS SHALL BE PROVIDED IN ACCORDANCE WITH ALL APPLICABLE TECHNICAL REQUIREMENTS TO ALL UTILITY LOCATIONS AS NOTED ALONG THE PUBLIC ROW CURB IS TO BE DEEPENED AT ALL MARK LOCATIONS SHOWN ON THIS PLAN.

CR DENOTES CURB RAMP

FOR TRACT METES AND BOUNDS DESCRIPTION OF TRACT BOUNDARY PLEASE SEE CS-3A & 3B



Wm. G. Daniel & Assoc.
 Engineering Planning
 Site Design
 11055 MARION ROAD
 SUITE 200
 CARY, NC 27511
 PH: 919-447-7078 F: 919-446-7101
 E: 4029



- Revisions
- 07.13.22 Per City/Town 1st review
 - 10.12.22 Per City/Town 2nd review
 - 01.12.23 Per City/Town 3rd review

Owner:
 Watson Family II LLC
 5225 Forestville Road
 Raleigh, NC 27604
 919 519 5509

Project
 Clifton Grove

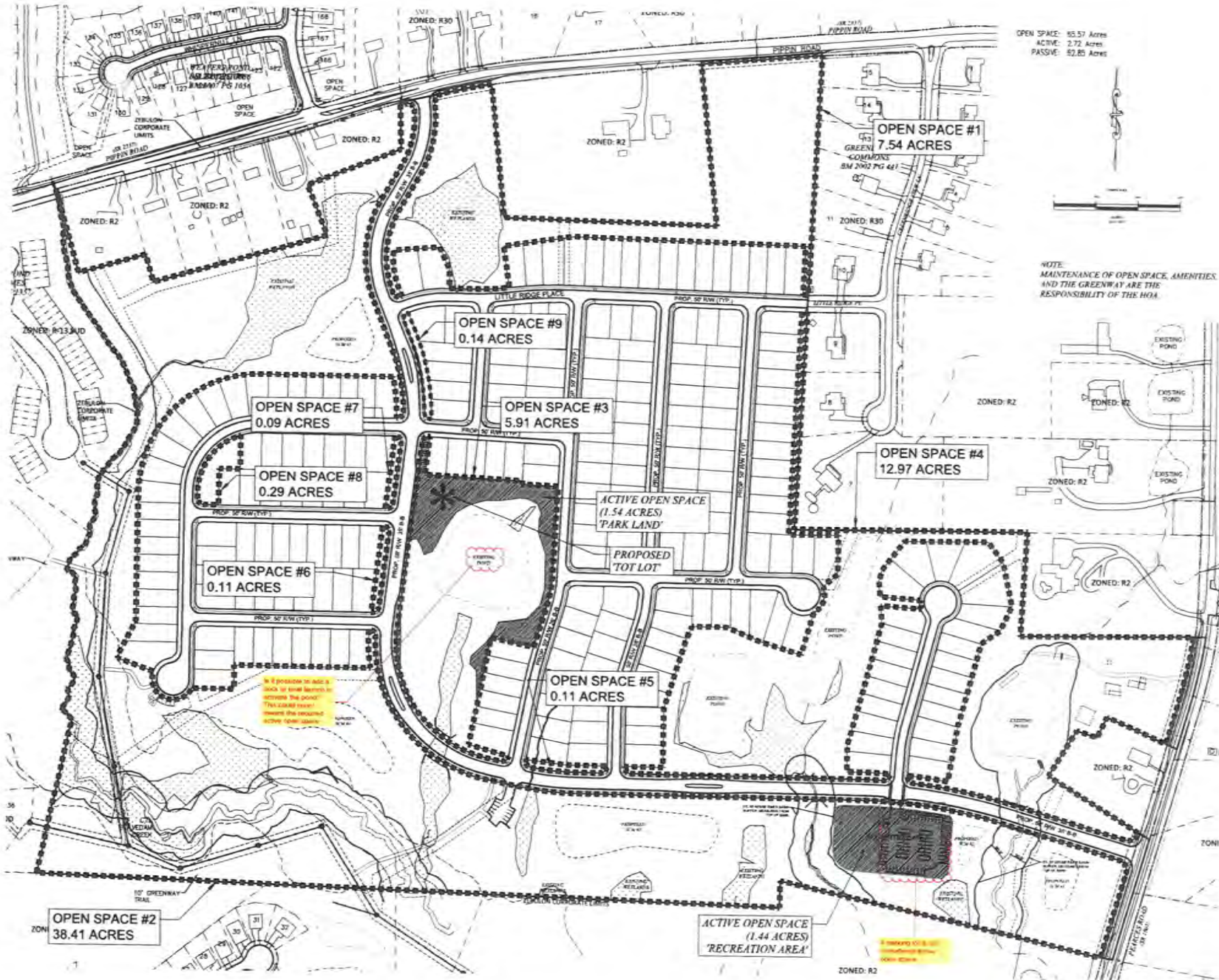
Subdivision Layout Plan

Date
 February 15, 2022

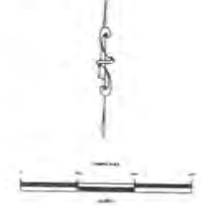
Scale
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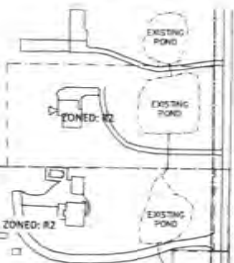
CS-4b



OPEN SPACE: 65.57 Acres
 ACTIVE: 2.72 Acres
 PASSIVE: 62.85 Acres



NOTE:
 MAINTENANCE OF OPEN SPACE, AMENITIES,
 AND THE GREENWAY ARE THE
 RESPONSIBILITY OF THE HOA.



If a provision to add a
 dock or small terrace to
 improve the pond.
 This could mean
 remove the required
 active open space.

If existing lot is not
 completely shown
 (shown in blue)

Wm. G. Daniel & Assoc.
 Engineering Planning
 Site Design
 11006 BAYVIEW ROAD
 SUITE 300
 CARY, NC 27511
 PH: 919-487-9758 FAX: 919-486-7161
 C-0227



Revisions
 07.13.22 Per City/Town
 1st review
 10.12.22 Per City/Town
 2nd review
 01.12.23 Per City/Town
 3rd review

Owner
 Wilson Family II LLC
 8220 Forestville Road
 Raleigh NC 27604
 919.811.5509

Project
 Clifton Grove

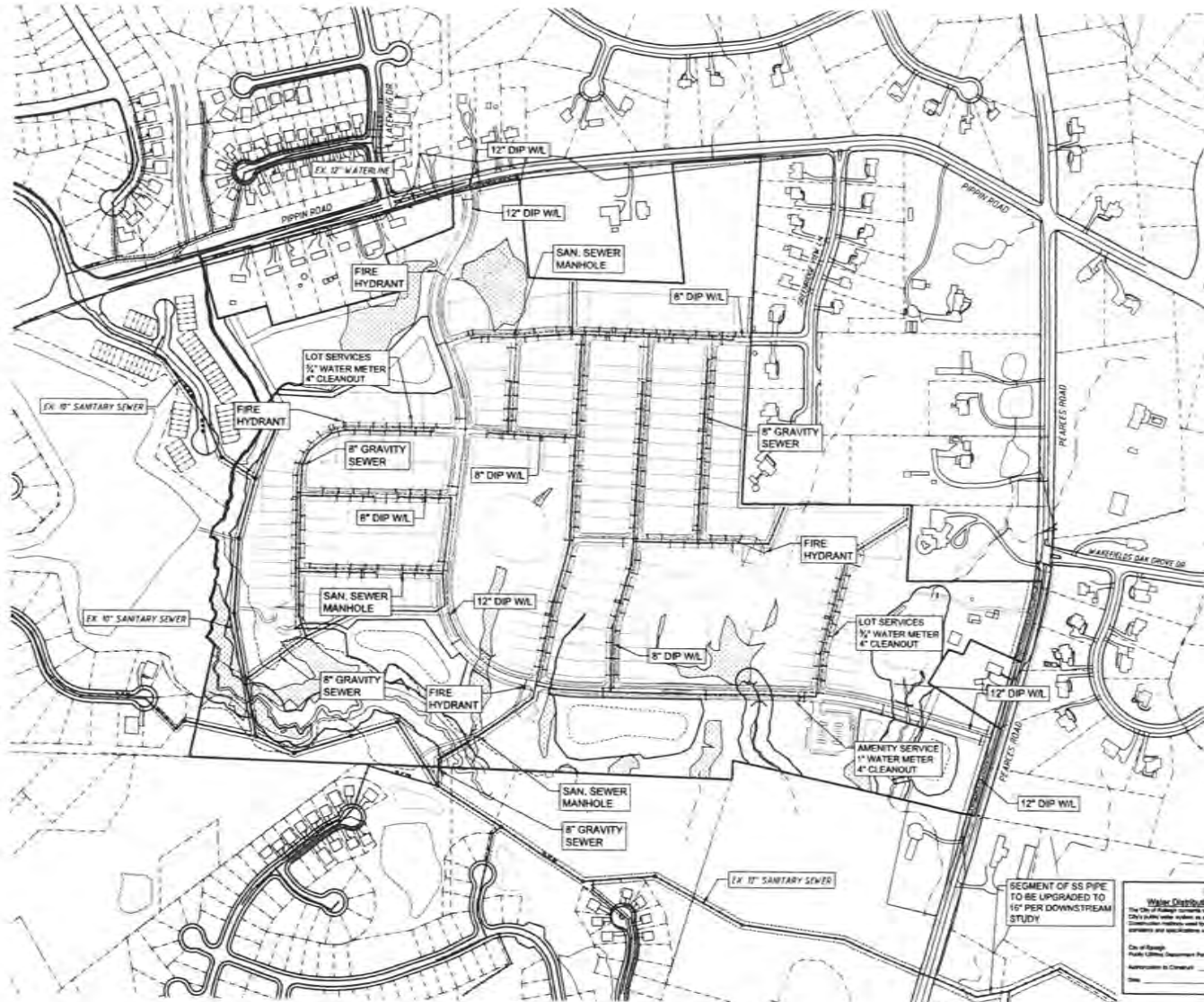
Overall Subdivision
 Open Space Plan

Date
 February 15, 2022

Scale
 1" = 150'

Sheet

CS-4c



ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH CURRENT CITY OF RALEIGH AND/OR NCSD STANDARDS AND SPECIFICATIONS.

- STANDARD NOTES (see schedule):**
1. All work shall be in strict accordance with the current City of Raleigh and/or NCSD standards and specifications.
 2. All work shall be in strict accordance with the current City of Raleigh and/or NCSD standards and specifications.
 3. All work shall be in strict accordance with the current City of Raleigh and/or NCSD standards and specifications.
 4. All work shall be in strict accordance with the current City of Raleigh and/or NCSD standards and specifications.
 5. All work shall be in strict accordance with the current City of Raleigh and/or NCSD standards and specifications.
 6. All work shall be in strict accordance with the current City of Raleigh and/or NCSD standards and specifications.
 7. All work shall be in strict accordance with the current City of Raleigh and/or NCSD standards and specifications.
 8. All work shall be in strict accordance with the current City of Raleigh and/or NCSD standards and specifications.
 9. All work shall be in strict accordance with the current City of Raleigh and/or NCSD standards and specifications.
 10. All work shall be in strict accordance with the current City of Raleigh and/or NCSD standards and specifications.
 11. All work shall be in strict accordance with the current City of Raleigh and/or NCSD standards and specifications.
 12. All work shall be in strict accordance with the current City of Raleigh and/or NCSD standards and specifications.
 13. All work shall be in strict accordance with the current City of Raleigh and/or NCSD standards and specifications.
 14. All work shall be in strict accordance with the current City of Raleigh and/or NCSD standards and specifications.
 15. All work shall be in strict accordance with the current City of Raleigh and/or NCSD standards and specifications.
 16. All work shall be in strict accordance with the current City of Raleigh and/or NCSD standards and specifications.
 17. All work shall be in strict accordance with the current City of Raleigh and/or NCSD standards and specifications.
 18. All work shall be in strict accordance with the current City of Raleigh and/or NCSD standards and specifications.
 19. All work shall be in strict accordance with the current City of Raleigh and/or NCSD standards and specifications.
 20. All work shall be in strict accordance with the current City of Raleigh and/or NCSD standards and specifications.

SEGMENT OF SS PIPE TO BE UPGRADED TO 15\"/>

Public Water Distribution / Extension System
 City of Raleigh permits for the construction and extension of the City's public water system as shown on this plan. The applicant and Contractor shall be responsible for the project and conform to the standards and specifications of the City of Raleigh, Office of Water Services.

City of Raleigh
 Public Utility Department Permit # **W-3961**
 Approver(s) in Charge: _____
 Date: _____

Public Sewer Collection / Extension System
 City of Raleigh permits for the construction and extension of the City's public sewer system as shown on this plan. The applicant and Contractor shall be responsible for the project and conform to the standards and specifications of the City of Raleigh, Office of Water Services.

City of Raleigh
 Public Utility Department Permit # **S-5098**
 Approver(s) in Charge: _____
 Date: _____

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for all construction shall be in strict accordance with the current City of Raleigh and/or NCSD standards and specifications. The project owner and contractor shall be responsible for the project and conform to the standards and specifications of the City of Raleigh, Office of Water Services. The applicant and Contractor shall be responsible for the project and conform to the standards and specifications of the City of Raleigh, Office of Water Services.

City of Raleigh Government Approver: _____

Wm. G. Janiet & Assoc.
 Engineering Planning
 Site Design
 1150 SE MAXWELL ROAD
 SUITE 202
 CARY, NC 27511
 919.462.6756 FAX: 919.462.7545
 C-6128



Revisions

07.13.22 Per City/Town
 1st review
 10.12.22 Per City/Town
 2nd review
 01.12.23 Per City/Town
 3rd review

Owner:
 Watson Family II LLC
 8225 Ecorse Road
 Raleigh, NC 27604
 919.419.5509

Project:
 Clifton Grove

Overall Utility Plan

Date
 February 15, 2022

Scale
 1" = 200'

Sheet

CS-5

Fork hydrant to be 5" w/c 2 1/2" MST per City of Raleigh local W-4 and W-5.

ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH CURRENT CITY OF RALEIGH AND/OR NC DOT STANDARDS AND SPECIFICATIONS.

SEE CS-4S FOR SANITARY SEWER SCHEDULE

Public
Water Distribution / Extension System
 The City of Raleigh consents to the construction and location of the City's public water system as shown on this plan. The material and construction methods used for the project shall conform to the standards and specifications of the City's Public Utilities Department.
 City of Raleigh
 Public Utilities Department Permit # **W-3961**
 Authorization by Director _____
 Date _____

Public
Sewer Collection / Extension System
 The City of Raleigh consents to the construction and location of the City's public sewer system as shown on this plan. The material and construction methods used for the project shall conform to the standards and specifications of the City's Public Utilities Department.
 City of Raleigh
 Public Utilities Department Permit # **S-5098**
 Authorization by Director _____
 Date _____



Wm. G. Daniel & Assoc.
 Engineering Planning
 Site Design
 1151 SE MAYNARD ROAD
 SUITE 205
 CARY, NC 27511
 (919) 447-9719 Fax (919) 440-7651
 C-4122



Revisions
 07.13.22 Per City/Town 1st review
 10.12.22 Per City/Town 2nd review
 01.12.23 Per City/Town 3rd review

Owner:
 Watson Family S LLC
 5220 Forsythville Road
 Raleigh NC 27664
 919.818.5595

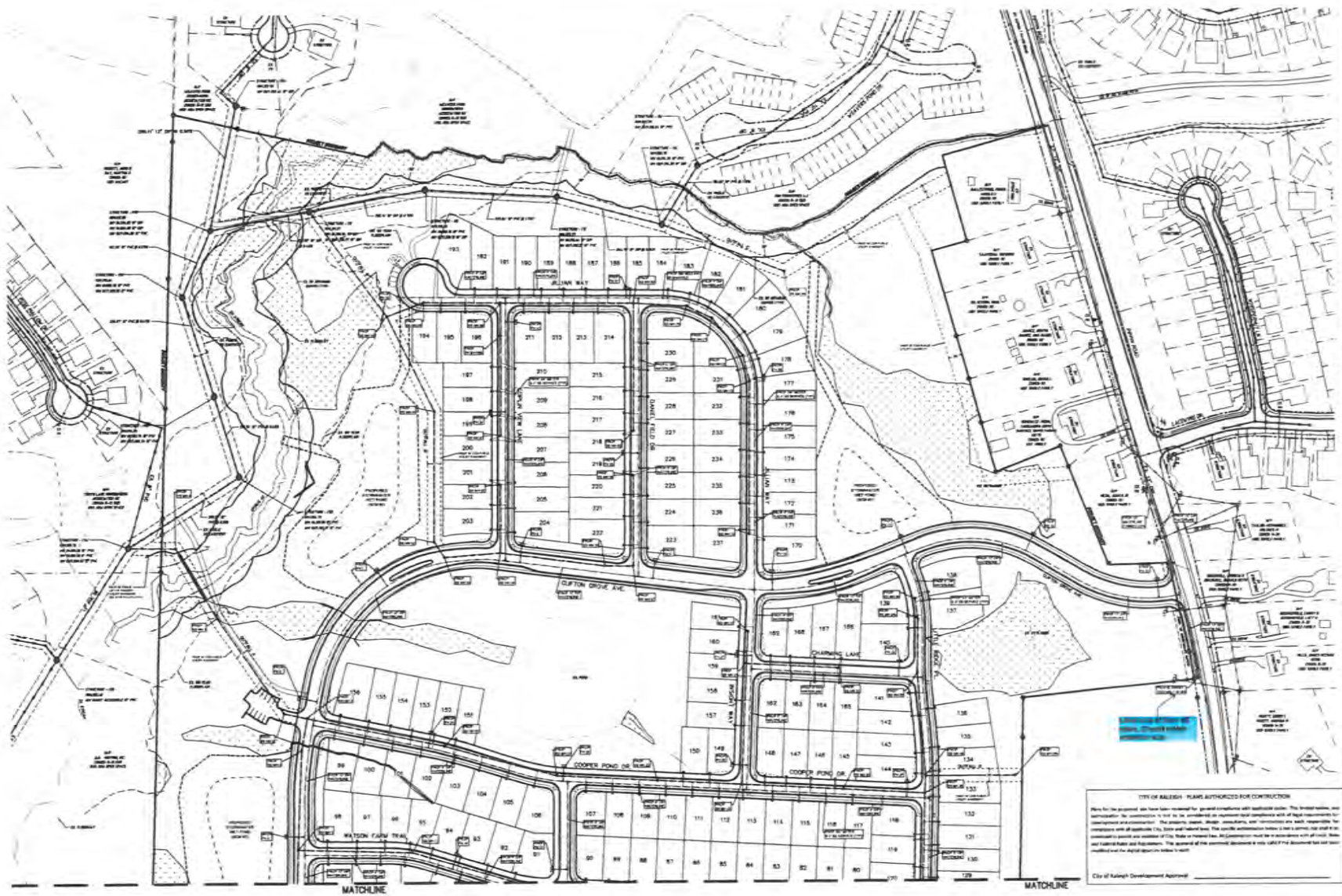
Project:
 Clifton Grove
 Utility Plan

Date:
 February 15, 2022

Scale:
 1" = 100'

Sheet

CS-5a



CITY OF RALEIGH PLANS AUTHORIZED FOR CONSTRUCTION
 Plans for the project, as hereinafter amended, have been reviewed for general compliance with applicable codes. The limited review and authorization by the commission is not to be construed as an endorsement or approval with all legal requirements for construction as prescribed. The property owner, design consultant, and contractor are each responsible for compliance with all applicable City, State and Federal laws. The public authorities herein shall not be held liable for any damages or claims of any kind. This document shall be in accordance with all applicable laws and regulations. The approval of the reviewed documents is only valid if the documents have not been modified and the digital signature below is used.
 City of Raleigh Development Approval _____

File System to be 3" stand 2 1/2" NPT per City of Raleigh
 sheet W-4 and W-5.

ALL CONSTRUCTION SHALL BE IN STRICT
 ACCORDANCE WITH CURRENT CITY OF RALEIGH
 AND/OR HDOT STANDARDS AND SPECIFICATIONS.

SEE CS-45 FOR SANITARY SERIES SCHEDULE

Public	Public
Water Distribution / Extension System	Sanitary Collection / Extension System
The City of Raleigh consents to the construction and extension of the City's public water system as shown on this plan. The approval and construction of this system shall be subject to the standards and specifications of the City's Public Utilities Department.	The City of Raleigh consents to the construction and extension of the City's public sanitary collection system as shown on this plan. The approval and construction of this system shall be subject to the standards and specifications of the City's Public Utilities Department.
City of Raleigh Public Utilities Department Permit # W-3961	City of Raleigh Public Utilities Department Permit # S-5098
Submitted to: Commissioner	Submitted to: Commissioner
Date: _____	Date: _____



Wm. G. Daniel & Assoc.
 Engineering Planning
 Site Design
 1150 SE MATTHEW ROAD
 RALEIGH, NC
 27611
 FAX: 919-873-0728 P: 919-873-7561
 C-0322



Revisions
 07.13.22 Per City/Town
 1st review
 10.12.22 Per City/Town
 3rd review
 01.12.23 Per City/Town
 3rd review

Owner:
 Wilton Family II LLC
 8220 Forestville Road
 Raleigh NC 27604
 919.819.5506

Project
 Clifton Grove

 Utility Plan

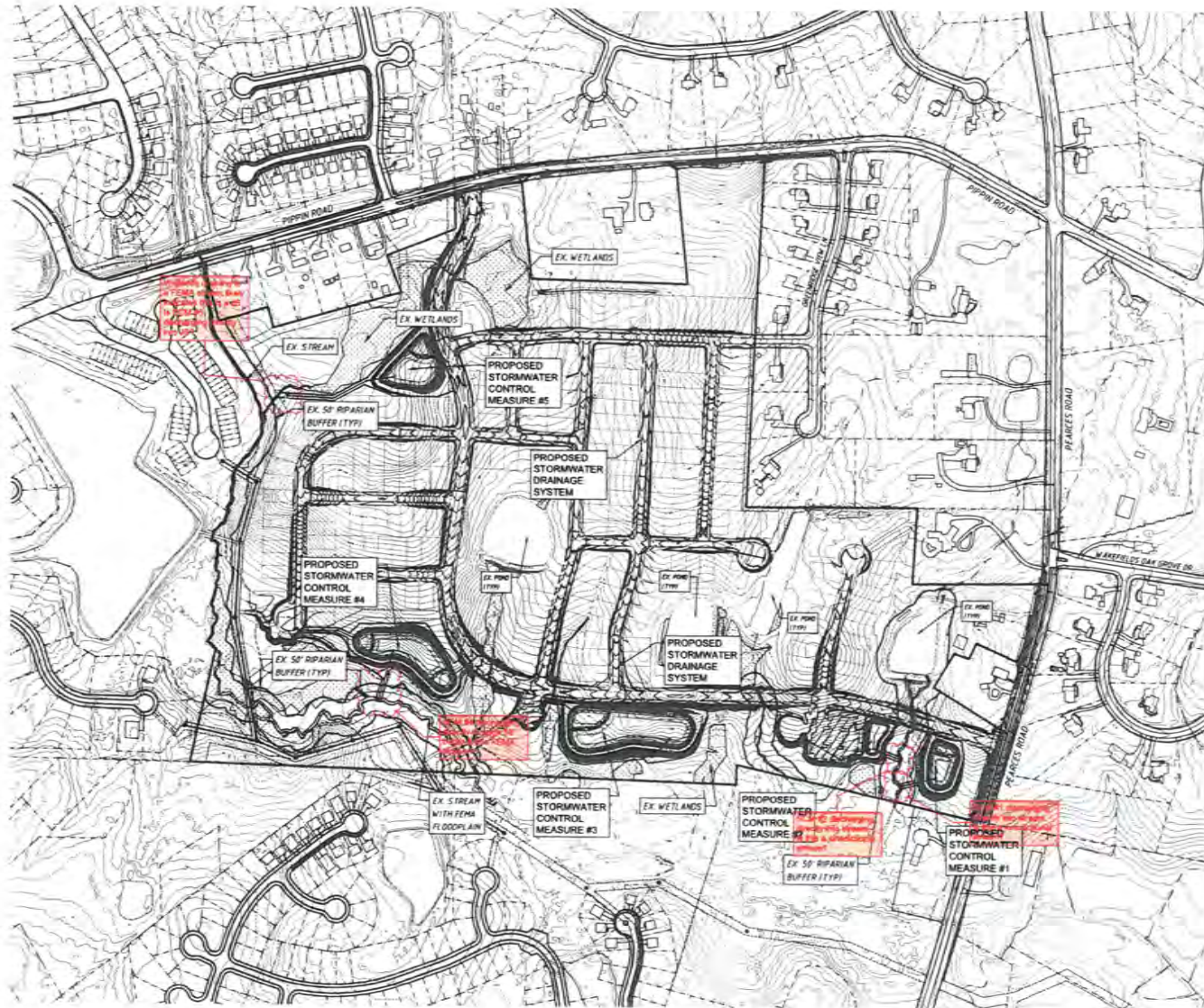
Date
 February 15, 2022

Scale
 1" = 100'

Sheet

CS-5b

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION
 Plans for the project may have been reviewed for general compliance with applicable codes. The limited review and authorization for construction is not to be considered an endorsement and compliance with all applicable codes, standards and specifications. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. The graphic information herein is for general information only and is not intended to provide any indication of title. This is a historical plan. All Contractors must be in accordance with all local, state and federal laws and regulations. This approval of these documents does not constitute a warranty of the information but has been modified and the digital signature below is valid.
 City of Raleigh Development Approval



Note:
Limits of disturbance shall be isolated to spaces necessary for the construction of the infrastructure and no lot disturbance will occur until a building permit is issued for each individual property in accordance with Section 6.2.5.1 of the Town of Zebulon UDD.

Wm. G. Daniel & Assoc.
Engineering Planning
Site Design
1150 SE MAYNARD ROAD
ROUTE 240
CARY, NC 27511
919-447-8700 Fax: 919-447-9595
C-0127



Revisions
07.13.22 Per City/Town
1st review
10.12.22 Per City/Town
2nd review
01.12.23 Per City/Town
3rd review

Owner:
Watson Family B LLC
6225 Forestville Road
Salem, NC 27584
919 819 5500

Project
Clifton Grove

Overall Grading /
Drainage Plan

Date
February 15, 2022

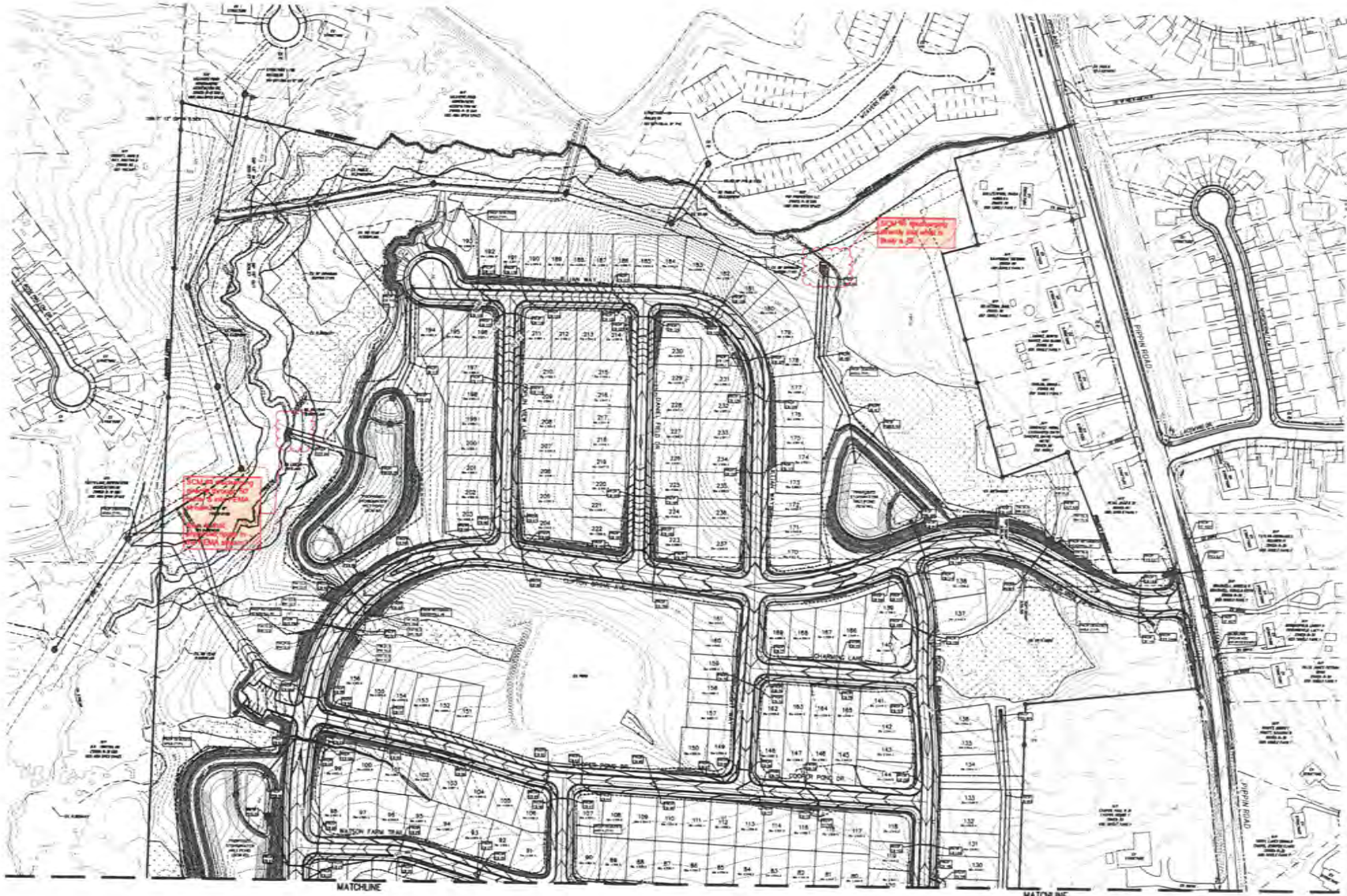
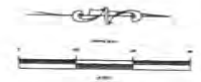
Scale
1" = 200'

Sheet

CS-6

Note:
Limits of disturbance shall be isolated to spaces necessary for the construction of the infrastructure and no lot disturbance will occur until a building permit is issued for each individual property in accordance with Section 6.2.5.1 of the Town of Zebulon UDO.

DENUDED AREA
±37.20 Acres



Wm. G. Daniel & Assoc.
Engineering Planning
Site Design
1150 SE MAYNARD ROAD
SUITE 200
CARY, NC 27511
PH: 919-467-8708 FAX: 919-460-7391
C-3129



Revisions
07.13.22 Per City/Town
1st review
10.12.22 Per City/Town
2nd review
01.12.23 Per City/Town
3rd review

Owner:
Watson Family II LLC
4220 Forestville Road
Raleigh, NC 27704
919 819 5509

Project
Clifton Grove
Grading / Drainage Plan

Date
February 15, 2022

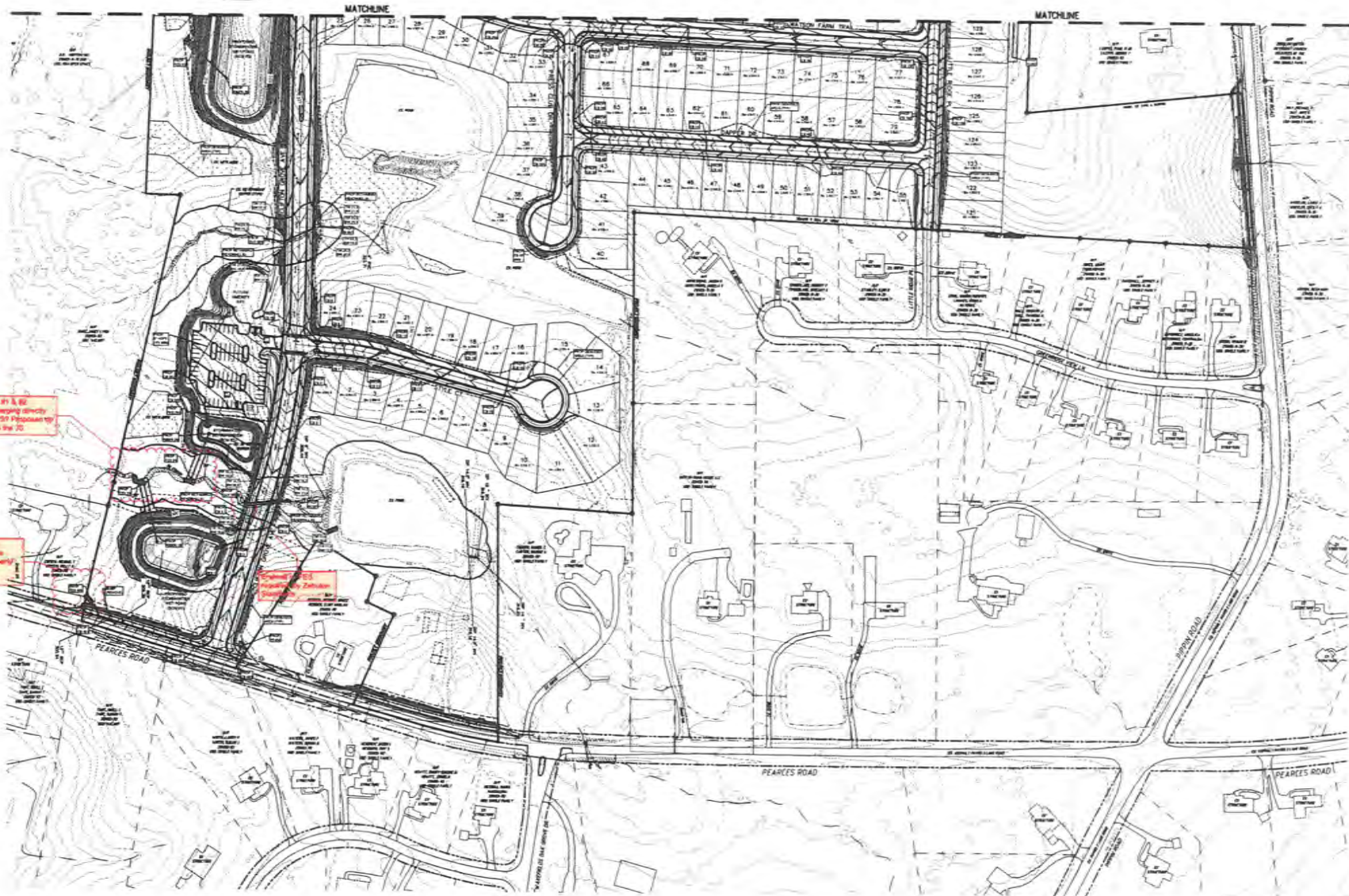
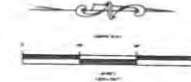
Scale
1" = 100'

Sheet

CS-6a

Note:
Limits of disturbance shall be isolated to spaces necessary for the construction of the infrastructure and no lot disturbance will occur until a building permit is issued for each individual property in accordance with Section 6.2.5.1 of the Town of Zebulon UDC.

DENUDED AREA
±37.20 Acres



ICU #1 & #2
discharging directly
into 254 Proposed by
me in the 20

How does the
drainage affect
the property
immediately
surrounding?

Proposed 254
Proposed by
me in the 20

Wm. G. Daniel & Assoc.
Engineering Planning
Site Design
1150 RE HAYWARD ROAD
SUITE 200
CARY, NC 27511
Ph: 919-467-6708 F: 919-460-7585
C-0327



Revisions
07.13.22 Per City/Town
1st review
10.12.22 Per City/Town
2nd review
01.12.23 Per City/Town
3rd review

Owner:
Watson Family B LLC
8229 Forestville Road
Raleigh NC 27604
919.819.5509

Project:
Clifton Grove
Grading / Drainage Plan

Date:
February 15, 2022
Scale:
1" = 100'
Sheet:

CS-6b



Verify all existing tree locations to coordinate with the site plan.

Verify all existing tree locations to coordinate with the site plan.

Verify all existing tree locations to coordinate with the site plan.

Verify all existing tree locations to coordinate with the site plan.

Verify all existing tree locations to coordinate with the site plan.

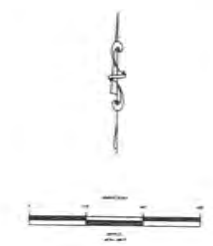
Verify all existing tree locations to coordinate with the site plan.

Verify all existing tree locations to coordinate with the site plan.

Verify all existing tree locations to coordinate with the site plan.

Verify all existing tree locations to coordinate with the site plan.

Verify all existing tree locations to coordinate with the site plan.



DENUDED AREA
±37.20 Acres



Verify all existing tree locations to coordinate with the site plan.

Verify all existing tree locations to coordinate with the site plan.

Note:
Limits of disturbance shall be included in spaces necessary for the construction of the infrastructure and no lot disturbance will occur until a building permit is issued for each individual property in accordance with Section 6.2.5.1 of the Town of Zebulon UDO.

Verify all existing tree locations to coordinate with the site plan.

Verify all existing tree locations to coordinate with the site plan.

Wm. G. Daniel & Assoc.
Engineering Planning
Site Design
1100 SE MAYNARD ROAD
SUITE 200
CARY, NC 27511
PH: 919.481.8700 F: 919.486.7568
C-0127



Revisions
07.13.22 Per City/Town
1st review
10.12.22 Per City/Town
2nd review
01.12.23 Per City/Town
3rd review

Owner:
Watson Family II LLC
8220 Forestry Road
Raleigh NC 27604
919.813.5506

Project
Clifton Grove

Overall Erosion Control
Plan

Date
February 15, 2022

Scale
1" = 200'

Sheet

CS-7

Note:
Limits of disturbance shall be isolated to spaces necessary for the construction of the infrastructure and no lot disturbance will occur until a building permit is issued for each individual property in accordance with Section 8.2.5.1 of the Town of Zebulon UDO.

LCD need to be shown for further understanding of the impacts.
Need more detail labels. Update which direction flow is occurring.



Wm. G. Daniel & Assoc.
Engineering Planning
Site Design
1101 E. HAYWARD ROAD
SUITE 205
CARY, NC 27511
PH: 919.487.8708 F: 919.480.7541
C-41378



Revisions
07.13.22 Per City/Town 1st review
10.12.22 Per City/Town 2nd review
01.12.23 Per City/Town 3rd review

Owner:
Watson Family II LLC
6209 Forestville Road
Raleigh, NC 27604
919.819.5509

Project
Clifton Grove

Erosion Control Plan

Date
February 15, 2022

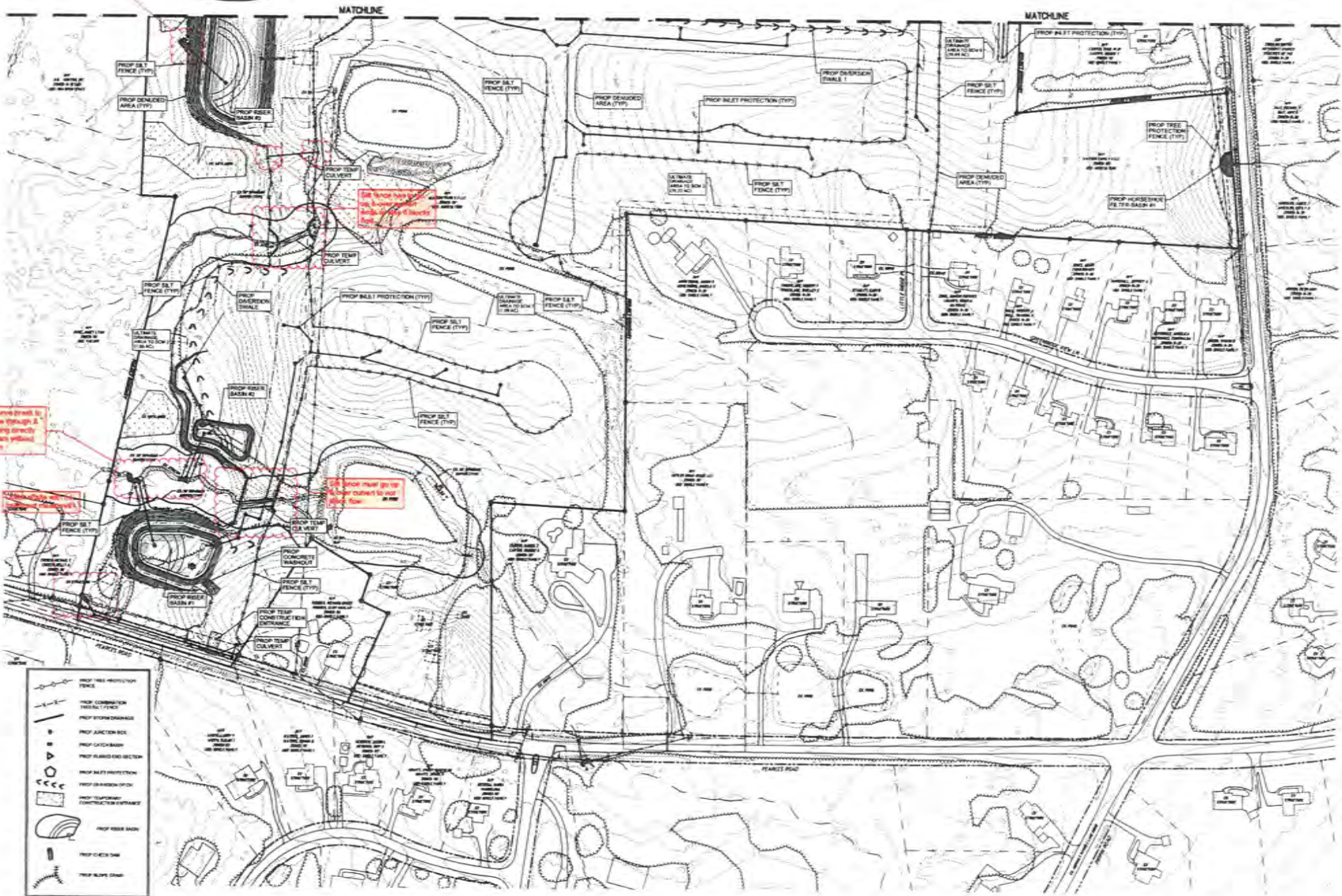
Scale
1" = 100'

Sheet

CS-7b

Need silt fence detail & outlet treatment

DENUDED AREA
±37.20 Acres



C/L CLIFTON GROVE AVE.
Sta. 10+00.00-
C/L PEARCES RD.
Sta. 16+09.96

Public Water Distribution / Extension System		Public Sewer Collection / Extension System	
The City of Raleigh is the owner of the water and sewer systems shown on this plan. The material and construction methods used for the proposed water and sewer systems in the extension and modification of the City's Public Utility System.		The City of Raleigh is the owner of the water and sewer systems shown on this plan. The material and construction methods used for the proposed water and sewer systems in the extension and modification of the City's Public Utility System.	
City of Raleigh Public Utilities Department Parcel #	W-3961	City of Raleigh Public Utilities Department Parcel #	S-5098
Author/Date/Revision		Author/Date/Revision	
Date		Date	

PC STA: 14+06.77
PT STA: 15+41.06
LENGTH: 432.289
RADIUS: 1330.00
DELTA: 167°11'48"
CHORD DIST: 432.85
CHORD BEG: N01°18'20"W

C/L CLIFTON GROVE AVE.
Sta. 17+32.04-
C/L STYLE CT.
Sta. 10+00.00

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS AND NCDOT 'F' APPLICABLE.

Unobscured arrows must be shown on drainage systems (TYP. ALL SHEETS)

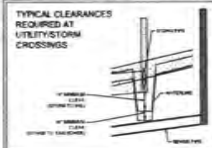
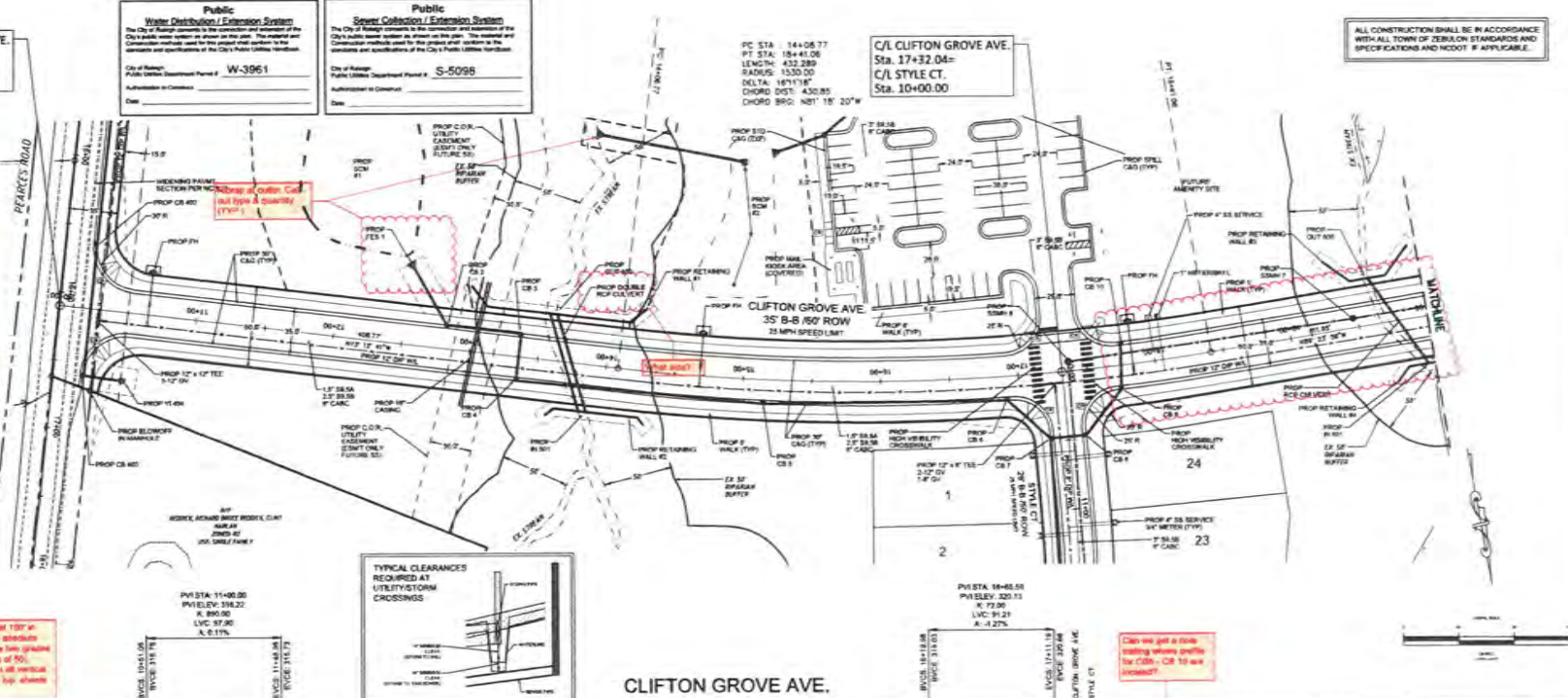
Pipe sizes should be labeled on plan view

Utility lines must be shown on plans at all intersections per Town of Zebulon standards

Where are gutter spread cases?

Where are storm drainage profiles available to be shown in profile view, indicate any proposed storm drainage coverage profiles can be shown. Plans are very difficult to follow when looking specifically at storm drainage.

All vertical curves should be at least 100' in length OR the value of R, show the minimum value of vertical difference of the two grades (rounded upward to even multiples of 50), whichever is greater. Please adjust all vertical curves that don't meet this criteria by at least 25' through CS-2E



Check the gull a ditch setting where profile for CS-8 - CS-10 are proposed?

Wm. G. Daniel & Assoc.
Engineering Planning
Site Design

1155 BE MATTHEW ROAD
SUITE 200
DARY, NC 27511
PH: 919-487-8708 FAX: 919-480-1581
C-1129



Revisions
07.13.22 Per City/Town
1st review
10.12.22 Per City/Town
2nd review
09.12.23 Per City/Town
3rd review

Owner:
Watson Family II LLC
5220 Forestville Road
Raleigh NC 27604
919.819.5500

Project
Clifton Grove

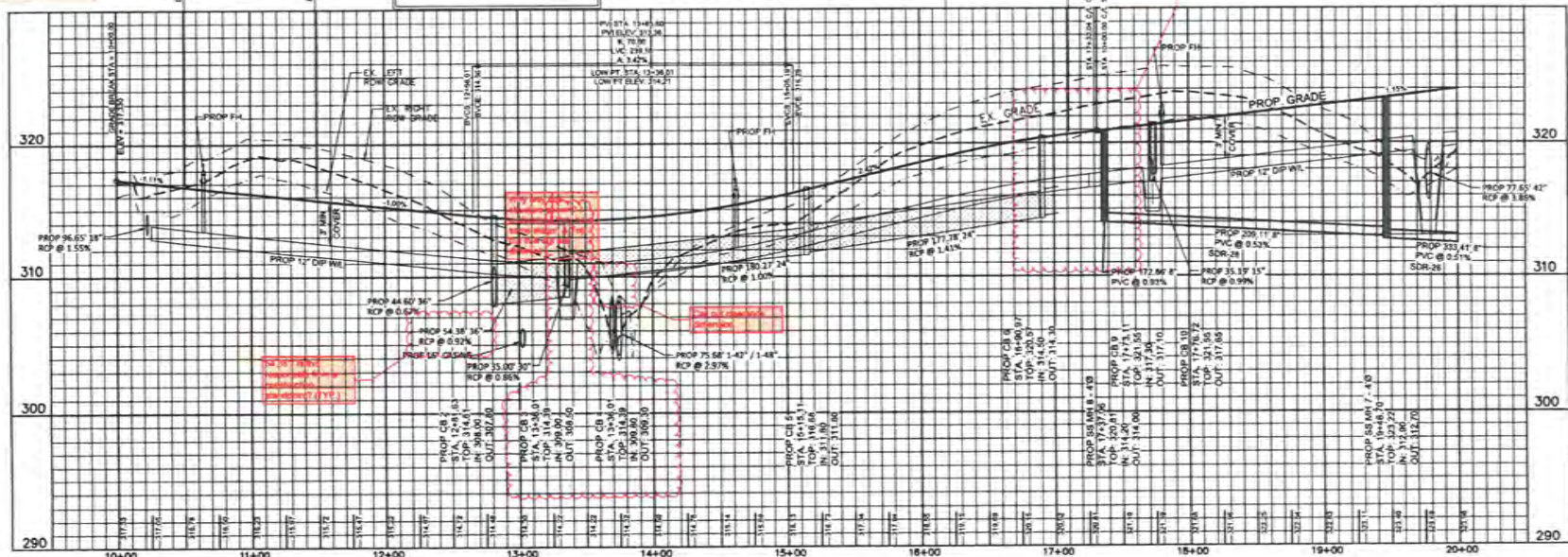
CLIFTON GROVE AVE.

Date
February 15, 2022

Scale
HORIZ: 1" = 40'
VERT: 1" = 4'

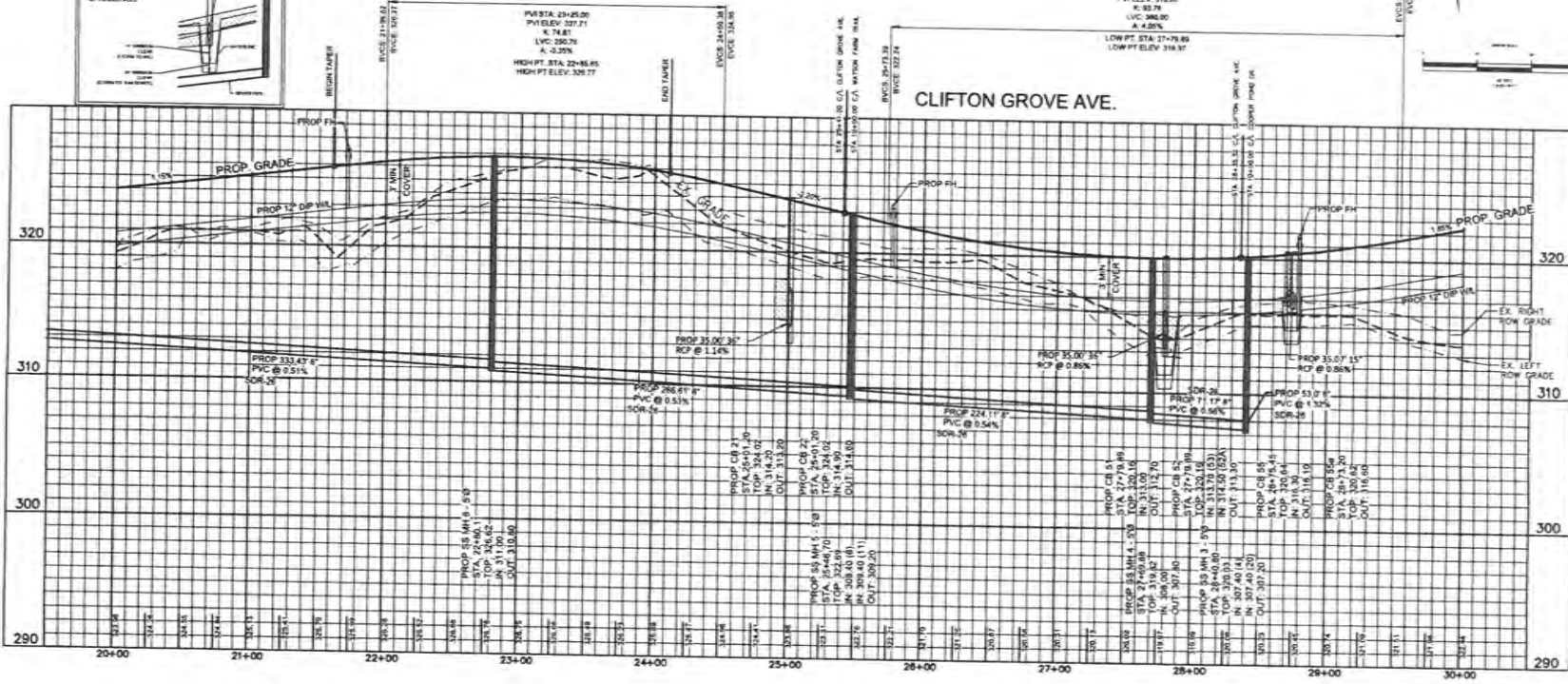
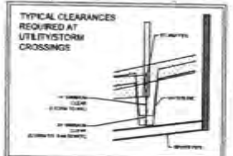
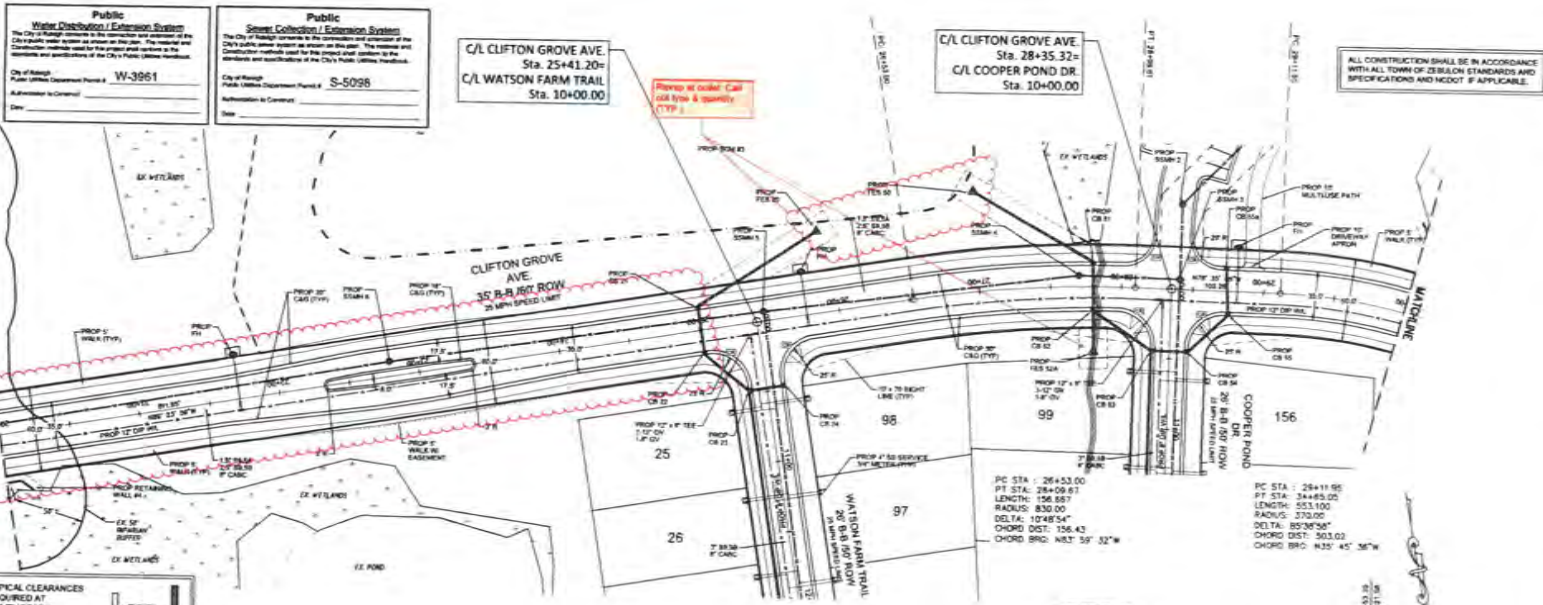
Sheet

CS-8



Where are storm drainage profiles for these areas located?

No storm for area 100? Zabriskie indicates utility 300' from opposing 1' underground light pipe at 22+85.00, but what is spread here?



Public Water Distribution / Extension System
The City of Raleigh requires the construction and extension of the City's public water system as shown on this plan. The proposed water distribution system shall be constructed in accordance with the standards and specifications of the City of Raleigh Utility Department.
City of Raleigh
Water Distribution Department Permit # W-3961
Author: [Name]
Date: [Date]

Public Sewer Collection / Extension System
The City of Raleigh requires the construction and extension of the City's public sewer system as shown on this plan. The proposed sewer collection system shall be constructed in accordance with the standards and specifications of the City of Raleigh Utility Department.
City of Raleigh
Public Utilities Department Permit # S-5096
Author: [Name]
Date: [Date]

C/L CLIFTON GROVE AVE.
Sta. 25+41.20=
C/L WATSON FARM TRAIL
Sta. 10+00.00

C/L CLIFTON GROVE AVE.
Sta. 28+35.32=
C/L COOPER POND DR.
Sta. 10+00.00

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS AND HICDOT IF APPLICABLE.

Wm. G. Daniel & Assoc.
Engineering Planning Site Design
1110 RE MAYNARD ROAD
SUITE 200
CAROLINA CITY, NC 27511
PH: 919-467-6708 FAX: 919-466-7585
CAD: 29



Revisions
07.13.22 Per City/Town 1st review
10.12.22 Per City/Town 2nd review
01.12.23 Per City/Town 3rd review

Owner:
Watson Family III LLC
6220 Farnsworth Road
Raleigh, NC 27604
919.819.5099

Project:
Clifton Grove

CLIFTON GROVE AVE

Date:
February 15, 2022

Scale:
Horiz: 1" = 40'
Vert: 1" = 4'

Sheet:
CS-9

Attachment 9
4/3/2023



PUBLIC HEARING NOTICE

A Public Hearing has been scheduled for this property. For more information, please contact the Town of Zebulon Planning Department.



Clifton Grove

Annexation

TownOfZebulon.org
(919) 823-1809



Attachment 9
4/3/2023



Attachment 9
4/3/2023



Attachment 9
4/3/2023



Attachment 9
4/3/2023



Attachment 9
4/3/2023



Attachment 9
4/3/2023



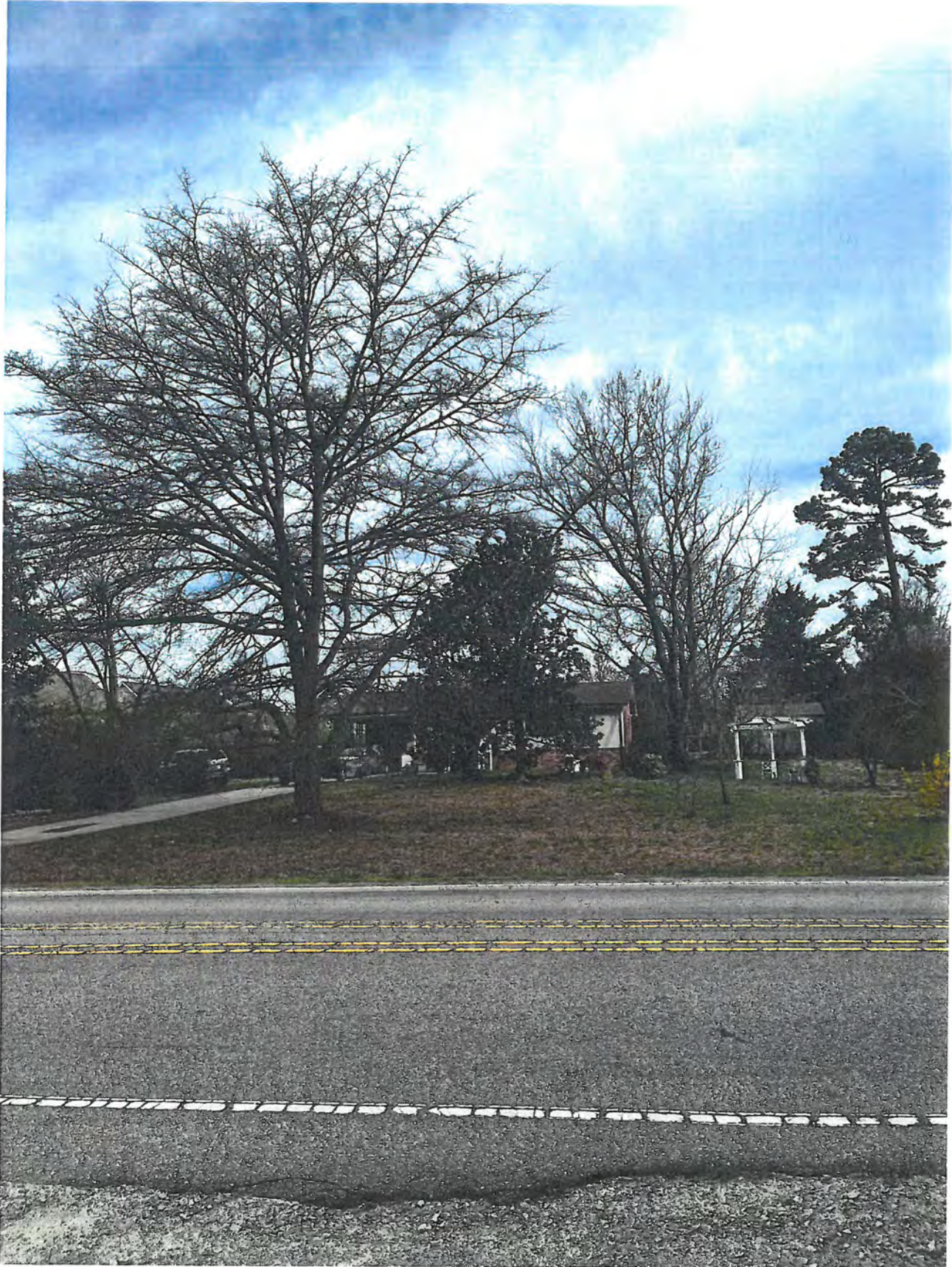
Attachment 9
4/3/2023



Attachment 9
4/3/2023



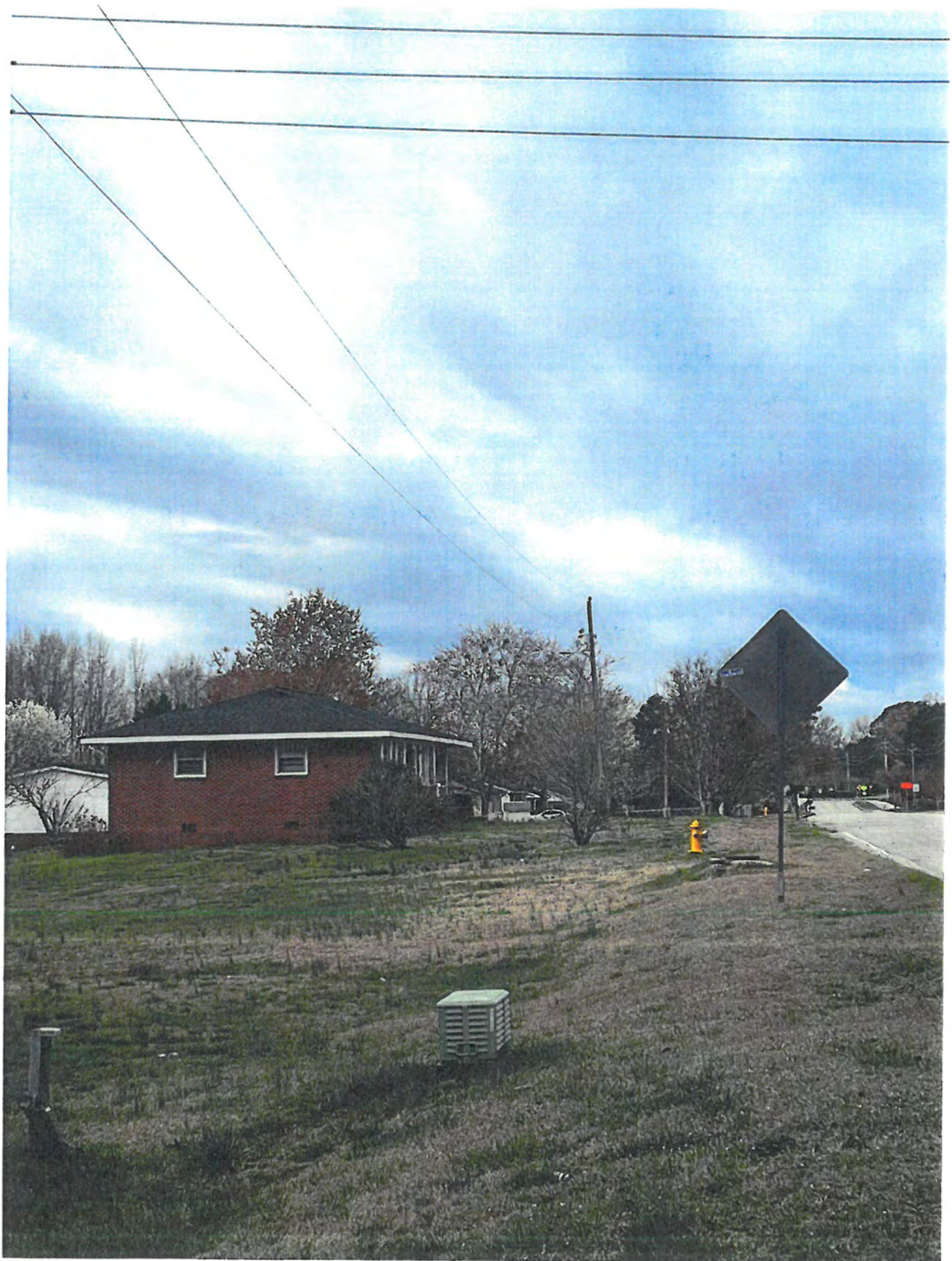
Attachment 9
4/3/2023



Attachment 9
4/3/2023



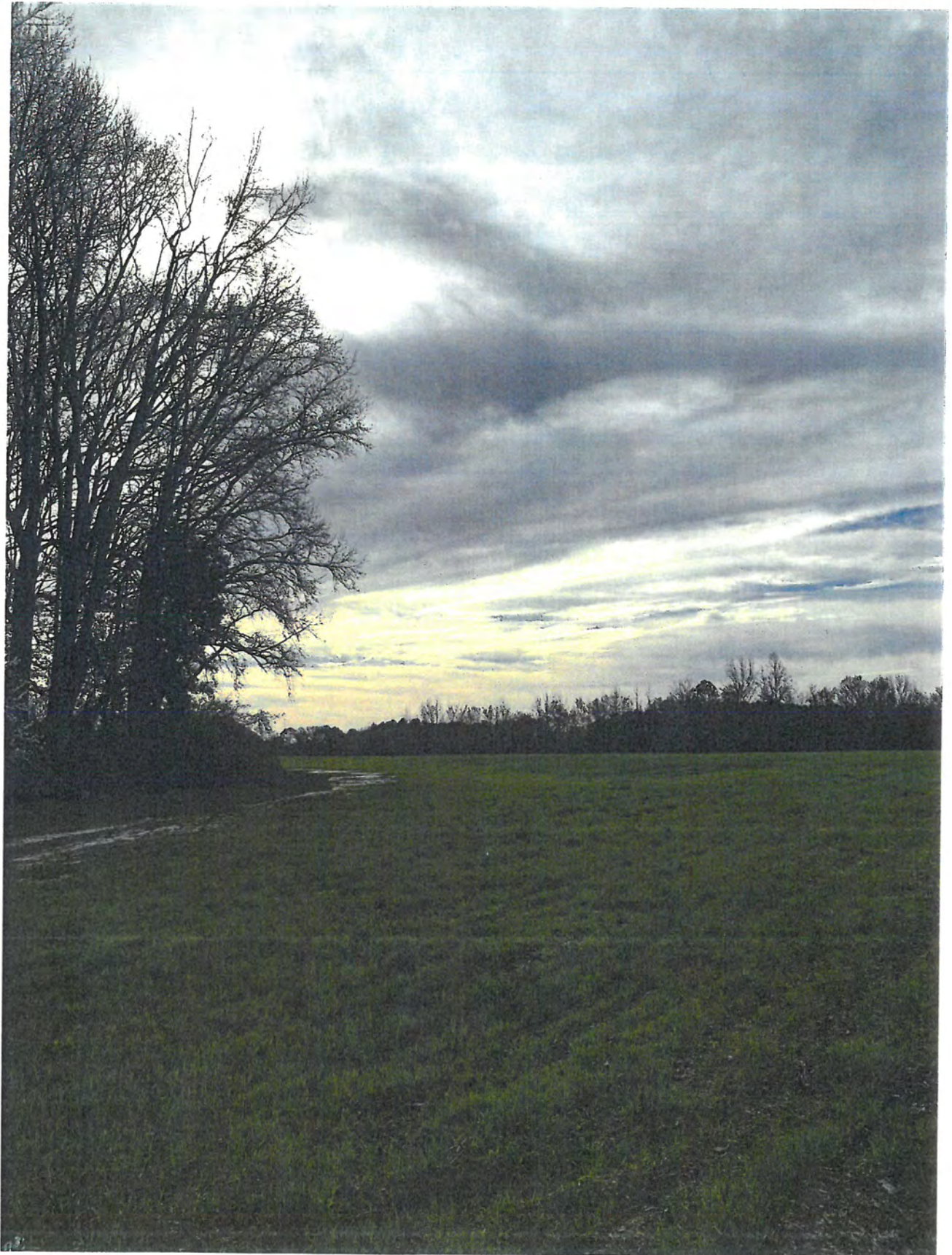
Attachment 9
4/3/2023



Attachment 9
4/3/2023



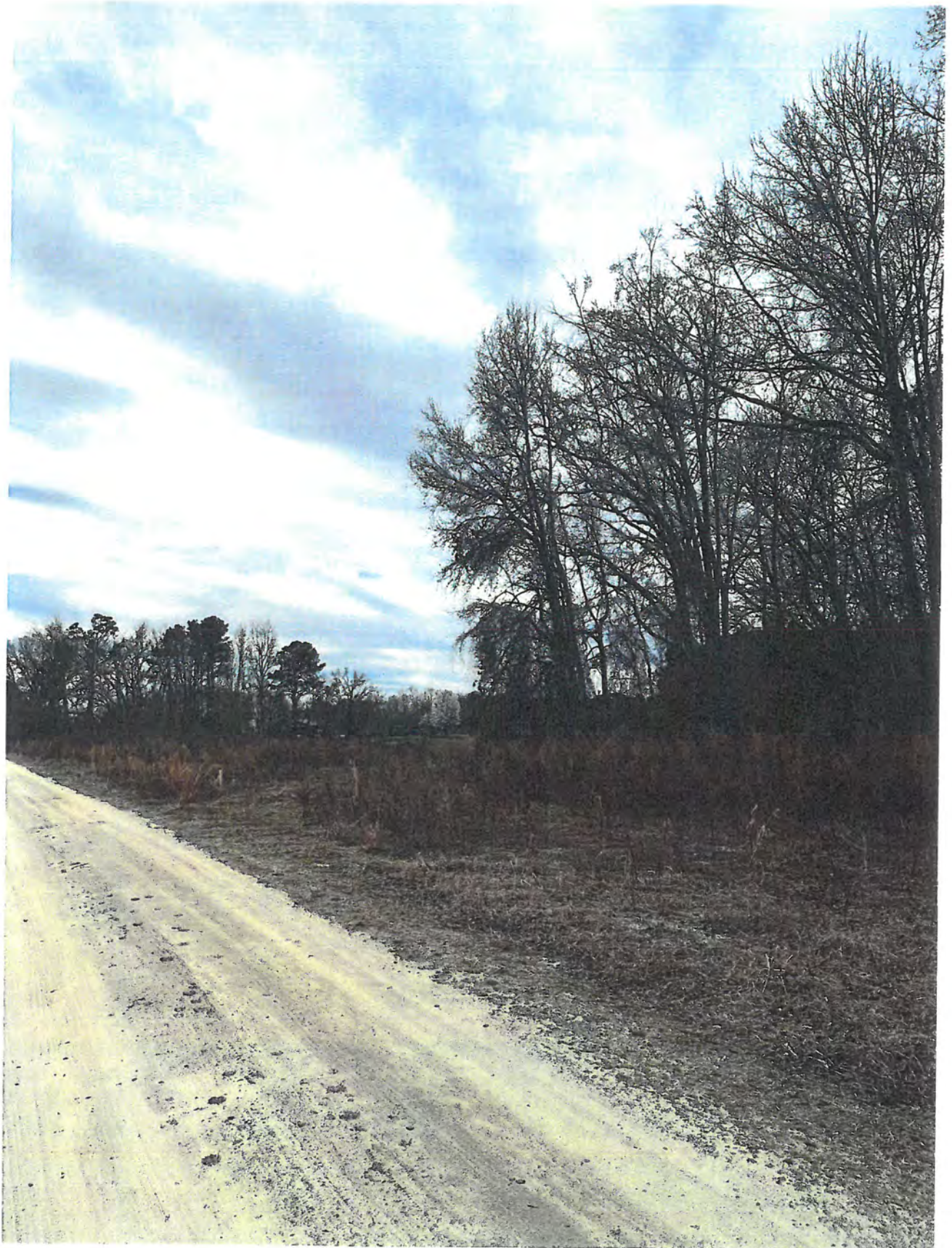
Attachment 9
4/3/2023



Attachment 9
4/3/2023



Attachment 9
4/3/2023



Attachment 9

4/3/2023



Attachment 9
4/3/2023



Attachment 9
4/3/2023



Attachment 9
4/3/2023



Attachment 9
4/3/2023



Attachment 9
4/3/2023



Attachment 9
4/3/2023



Attachment 9
4/3/2023



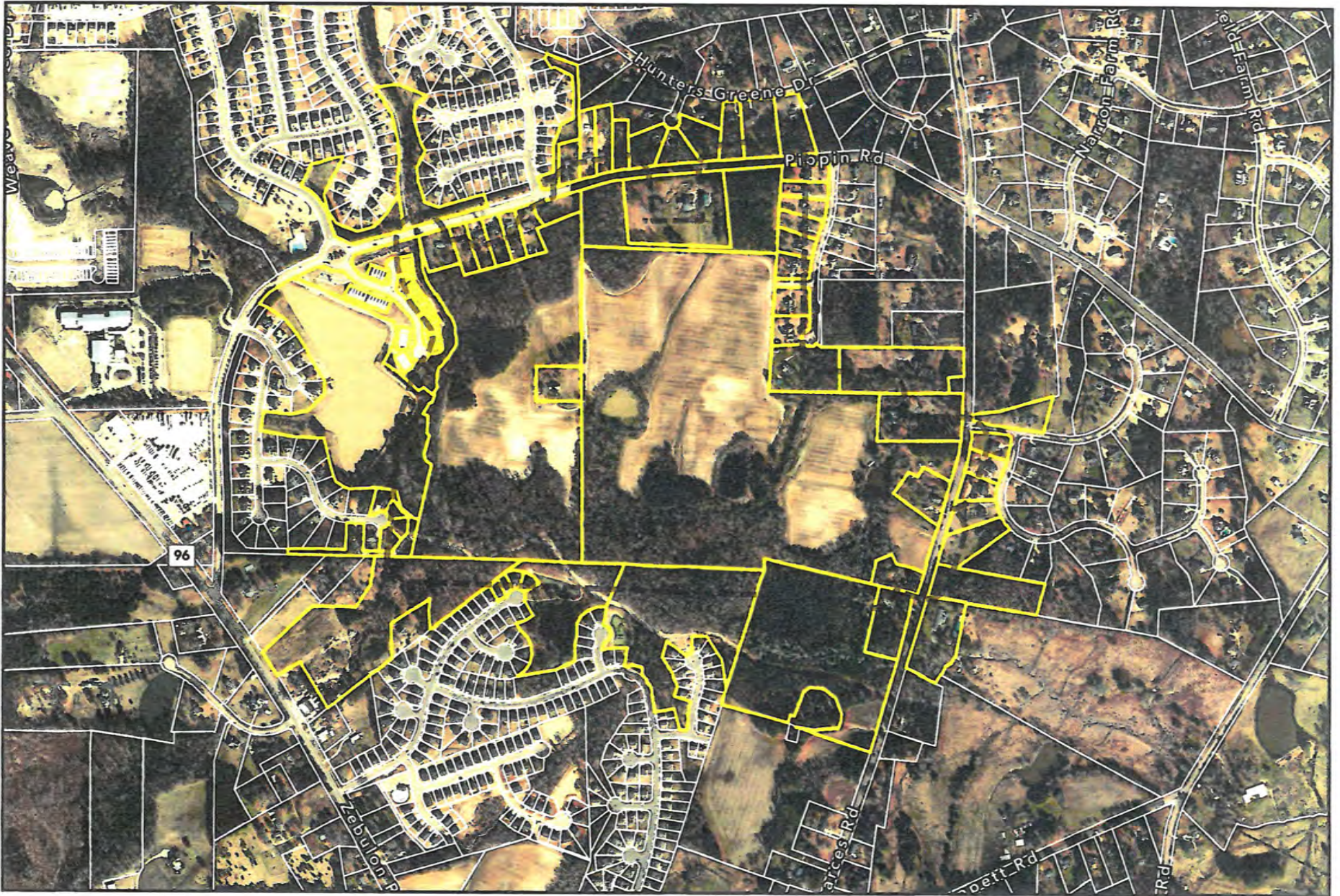
Notice of Public Hearing

Notice is hereby given pursuant to the provisions of Article 2.2.2 of the Town of Zebulon Unified Development Ordinance that a public hearing will be held on **March 6, 2023 at 6:00 PM** at the **Zebulon Municipal Complex, 1003 N. Arendell Avenue**, and will be conducted by the Board of Commissioners of the Town of Zebulon for the purpose of considering the following items:

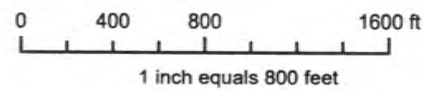
Annexation - 1015 Pearces Rd, 921 Pearces Rd, 9136 Pippin Rd, 9102 Pippin Rd, & 0 Pippin Rd. PIN # 2706064049, 2706154262, 1796964306, 1796960562, & 2706075465. A request by applicant D.R. Horton - Central Carolina for annexation into the Town of Zebulon's Corporate Limits.

Public comments may be submitted to Deputy Town Clerk Stacie Paratore at SParatore@TownofZebulon.org no later than 12:00 Noon on the day of the hearing to be read into the record. Links will be provided along with the full application packet and documentation on the Planning Department web page at <https://www.townofzebulon.org/departments/planning/public-hearing-information> For questions or additional information, please contact us at (919) 823-1808.

*Posted in Wake Weekly February 24th and March 3rd, 2023
Mailed 150-foot Radius February 17, 2023
Planning E-mail Distribution List February 17, 2023
Posted to Planning Website February 17, 2023*



AN2023-02 Attachment 11 - 150 Foot Notification Map



Disclaimer
iMaps makes every effort to produce and publish the most current and accurate information possible. However, the maps are produced for information purposes, and are NOT surveys. No warranties, expressed or implied, are provided for the data therein, its use, or its interpretation.

SITE_ADDRESS	OWNER	ADDR1	ADDR2
2805 GREENRIDGE VIEW LN	ARMSTRONG, JASON R ARMSTRONG, ANGELA S	2805 GREENRIDGE VIEW LN	ZEBULON NC 27597-7391
2813 GREENRIDGE VIEW LN	TIMBERLAKE, ROBERT F TIMBERLAKE, SHELLEY E	2813 GREENRIDGE VIEW LN	ZEBULON NC 27597-7391
9228 PIPPIN RD	CASPER, PAUL M JR CASPER, DEBBIE T	PO BOX 9	ZEBULON NC 27597-0009
9116 PIPPIN RD	JUAREZ, BENITO JUAREZ, ANA ISABEL	9116 PIPPIN RD	ZEBULON NC 27597-7863
0 PEARCES RD	DUKE, JANET LYNN	4632 HOPKINS CHAPEL RD	ZEBULON NC 27597-9097
0 ZEBULON RC	BOBBITT, ANNE B RAY, MARTHA E	1938 ZEBULON RC	ZEBULON NC 27597-8146
905 PEARCES RD	CREECH, MICHAEL C CREECH, KELLY A	905 PEARCES RD	ZEBULON NC 27597-7812
9100 PIPPIN RD	BALLESTEROS, MARIA ANGELICA	9100 PIPPIN RD	ZEBULON NC 27597-7863
2921 GREENRIDGE VIEW LN	GUTIERREZ, ANGELICA GUTIERREZ, ESMERALDA	2921 GREENRIDGE VIEW LN	ZEBULON NC 27597-7374
9120 PIPPIN RD	HERNANDEZ, RIGOBERTO DE LEON COLIN, PATRICIA	1005 GREENHOW LN	WAKE FOREST NC 27587-9351
9204 LITTLE RIDGE PL	STANLEY, KARI B	9204 LITTLE RIDGE PL	ZEBULON NC 27597-7387
9102 PIPPIN RD	WATSON FAMILY II LLC	6220 FORESTVILLE RD	RALEIGH NC 27604-8618
2909 GREENRIDGE VIEW LN	HALL, TIMOTHY A HALL, TWANDA A	2909 GREENRIDGE VIEW LN	ZEBULON NC 27597-7374
2465 VILLAGE OF WAKEFIELD DR	HEWITT, EMORY EUGENE III HEWITT, JENNIE H	2465 VILLAGE OF WAKEFIELD DR	ZEBULON NC 27597-7336
1015 PEARCES RD	WATSON FAMILY II LLC	6220 FORESTVILLE RD	RALEIGH NC 27604-8618
2917 GREENRIDGE VIEW LN	MARSHALL, JEFFREY A	2917 GREENRIDGE VIEW LN	ZEBULON NC 27597-7374
2925 GREENRIDGE VIEW LN	GREEN, VIVIAN B	2925 GREENRIDGE VIEW LN	ZEBULON NC 27597-7374
2461 VILLAGE OF WAKEFIELD DR	HENDREN, JASON L HENDREN, AMY S	2461 VILLAGE OF WAKEFIELD DR	ZEBULON NC 27597-7336
2457 VILLAGE OF WAKEFIELD DR	WATERS, JAMES F WATERS, DONNA D	2457 VILLAGE OF WAKEFIELD DR	ZEBULON NC 27597-7336
1020 PEARCES RD	TANT, ODELL C TANT, SARAH T	912 PEARCES RC	ZEBULON NC 27597-7812
2453 VILLAGE OF WAKEFIELD DR	WIRTH, LARRY F WIRTH, SUSAN J	2453 VILLAGE OF WAKEFIELD DR	ZEBULON NC 27597-7336
9201 PIPPIN RD	BRASWELL, ANGELIA S BRASWELL, RONALD KEITH	9201 PIPPIN RD	ZEBULON NC 27597-7866
2801 HUNTERS COVE CT	PRUITT, DEREK C PRUITT, AMANDA M	2801 HUNTERS COVE CT	ZEBULON NC 27597-7306
2804 HUNTERS COVE CT	ZEBULON UNITED METHODIST CHURCH TRUSTEES C	121 W GANNON AVE	ZEBULON NC 27597-2623
9108 PIPPIN RD	ACEVEDO, YUDITH ELVIRA	9108 PIPPIN RD	ZEBULON NC 27597-7863
2913 GREENRIDGE VIEW LN	DOMALESKI, GARY DOMALESKI, GAIL	2913 GREENRIDGE VIEW LN	ZEBULON NC 27597-7374
1101 PEARCES RD	BUTLER ROAD ASSOC LLC	PO BOX 568	ZEBULON NC 27597-0568
9137 PIPPIN RD	TAYLOR-HERNANDEZ, DOLORES M	9137 PIPPIN RD	ZEBULON NC 27597-7864
3123 GINGER LAKE CT	WEAVERS POND ASSOC LLC	9407 BARTONS CREEK RC	RALEIGH NC 27615-9707
3124 GINGER LAKE CT	OWENS, CASSANDRA PATRICE OWOH, STEVEN EDG	3124 GINGER LAKE CT	ZEBULON NC 27597-5737
9112 PIPPIN RD	COONEY, SAMANTHA TOTH, MELISSA	9112 PIPPIN RD	ZEBULON NC 27597-7863
600 ROSE MALLOW DR	OBE, TOKUNBO O OBE, FOLUSHO O	600 ROSE MALLOW DR	ZEBULON NC 27597-5407
9127 PIPPIN RD	WEAVERS POND HOMEOWNERS ASSOCIATION INC	11010 RAVEN RIDGE RE	RALEIGH NC 27614-8837
9121 PIPPIN RD	WEAVERS POND HOMEOWNERS ASSOCIATION INC	11010 RAVEN RIDGE RE	RALEIGH NC 27614-8837
4004 WEAVERS POND DR	WEAVERS POND HOMEOWNERS ASSOCIATION INC	11010 RAVEN RIDGE RE	RALEIGH NC 27614-8837
3118 GINGER LAKE CT	WEAVERS POND HOMEOWNERS ASSOCIATION INC	11010 RAVEN RIDGE RE	RALEIGH NC 27614-8837
1012 PURPLE VERBENA C	D.R. HORTON, INC	8001 ARROWRIDGE BLVD	CHARLOTTE NC 28273-5604
608 ROSE MALLOW DR	ROGERS, HARRY L	608 ROSE MALLOW DR	ZEBULON NC 27597-5407
0 PIPPIN RD	WATSON FAMILY II LLC	6220 FORESTVILLE RD	RALEIGH NC 27604-8618
601 ROSE MALLOW DR	TARYN LAKE HOMEOWNERS ASSOCIATION INC	2000 AERIAL CENTER PKWY STE 110A	MORRISVILLE NC 27560-9294

SITE_ADDRESS	OWNER	ADDR1	ADDR2
3121 GINGER LAKE CT	ESSIEN-HART, EUNICE JOHNSON, IDELLA BRIANA-AL	3121 GINGER LAKE CT	ZEBULON NC 27597-5738
1021 PEARCES RD	BATTLE, CAROLYN DANIELLE BATTLE, HERBERT IAN	1021 PEARCES RD	ZEBULON NC 27597-7814
3914 WEAVERS POND DR	PRF PROPERTIES LLC	9407 BARTONS CREEK RC	RALEIGH NC 27615-9707
3916 WEAVERS POND DR	PRF PROPERTIES LLC	9407 BARTONS CREEK RC	RALEIGH NC 27615-9707
3918 WEAVERS POND DR	PRF PROPERTIES LLC	9407 BARTONS CREEK RC	RALEIGH NC 27615-9707
3920 WEAVERS POND DR	PRF PROPERTIES LLC	9407 BARTONS CREEK RC	RALEIGH NC 27615-9707
3922 WEAVERS POND DR	PRF PROPERTIES LLC	9407 BARTONS CREEK RC	RALEIGH NC 27615-9707
3924 WEAVERS POND DR	PRF PROPERTIES LLC	9407 BARTONS CREEK RC	RALEIGH NC 27615-9707
3926 WEAVERS POND DR	PRF PROPERTIES LLC	9407 BARTONS CREEK RC	RALEIGH NC 27615-9707
3930 WEAVERS POND DR	PRF PROPERTIES LLC	9407 BARTONS CREEK RC	RALEIGH NC 27615-9707
3932 WEAVERS POND DR	PRF PROPERTIES LLC	9407 BARTONS CREEK RC	RALEIGH NC 27615-9707
3934 WEAVERS POND DR	PRF PROPERTIES LLC	9407 BARTONS CREEK RC	RALEIGH NC 27615-9707
3936 WEAVERS POND DR	PRF PROPERTIES LLC	9407 BARTONS CREEK RC	RALEIGH NC 27615-9707
3938 WEAVERS POND DR	PRF PROPERTIES LLC	9407 BARTONS CREEK RC	RALEIGH NC 27615-9707
3940 WEAVERS POND DR	PRF PROPERTIES LLC	9407 BARTONS CREEK RC	RALEIGH NC 27615-9707
3942 WEAVERS POND DR	PRF PROPERTIES LLC	9407 BARTONS CREEK RC	RALEIGH NC 27615-9707
3946 WEAVERS POND DR	PRF PROPERTIES LLC	9407 BARTONS CREEK RC	RALEIGH NC 27615-9707
3948 WEAVERS POND DR	PRF PROPERTIES LLC	9407 BARTONS CREEK RC	RALEIGH NC 27615-9707
3950 WEAVERS POND DR	PRF PROPERTIES LLC	9407 BARTONS CREEK RC	RALEIGH NC 27615-9707
3952 WEAVERS POND DR	PRF PROPERTIES LLC	9407 BARTONS CREEK RC	RALEIGH NC 27615-9707
3954 WEAVERS POND DR	PRF PROPERTIES LLC	9407 BARTONS CREEK RC	RALEIGH NC 27615-9707
3956 WEAVERS POND DR	PRF PROPERTIES LLC	9407 BARTONS CREEK RC	RALEIGH NC 27615-9707
1200 QUILLSEDGE CT	PRF PROPERTIES LLC	9407 BARTONS CREEK RC	RALEIGH NC 27615-9707
1202 QUILLSEDGE CT	PRF PROPERTIES LLC	9407 BARTONS CREEK RC	RALEIGH NC 27615-9707
1208 QUILLSEDGE CT	PRF PROPERTIES LLC	9407 BARTONS CREEK RC	RALEIGH NC 27615-9707
1210 QUILLSEDGE CT	PRF PROPERTIES LLC	9407 BARTONS CREEK RC	RALEIGH NC 27615-9707
9124 HUNTERS GREENE DR	HINTON, BETH ANN	9124 HUNTERS GREENE DR	ZEBULON NC 27597-7309
9136 PIPPIN RD	WATSON FAMILY II LLC	6220 FORESTVILLE RD	RALEIGH NC 27604-8618
9128 PIPPIN RD	MEJIA, JUAN D JR	9128 PIPPIN RD	ZEBULON NC 27597-7865
9205 LITTLE RIDGE PL	ZENIL, NAHUM FUENTES LINARES, REBECA NATERA	9205 LITTLE RIDGE PL	ZEBULON NC 27597-7387
1009 PEARCES RD	REDDICK, RICHARD BRUCE REDDICK, CLINT HARLAI	1009 PEARCES RD	ZEBULON NC 27597-7814
921 PEARCES RD	WATSON FAMILY II LLC	6220 FORESTVILLE RD	RALEIGH NC 27604-8618
9124 PIPPIN RD	GONZALEZ-VIERA, CASSANDRA EDITH SANCHEZ, DA	9124 PIPPIN RD	ZEBULON NC 27597-7865
0 TARAMAR LN	WEAVERS POND HOMEOWNERS ASSOCIATION INC	11010 RAVEN RIDGE RC	RALEIGH NC 27614-8837
9309 WAKEFIELDS OAK GROVE DR	RODRIGUEZ, RAFAEL RODRIGUEZ, CHRISTINE	9309 WAKEFIELDS OAK GROVE DR	ZEBULON NC 27597-7339
9116 HUNTERS GREENE DR	WHEELER, LANCE J WHEELER, CECILY A	9116 HUNTERS GREENE DR	ZEBULON NC 27597-7309
3941 WEAVERS POND DR	WEAVERS POND TOWNHOME OWNERS ASSOCIATI	4020 WAKE FOREST RD STE 102F	RALEIGH NC 27609-6866
9205 PIPPIN RD	BEDDINGFIELD, LARRY R	9205 PIPPIN RD	ZEBULON NC 27597-7866
912 PEARCES RD	TANT, ODELL C TANT, SARAH T	912 PEARCES RC	ZEBULON NC 27597-7811
604 ROSE MALLOW DR	ROJAS, RAUL JR ULLRICH-ROJAS, LUCY MARIA	604 ROSE MALLOW DR	ZEBULON NC 27597-5407

AN2023-02 Attachment 11

SITE_ADDRESS	OWNER	ADDR1	ADDR2
3126 GINGER LAKE CT	BMSS1 LLC	1140 KILDAIRE FARM RD STE 209	CARY NC 27511-4597
612 ROSE MALLOW DR	HARRATH, AYMANE HARRATH, SOFIA	612 ROSE MALLOW DR	ZEBULON NC 27597-5407
2800 HUNTERS COVE CT	PERRY, LAURA ELIZABETH ELLIS, JUSTIN WADE	2800 HUNTERS COVE CT	ZEBULON NC 27597-7306
2469 VILLAGE OF WAKEFIELD DR	VASQUEZ, ELVIA M	2469 VILLAGE OF WAKEFIELD DR	ZEBULON NC 27597-7336
1204 QUILLSEDGE CT	PRF PROPERTIES LLC	9407 BARTONS CREEK RC	RALEIGH NC 27615-9707
9209 PIPPIN RD	MILLS, JANICE MCCRAW HEIRS	9209 PIPPIN RD	ZEBULON NC 27597-7866
3958 WEAVERS POND DR	PRF PROPERTIES LLC	9407 BARTONS CREEK RC	RALEIGH NC 27615-9707
1206 QUILLSEDGE CT	PRF PROPERTIES LLC	9407 BARTONS CREEK RC	RALEIGH NC 27615-9707
9108 HUNTERS GREENE DR	RAY, MICHAEL K RAY, AMY G	9108 HUNTERS GREENE DR	ZEBULON NC 27597-7306

§ 160A-31. Annexation by petition.

(a) The governing board of any municipality may annex by ordinance any area contiguous to its boundaries upon presentation to the governing board of a petition signed by the owners of all the real property located within such area. The petition shall be signed by each owner of real property in the area and shall contain the address of each such owner.

(b) The petition shall be prepared in substantially the following form:

DATE:

To the _____ (name of governing board) of the (City or Town) of _____

1. We the undersigned owners of real property respectfully request that the area described in paragraph 2 below be annexed to the (City or Town) of _____
2. The area to be annexed is contiguous to the (City or Town) of _____ and the boundaries of such territory are as follows:

(b1) Notwithstanding the provisions of subsections (a) and (b) of this section, if fifty-one percent (51%) of the households in an area petitioning for annexation pursuant to this section have incomes that are two hundred percent (200%) or less than the most recently published United States Census Bureau poverty thresholds, the governing board of any municipality shall annex by ordinance any area the population of which is no more than ten percent (10%) of that of the municipality and one-eighth of the aggregate external boundaries of which are contiguous to its boundaries, upon presentation to the governing board of a petition signed by the owners of at least seventy-five percent (75%) of the parcels of real property in that area. A municipality shall not be required to adopt more than one ordinance under this subsection within a 36-month period.

(b2) The petition under subsection (b1) of this section shall be prepared in substantially the following form:

DATE:

To the _____ (name of governing board) of the (City or Town) of _____

1. We the undersigned owners of real property believe that the area described in paragraph 2 below meets the requirements of G.S. 160A-31(b1) and respectfully request that the area described in paragraph 2 below be annexed to the (City or Town) of _____.
2. The area to be annexed is contiguous to the (City or Town) of _____, and the boundaries of such territory are as follows:

(c) Upon receipt of the petition, the municipal governing board shall cause the clerk of the municipality to investigate the sufficiency thereof and to certify the result of the investigation. For petitions received under subsection (b1) or (j) of this section, the clerk shall receive the evidence provided under subsection (l) of this section before certifying the sufficiency of the petition. Upon receipt of the certification, the municipal governing board shall fix a date for a public hearing on the question of annexation, and shall cause notice of the public hearing to be published once in a newspaper having general circulation in the municipality at least 10 days prior to the date of the public hearing; provided, if there be no such paper, the governing board shall have notices posted in three or more public places within the area to be annexed and three or more public places within the municipality.

(d) At the public hearing persons resident or owning property in the area described in the petition and persons resident or owning property in the municipality shall be given an opportunity to be heard. The governing board shall then determine whether the petition meets the requirements of this section. Upon a finding that the petition that was not submitted under subsection (b1) or (j) of this section meets the requirements of this section, the governing board shall have authority to pass an ordinance annexing the territory described in the petition. The governing board shall have authority to make the annexing ordinance effective immediately or

on the June 30 after the date of the passage of the ordinance or the June 30 of the following year after the date of passage of the ordinance.

(d1) Upon a finding that a petition submitted under subsection (j) of this section meets the requirements of this section, the governing body shall have the authority to adopt an annexation ordinance for the area with an effective date no later than 24 months after the adoption of the ordinance.

(d2) Upon a finding that a petition submitted under subsection (b1) of this section meets the requirements of this section, the governing body shall, within 60 days of the finding, estimate the capital cost to the municipality of extending water and sewer lines to all parcels within the area covered by the petition and estimate the annual debt service payment that would be required if those costs were financed by a 20-year revenue bond. If the estimated annual debt service payment is less than five percent (5%) of the municipality's annual water and sewer systems revenue for the most recent fiscal year, then the governing body shall within 30 days adopt an annexation ordinance for the area with an effective date no later than 24 months after the adoption of the ordinance. If the estimated annual debt service payment is greater than or equal to five percent (5%) of the municipality's annual water and sewer systems revenue for the most recent fiscal year, then the governing body may adopt a resolution declining to annex the area. If such a resolution is adopted, the governing body shall immediately submit a request to the Local Government Commission to certify that its estimate of the annual debt service payment is reasonable based on established governmental accounting principles.

(1) If the Local Government Commission certifies the estimate, the municipality is not required to annex the area and no petition to annex the area may be submitted under subsection (b1) of this section for 36 months following the certification. During the 36-month period, the municipality shall make ongoing, annual good faith efforts to secure Community Development Block Grants or other grant funding for extending water and sewer service to all parcels in the areas covered by the petition. If sufficient funding is secured so that the estimated capital cost to the municipality for extending water and sewer service, less the funds secured, would result in an annual debt service payment cost to the municipality of less than five percent (5%) of the municipality's annual water and sewer systems revenue for the most recent fiscal year, then the governing body shall within 30 days adopt an annexation ordinance for the area with an effective date no later than 24 months after the adoption of the ordinance.

(2) If the Local Government Commission notifies the governing board that the estimates are not reasonable based on established governmental accounting principles and that a reasonable estimate of the annual debt service payment is less than five percent (5%) of the municipality's annual water and sewer systems revenue for the most recent fiscal year, then the governing body shall within 30 days of the notification adopt an annexation ordinance for the area with an effective date no later than 24 months after the adoption of the ordinance.

(d3) Municipal services shall be provided to an area annexed under subsections (b1) and (j) of this section in accordance with the requirements of Part 7 of this Article.

(e) From and after the effective date of the annexation ordinance, the territory and its citizens and property shall be subject to all debts, laws, ordinances and regulations in force in such municipality and shall be entitled to the same privileges and benefits as other parts of such municipality. Real and personal property in the newly annexed territory on the January 1 immediately preceding the beginning of the fiscal year in which the annexation becomes

effective is subject to municipal taxes as provided in G.S. 160A-58.10. If the effective date of annexation falls between June 1 and June 30, and the effective date of the privilege license tax ordinance of the annexing municipality is June 1, then businesses in the area to be annexed shall be liable for taxes imposed in such ordinance from and after the effective date of annexation.

(f) For purposes of this section, an area shall be deemed "contiguous" if, at the time the petition is submitted, such area either abuts directly on the municipal boundary or is separated from the municipal boundary by the width of a street or street right-of-way, a creek or river, or the right-of-way of a railroad or other public service corporation, lands owned by the municipality or some other political subdivision, or lands owned by the State of North Carolina. A connecting corridor consisting solely of a street or street right-of-way may not be used to establish contiguity. In describing the area to be annexed in the annexation ordinance, the municipal governing board may include within the description any territory described in this subsection which separates the municipal boundary from the area petitioning for annexation.

(g) The governing board may initiate annexation of contiguous property owned by the municipality by adopting a resolution stating its intent to annex the property, in lieu of filing a petition. The resolution shall contain an adequate description of the property, state that the property is contiguous to the municipal boundaries and fix a date for a public hearing on the question of annexation. Notice of the public hearing shall be published as provided in subsection (c) of this section. The governing board may hold the public hearing and adopt the annexation ordinance as provided in subsection (d) of this section.

(h) A city council which receives a petition for annexation under this section may by ordinance require that the petitioners file a signed statement declaring whether or not vested rights with respect to the properties subject to the petition have been established under G.S. 160A-385.1 or G.S. 153A-344.1. If the statement declares that such rights have been established, the city may require petitioners to provide proof of such rights. A statement which declares that no vested rights have been established under G.S. 160A-385.1 or G.S. 153A-344.1 shall be binding on the landowner and any such vested right shall be terminated.

(i) A municipality has no authority to adopt a resolution or petition itself under this Part for annexation of property it does not own or have any legal interest in. For the purpose of this subsection, a municipality has no legal interest in a State-maintained street unless it owns the underlying fee and not just an easement.

(j) Using the procedures under this section, the governing board of any municipality may annex by ordinance any distressed area contiguous to its boundaries upon presentation to the governing board of a petition signed by at least one adult resident of at least two-thirds of the resident households located within such area. For purposes of this subsection, a "distressed area" is defined as an area in which at least fifty-one percent (51%) of the households in the area petitioning to be annexed have incomes that are two hundred percent (200%) or less than the most recently published United States Census Bureau poverty thresholds. The municipality may require reasonable proof that the petitioner in fact resides at the address indicated.

(k) The petition under subsection (j) of this section shall be prepared in substantially the following form:

DATE:

To the _____ (name of governing board) of the (City or Town) of _____

1. We the undersigned residents of real property believe that the area described in paragraph 2 below meets the requirements of G.S. 160A-31(j) and respectfully request that the area described in paragraph 2 below be annexed to the (City or Town) of _____.

2. The area to be annexed is contiguous to the (City or Town) of _____, and the boundaries of such territory are as follows:

(l) For purposes of determining whether the percentage of households in the area petitioning for annexation meets the poverty thresholds under subsections (b1) and (j) of this section, the petitioners shall submit to the municipal governing board any reasonable evidence that demonstrates the area in fact meets the income requirements of that subsection. The evidence presented may include data from the most recent federal decennial census, other official census documents, signed affidavits by at least one adult resident of the household attesting to the household size and income level, or any other documentation verifying the incomes for a majority of the households within the petitioning area. Petitioners may select to submit name, address, and social security number to the clerk, who shall in turn submit the information to the Department of Revenue. Such information shall be kept confidential and is not a public record. The Department shall provide the municipality with a summary report of income for households in the petitioning area. Information for the report shall be gleaned from income tax returns, but the report submitted to the municipality shall not identify individuals or households. (1947, c. 725, s. 8; 1959, c. 713; 1973, c. 426, s. 74; 1975, c. 576, s. 2; 1977, c. 517, s. 4; 1987, c. 562, s. 1; 1989 (Reg. Sess., 1990), c. 996, s. 3; 2011-57, s. 3; 2011-396, s. 10.)

Return to: Town of Zebulon
Lisa Markland
1003 N. Arendell Avenue
Zebulon, NC 27597
Attention: Town Clerk

Ordinance 2023-30

AN ORDINANCE TO EXTEND THE CORPORATE LIMIT OF THE TOWN OF ZEBULON, NORTH CAROLINA

**Project AN 2023-02 — 921 & 1015 Pearces Road; 0, 9102 & 9136 Pippin Road
Pin Numbers 2706064049, 2706075465, 1796960563, 1796964306, 2706154262**

WHEREAS, the Town of Zebulon has been petitioned under G.S. 160A-31 to annex the area as described below; and

WHEREAS, the Town of Zebulon has by resolution directed the Town Clerk to investigate the sufficiency of the petition; and

WHEREAS, the Town Clerk has certified the sufficiency of the petition and a public hearing on the question of this annexation was held at 1003 N. Arendell Avenue at 6:00 PM on March 6, 2023 after due notice by publication in the Wake Weekly on February 24, 2023 and March 3, 2023;

WHEREAS, the Town of Zebulon finds that the petition meets the requirements of G.S. 160A-31;

NOW, THEREFORE, BE IT ORDAINED, the Board of Commissioners of the Town of Zebulon, North Carolina that:

Section 1. By virtue of the authority granted by G.S. 160A-31, the attached following described territory (see attachment) to include the adjoining public right of way (see also

attached map) is hereby annexed and made part of the Town of Zebulon as of March 6, 2023;

Section 2. Upon and after March 6, 2023 the described territory (see attachment) and its citizens and property shall be subject to all laws, ordinances and regulations in force in the Town of Zebulon and shall be entitled to the same privileges and benefits as other parts of the Town of Zebulon. Said territory shall be subject to municipal taxes according to G.S. 160A-58.10.

Section 3. The Mayor or Mayor Pro Tem of the Town of Zebulon shall cause to be recorded in the office of the Register of Deeds of Wake County, and in the office of the Secretary of State at Raleigh, North Carolina, an accurate map of the annexed territory described in Section 1 above, together with a duly certified copy of this ordinance. Such a map shall also be delivered to the County Board of Elections, as required by G.S. 163-288.1

Adopted this the 3rd day of April 2023.

(SEAL)

Glenn L. York — Mayor

ATTEST:

APPROVED AS TO FORM:

Lisa M. Markland, CMC—Town Clerk

Eric A. Vernon—Town Attorney

Topic: Bee City USA

Speaker: Joe Moore

From:  Joseph M. Moore, II, PE, Town Manager

Executive Summary:

The Board of Commissioners will consider next steps on a "Bee City USA" designation.

Background:

Per their Rules of Procedure, Board members may add items to the Regular Meeting agenda if submitted to the Mayor with the support of a second member no later than eleven (11) calendar days before the meeting.

On February 24, 2023, Commissioner Baxter submitted "Bee City USA" as an item to add to the Board's March Regular Meeting. Commissioner Miles was listed as a Co-Sponsor.

At their Regular Meeting on March 6, 2023, Commissioner Baxter gave an update about the Bee City USA program. Upon hearing the information, the Town Manager shared the Board would need to consider a Budget Adjustment to support the program. The Board directed Staff to move forward in assessing what is required to become a Bee City and added the item to the April 3, 2023 Regular Meeting agenda.

On March 24, 2023, Commissioner Baxter requested a resolution accompany the budgetary considerations. Commissioner Miles Co-Sponsored the addition.

Discussion:

The discussion before the Board centers around the next steps they want to take regarding Bee City USA designation.

Policy Analysis:

A cursory review of information provided by Commissioner Baxter to the Board at their Mini-Retreat on October 20, 2022 indicates the Bee City USA program would fit within the Town's Small-Town Life goals by offering events and courses to bring the community together.

Financial Analysis:

A cursory review of the above referenced information, as well as the programs in Raleigh, Garner, and Apex, indicate the development, implementation, and oversight of the program will have financial impacts to staffing, operations, and annual Operating and Capital Budgets. These impacts include:

- Develop Bee City Committee: The Committee appears to be responsible for planning an annual educational event or pollinator planting, marketing, installing and maintaining Bee City USA street signs, and creating and maintaining a webpage. As with other Advisory Boards, this Committee would require Staff support to both manage and support their meetings. Unlike other Advisory Boards, this Committee would require Staff to manage and support their educational or

- engagement activities. Staff has not calculated the cost or capacity among existing personnel to manage and support the meetings and activities of a Bee City Committee.
- Pollinator-friendly Habitats: This requirement appears to be planning and developing pollinator-friendly habitats on public and private land. Staff has not calculated the cost or capacity to inventory available property, secure sites, or develop the habitats.
 - Pest Management Program: This appears to be a requirement to create and adopt an integrated pest management program. Staff has not calculated the cost, capacity, operations, or licensing impacts of adopting something similar to the City of Raleigh's *Pesticide Management Policy*.
 - Bee City Comprehensive Plan: The scope of this work is unclear, but appears to require a comprehensive review of existing policies and programming and an action plan to achieve the aforementioned requirements.
 - Application and Renewal Fee: Fees are based upon population. The current fee is \$100, but Zebulon is expected to pass the population threshold for that category this year. The next population threshold requires a \$200 application fee.

Staff Recommendation:

Staff recommends the Board incorporate this discussion into the adoption of the FY '24 Budget. Incorporating the discussion into the FY '24 Budget will both allow Staff the opportunity to more fully assess the cost and impact of this program beyond the application fee, and will afford the Board an opportunity to prioritize this program among the many other programs under consideration.

Attachment(s):

1. Sample resolution

RESOLUTION NO. _____

A RESOLUTION of [your city council or county commission of your city and state] designating [your city or county] as a BEE CITY USA® affiliate.

WHEREAS, the mission of BEE CITY USA is to galvanize communities to sustain pollinators, responsible for the reproduction of almost 90% of the world's flowering plant species, by providing them with healthy habitat, rich in a variety of native plants and free to nearly free of pesticides; and

WHEREAS, thanks to the more than 3,600 species of native bees in the United States, along with introduced honey bees, we have very diverse dietary choices rich in fruits, nuts, and vegetables; and

WHEREAS, bees and other pollinators have experienced population declines due to a combination of habitat loss, poor nutrition, pesticides (including insecticides, fungicides, and herbicides), parasites, diseases, and climate change; and

WHEREAS, pollinator-friendly communities can benefit local and regional economies through healthier ecosystems, increased vegetable and fruit crop yields, and increased demand for pollinator-friendly plant materials from local growers; and

WHEREAS, ideal pollinator-friendly habitat (A) is comprised of mostly native wildflowers, grasses, vines, shrubs, and trees blooming in succession throughout the growing season to provide diverse and abundant nectar and pollen, since many wild pollinators prefer or depend on the native plants with which they co-adapted; (B) is free to nearly free of pesticides, as many pesticides can harm pollinators and/or their habitat; (C) comprises undisturbed spaces (leaf and brush piles, unmown fields or field margins, fallen trees and other dead wood) for nesting and overwintering; and (D) provides connectivity between habitat areas to support pollinator movement and resilience; and

WHEREAS, Integrated Pest Management (IPM) is a long-term approach to maintaining healthy landscapes and facilities that minimizes risks to people and the environment by: identifying and removing the causes of pest problems rather than only attacking the symptoms (the pests); employing pests' natural enemies along with cultural, mechanical, and physical controls when prevention is not enough; and using pesticides only when no other method is feasible or effective; and

WHEREAS, supporting pollinators fosters broad-based community engagement in environmental awareness and sustainability; and

WHEREAS, [your city or county] should be certified a BEE CITY USA community because [this is optional section for you to highlight anything your community has already done or plans to do to conserve pollinators]; and

NOW, THEREFORE, in order to enhance understanding among local government staff and the public about the vital role that pollinators play and what each of us can do to sustain them, [your city or county] chooses to support and encourage healthy pollinator habitat creation and enhancement, resolving as follows:

1. The [your city or county] [appropriate department name] Department is hereby designated as the BEE CITY USA sponsor.
2. The [appropriate position title] of [department above] is designated as the BEE CITY USA Liaison.
3. Facilitation of [your city or county]'s BEE CITY USA program is assigned to the [committee name] Committee.
4. The [committee name] Committee is authorized to and shall:

- a. **Celebration:** Host at least one educational event or pollinator habitat planting or restoration each year to showcase [your city or county name]'s commitment to raising awareness of pollinator conservation and expanding pollinator health and habitat.
- b. **Publicity & Information:** Install and maintain at least one authorized BEE CITY USA street sign in a prominent location, and create and maintain a webpage on the [your city or county name] website which includes, at minimum a copy of this resolution and links to the national BEE CITY USA website; contact information for your BEE CITY USA Liaison and Committee; reports of the pollinator-friendly activities the community has accomplished the previous year(s); and your recommended native plant species list and integrated pest management plan (explained below).
- c. **Habitat:** Develop and implement a program to create or expand pollinator-friendly habitat on public and private land, which includes, but is not limited to, Identifying and inventorying [City or County]'s real property that can be enhanced with pollinator-friendly plantings; creating a recommended locally native plant list to include wildflowers, grasses, vines, shrubs, and trees and a list of local suppliers for those species; and, tracking (by square footage and/or acreage) annual area of pollinator habitat created or enhanced.
- d. **Pollinator-Friendly Pest Management:** Create and adopt an integrated pest management (IPM) plan designed to prevent pest problems, reduce pesticide use, and expand the use of non-chemical pest management methods.
- e. **Policy & Plans:** Establish, through the [City or County], a policy in the [Plan name] Plan of [City's or County's] Comprehensive Plan to acknowledge and commit to the BEE CITY USA designation and review the [Plan name] Plan and other relevant documents to consider improvements to pest management policies and practices as they relate to pollinator conservation, identify appropriate locations for pollinator-friendly plantings, and consider other appropriate measures.
- f. **Renewal:** After completing the first calendar year as a BEE CITY USA affiliate, each February, apply for renewal of [your city or county name]'s BEE CITY USA designation following the format provided by BEE CITY USA, including a report of the previous year's BEE CITY USA activities, and paying the renewal fee based on [your city or county name]'s population.

ADOPTED by the [City Council or County Commission] of the [your city or county name, state],
 this ___ day of _____, 20__.

Topic: Bond Referendum – Determination to Proceed

Speaker: Joe Moore, Town Manager

Prepared by: Joseph M. Moore II, PE, Town Manager

Executive Summary:

The Board of Commissioners will consider the number, type and value of a Bond Referendum, Notice of Intent for a decision at their Regular Meeting on May 1, 2023

Background:

At their October Mini-Retreat, the Board expressed interest in financing capital projects through a Bond Referendum. At their January Mini-Retreat, the Board heard presentations from Bond Counsel and Financial Advisors regarding their role in developing and executing the bond process, such as debt affordability studies.

At their March Mini-Retreat, the Board heard from their Financial Advisor on the impact different Referendums would have on the property tax rate. Specifically, the increased tax rate required to pay the debt on loans from a \$15M Transportation Bond, \$18M Fire Bond, \$15M Facility Bond, and a \$15M Parks Bond.

If interested in placing a Bond Referendum on the ballot for November 7, 2023, the Board must adopt a Notice of Intent no later than their Regular Meeting on May 1, 2023.

Discussion:

The Board of Commissioners will provide direction to Staff on the number, type and value of a Bond Referendum Notice of Intent to prepare for the Regular Meeting in May.

Policy Analysis:

Funding capital projects to address growth and provide appropriate service levels is clearly a Growing Smart goal of the Town's Strategic Plan. The timing of these capital projects and the availability of other financial instruments and partners will determine both the timing and appropriateness of a Bond Referendum. The details of those capital projects most influential on the timing and appropriateness include:

- Old Bunn @ Shepard School signal:
Pending property acquisition and utility relocation, this project is anticipated to start construction next fiscal year. Funds collected from Transportation Impact Fees, Development Payments in Lieu, and Fund Balance may provide enough funding to begin construction, instead of relying on proceeds from a Bond Referendum.
- N. Arendell Widening:
The scope of this large project was expanded (to connect with development and the Green Pace project to the north) and modified (to limit problematic property acquisitions). These changes are under NCDOT review. Pending NCDOT approval, the remaining property acquisition and utility relocation can proceed. This project is not expected to begin construction until FY '25.

This project is partially funded by the Locally Administered Projects Program (LAPP). The percentage of LAPP assistance is dependent upon the final construction cost estimates. Final construction estimates are dependent upon the final plan approved by NCDOT, and the state of the future construction market. Waiting until FY '25 is both necessary and will provide clarity on the Town's financial obligation.

- Fire / EMS Station #1:

This project is expected to start construction in FY '25. The Town has the potential to fund their portion of this project through their operational partner – Wake County. Waiting until FY '25 is both necessary and will provide clarity on the Town's financial obligation and options.

- Five County Stadium:

The Town and Wake County are still in negotiations with the current tenant. The obligations to improve the stadium are contingent upon successfully concluding those negotiations. Assuming a successful conclusion, the Town has the potential to fund their portion of this project through their operational partner – Wake County. Waiting until FY '25 is both necessary and will provide clarity on the Town's financial obligation and options.

Financial Analysis:

The property tax rate to support all Bond types and amounts requires raising the tax rate 29.3 ¢ per \$100 of property value over a seven-year period. By example, the annual property tax on a property valued at \$300,000 would increase by approximately \$880 over seven-years, with approximate increases of \$65 (FY '25), \$240 (FY '26), \$200 (FY '27), \$150 (FY '28), \$205 (FY '29), and \$10 (for FY '30 and FY '31 each) over the seven year period. These approximations assume the property value stays static over the seven-year period. As property value increases, so too would the property tax amount. The property tax rate expected to support these bonds is expected to decrease next year as the Town's property values grow through development and revaluation.

Supporting the debt associated with all Bond types and amounts has potential bond rating implications as well. Two metrics of note measure the Debt to Assessed Value (i.e., how the amount of debt compares to the value of all buildings and properties within the Town of Zebulon) and the Debt Service versus Expenditures (i.e., how much revenue is dedicated toward debt payments). Each of these metrics measures the Town's ability to meet the obligations to make the loan payments by taxing the tax base (i.e., the collateral). The Debt to Assessed Value is anticipated to be 2.86% (on the high side of sample policies with an upper limit of 3%), while the Debt Service versus Expenditures is anticipated to be 32.74% (well exceeding the 20% upper limit of sample policy ranges). The pressure on these two metrics is expected to decrease as the Town's property values grow through development and revaluation.

Staff Recommendation:

Staff recommends delaying a Notice of Intent for Fire, Facility, and Parks Bonds.

Staff recommend analyzing a Notice of Intent for Transportation further. Specifically, gaining more clarity on: 1) the existing capacity to fund the construction of Old Bunn @ Shepard School signal, 2) the financial obligation and timing of N. Arendell Widening, and 3) better understanding the impact an FY '24 Transportation Bond could have on the borrowing capacity to support Fire, Facility, and Parks Bonds in FY '25.

Attachments:

1. "General Obligation Funding Summary"

General Obligation Funding Summary

A	B	C	D	E	F	G	H	I	J
Description		Transportation Bond	Fire Bond	Facilities Bond	Parks and Rec (P&R) Bond	Transp. & Fire Bond	Transp., Fire, & Facilities Bond	Transp., Fire, & P&R Bond	Transp., Fire, Facilities, & P&R Bond
1 Total Projects Funded ¹									
2 FY 2024		2,300,000	-	2,900,000	-	2,300,000	5,200,000	2,300,000	5,200,000
3 FY 2025		7,000,000	7,500,000	-	-	14,500,000	14,500,000	14,500,000	14,500,000
4 FY 2026		-	-	9,500,000	3,400,000	-	9,500,000	3,400,000	12,900,000
5 FY 2027		5,700,000	-	1,100,000	3,500,000	5,700,000	6,800,000	9,200,000	10,300,000
6 FY 2028		-	10,500,000	-	4,600,000	10,500,000	10,500,000	15,100,000	15,100,000
7 FY 2029		-	-	1,500,000	1,500,000	-	1,500,000	1,500,000	3,000,000
8 FY 2030		-	-	-	2,000,000	-	-	2,000,000	2,000,000
9 Total		15,000,000	18,000,000	15,000,000	15,000,000	33,000,000	48,000,000	48,000,000	63,000,000
10 Total Additional Debt Service		22,875,000	27,450,000	22,875,000	22,875,000	50,325,000	73,200,000	73,200,000	96,075,000
11 Key Debt Ratios (Worst Shown)	Sample Policy Range								
12 Projected 10-year Payout	50%-60%	53.76%	51.34%	52.92%	52.04%	51.63%	51.41%	51.43%	50.86%
13 Projected Debt to Assessed Value	2%-3%	0.81%	0.92%	0.74%	0.71%	1.64%	2.28%	2.22%	2.86%
14 Projected Debt Service vs. Expenditures	15%-20%	13.17%	14.09%	12.45%	11.08%	22.09%	28.13%	27.48%	32.74%
15 Equivalent Natural Tax Impact									
16 FY 2024		-	-	-	-	-	-	-	-
17 FY 2025		0.6¢	-	0.9¢	-	0.6¢	2.2¢	0.6¢	2.2¢
18 FY 2026		4.0¢	3.0¢	0.2¢	-	8.1¢	8.0¢	8.1¢	8.0¢
19 FY 2027		-	0.5¢	5.0¢	0.4¢	-	4.8¢	1.6¢	6.7¢
20 FY 2028		2.6¢	-	0.4¢	2.8¢	2.3¢	3.2¢	4.7¢	5.1¢
21 FY 2029		-	4.6¢	-	1.7¢	4.9¢	4.5¢	7.0¢	6.9¢
22 FY 2030		-	-	-	0.1¢	-	-	-	0.3¢
23 FY 2031		-	-	-	0.9¢	-	-	-	0.3¢
24 FY 2032		-	-	-	-	-	-	-	-
25 Total		7.2¢	8.1¢	6.6¢	5.9¢	15.8¢	22.7¢	21.9¢	29.3¢
26 FY 2025 Upfront Tax Impact									
27 FY 2025		5.0¢	-	-	-	11.6¢	-	-	22.9¢

¹ Debt Issuances assume a 20-Year Level Principal Amortization Structure, with first principal and interest payments beginning in the Fiscal Year following issuance and a 5.00% interest rate.

Topic: Board Compensation
Speaker: Joe Moore
From: Joseph M. Moore, II, PE, Town Manager

Executive Summary:

The Board of Commissioners will consider Board Compensation.

Background:

Per their Rules of Procedure, Board members may add items to the Regular Meeting agenda if submitted to the Mayor with the support of a second member no later than eleven (11) calendar days before the meeting.

On February 24, 2023, Commissioner Miles submitted "Commissioner Pay Increase" as an item to add to the Board's March Regular Meeting. Commissioner Baxter offered to co-sponsor the topic.

At their Regular Meeting on March 6, 2023, the Board discussed elected officials' pay and voted to add Board Compensation to the April 3, 2023 Regular Meeting agenda.

Discussion:

The Board will discuss Board Compensation.

Policy Analysis:

Board Compensation is not a policy that fits within the Town's Strategic Plan goals, but is a practice followed by this and other municipalities.

Financial Analysis:

The attached documents compare compensation with other municipalities in Wake County.

Staff Recommendation:

No recommendation. The Board determines their compensation

Attachment(s):

1. Board Compensation comparison (Wake County)

Municipality	Estimated Population	Mayor Annual Compensation	Mayor Pro-Tem Annual Compensation	Board Member Annual Compensation	Paid Health Insurance	Cell Phone or Stipend Provided	Town Issued Computer/l pad	Vehicle Provided	Office for Mayor or Commissioner Provided	Travel and Training	Budget
Town of Zebulon	9,550	\$12,663	\$5,371	\$5,371	Ins. -\$6996 Opt Out - \$4748	Mayor - Town Issued	Laptop	No	Mayor Individual Commissioner Shared	Mayor - \$3,833 Commissioners \$2,833	18,802,850
City of Oxford	8,812	\$9,489	\$7,239	\$6,479	No	No	No	No	Mayor Only	Some for eligible/required travel	10,098,765
Town of Rolesville	10,047	\$12,878	\$9,174	\$5,942	No	No	Yes	No	Mayor Only	Mileage Reimbursement	12,330,300
Town of Wendell*	11,914	\$8,000	\$6,000	\$6,000	No	No	No	No	Mayor Only	\$1000 Mayor Only	28,082,426
Town of Knightdale*	19,576	\$13,600	\$10,300	\$9,800	No	No	No	No	No	\$3000 for entire board	26,098,505
Town of Morrisville	31,278	\$13,864	\$11,689	\$11,689	Yes	No	Ipads	No	No	Mileage Reimbursement	46,208,000
Town of Garner*	31,935	\$10,712	\$8,216	\$8,216	Yes	Mayor only	Laptops	No	Mayor Only	Mayor - \$1200 car allowance	49,451,070
Town of Fuquay- Varina	36,736	\$12,355	\$9,270	\$9,270	No	No	Ipads	No	Mayor Only	Mayor-\$2421 car allowance	51.36 M
Town of Holly Springs*	43,524	\$14,855.76	\$8,749.08	\$8,407.32	No	No	Surface Pro Tablets	No	Mayor Only	Mayor-\$3600 Car Allowance	88,492,877
City of Wilson	47,731	\$17,826	\$8,326	\$8,326	No	No	No	No	Mayor Only	M-\$10,080 C-\$3328 Annually	268,576,160
Town of Wake Forest*	49,657	\$10,500	\$8,400	\$8,400	Yes	No	iPad	No	Mayor Only	Yes	270,765,000
Town of Apex*	73,300	\$10,834	\$8,621	\$8,621	Yes	Yes \$35/mo	Both	No	No	No	91,201,500
Town of Cary	177,222	\$15,090	\$13,922	\$12,610	Yes	Yes	Yes	No	Mayor Only	M-\$10,590 C-\$9626	\$443.6 M
City of Raleigh	469,124	\$36,511	\$32,236	\$29,848	Yes	Phone or Stipend	Computer and a tech allowance \$,1000	Car Allowance - \$2,400	Yes for all	Yes, Expense Allowance M-\$6,000 C-\$4,000	590,432,384


6996.24

Health 6541.44
Dental 367.68
Vision 87.12

Same as for all
employees

STAFF REPORT
MAIN STREET ADVISORY BOARD APPOINTMENTS
APRIL 3, 2023

Topic: Board Appointments

Speaker: Teresa Piner, AICP, DAC Coordinator
From: Michael J. Clark, AICP, CZO, Planning Director
Prepared by: Teresa Piner, AICP, DAC Coordinator
Approved by:  Joseph M. Moore, II, PE, Town Manager

Executive Summary:

The Board of Commissioners will select applicants to serve on the Zebulon Downtown Development Association Advisory Board.

Background:

In January 2021, the Town of Zebulon was designated by the NC Main Street program as a Downtown Associate Community. Full membership and designation as a NC Main Street Community depends upon the creation of a Zebulon Downtown Development Association, its Board, and organizational documents.

An Advisory Board can both begin the documentation work and serve as a pool of candidates to serve on the Zebulon Downtown Development Association Executive Board (the Executive Board must be in place to carry out the duties of the program as outlined in the Annual Main Street Agreement). The Board of Commissioners is asked to make initial appointments to the Main Street Advisory Board. Persons interested in serving on the Main Street Advisory Board have presented applications and themselves (March 6, 2023) before the Town Board for consideration.

Appointments are not dependent upon in-Town or ETJ residents. Experience in the areas of the Main Street program's Four-Point Strategy (organization, promotion, design, and economic vitality) are considered important to the organization's success.

- Applicants met with the Town Board on March 6, 2023.
- Main Street Board Selections were tabled to March 23, 2023 - Mini-retreat.
- Main Street Board selections were tabled to Monday, April 3, 2023.

Discussion:

The discussion before the Board is for the appointment of members to the Town of Zebulon Main Street Advisory Board and to task the board with the duty of drafting Bylaws and a Memorandum of Understanding for the creation of a public-private organization and the establishment of a 501(c)3.

Policy Analysis:

Membership in the NC Main Street program and designation as a NC Main Street Community are consistent with the "Vibrant Downtown" goals of the 2030 Strategic Plan, and "Year 1 Action Items and Implementation Section" and the "Recreation and Amenities Section's" goals in the Comprehensive Land Use Plan.

Financial Analysis:

Full membership provides additional access to trainings, community building resources, grant possibilities and design services. With designation as a Main Street Community, qualifying projects receive free exterior building design services by UNCG School of Design, the Town is authorized to use the Main Street logo for marketing and promotion purposes, expanded training

STAFF REPORT
MAIN STREET ADVISORY BOARD APPOINTMENTS
APRIL 3, 2023

opportunities with some training fees being waived, and NC Main Street Staff to support and train newly appointed Advisory Board members. Appointing members at March's Regular Meeting will provide them with approximately four meetings to develop Bylaws and a Memorandum of Understanding for Board consideration at April's Work Session, with an initial submission to NC Main Street scheduled for May's Regular Meeting.

Staff Recommendation:

Staff Recommends appointment of the initial Zebulon Downtown Development Association Advisory Board (five person minimum).

Applicants

Michael Croitour
10801 Debnam Rd., Zebulon, NC 27597

Damon Damphie
415 Parkside Pl., Zebulon, NC 27597

Crystal Flowers
3412 Lacewig Dr., Zebulon, NC 27597

Michael Germano
106 N Arendell Ave., Zebulon, NC 27597

Narcisa Johnson
1313 Pitty Pats Path, Zebulon, NC 27597

Rachel Lock
118 Iverness St., Zebulon, NC 27597

LaTonya McCabe
9125 Ferrell Road, Zebulon, NC 27597

Anthony Pirrello
914 Sugar Gap Rd., Wake Forest, NC 27587

Kristine Ross
2516 Huntsman Trail, Zebulon, NC 27597
Cyrus Stacey
6013 Reedy Creek Rd., Raleigh, NC 27607

Quinton Crosson-Taylor
508 Carissa Ln., Zebulon, NC 27597

Attachments:

1. Ballot

COMMISSIONERS NAME: _____

APPLICANT NAME	VOTE
Michael Croitour	
Damon Damphie	
Crystal Flowers	
Michael Germano	
Narcisa Johnson	
Rachel Lock	
LaTonya McCabe	
Anthony Pirrello	
Kristine Ross	
Cyrus Stacey	
Quinton Crosson-Taylor	

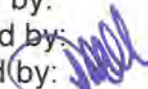
SIGNATURE

DATE



STAFF REPORT
ORDINANCE 2023-35
GREEN PACE & ARENDELL SIGNAL & ROADWAY IMPROVEMENTS PROJECT
CONSTRUCTION BID AWARD
APRIL 3, 2023

Topic: Green Pace/Arendell Signal Project – Construction Bid Award

From: Chris D. Ray, Director of Public Works
Prepared by: Chris D. Ray, Director of Public Works
Presented by: Chris D. Ray, Director of Public Works
Approved by:  Joseph M. Moore II, PE, Town Manager

Executive Summary:

The Board of Commissioners will consider bids for the construction of Green Pace and Arendell Signal and Roadway Improvements Project and appropriation of funds to complete construction.

Background:

In March 2020, a Transportation Impact Study revealed the most effective means to mitigate operational issues required a traffic signal and exclusive left turn lanes at the intersection of Arendell Avenue and Green Pace Road.

On August 18, 2020, the Zebulon Board of Commissioners entered into an agreement outlining the roles and responsibilities of NCDOT and the Town of Zebulon in the design, construction, and maintenance of the traffic signal.

The project was designed to NCDOT standards, and NCDOT has issued an encroachment agreement. The NC Department of Environmental Quality (DEQ) has issued an erosion control permit for the construction of the project. Duke Energy has relocated light poles, and Staff has coordinated with all other utilities within the corridor. No easements were required for this project as all work is being completed in the existing right-of-way.

The project was advertised in the following locations:

1. News and Observer – January 29 and February 5, 2023
2. Qué Pasa Media Network – February 1 and February 7, 2023
3. Town of Zebulon Website
4. Direct Contact to 16 NCDOT-approved contractors

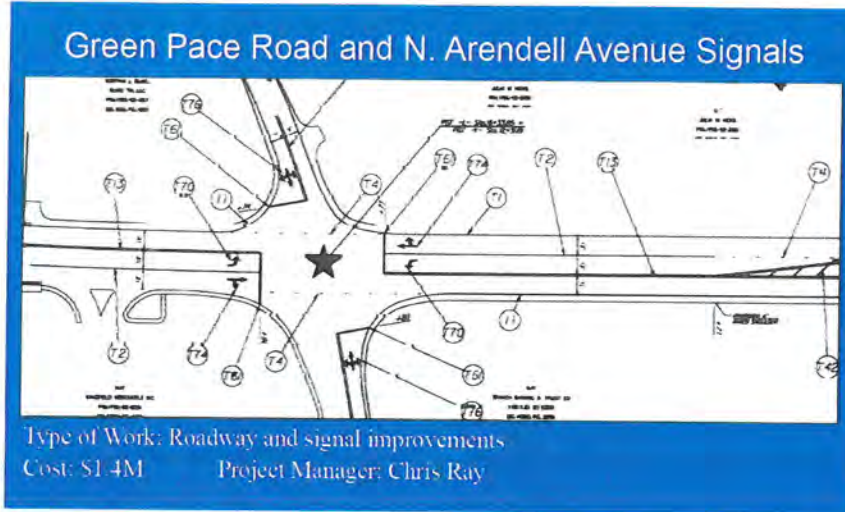
A pre-bid meeting was held at 2:00 pm on February 9, 2023, at the Zebulon Public Works Office. Eight (8) firms attended the mandatory meeting.

Fiscal Analysis:

Bids were received from three (3) contractors on March 2, 2023, at the Zebulon Public Works office. The low bid was received from Fred Smith Company at \$1,131,311.00. The project was estimated at \$1.4 million to fully construct (including engineering, inspections, testing, project administration, and contingencies). The project is within budget.



STAFF REPORT
ORDINANCE 2023-35
GREEN PACE & ARENDELL SIGNAL & ROADWAY IMPROVEMENTS PROJECT
CONSTRUCTION BID AWARD
APRIL 3, 2023



Bid details are available in the attachments.

Budget Breakdown:

	Firm/Item	Scope	Cost
1	Fred Smith – Prime Contractor	Construction	\$1,131,311.00
2	Volkert, Inc	CEI/CA	\$127,335.00
3	Geo-technical Allowance	Testing/Lab Work	\$8,500.00
4	Construction Contingency - 10%	Unforeseen items	\$113,000.00
5	Inspection Contingency - 10%	Unforeseen items	\$15,000.00
6	United Rental	Message Board(3)	\$4,277.00
7	Project Board	Project Communication	\$500.00
	Total Estimated Construction costs		\$1,399,923.00
	Recommended Budget Amount		\$1,400,000.00

The project is funded entirely by Transportation Impact Fees collected from development.

Discussion:

The discussion before the Board includes the following:

1. Appropriate construction funding for \$1.4 million – Ordinance 2023-35, and award the construction bid to the lowest, responsive, responsible bidder – Fred Smith Company at \$1,131,311.00; or
2. Reject all bids and readvertise at a later date.



STAFF REPORT
ORDINANCE 2023-35
GREEN PACE & ARENDELL SIGNAL & ROADWAY IMPROVEMENTS PROJECT
CONSTRUCTION BID AWARD
APRIL 3, 2023

Policy Analysis:

The Green Pace Road and Arendell Avenue Signal and Roadway Improvements project is consistent with the following plans and goals:

- *Town of Zebulon Transportation Plan*: denoted as priority intersection for improvements
- *Town of Zebulon Comprehensive Plan*: Consistent with aligning land use and transportation planning to meet the needs of a well-connected community.
- *Zebulon 2030 Strategic Plan*: planning for and meeting the transportation needs of the growing community

Staff Recommendation:

Staff recommends approval of Capital Project Budget Ordinance 2023-35 to fund the construction of project and awarding the contract to Fred Smith Company as it provided the lowest, responsive, responsible bid to perform the scope of work. The contractor has met all the bid requirements, including providing the bid bond, and it has met the DBE participation goal of 10% (MBE-1, MBE- 2 and MBE-4) by the use of a minority-owned trucking firm. The prime contractor and its subcontractors are properly licensed with NCDOT. Staff has conducted an item-by-item review of the bids and concluded that Fred Smith Company has properly prepared its bid with no irregularities and no questionable prices. See attached bid summary and detailed bid tabulations.

Attachments:

- 1) Budget Ordinance 2023-35
- 2) Bid summary
- 3) Detailed bid tabulation
- 4) List of major subcontractors

ORDINANCE 2023-35

BE IT ORDAINED by the Board of Commissioners of the Town of Zebulon, that pursuant to North Carolina General Statutes 159-15, the following amendment be made to the annual budget ordinance for the fiscal year ending June 30, 2023.

Section 1. To amend the General Fund budget as follows:

	INCREASE	DECREASE
REVENUES		
Fund Balance Appropriated	\$1,400,000.00	
EXPENDITURES		
PW Operations— N. Arendell @ Green Pace Signal	1,400,000.00	

Section 2. Copies of this amendment shall be furnished to the Town Clerk, and to the Budget Officer, and to the Finance Officer for their direction.

Adopted: April 3, 2023

Effective: April 3, 2023

Glenn L. York - Mayor

ATTEST:

Lisa M. Markland, CMC - Town Clerk

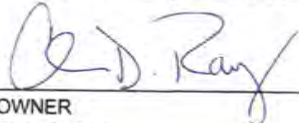
BID TABULATIONS

PROJECT: Intersection Improvements at Arendell Ave and Green Pace Road
CONTRACT: (Single) Prime Roadway

DATE: March 2, 2023
TIME: 2:00 PM

CONTRACTOR	LICENSE NO.	NCDOT PRE-QUALIFIED	MBE	ADDENDUM #1	ADDENDUM #2	BID BOND	MBE-1, MBE-2, & 3 as needed	BID TOTAL
Daniels, Inc of Gamer 1975 US Hwy 70 Gamer, NC								
Fred Smith Company 6105 Chapel Hill Road Raleigh, NC 27607	43848	Yes	No	Yes	Yes	5%	Yes	\$1,131,311.00
HCS, Inc 3650 Rogers Road, Suite 320 Wake Forest, NC 27587								
Lanier Construction Co. 1505 Browntown Rd. Snow Hill, NC 28580								
Narron Construction Co. P.O. Box 919 Clayton, NC 27528	62426	Yes	Yes- WBE/DBE	Yes	Yes	5%	Yes	\$1,299,933.60
State Contracting 2815 C. Superior Drive Wake Forest, NC 27587	62182	Yes	No	Yes	Yes	5%	Yes	\$1,317,741.25
Triangle Grading & Paving 1521 Huffman Mill Road Burlington, NC 27215								
Turner Asphalt 5805 Lease Lane Raleigh, NC 27617								

This bid tabulation indicates the apparent low bidder and does not constitute an award of contract or bid. This is to certify that the bids tabulated herein were publicly opened and read on the 2nd of march, 2023, at the Public Works Facility Conference Room located at 450 East Horton Street, Zebulon, NC and that all said bids were accompanied by certified checks or bidder's bond except as otherwise noted.



OWNER
 Chris D. Ray
 Director, Zebulon Public Works



ENGINEERING CONSULTANT
 Lacy D. Love, PE
 Volkert, Inc.



BID TABULATIONS

Intersection Improvements at Arendell Ave (NC96) and Green Pace Rd (SR2368)

Number	TYPE	PAY ITEM NO.	SECTION	PAY ITEM	UNIT	QUANTITY	FRED SMITH CO.		NARRON CONTRACTING, INC		STATE CONTRACTING, INC	
							UNIT PRICE	TOTAL COST	UNIT PRICE	TOTAL COST	UNIT PRICE	TOTAL COST
1	M	0000100000-N	800	MOBILIZATION	LS	1	\$ 55,000.00	\$ 55,000.00	\$ 61,901.60	\$ 61,901.60	\$ 65,600.00	\$ 65,600.00
2	M	0000400000-N	801	CONSTRUCTION SURVEYING	LS	1	\$ 20,000.00	\$ 20,000.00	\$ 24,500.00	\$ 24,500.00	\$ 16,000.00	\$ 16,000.00
3	G	0050000000-E	226	SUPPLEMENTARY CLEARING & GRUBBING	AC	0.25	\$ 500.00	\$ 125.00	\$ 10,000.00	\$ 2,500.00	\$ 1.00	\$ 0.25
4	G	0043000000-N	226	GRADING	LS	1	\$ 291,139.50	\$ 291,139.50	\$ 240,000.00	\$ 240,000.00	\$ 302,206.00	\$ 302,206.00
5	G	0057000000-E	226	UNDERCUT	CY	400	\$ 40.00	\$ 16,000.00	\$ 50.00	\$ 20,000.00	\$ 80.00	\$ 32,000.00
6	G	0195000000-E	265	SELECT GRANULAR MATERIAL	CY	400	\$ 25.00	\$ 10,000.00	\$ 81.00	\$ 32,400.00	\$ 100.00	\$ 40,000.00
7	G	0196000000-E	270	GEOTEXTILE FOR SOIL STABILIZATION	SY	800	\$ 4.00	\$ 3,200.00	\$ 6.00	\$ 4,800.00	\$ 7.25	\$ 5,800.00
8	D	0318000000-E	300	FOUNDATION CONDITIONING MATERIAL, MINOR STRUCTURES	TON	20	\$ 50.00	\$ 1,000.00	\$ 120.00	\$ 2,400.00	\$ 90.00	\$ 1,800.00
9	D	0366000000-E	310	15" RC PIPE CULVERTS CLASS III	LF	36	\$ 135.00	\$ 4,860.00	\$ 90.00	\$ 3,240.00	\$ 119.00	\$ 4,284.00
10	D	0372000000-E	310	18" RC PIPE CULVERTS CLASS III	LF	20	\$ 200.00	\$ 4,000.00	\$ 90.00	\$ 1,800.00	\$ 137.00	\$ 2,740.00
11	D	0378000000-E	310	24" RC PIPE CULVERTS CLASS III	LF	68	\$ 225.00	\$ 15,300.00	\$ 150.00	\$ 10,200.00	\$ 139.00	\$ 9,452.00
12	G	0995000000-E	340	PIPE REMOVAL	LF	48	\$ 15.00	\$ 720.00	\$ 45.00	\$ 2,160.00	\$ 90.00	\$ 4,320.00
13	G	1099500000-E	505	SHALLOW UNDERCUT	CY	250	\$ 55.00	\$ 13,750.00	\$ 60.00	\$ 15,000.00	\$ 80.00	\$ 20,000.00
14	G	1099700000-E	505	CLASS IV SUBGRADE STABILIZATION	TON	500	\$ 50.00	\$ 25,000.00	\$ 50.00	\$ 25,000.00	\$ 52.50	\$ 26,250.00
15	G	1220000000-E	545	INCIDENTAL STONE BASE	TON	10	\$ 125.00	\$ 1,250.00	\$ 60.00	\$ 600.00	\$ 120.00	\$ 1,200.00
16	P	1330000000-E	607	INCIDENTAL MILLING	SY	670	\$ 15.00	\$ 10,050.00	\$ 5.50	\$ 3,685.00	\$ 46.00	\$ 30,820.00
17	P	1491000000-E	610	ASPHALT CONC BASE COURSE TYPE B25.0C	TON	760	\$ 95.00	\$ 72,200.00	\$ 160.00	\$ 121,600.00	\$ 109.00	\$ 82,840.00
18	P	1503000000-E	610	ASPHALT CONC INTERMEDIATE COURSE TYPE I19.0C	TON	550	\$ 112.00	\$ 61,600.00	\$ 150.00	\$ 82,500.00	\$ 122.00	\$ 67,100.00
19	P	1523000000-E	610	ASPHALT CONC SURFACE COURSE TYPE S9.5C	TON	410	\$ 100.00	\$ 41,000.00	\$ 160.00	\$ 65,600.00	\$ 206.00	\$ 84,460.00
20	P	1575000000-E	620	ASPHALT BINDER FOR PLANT MIX	TON	85	\$ 900.00	\$ 76,500.00	\$ 750.00	\$ 63,750.00	\$ 840.00	\$ 71,400.00
21	P	1560000000-E	250	REMOVAL OF EXISTING ASPHALT PAVEMENT	SY	450	\$ 15.00	\$ 6,750.00	\$ 28.00	\$ 12,600.00	\$ 35.00	\$ 15,750.00
22	P	1693000000-E	654	ASPHALT PLANT MIX, PAVEMENT REPAIR	TON	5	\$ 500.00	\$ 2,500.00	\$ 300.00	\$ 1,500.00	\$ 325.00	\$ 1,625.00
23	D	2253000000-E	840	PIPE COLLARS	CY	0.6	\$ 1,000.00	\$ 600.00	\$ 2,250.00	\$ 1,350.00	\$ 6,700.00	\$ 4,020.00
24	P	2549000000-E	846	2'-6" CONCRETE CURB & GUTTER	LF	200	\$ 45.00	\$ 9,000.00	\$ 35.00	\$ 7,000.00	\$ 60.00	\$ 12,000.00
25	P	2647000000-E	852	5" MONOLITHIC CONCRETE ISLANDS (SURFACE MOUNTED)	SY	40	\$ 140.00	\$ 5,600.00	\$ 100.00	\$ 4,000.00	\$ 55.00	\$ 2,200.00
26	D	2830000000-N	858	ADJUSTMENT OF MANHOLES	EA	2	\$ 950.00	\$ 1,900.00	\$ 800.00	\$ 1,600.00	\$ 950.00	\$ 1,900.00
27	D	2845000000-N	858	ADJUSTMENT OF METER BOXES OR VALVE BOXES	EA	2	\$ 875.00	\$ 1,750.00	\$ 800.00	\$ 1,600.00	\$ 1,375.00	\$ 2,750.00
28	D	3656000000-E	876	GEOTEXTILE FOR DRAINAGE	SY	386	\$ 3.00	\$ 1,158.00	\$ 4.00	\$ 1,544.00	\$ 4.50	\$ 1,737.00
29	S	4025000000-E	901	CONTRACTOR FURNISHED, TYPE E SIGN	SF	127	\$ 20.00	\$ 2,540.00	\$ 40.00	\$ 5,080.00	\$ 25.00	\$ 3,175.00
30	S	4025000000-E	901	CONTRACTOR FURNISHED, TYPE F SIGN	SF	133	\$ 20.00	\$ 2,660.00	\$ 40.00	\$ 5,320.00	\$ 25.00	\$ 3,325.00
31	S	4072000000-E	903	SUPPORTS, 3-LB STEEL U-CHANNEL	LF	380	\$ 7.00	\$ 2,660.00	\$ 10.00	\$ 3,800.00	\$ 8.50	\$ 3,230.00
32	S	4102000000-N	904	SIGN ERECTION, TYPE E	EA	20	\$ 425.00	\$ 8,500.00	\$ 450.00	\$ 9,000.00	\$ 460.00	\$ 9,200.00
33	S	4108000000-N	904	SIGN ERECTION, TYPE F	EA	3	\$ 450.00	\$ 1,350.00	\$ 450.00	\$ 1,350.00	\$ 560.00	\$ 1,680.00

Number	TYPE	PAY ITEM NO.	SECTION	PAY ITEM	UNIT	QUANTITY	UNIT PRICE	TOTAL COST	UNIT PRICE	TOTAL COST	UNIT PRICE	TOTAL COST
34	S	4116100000-N	904	SIGN ERECTION, RELOCATE SIGN TYPE 'D' (GROUND MOUNTED)	EA	1	\$ 525.00	\$ 525.00	\$ 600.00	\$ 600.00	\$ 660.00	\$ 660.00
35	S	4116100000-N	904	SIGN ERECTION, RELOCATE SIGN TYPE 'E' (GROUND MOUNTED)	EA	1	\$ 450.00	\$ 450.00	\$ 500.00	\$ 500.00	\$ 525.00	\$ 525.00
36	S	4155000000-N	907	DISPOSAL OF SIGN SYSTEM, U-CHANNEL	EA	32	\$ 10.00	\$ 320.00	\$ 15.00	\$ 480.00	\$ 13.00	\$ 416.00
37	S	4192000000-N	907	DISPOSAL OF SUPPORT, U-CHANNEL	EA	3	\$ 10.00	\$ 30.00	\$ 15.00	\$ 45.00	\$ 13.00	\$ 39.00
38	Y	4400000000-E	1110	WORK ZONE SIGNS (STATIONARY)	SF	200	\$ 15.00	\$ 3,000.00	\$ 25.00	\$ 5,000.00	\$ 20.00	\$ 4,000.00
39	Y	4410000000-E	1110	WORK ZONE SIGNS (BARRICADE MOUNTED)	SF	200	\$ 12.00	\$ 2,400.00	\$ 25.00	\$ 5,000.00	\$ 28.00	\$ 5,600.00
40	Y	4420000000-N	1120	PORTABLE CHANGEABLE MESSAGE SIGN	EA	3	\$ 9,000.00	\$ 27,000.00	\$ 3,000.00	\$ 9,000.00	\$ 8,300.00	\$ 24,900.00
41	Y	4430000000-N	1130	DRUMS	EA	100	\$ 50.00	\$ 5,000.00	\$ 60.00	\$ 6,000.00	\$ 60.00	\$ 6,000.00
42	Y	4435000000-N	1135	CONES	EA	50	\$ 39.00	\$ 1,950.00	\$ 40.00	\$ 2,000.00	\$ 50.00	\$ 2,500.00
43	Y	4445000000-E	1145	BARRICADES (TYPE III)	LF	72	\$ 26.00	\$ 1,872.00	\$ 50.00	\$ 3,600.00	\$ 33.00	\$ 2,376.00
44	Y	4455000000-N	1150	FLAGGER	DAY	40	\$ 950.00	\$ 38,000.00	\$ 800.00	\$ 32,000.00	\$ 500.00	\$ 20,000.00
45	PM	4685000000-E	1205	THERMOPLASTIC PAVEMENT MARKING LINES (4", 90 MILS)	LF	8500	\$ 1.50	\$ 12,750.00	\$ 3.00	\$ 25,500.00	\$ 1.75	\$ 14,875.00
46	PM	4695000000-E	1205	THERMOPLASTIC PAVEMENT MARKING LINES (8", 90 MILS)	LF	700	\$ 3.00	\$ 2,100.00	\$ 7.50	\$ 5,250.00	\$ 3.60	\$ 2,520.00
47	PM	4709000000-E	1205	THERMOPLASTIC PAVEMENT MARKING LINES (24", 120 MILS)	LF	200	\$ 13.00	\$ 2,600.00	\$ 20.00	\$ 4,000.00	\$ 16.00	\$ 3,200.00
48	PM	4725000000-E	1205	THERMOPLASTIC PAVEMENT MARKING SYMBOL (90 MILS)	EA	8	\$ 180.00	\$ 1,440.00	\$ 600.00	\$ 4,800.00	\$ 210.00	\$ 1,680.00
49	PM	4810000000-E	1205	PAINT PAVEMENT MARKING LINES (4")	LF	10000	\$ 0.50	\$ 5,000.00	\$ 0.70	\$ 7,000.00	\$ 0.50	\$ 5,000.00
50	PM	4835000000-E	1250	PAINT PAVEMENT MARKING LINES (24")	LF	104	\$ 8.00	\$ 832.00	\$ 4.00	\$ 416.00	\$ 10.00	\$ 1,040.00
51	PM	4850000000-E	1250	REMOVAL OF PAVEMENT MARKING LINES (4")	LF	8000	\$ 0.30	\$ 2,400.00	\$ 0.50	\$ 4,000.00	\$ 0.25	\$ 2,000.00
52	PM	4870000000-E	1250	REMOVAL OF PAVEMENT MARKING LINES (24")	LF	81	\$ 10.00	\$ 810.00	\$ 4.00	\$ 324.00	\$ 12.00	\$ 972.00
53	U	5325600000-E	1510	6" WATER LINE DIP PR350	LF	100	\$ 175.00	\$ 17,500.00	\$ 300.00	\$ 30,000.00	\$ 94.00	\$ 9,400.00
54	U	5326200000-E	1510	12" WATER LINE DIP PR350	LF	100	\$ 230.00	\$ 23,000.00	\$ 350.00	\$ 35,000.00	\$ 151.00	\$ 15,100.00
55	U	5329000000-E	1510	DUCTILE IRON WATER PIPE FITTINGS	LBS	1160	\$ 15.00	\$ 17,400.00	\$ 8.00	\$ 9,280.00	\$ 13.25	\$ 15,370.00
56	U	5666000000-N	1515	FIRE HYDRANT; ASSEMBLY AND VALVE	EA	1	\$ 10,000.00	\$ 10,000.00	\$ 8,500.00	\$ 8,500.00	\$ 17,550.00	\$ 17,550.00
57	U	5678400000-E	1515	6" LINE STOP WITH VALVE	EA	1	\$ 10,000.00	\$ 10,000.00	\$ 9,000.00	\$ 9,000.00	\$ 7,200.00	\$ 7,200.00
58	U	5679000000-E	1515	12" LINE STOP WITH VALVE	EA	1	\$ 12,000.00	\$ 12,000.00	\$ 14,000.00	\$ 14,000.00	\$ 10,500.00	\$ 10,500.00
59	U	5815500000-N	1530	REMOVE FIRE HYDRANT	EA	1	\$ 2,800.00	\$ 2,800.00	\$ 3,800.00	\$ 3,800.00	\$ 2,100.00	\$ 2,100.00
60	L	6000000000-E	1605	TEMPORARY SILT FENCE	LF	100	\$ 9.00	\$ 900.00	\$ 6.00	\$ 600.00	\$ 7.00	\$ 700.00
61	L	6006000000-E	1610	STONE FOR EROSION CONTROL, CLASS A	TON	125	\$ 35.00	\$ 4,375.00	\$ 100.00	\$ 12,500.00	\$ 125.00	\$ 15,625.00
62	L	6009000000-E	1610	STONE FOR EROSION CONTROL, CLASS B	TON	50	\$ 45.00	\$ 2,250.00	\$ 100.00	\$ 5,000.00	\$ 135.00	\$ 6,750.00
63	L	6012000000-E	1610	SEDIMENT CONTROL STONE	TON	15	\$ 90.00	\$ 1,350.00	\$ 100.00	\$ 1,500.00	\$ 180.00	\$ 2,700.00
64	L	6015000000-E	1615	TEMPORARY MULCHING	ACR	1.5	\$ 1,200.00	\$ 1,800.00	\$ 3,000.00	\$ 4,500.00	\$ 1,225.00	\$ 1,837.50
65	L	6018000000-E	1620	SEED FOR TEMPORARY SEEDING	LB	200	\$ 7.00	\$ 1,400.00	\$ 15.00	\$ 3,000.00	\$ 5.50	\$ 1,100.00
66	L	6021000000-E	1620	FERTILIZER FOR TEMPORARY SEEDING	TON	1	\$ 750.00	\$ 750.00	\$ 1,700.00	\$ 1,700.00	\$ 1,225.00	\$ 1,225.00
67	L	6024000000-E	1622	TEMPORARY SLOPE DRAINS	LF	220	\$ 12.00	\$ 2,640.00	\$ 55.00	\$ 12,100.00	\$ 24.00	\$ 5,280.00
68	L	6029000000-E	SP	SAFETY FENCE	LF	250	\$ 3.75	\$ 937.50	\$ 5.00	\$ 1,250.00	\$ 3.00	\$ 750.00
69	L	6030000000-E	1630	SILT EXCAVATION	CY	25	\$ 55.00	\$ 1,375.00	\$ 30.00	\$ 750.00	\$ 175.00	\$ 4,375.00
70	L	6036000000-E	1631	MATTING FOR EROSION CONTROL	SY	6500	\$ 3.00	\$ 19,500.00	\$ 2.50	\$ 16,250.00	\$ 2.60	\$ 16,900.00
71	L	6042000000-E	1632	1/4" HARDWARE CLOTH	LF	10	\$ 3.75	\$ 37.50	\$ 20.00	\$ 200.00	\$ 10.00	\$ 100.00

Number	TYPE	PAY ITEM NO.	SECTION	PAY ITEM	UNIT	QUANTITY	UNIT PRICE	TOTAL COST	UNIT PRICE	TOTAL COST	UNIT PRICE	TOTAL COST
72	L	6071010000-E	SP	WATTLE	LF	50	\$ 15.00	\$ 750.00	\$ 20.00	\$ 1,000.00	\$ 12.00	\$ 600.00
73	L	6071012000-E	SP	COIR FIBER WATTLE	LF	150	\$ 15.00	\$ 2,250.00	\$ 20.00	\$ 3,000.00	\$ 13.00	\$ 1,950.00
74	L	6071020000-E	SP	POLYACRYLAMIDE (PAM)	LB	20	\$ 5.00	\$ 100.00	\$ 20.00	\$ 400.00	\$ 12.00	\$ 240.00
75	L	6071030000-E	1640	COIR FIBER BAFFLE	LF	150	\$ 8.55	\$ 1,282.50	\$ 20.00	\$ 3,000.00	\$ 6.25	\$ 937.50
76	L	6084000000-E	1660	SEEDING & MULCHING	ACR	3	\$ 2,800.00	\$ 8,400.00	\$ 4,000.00	\$ 12,000.00	\$ 2,575.00	\$ 7,725.00
77	L	6087000000-E	1660	MOWING	ACR	3	\$ 175.00	\$ 525.00	\$ 1,000.00	\$ 3,000.00	\$ 100.00	\$ 300.00
78	L	6090000000-E	1661	SEED FOR REPAIR SEEDING	LB	50	\$ 10.00	\$ 500.00	\$ 25.00	\$ 1,250.00	\$ 5.50	\$ 275.00
79	L	6093000000-E	1661	FERTILIZER FOR REPAIR SEEDING	TON	0.3	\$ 2,500.00	\$ 750.00	\$ 1,200.00	\$ 360.00	\$ 1,225.00	\$ 367.50
80	L	6096000000-E	1662	SEED FOR SUPPLEMENTAL SEEDING	LB	50	\$ 8.00	\$ 400.00	\$ 10.00	\$ 500.00	\$ 5.50	\$ 275.00
81	L	6102000000-E	1664	SODDING	SY	500	\$ 15.00	\$ 7,500.00	\$ 12.00	\$ 6,000.00	\$ 14.00	\$ 7,000.00
82	L	6108000000-E	1665	FERTILIZER TOPDRESSING	TON	1.3	\$ 2,200.00	\$ 2,860.00	\$ 1,600.00	\$ 2,080.00	\$ 1,225.00	\$ 1,592.50
83	L	6114500000-N	1667	SPECIALIZED HAND MOWING	MHR	10	\$ 175.00	\$ 1,750.00	\$ 175.00	\$ 1,750.00	\$ 120.00	\$ 1,200.00
84	L	6117000000-N	1675	RESPONSE FOR EROSION CONTROL	EA	13	\$ 50.00	\$ 650.00	\$ 400.00	\$ 5,200.00	\$ 310.00	\$ 4,030.00
85	L	6117500000-N	SP	CONCRETE WASHOUT STRUCTURE	EA	4	\$ 500.00	\$ 2,000.00	\$ 1,500.00	\$ 6,000.00	\$ 2,200.00	\$ 8,800.00
86	Z	7060000000-E	1705	SIGNAL CABLE	LF	580	\$ 3.75	\$ 2,175.00	\$ 5.50	\$ 3,190.00	\$ 4.60	\$ 2,668.00
87	Z	7120000000-E	1705	VEHICLE SIGNAL HEAD (12", 3 SECTION)	EA	10	\$ 1,075.00	\$ 10,750.00	\$ 1,325.00	\$ 13,250.00	\$ 1,315.00	\$ 13,150.00
88	Z	7264000000-E	1710	MESSENGER CABLE (3/8")	LF	570	\$ 4.00	\$ 2,280.00	\$ 8.00	\$ 4,560.00	\$ 4.90	\$ 2,793.00
89	Z	7300000000-E	1715	UNPAVED TRENCHING (1 CONDUIT, 2 INCH)	LF	325	\$ 12.00	\$ 3,900.00	\$ 13.00	\$ 4,225.00	\$ 14.70	\$ 4,777.50
90	Z	7300000000-E	1715	UNPAVED TRENCHING (2 CONDUIT, 2 INCH)	LF	15	\$ 16.00	\$ 240.00	\$ 32.00	\$ 480.00	\$ 19.60	\$ 294.00
91	Z	7324000000-N	1716	JUNCTION BOX (STANDARD SIZE)	EA	8	\$ 750.00	\$ 6,000.00	\$ 750.00	\$ 6,000.00	\$ 920.00	\$ 7,360.00
92	Z	7360000000-N	1720	WOOD POLE	EA	6	\$ 1,000.00	\$ 6,000.00	\$ 1,250.00	\$ 7,500.00	\$ 1,225.00	\$ 7,350.00
93	Z	7372000000-N	1721	GUY ASSEMBLY	EA	8	\$ 650.00	\$ 5,200.00	\$ 900.00	\$ 7,200.00	\$ 795.00	\$ 6,360.00
94	Z	7408000000-E	1722	1" RISER WITH WEATHERHEAD	EA	1	\$ 950.00	\$ 950.00	\$ 550.00	\$ 550.00	\$ 1,165.00	\$ 1,165.00
95	Z	7420000000-E	1722	2" RISER WITH WEATHERHEAD	EA	7	\$ 775.00	\$ 5,425.00	\$ 1,000.00	\$ 7,000.00	\$ 950.00	\$ 6,650.00
96	Z	7430000000-N	1722	HEAT SHRINK TUBING RETROFIT KIT	EA	1	\$ 250.00	\$ 250.00	\$ 265.00	\$ 265.00	\$ 310.00	\$ 310.00
97	Z	7444000000-E	1725	INDUCTIVE LOOP SAWCUT	LF	650	\$ 9.50	\$ 6,175.00	\$ 12.00	\$ 7,800.00	\$ 11.35	\$ 7,377.50
98	Z	7456000000-E	1726	LEAD-IN CABLE (14-2)	LF	1520	\$ 2.00	\$ 3,040.00	\$ 3.65	\$ 5,548.00	\$ 2.45	\$ 3,724.00
99	Z	7684000000-N	1750	SIGNAL CABINET FOUNDATION	EA	1	\$ 1,750.00	\$ 1,750.00	\$ 4,000.00	\$ 4,000.00	\$ 2,145.00	\$ 2,145.00
100	Z	7696000000-N	1751	CONTROLLER WITH CABINET (TYPE 2070E, BASE MOUNTED)	EA	1	\$ 20,500.00	\$ 20,500.00	\$ 26,300.00	\$ 26,300.00	\$ 25,100.00	\$ 25,100.00
101	Z	7708000000-N	1751	DETECTOR CARD (MODEL 222)	EA	4	\$ 188.00	\$ 752.00	\$ 450.00	\$ 1,800.00	\$ 230.00	\$ 920.00
102	Z	7901000000-N	1753	CABINET BASE EXTENDER	EA	1	\$ 550.00	\$ 550.00	\$ 900.00	\$ 900.00	\$ 675.00	\$ 675.00
103	Z	7980000000-N	SP	900MHZ SERIAL/ETHERNET SPREAD SPECTRUM RADIO	EA	5	\$ 3,500.00	\$ 17,500.00	\$ 6,000.00	\$ 30,000.00	\$ 5,180.00	\$ 25,900.00
TOTAL COST							\$	1,131,311.00	\$	1,299,933.60	\$	1,317,741.25

Town of Zebulon

Intersection Improvements at Arendell Ave. (NC 96) and Green Pace Rd.
 (SR 2368)

MINORITY BUSINESS ENTERPRISE FORMS Formal Bid Process

Provide with the bid - Under GS 143-128.2(c) the bidder shall identify and include with the bid, Town of Zebulon Form MBE-1 Identity of Minority Business Participation, the minority businesses that it will use on the project with the total dollar value of the bids that will be performed by the minority businesses.

All bidders must submit, with the bid, Town of Zebulon Form MBE-1 Identity of Minority Business Participation Form even if there is zero MBE participation.

Also include with the bid a list of the good faith efforts made to solicit minority participation in the bid effort, Town of Zebulon Form MBE-2 Listing of the Good Faith Effort.

Note: A contractor that performs all of the work with its own workforce may submit Town of Zebulon Form MBE-3-Intent to Perform Contract with Own Workforce, to that effect in lieu of Town of Zebulon Form MBE-2-Listing of the Good Faith Effort.

After the bid opening - The Owner will consider all bids and alternates and determine the lowest responsible, responsive bidder. Upon notification of being the apparent lowest responsible, responsive bidder, the bidder must then file within 72 hours of the notification Town of Zebulon Form MBE-4. It includes that portion of the Work to be performed by Minority Business. Also included is a description of the portion of work to be executed by minority businesses, expressed as a percentage of the total contract price, which is equal to or more than the 10% goal established. This affidavit shall give rise to the presumption that the bidder has made the required good faith effort and Town of Zebulon Form MBE-5 is not necessary,

Or

If less than the 10% goal, Town of Zebulon Form MBE-5 documenting all good faith efforts to meet the goal shall be provided. The document must include evidence of all good faith efforts that were implemented, including any advertisements, solicitations and other specific actions demonstrating recruitment and selection of minority businesses for participation in the project.

Note: Bidders must always submit with their bid the Identification of Minority Business Participation Form listing all MBE contractors, vendors, and suppliers that will be used. If there is no MBE participation, then enter none or zero on the form. Town of Zebulon Form MBE-2 or Town of Zebulon Form MBE-3 as applicable must also be submitted with the bid. Failure to submit a required affidavit or form with the bid or within the time required may be grounds for rejection of the bid. Attach to Bid

Town of Zebulon
Intersection Improvements at Arendell Ave (NC96) and Green Pace Rd (SR 2368)

Town of Zebulon
Intersection Improvements at Arendell Ave. (NC 96) and Green Pace Rd. (SR 2368)

Attach to Bid

Town of Zebulon- Form MBE-2 (8-2003)
Listing of the Good Faith Effort

Affidavit of FSL II, LLC dba FRED SMITH COMPANY
(Name of Bidder)

I have made a good faith effort to comply under the following areas checked:

Bidders must earn at least 50 points from the good faith efforts listed for their bid to be considered responsive. (1 NC Administrative Code 30 I.0101)

- ✓ 1 - (10 pts) Contacted minority businesses that reasonably could have been expected to submit a quote and that were known to the contractor, or available on State or local government maintained lists, at least 10 days before the bid date and notified them of the nature and scope of the work to be performed.
- ✓ 2 - (10 pts) Made the construction plans, specifications and requirements available for review by prospective minority businesses, or providing these documents to them at least 10 days before the bids are due.
- ✓ 3 - (15 pts) Broken down or combined elements of work into economically feasible units to facilitate minority participation.
- 4 - (10 pts) Worked with minority trade, community, or contractor organizations identified by the Office of Historically Underutilized Businesses and included in the bid documents that provide assistance in recruitment of minority businesses.
- ✓ 5 - (10 pts) Attended pre-bid meetings scheduled by the public owner.
- 6 - (20 pts) Provided assistance in getting required bonding or insurance or provided alternatives to bonding or insurance for subcontractors.
- ✓ 7 - (15 pts) Negotiated in good faith with interested minority businesses and did not reject them as unqualified without sound reasons based on their capabilities. Any rejection of a minority business based on lack of qualification should have the reasons documented in writing.
- 8 - (25 pts) Provided assistance to an otherwise qualified minority business in need of equipment, loan capital, lines of credit, or joint pay agreements to secure loans, supplies, or letters of credit, including waiving credit that is ordinarily required. Assisted minority businesses in obtaining the same unit pricing with the bidder's suppliers in order to help minority businesses in establishing credit.
- 9 - (20 pts) Negotiated joint venture and partnership arrangements with minority businesses in order to increase opportunities for minority business participation on a public construction or repair project when possible.
- ✓ 10 - (20 pts) Provided quick pay agreements and policies to enable minority contractors and suppliers to meet cash flow demands.

The undersigned, if apparent low bidder, will enter into a formal agreement with the firms listed in the Identification of Minority Business Participation schedule conditional upon scope of contract to be executed with the Owner. Substitution of contractors must be in accordance with GS 143-128.2(d). Failure to abide by this statutory provision will constitute a breach of the contract.

The undersigned hereby certifies that he or she has read the terms of the minority business commitment and is authorized to bind the bidder to the commitment herein set forth.

Date: 03/02/2023

Name of Authorized Officer: JEFF ALLEN

Signature: [Signature]

Title: VICE PRESIDENT

State of North Carolina, County of WAKE

Subscribed and sworn to before me this 2nd day of MAR. 20 23

Notary Public, MARGARET C. LEE

My commission expires 05/19/2027

Margaret C. Lee



Town of Zebulon
Intersection Improvements at Arendell Ave (NC96) and Green Pace Rd (SR 2368)

Town of Zebulon
Intersection Improvements at Arendell Ave. (NC 96) and Green Pace Rd. (SR 2368)

Town of Zebulon Form MBE-4 (8-2003)
Portion of the Work to be Performed by Minority Firms

**** (NOTE: THIS FORM IS NOT TO BE SUBMITTED WITH THE BID PROPOSAL) ****

If the portion of the work to be executed by minority businesses as defined in GS143-128.2(g) is equal to or greater than 10% of the bidders total contract price, then the bidder must complete this affidavit. This affidavit shall be provided, to the Owner, by the apparent lowest responsible, responsive bidder within 72 hours after notification of being the apparent low bidder.

Affidavit of FSC II, LLC dba FSC Smith Company I do hereby certify that on the
(Bidder Name)
INTERSECTION IMPROVEMENTS AT ARENDELL AVE AND GREEN PACE RD.
(Project Name)
Project ID# _____ Amount of Bid \$ 1,131,311.00

I will expend a minimum of 10 % of the total dollar amount of the contract with minority business enterprises. Minority businesses will be employed as construction subcontractors, vendors, suppliers or providers of professional services. Such work will be subcontracted to the following firms listed below.

Attach additional sheets if required

Name and Phone Number	*Minority Category	Work description	Dollar Value
<u>AUSTIN PECKING, LLC 919-200-1600</u>	<u>H</u>	<u>HAULING</u>	<u>\$113,200.00</u>

*Minority categories: Black, African American (B), Hispanic (H), Asian American (A) American Indian (I), Female (F) Socially and Economically Disadvantaged (D)

Pursuant to GS143-128.2(d), the undersigned will enter into a formal agreement with Minority Firms for work listed in this schedule conditional upon execution of a contract with the Owner. Failure to fulfill this commitment may constitute a breach of the contract. The undersigned hereby certifies that he or she has read the terms of this commitment and is authorized to bind the bidder to the commitment herein set forth.

Date: 3/3/2023 Name of Authorized Officer: JEFF ALLEN

Signature: [Signature]

Title: VICE PRESIDENT

State of North Carolina, County of WAKE

Subscribed and sworn to before me this 3 day of March 2023

Janet Castleberry Clarke
Seal Notary Public
Wake County
North Carolina
My Commission Expires: 10-24-2023

Notary Public [Signature]

My commission expires 10-24-2023

ZEBULON PUBLIC WORKS

PUBLIC WORKS DEPARTMENT
STREETS AND SANITATION
FACILITIES AND GROUNDS
CONSTRUCTION INSPECTION
PROJECT MANAGEMENT
STORMWATER



CHRIS D. RAY
PUBLIC WORKS DIRECTOR
PHONE: 919-269-5285
EMAIL: CRAY@TOWNOFZEBULON.ORG
450 EAST HORTON STREET
ZEBULON, NC 27597

Arendell Ave and Greenpace Road Roadway and Signal Project

Major Subcontractor Listing for Project

1) **Hauling – MBE (Hispanic)**

Austin Trucking, LLC
368 Athletic Club Blvd.
Clayton, NC 27227
DOT Reporting Number # 72087
Contract Amount – \$113,200

2) **Signals**

Fulcher Electric
1744 Middle River Loop
Fayetteville, NC 28312
DOT Reporting Number - 12080
Contract Amount - \$98,259.30

3) **Seeding**

Final Grade Inc. LLC
970 Blue Grass Road
Selma, NC 27576
DOT Reporting Number 79014
Contract Amount - \$45,360.00

4) **Pavement Markings**

Road Safe
PO Box 1029
Apex, NC 27502
DOT Reporting Number 74685
Contract Amount - \$27,167.00

STAFF REPORT
ORDINANCE 2023-33
RECOGNITION OF SPONSORSHIP FUNDS
APRIL 3, 2023


Topic: Ordinance 2023-33 - Recognition of Sponsorships for Special Events

Speaker: Sheila Long, Parks and Recreation Director

From: Sheila Long, Parks and Recreation Director

Bobby Fitts, Finance Director

Prepared by: Sheila Long, Parks and Recreation Director

Approved by:  Joseph M. Moore II, PE, Town Manager

Executive Summary:

The Board of Commissioners will recognize sponsorship funding for the Spring Events.

Background:

The Parks and Recreation Department has sought sponsors for events such as the Farm Fresh Market and other cultural arts events over the years. Sponsorships committed for the Spring Events totaled \$11,000.

Discussion:

The Board must recognize funds received for intended purposes.

Financial Analysis:

Special Events are dependent upon sponsorships.

Policy Analysis:

Special Events meet the goals of a Vibrant Downtown and Small-Town Life, which are two of the goals in the Strategic Plan .

Staff Recommendation:

Staff recommends approval of Ordinance 2023-33.

Attachments:

1. Ordinance 2023-33

ORDINANCE 2023-33

BE IT ORDAINED by the Board of Commissioners of the Town of Zebulon, that pursuant to North Carolina General Statutes 159-15, the following amendment be made to the annual budget ordinance for the fiscal year ending June 30, 2023.

Section 1. To amend the General Fund budget as follows:

	INCREASE	DECREASE
REVENUES		
Events	\$11,000.00	
EXPENDITURES		
Parks & Recreation – Special Events	11,000.00	

Section 2. Copies of this amendment shall be furnished to the Town Clerk, and to the Budget Officer, and to the Finance Officer for their direction.

Adopted: April 3, 2023

Effective: April 3, 2023

Glenn L York—Mayor

ATTEST:

Lisa M. Markland, CMC—Town Clerk

STAFF REPORT
ORDINANCE 2023-34
BUDGET AMENDMENT: CIP REALLOCATION
APRIL 3, 2023

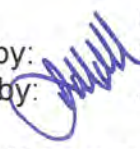
Topic: Ordinance 2023-34 – CIP REALLOCATION

Speaker: Sheila Long, Parks & Rec Director (if pulled from Consent)

From: Sheila Long, Parks & Rec Director

Bobby Fitts, Finance Director

Prepared by: Sheila Long, Parks & Rec Director

Approved by:  Joseph M. Moore II, PE, Town Manager

Executive Summary:

The Board of Commissioners will consider reappropriating Capital funds to replace the Community Center floor scrubber.

Background:

The Town purchased a floor scrubber in 2009 when the Community Center opened. The scrubber is used to clean the rubber athletic floor surfaces on a routine basis. The scrubber no longer self-propels making it extremely difficult to use. Staff routinely has challenges with the machine consistently vacuuming discharged solution when cleaning.

Staff has tested three different machines to evaluate their effectiveness on the rubberized floor and obtained quotes.



Discussion:

The discussion before the Board is whether to adopt the attached Ordinance under Consent or pull them into Discussion.

Policy Analysis:

The Board must transfer capital funds through ordinance before the funds can be used for a different purpose.

Fiscal Analysis:

Funds for purchase represent completing capital projects/purchases underbudget.

Staff Recommendation:

Staff recommends approval of the attached Ordinance.

Attachments:

1. Ordinance 2023-34

ORDINANCE 2023-34

BE IT ORDAINED by the Board of Commissioners of the Town of Zebulon, that pursuant to North Carolina General Statutes 159-15, the following amendment be made to the annual budget ordinance for the fiscal year ending June 30, 2023.

Section 1. To amend the General Fund budget as follows:

REVENUES	INCREASE	DECREASE
EXPENDITURES		
Parks & Recreation - Linelazer Paint Sprayer		\$1,925.00
Parks & Recreation - Mower		\$3,000.00
Parks & Recreation - Gill St Picnic Area		\$2,575.00
Parks & Recreation - Scrubber	\$7,500.00	

Section 2. Copies of this amendment shall be furnished to the Town Clerk, and to the Budget Officer, and to the Finance Officer for their direction.

Adopted: April 3, 2023

Effective: April 3, 2023


Glenn L. York - Mayor

ATTEST:

Lisa M. Markland, CMC - Town Clerk

STAFF REPORT
RESOLUTION 2023-24
SHEPARD PARK 2A – ROADWAY/STORM DRAINAGE
SHEPARD PARK 2A, B, C - GREENWAY
ROADWAY, STORM DRAINAGE AND GREENWAY ACCEPTANCE
APRIL 3, 2023

Topic: Resolution 2023-24 - Shepard Park Infrastructure Acceptance

Speaker: Chris D. Ray, Public Works Director (if pulled from Consent)
From: Chris D. Ray, Public Works Director
Prepared by: Chris D. Ray, Public Works Director
Approved by:  Joseph M. Moore II, PE, Town Manager

Executive Summary:

Consider accepting roadway and storm-drainage infrastructure of Shepard Park phase 2A and Greenway for phase 2A, B, C for ownership and maintenance.

Background:

The Town of Zebulon follows a practice where the Board considers acceptance (i.e., ownership and maintenance) of roadway, storm drain, and greenway infrastructure installed in new subdivisions. In advance of this consideration, staff determines whether the infrastructure complies and meets the conditions of permits and Town standards.

Shepard Park has completed the construction of roadway and stormwater infrastructure in phase 2A in addition to the greenway for phase 2A, 2B and 2C. Phase 2A will include 115 single family lots and Phase 2 A, B,C greenway includes 3,179.77 LF of a 10' wide asphalt path with boardwalk rated for 10,000 lbs. in dedicated greenway easement.

The plat was recorded with the Wake County Registrar of Deeds on March 10th 2023 in book BM2023 and pages 00423-00428.

Staff and third-party inspectors/engineers have certified all completed work meets or exceeds Town standards and requirements, and City of Raleigh Utility Standards.

Discussion:

The Board must accept the dedication of streets, curb and gutter, street signage, storm drainage and greenways for ownership and maintenance if the dedicated work is consistent with the Special Use Permit and meets Town of Zebulon Standards.

Policy Analysis:

The infrastructure was installed per approved Special Use Permit 2015-04. The infrastructure complies with the latest version of the "Town of Zebulon Street & Storm Drainage Standards and Specifications" and is consistent with the Town of Zebulon Uniform Development Ordinance section 6.10.4 for dedication of roadways.

Fiscal Analysis:

Infrastructure Amount and Value

Shepard Park will dedicate seven (7) streets totaling 6,672.3 LF linear feet (~ 1.26 miles), and 8,190 linear foot (~ 1.55 miles) of storm drainage and greenway 3,179.77 LF of greenway valued at \$2,097,159.50. The infrastructure will be added to the Town's Capital

STAFF REPORT
RESOLUTION 2023-24
SHEPARD PARK 2A – ROADWAY/STORM DRAINAGE
SHEPARD PARK 2A, B, C - GREENWAY
ROADWAY, STORM DRAINAGE AND GREENWAY ACCEPTANCE
APRIL 3, 2023

assets (re. Comprehensive Annual Financial Report). Upon acceptance of Shepard Park the Town will own and maintain 35.79 miles of street and 27.05 miles of stormwater pipe.

Maintenance Cost

In addition to Staff's annual inspection and cleaning efforts, the Town of Zebulon annually contracts the cleaning of approximately 10% (2.7-miles) of the Town's stormwater system (FY '24 Budget \$40,000). This work is done to meet one component of the "Pollution Prevention and Good Housekeeping" objectives of the Town's permit (National Pollutant Discharge Elimination System # NCS000557) with the NC Department of Environmental Quality (the permit regulating how the Town operates its stormwater system). The acceptance of Shepard Park phase 2A. increases the storm drain network by approximately 6%.

Streets are designed to have a useful life of 20 years; therefore, the Town needs to repave approximately 1.79 miles of street annually estimated at \$400,000. The acceptance of Shepard Park Phase 2A increases the street network by approximately 3.5%.

Revenue Streams

Maintenance costs for street paving are supported by the following dedicated revenues:

- a) "Powell Bill" (gas tax) ~ \$ 225,000 (Zebulon's share of this revenue collected by the State has grown proportionally with increasing population and street mileage).
- b) Vehicle Tag Fee ~ \$175,000 (this revenue will grow as new residents register their vehicles within the Town's limits).

There are no dedicated revenue sources to support stormwater maintenance (0.7¢ on the property tax rate is dedicated toward stormwater capital improvements). Staff is reviewing options on a possible stormwater fee and utility as part of the budget process.

Warranty and Insurance

The Town received a one-year warranty on all the dedicated assets. Staff will conduct an 11-month warranty inspection prior to the final overlay to ensure any issues or failures are repaired prior to the final asphalt overlay by the developer.

The Town received a Subdivision Bond of \$561,079.12 to ensure the final completion of outstanding items (e.g., final asphalt overlay, striping, signage, sidewalks, landscaping, etc.). The final completion of these items are intentionally delayed to minimize the damage that may occur as individual lots are constructed. The Subdivision Bond is automatically renewed or revised annually to reflect items completed. The Subdivision Bond remains active until all items have been completed. All inspection and development fees of \$583,001.58 were collected from the developer.

STAFF REPORT
RESOLUTION 2023-24
SHEPARD PARK 2A – ROADWAY/STORM DRAINAGE
SHEPARD PARK 2A, B, C - GREENWAY
ROADWAY, STORM DRAINAGE AND GREENWAY ACCEPTANCE
APRIL 3, 2023

Staff Recommendation:

Staff recommends approval of Resolution 2023-24 for acceptance of Shepard Park Phase 2 A, B, & C greenway plus Phase 2A roadway and storm drainage infrastructure, warranty, and site improvements bond.



Attachments:

1. Certifications

- Engineer certification of roadway lengths
- Engineer certification of Dedicated infrastructure and values
- Engineering Estimate for Letter of Credit/Bond
- Subdivision bond – North State Bank
- Developer warranty/guaranty– Street and Stormwater
- Developer warranty/guaranty – Water and Sewer
- Third party engineering reports for sub-grade, stone, and asphalt
- Engineer Certification of Public Water
- Engineer Certification of Public Sewer
- Developer– Release of Liens
- Contractor – Release of Lien
- Proof of payment for streetlights
- Payment of construction inspection and planning fees
- City of Raleigh Conditional Acceptance
- As-builts drawings (includes engineering certification of public infrastructure)

2. Resolution 2023-24

5



November 22, 2022

RE: Shepard's Park - Phase 2A
AWH-19000
Certification of Roadway Lengths

*12-1-22
APPROVED
AS
SUBMITTED*

I, Fred V. Boone, as a duly registered Professional Engineer in the State of North Carolina, having been authorized to periodically observe the construction of the above-referenced permitted project, hereby certify to the best of my abilities, that the following table reflects accurate and true information about the roadways installed.

ROADWAY DATA TABLE - PHASE 2A					
Street Name	Classification	Design/Posted Speed	Public/Private	LF of New Road	ROW Width
Logan Creek Drive	Local Street	30/25	Public	1,099.3	50'
Swift Park Drive	Local Street	30/25	Public	325.8	50'
Shepards Rock Drive	Local Street	30/25	Public	1,348.1	50'
Kenyon Spring Drive	Local Street	30/25	Public	1,542.4	50'
Arch Canyon Circle	Local Street	30/25	Public	611.2	50'
Rift Valley Drive	Local Street	30/25	Public	1,068.6	50'
Berkeley Glen Drive	Local Street	30/25	Public	676.9	50'
Total Roadway Length (LF)				6,672.3	

Sincerely,
MCADAMS

Fred V. Boone, PE
Director, Construction Administration



MCADAMS

Dedicated Infrastructure Cost Estimate

Project Name: Shepards Park-Phase 2A
 Dedicated Infrastructure Cost Estimate
 Project Number: AWH-19000

Date: 11/21/2022

APPROVED AS SUBMITTED 12-1-22

Item No.	Description	Quantity	Unit	Unit Prices		Total
Roadways						
1	Asphalt Base (2.0" S9.5C) Intermediate Lift	21735.00	SY	\$ 12.50		\$ 271,687.50
2	8" ABC Stone	21735.00	SY	\$ 14.50		\$ 315,157.50
3	2-6 Curb & Gutter	11043.00	LF	\$ 20.00		\$ 220,860.00
					Subtotal	\$ 807,705.00
Sidewalks & Trails						
1	Asphalt Trail - <i>2250.18 LF</i>	2507.00	SY	\$ 72.00		\$ 180,504.00
2	Boardwalk - <i>9259 L.F.</i>	1.00	LS	\$ 90,000.00		\$ 90,000.00
					Subtotal	\$ 270,504.00
Stormwater						
1	Stormwater Pipe 15" RCP	2680.00	LF	\$ 46.00		\$ 123,280
2	Stormwater Pipe 18" RCP	1145.00	LF	\$ 50.00		\$ 57,250
3	Stormwater Pipe 24" RCP	527.00	LF	\$ 60.00		\$ 31,620
4	Stormwater Pipe 30" RCP	1197.00	LF	\$ 75.00		\$ 89,775
5	Stormwater Pipe 36" RCP	1798.00	LF	\$ 110.00		\$ 197,780
5	Stormwater Pipe 42" RCP	375.50	LF	\$ 125.00		\$ 46,938
6	Stormwater Pipe 48" RCP	213.00	LF	\$ 136.00		\$ 28,968
7	Curb Inlets w/ Frame & Grate (0'-6')	41.00	EA	\$ 3,000.00		\$ 123,000
8	Curb Inlets w/ Frame & Grate (6'-8')	9.00	EA	\$ 3,600.00		\$ 32,400
9	Curb Inlets w/ Frame & Grate (8'-10')	11.00	EA	\$ 4,000.00		\$ 44,000
10	Curb Inlets w/ Frame & Grate (10'-12')	7.00	EA	\$ 4,500.00		\$ 31,500
11	Yard Inlets w/ Frame & Grate (0'-6')	14.00	EA	\$ 3,000.00		\$ 42,000
12	Yard Inlets w/ Frame & Grate (6'-10')	1.00	EA	\$ 6,300.00		\$ 6,300
13	Junction Box with ring & Cover (0'-6')	1.00	EA	\$ 3,500.00		\$ 3,500
13	Junction Box with ring & Cover (6'-8')	1.00	EA	\$ 4,000.00		\$ 4,000
					Subtotal	\$ 862,311
Total Site Direct Construction Cost						\$ 1,940,519.50

Construction Cost = \$ 1,940,519.50

On behalf of Starlight Homes, an engineer's opinion of cost is herein provided for the total cost of the site improvements completed for Shepards Park II Phase 2A plat, and that will be dedicated to the Town of Zebulon.





Item	Length
Aphelt Area-2A	195,612.68
5' Sidewalk-2A	6,627.41
ADA Ramps-2A	21.00
Signs-2A	15.00
10' Greenway-2A	2,256.18
10' Greenway Boardwalk-2A	92.59
15' RCP Phase 2A	2,680.25
18' RCP Phase 2A	1,144.92
24' RCP Phase 2A	527.21
30' RCP Phase 2A	1,196.97
36' RCP Phase 2A	1,797.80
48' RCP Phase 2A	212.87
DI (0'-6') Depth Phase 2A	14.00
CB (10'-12') Depth Phase 2A	7.00
CB (0'-6') Depth Phase 2A	41.00
CB (6'-8') Depth Phase 2A	9.00
CB (8'-10') Depth Phase 2A	11.00
DI (6'-10') Depth Phase 2A	1.00
JB (6'-10') Depth Phase 2A	1.00
42' RCP Phase 2A	375.35
JB (0'-6') Depth Phase 2A	1.00
Adjust Vave box and Manholes Phase 2A	55.00
Stop Bars Phase 2A	143.96
Crosswalk Striping Phase 2A	207.08
30' C&G Phase 2A	11,042.85

Street Name	Length
Logan Creek Drive	1099.3
Swift Park Drive	325.8
Shepards Rock Drive	1348.1
Kenyon Spring Drive	1542.4
Arch Canyon Circle	611.2
Rift Valley Drive	1068.6
Berkeley Glen Drive	676.9

Phase 2A-Street Lengths

6672.30 LF



②
 3/7/23
 Approved AS Submitted
 ✓ [Signature]
 3-8-23

Dedicated Infrastructure Cost Estimate

Project Name: Shepards Park
 Dedicated Infrastructure Cost Estimate
 Phase 2B +C Greenway
 Project Number: AWH-19000

Date 3/7/2023

Item No.	Description	Quantity	Unit	Unit Prices		Total	
Sidewalks & Trails							
1	Asphalt Trail (713LF)	925.56	SY	\$ 72.00		\$ 66,640.00	
2	Boardwalk (118LF)	1.00	LS	\$ 90,000.00		\$ 90,000.00	
				Subtotal		\$ 156,640.00	
Total Site Direct Construction Cost						\$ 156,640.00	

Construction Cost = \$ 156,640.00

On behalf of Starlight Homes, an engineer's opinion of cost is herein provided for the total cost of the greenway improvements completed for Shepards Park II within Phases 2B +2C, and that will be dedicated to the Town of Zebulon



MCADAMS

Engineer's Cost Opinion for Performance Bonding

Project Name: Shepards Park-Phase 2A
 Performance Bond
 Project Number: AWH-19000
 Date: 11/21/2022

(3)
~~LET~~
 Approved As
 Submitted
 12-1-22

Item No.	Description	Quantity	Unit	Unit Prices		Total
Roadways						
1	Asphalt Surface (1.0" S9.5B)-Final Lift	21735.00	SY	\$	6.40	\$ 139,104.00
1	Adjust Valve Boxes and Manholes	55.00	Ea	\$	450.00	\$ 24,750.00
2	24" Stop Bars	144.00	LF	\$	10.00	\$ 1,440.00
3	8" Crosswalk Striping	207.00	LF	\$	4.00	\$ 828.00
4	Signage	15.00	Ea	\$	450.00	\$ 6,750.00
					Subtotal	\$ 172,872.00
Sidewalks & Trails						
1	5' Sidewalks	3682.00	SY	\$	45.00	\$ 165,690.00
1	ADA Ramps	21.00	EA	\$	1,500.00	\$ 31,500.00
					Subtotal	\$ 197,190.00
Stormwater Conversion						
SCM A Conversion						
1	Pre-Conversion Survey	1.00	LS	\$	1,500.00	\$ 1,500.00
2	Dewater Pond	2.00	Day	\$	1,500.00	\$ 3,000.00
3	Remove Sediment & Haul off to Landfill	420.00	CY	\$	12.00	\$ 5,040.00
4	Fine Grading	3.00	Day	\$	3,600.00	\$ 10,800.00
5	Onsite Topsoil for Fine Grading	775.00	CY	\$	3.00	\$ 2,325.00
6	Seed and Straw disturbed Surrounding Pond Dam	2.00	AC	\$	2,600.00	\$ 5,200.00
7	Remove Skimmer	1.00	LS	\$	500.00	\$ 500.00
8	Landscaping - Wetland Plants	1728.00	EA	\$	3.50	\$ 6,048.00
					Subtotal	\$ 34,413.00
Consultant Costs + Escalators						
1	Engineering Design @ 15% Construction Cost	15.00	%	\$	231,603.00	\$ 34,740.45
2	Construction Inspection	15.00	Days	\$	720.00	\$ 10,800.00
3	Geotechnical Testing	1.00	%	\$	231,603.00	\$ 2,316.03
4	Construction Staking Allowance	1.00	LS	\$	3,000.00	\$ 3,000.00
5	CPI	15.00	%	\$	231,603.00	\$ 34,740.45
6	Asphalt + Concrete Repairs Allowance	1.00	LS	\$	20,000.00	\$ 20,000.00
7	Greenway Amenities Allowance	1.00	LS	\$	10,000.00	\$ 10,000.00
8	Street Tree Allowance	190.00	LS	\$	450.00	\$ 85,500.00
					Subtotal	\$ 105,596.93
Total Site Direct Construction Cost						\$ 510,071.93

Construction Cost = \$ 510,071.93
 Performance Bond = \$ 561,079.12
 110% of Direct Cost



SUBDIVISION BOND

Bond No.: SU1186852

Principal Amount: \$561,079.12

KNOW ALL MEN BY THESE PRESENTS, that we
Starlight Homes North Carolina, LLC
4025 Lake Boone Trail, Suite 200, Raleigh, NC
as Principal, and
Arch Insurance Company
Harborside 3, 210 Hudson Street Suite 300, Jersey City, NJ 07311-1107 a MO
Corporation, as Surety, are held and firmly bound unto
Town of Zebulon
100 N. Arendell Avenue, Zebulon, NC 27597
as Obligee, in the penal sum of
Five Hundred Sixty One Thousand Seventy Nine Dollars and 12/100
(Dollars) (\$ 561,079.12), lawful money of the
United States of America, for the payment of which well and truly to be made, we bind ourselves,
our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these
presents.

WHEREAS, Starlight Homes North Carolina, LLC has agreed to construct in
Shepards Park II Subdivision, in Zebulon, NC the following
improvements:

Overlay, Sidewalks, Ramps, Striping, Street Trees, Open Space Landscaping, Pond Conversion.

SPECIAL INSTRUCTIONS: IT IS A CONDITION OF THIS BOND THAT IT SHALL EXPIRE WHEN RELEASED IN
WRITING BY THE OBLIGEE AND THE ORIGINAL BOND RETURNED TO THE SURETY. THE BOND WILL RENEW
ANNUALLY AND BE IN FULL FORCE UNTIL BOTH ARE RECEIVED.

NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION IS SUCH, that if the said
Principal shall construct, or have constructed, the improvements herein described, and shall save the
Obligee harmless from any loss, cost or damage by reason of its failure to complete said work, then
this obligation shall be null and void, otherwise to remain in full force and effect, and the Surety,
upon receipt of a resolution of the Obligee indicating that the improvements have not been installed
or completed, will complete the improvements or pay to the Obligee such amount up to the
Principal amount of this bond which will allow the Obligee to complete the improvements.

Upon approval by the Obligee, this instrument may be proportionately reduced as the public
improvements are completed.

Signed, sealed and dated, this 15th day of December, 2022

Starlight Homes North Carolina, LLC
Principal

By: [Signature]

Arch Insurance Company
Surety

By: Kelly A. Gardner
Kelly A. Gardner Attorney-in-Fact



8

This Power of Attorney limits the acts of those named herein, and they have no authority to bind the Company except in the manner and to the extent herein stated. Not valid for Note, Loan, Letter of Credit, Currency Rate, Interest Rate or Residential Value Guarantees.

POWER OF ATTORNEY

Know All Persons By These Presents:

That the Arch Insurance Company, a corporation organized and existing under the laws of the State of Missouri, having its principal administrative office in Jersey City, New Jersey (hereinafter referred to as the "Company") does hereby appoint:

Kelly A. Gardner

its true and lawful Attorney-in-Fact, to make, execute, seal, and deliver from the date of issuance of this power for and on its behalf as surety, and as its act and deed Any and all bonds, undertakings, recognizances and other surety obligations, in the penal sum not exceeding One hundred and Fifty Million Dollars (150,000,000.00). Any and all bonds, undertakings, recognizances and other surety obligations:

Surety Bond Number: SU1186852
Principal: Starlight Homes North Carolina, LLC
Obligee: Town of Zebulon

This authority does not permit the same obligation to be split into two or more bonds in order to bring each such bond within the dollar limit of authority as set forth herein.

The execution of such bonds, undertakings, recognizances and other surety obligations in pursuance of these presents shall be as binding upon the said Company as fully and amply to all intents and purposes, as if the same had been duly executed and acknowledged by its regularly elected officers at its principal administrative office in Jersey City, New Jersey.

This Power of Attorney is executed by authority of resolutions adopted by unanimous consent of the Board of Directors of the Company on August 31, 2022, true and accurate copies of which are hereinafter set forth and are hereby certified to by the undersigned Secretary as being in full force and effect:

"VOTED, That the Chairman of the Board, the President, or the Executive Vice President, or any Senior Vice President, of the Surety Business Division, or their appointees designated in writing and filed with the Secretary, or the Secretary shall have the power and authority to appoint agents and attorneys-in-fact, and to authorize them subject to the limitations set forth in their respective powers of attorney, to execute on behalf of the Company, and attach the seal of the Company thereto, bonds, undertakings, recognizances and other surety obligations obligatory in the nature thereof, and any such officers of the Company may appoint agents for acceptance of process."

This Power of Attorney is signed, sealed and certified by facsimile under and by authority of the following resolution adopted by the unanimous consent of the Board of Directors of the Company on August 31, 2022:

VOTED, That the signature of the Chairman of the Board, the President, or the Executive Vice President, or any Senior Vice President, of the Surety Business Division, or their appointees designated in writing and filed with the Secretary, and the signature of the Secretary, the seal of the Company, and certifications by the Secretary, may be affixed by facsimile on any power of attorney or bond executed pursuant to the resolution adopted by the Board of Directors on August 31, 2022, and any such power so executed, sealed and certified with respect to any bond or undertaking to which it is attached, shall continue to be valid and binding upon the Company. In Testimony Whereof, the Company has caused this instrument to be signed and its corporate seal to be affixed by their authorized officers, this 31st day of August, 2022.

Attested and Certified

Regan A. Shulman

Regan A. Shulman, Secretary



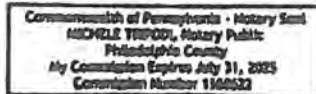
Arch Insurance Company

Stephen C. Ruschak

Stephen C. Ruschak, Executive Vice President

STATE OF PENNSYLVANIA SS
COUNTY OF PHILADELPHIA SS

I, Michele Tripodi, a Notary Public, do hereby certify that Regan A. Shulman and Stephen C. Ruschak personally known to me to be the same persons whose names are respectively as Secretary and Executive Vice President of the Arch Insurance Company, a Corporation organized and existing under the laws of the State of Missouri, subscribed to the foregoing instrument, appeared before me this day in person and severally acknowledged that they being thereunto duly authorized signed, sealed with the corporate seal and delivered the said instrument as the free and voluntary act of said corporation and as their own free and voluntary acts for the uses and purposes therein set forth.



Michele Tripodi

Michele Tripodi, Notary Public
My commission expires 07/31/2025

CERTIFICATION

I, Regan A. Shulman, Secretary of the Arch Insurance Company, do hereby certify that the attached Power of Attorney dated August 31, 2022 on behalf of the person(s) as listed above is a true and correct copy and that the same has been in full force and effect since the date thereof and is in full force and effect on the date of this certificate, and I do further certify that the said Stephen C. Ruschak, who executed the Power of Attorney as Executive Vice President, was on the date of execution of the attached Power of Attorney the duly elected Executive Vice President of the Arch Insurance Company.

IN TESTIMONY WHEREOF, I have hereunto subscribed my name and affixed the corporate seal of the Arch Insurance Company on this 15th day of December, 2022.

Regan A. Shulman

Regan A. Shulman, Secretary

This Power of Attorney limits the acts of those named therein to the bonds and undertakings specifically named therein and they have no authority to bind the Company except in the manner and to the extent herein stated.

PLEASE SEND ALL CLAIM INQUIRIES RELATING TO THIS BOND TO THE FOLLOWING ADDRESS:

Arch Insurance - Surety Division
3 Parkway, Suite 1500
Philadelphia, PA 19102

To verify the authenticity of this Power of Attorney, please contact Arch Insurance Company at SuretyAuthentic@archinsurance.com. Please refer to the above named Attorney-In-Fact and the details of the bond to which the power is attached.



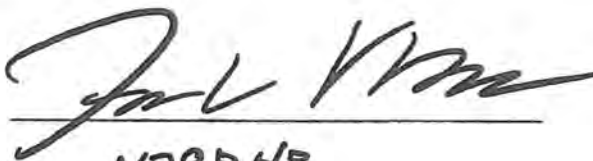
November 22, 2022

LAD
12-1-22
Approved As
Submitted

Engineer's Certification

I, Fred V. Boone, as a duly registered Professional Engineer in the State of North Carolina, having been authorized to observe periodically the construction of the project Shepards Park Phase II – Phase 2A for the Starlight Homes North Carolina, L.L.C. hereby state that, to the best of my abilities; due care and diligence was used in the observation of the project construction such that the Roadway System and Stormwater Infrastructure was observed to be built within substantial compliance and general intent of the Town of Zebulon Standards and Specifications with the following incomplete exceptions:

1. 5' Concrete Sidewalks and Handicap Ramps
2. Final Asphalt Lift with Striping
3. Pavement Striping
4. SCM Conversion
5. Greenway Asphalt
6. Street Signage

Signature: 

Registration No.: 029808

Date: 11/22/2022



STARLIGHT
HOMES

45

✓
Approved
1/4/23

January 4, 2023

REF: Town of Zebulon
Shepards Park – Phase 2A

Starlight Homes North Carolina LLC (the "Developer") provides the following Statement of Guaranty and Warranty on the referenced project: Shepards Park Phase 2A.

Developer guarantees and warrants that all material and equipment furnished, and all work performed on the storm water system and street construction in Phase 2A – (the "Work") conforms with the Town's requirements, and that this guaranty and warranty will remain in full force and effect for a period of one year from the date of acceptance of the Work. Developer hereby agrees to indemnify, defend, and hold harmless the Town from and against all costs, loss and damages, including attorney's fees, arising from the failure of the Work to conform to the Town's standards.

Developer has executed this Developer's Guaranty this 4th day of January, 2023

Starlight Homes North Carolina LLC

By: Chris Hamrick
Name: Chris Hamrick
Title: Vice President of Finance

Sworn to and subscribed before me this

4th day of January, 2023.

Amber A Pullen
NOTARY PUBLIC

Commission Expires: February 6th 2026

SEAL

Amber A. Pullen
NOTARY PUBLIC
Wake County
North Carolina
My Commission Expires February 6th, 2026

4025 Lake Boone
Suite 200
Raleigh, NC 27607

*
STARLIGHT
HOMES

#16
LED Approved
AS
Submitted
12-9-22

November 16, 2022

City of Raleigh Public Works
2500 Operations Way
Raleigh, NC 27604

REF: Shepards Park
Zebulon, North Carolina

To Whom It May Concern:

Starlight Homes North Carolina LLC has completed of all the public infrastructure (for the Shepard's Park Phase 2A project). This work was inspected by the City of Raleigh. Starlight Homes North Carolina LLC will provide a one-year warranty against any workmanship defects. This warranty will be effective per the date of the acceptance from the City of Raleigh.

Sincerely,



Chris Hamrick
Vice President of Finance

State: North Carolina

County: Wake

On this 16 day of November, 2022 before me, the undersigned notary public appeared Chris Hamrick, proved to me through satisfactory evidence of identification, to be the person whose name is signed on the letter above, and acknowledge to me that she signed it voluntarily for its stated purpose (as manager of Starlight Homes North Carolina, LLC).



Raymond Rinker, Notary Public
My Commission Expires: 8/3/25



4025 Lake Boone
Suite 200
Raleigh, NC 27607



7

*Let
Approved
PS
Submitted
12-7-23*

November 23, 2022

Marc Chadwick
Ashton Woods
900 Ridgefield Drive, Suite 335
Raleigh, NC 27609

Reference: Summary of Interior Roadways
Shepard's Park – Phase 2A
Zebulon, North Carolina
TME Project No.: 201315C

Dear Mr. Chadwick:

TM Engineering Inc. has provided construction testing services for the interior roadways within Phase 2A of the Shepard's Park project in Zebulon, North Carolina. These services included the observation of soil subgrades and aggregate base course.

Subgrade conditions were evaluated by proofrolls and probing with a one-half inch diameter steel probe rod. The contractor conducted repairs necessary to provide adequate stability in identified areas to repair near surface issues. The aggregate base course was also evaluated by proofroll with no significant movement observed. It was noted that Shepard Rock Drive, Street G, and a section of Street E was proofrolled without TME present and it is our understanding through conversations with the contractor and the town that this section was passed by Town of Zebulon inspector. Periodic stone density tests were performed on the aggregate base course which produced results of 98% compaction at the test locations. Stone depth was checked periodically at testing locations and found to have 8 inches of stone in place. Concrete for curb was sampled and tested for compressive strength. Laboratory results indicated all concrete sampled met the specified strength. It should be noted that this letter provides a summary of observations and is not a warranty or performance guarantee. Conditions observed by proofrolls or testing are representative of the conditions at the time and could be altered for many reasons such as weather or construction traffic. Additionally, the asphalt for phase 2A was cored by others and tested for density. Asphalt laboratory results have been provided and can be found attached to original email for forwarding.

TM Engineering appreciates the opportunity to have provided you with our services on this project. Please contact us if you should have questions regarding this report or if we may be of further assistance.

Sincerely,

TM Engineering, Inc. C3201

Toby Mallik, P.E.
NC Registration No. 026472



David Truesdale
Project Manager



Bulk Specific Gravity of Asphalt Core

AASHTO T 166-16, Method A

Client: TM Engineering, Inc.
 Client Reference: Shepard's Park 2A
 Project No.: R-2022-080-002
 JMF No.: 18-1332-271
 Rice: 2.438

Lab ID	-001	-002	-003	-004	-005	-006
Boring No.	N/A	N/A	N/A	N/A	N/A	N/A
Depth	N/A	N/A	N/A	N/A	N/A	N/A
Sample No.	S-1	S-2	S-3	S-4	S-5	S-6

2" core *42% compaction*

UNIT WEIGHT

Wt. of Core (gms.)	2149.8	1725.5	2239.4	1357.5	1829.4	1654.1
Length 1 (in.)	2.245	1.841	2.268	1.420	1.924	1.751
Length 2 (in.)	2.165 <i>2.16</i>	1.853 <i>1.74</i>	2.279 <i>2.26</i>	1.392 <i>1.40</i>	1.914 <i>1.88</i>	1.623 <i>1.70</i>
Length 3 (in.)	2.055	1.627	2.228	1.375	1.806	1.733
Top Diameter (in.)	5.929	5.897	5.890	5.885	5.846	5.919
Middle Diameter (in.)	5.928	5.901	5.896	5.895	5.861	5.918
Bottom Diameter (in.)	5.953	5.913	5.912	5.875	5.881	5.890
Sample Volume (cc)	977.52	795.62	1011.54	622.11	832.24	765.00
Unit Wt.(gms/cc)	2.20	2.17	2.21	2.18	2.20	2.16
Unit Wt.(pcf.)	137.24	135.33	138.14	136.16	137.16	134.92

Bulk Specific Gravity (G_{mb})

Wt. in Water (gms.)	1198.7	958.6	1251.7	745.3	1015.1	914.3
Wt. Surface Dry (gms.)	2152.6	1727.7	2241.1	1359.8	1831.6	1659.2
Bulk Specific Gravity (G_{mb})	2.254	2.244	2.263	2.209	2.240	2.221
Absorption (%)	0.29%	0.29%	0.18%	0.38%	0.28%	0.69%
Compaction (%)	92.4%	92.0%	92.8%	90.6%	91.8%	91.0%

Tested By DO Date 10/17/22 Checked By AES Date 10/18/22



Bulk Specific Gravity of Asphalt Core

AASHTO T 166-16, Method A

Client TM Engineering, Inc.
 Client Reference Shepard's Park 2A
 Project No. R-2022-080-002
 JMF No. 18-1332-271
 Rice 2.438

Lab ID	-007	-008	-009	-010	-011	-012
Boring No.	N/A	N/A	N/A	N/A	N/A	N/A
Depth	N/A	N/A	N/A	N/A	N/A	N/A
Sample No.	S-7	S-8	S-9	S-10	S-11	S-12

UNIT WEIGHT

Wt. of Core (gms.)	1852.2	1036.8	2317.8	1855.6	1848.9	1896.9
Length 1 (in.)	1.949	1.066	2.426	1.915	1.855	1.961
Length 2 (in.)	1.859 ^{1.88}	1.143 ^{1.02}	2.440 ^{2.40}	1.950 ^{1.90}	1.926 ^{1.86}	1.758 ^{1.84}
Length 3 (in.)	1.822	1.025	2.336	1.836	1.802	1.802
Top Diameter (in.)	5.886	5.917	5.905	5.891	5.886	5.997
Middle Diameter (in.)	5.885	5.919	5.918	5.906	5.892	6.003
Bottom Diameter (in.)	5.887	5.907	5.905	5.898	5.891	5.995
Sample Volume (cc)	836.79	485.31	1078.95	850.90	830.84	852.21
Unit Wt.(gms/cc)	2.21	2.14	2.15	2.18	2.23	2.23
Unit Wt.(pcf.)	138.12	133.31	134.05	136.08	138.86	138.89

Bulk Specific Gravity (G_{mb})

Wt. in Water (gms.)	1035.0	572.2	1292.9	1022.4	1028.7	1059.9
Wt. Surface Dry (gms.)	1854.0	1038.5	2321.3	1858.2	1850.6	1900.0
Bulk Specific Gravity (G _{mb})	2.262	2.224	2.254	2.220	2.250	2.258
Absorption (%)	0.22%	0.36%	0.34%	0.31%	0.21%	0.37%
Compaction (%)	92.7%	91.2%	92.4%	91.0%	92.2%	92.8%

Tested By DO Date 10/17/22 Checked By AES Date 10/18/22



Bulk Specific Gravity of Asphalt Core
AASHTO T 166-16, Method A

Client TM Engineering, Inc.
 Client Reference Shepard's Park 2A
 Project No. R-2022-080-002
 JMF No. 18-1332-271
 Rice 2.438

Lab ID	-013	-014
Boring No.	N/A	N/A
Depth	N/A	N/A
Sample No.	S-13	S-14

UNIT WEIGHT

Wt. of Core (gms.)	2271.9	2490.1
Length 1 (in.)	2.526	2.679
Length 2 (in.)	2.365 } 2.45	2.362 } 2.51
Length 3 (in.)	2.146	2.501
Top Diameter (in.)	5.892	5.901
Middle Diameter (in.)	5.902	5.892
Bottom Diameter (in.)	5.905	5.891
Sample Volume (cc)	1050.78	1124.28
Unit Wt. (gms/cc)	2.16	2.21
Unit Wt. (pcf.)	134.92	138.21

Bulk Specific Gravity (G_{mb})

Wt. in Water (gms.)	1260.4	1389.5
Wt. Surface Dry (gms.)	2273.3	2491.1
Bulk Specific Gravity (G _{mb})	2.243	2.260

Absorption (%)	0.14%	0.09%
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Compaction (%)	92.0%	92.6%
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Tested By DO Date 10/17/22 Checked By AES Date 10/18/22

page 1 of 1 V:\192 168 0 21\Date Drive\#1 RALEIGH\2022 Projects\TM Engineering\2022-080 - Shepard's Park\2022-080-002\2022-080-002 UnitSpqAsphalt-pg 3 xls\Sheet1



SCALENE DESIGN
FUNCTION • STRUCTURE • FORM

7

*Left
Approved
AS
Submitted
11-17-22*

November 4, 2022

Lauren Granger
Land Development Manager
Ashton Woods – Raleigh Division
900 Ridgefield Dr, Suite 335
Raleigh, NC 27609

RE: Shepard's Park Boardwalk 1 and Boardwalk 2
229 Quincy Meadow Ave, Zebulon, NC
Boardwalk H10 Loading

Dear Ms. Granger,

The framing and foundations of Boardwalk 1 and Boardwalk 2 as shown on Scalene Design drawings S1.01 and S1.02 dated May 15, 2020 have been designed to support an AASHTO H10 vehicle (20,000 lb total, 8,000 lb wheel load).

The contractor, Span Builders, changed the boardwalk foundation system from concrete piers to timber piles during construction. Foundation and framing inspection reports were provided by Span Builders for our review in preparation of this letter. We have reviewed the inspection reports prepared by TM Engineering, Inc and the boardwalk certification letter prepared by Jerome Rufaro Redmond, PE dated July 6, 2022. Mr. Redmond's letter includes pile driving logs and confirms the foundations as installed can support the required boardwalk loading.

Scalene Design did not perform any site visits to observe foundations or framing during construction of the boardwalks. Scalene Design's acceptance of the boardwalk construction is based solely on Mr. Redmond's field observations and certification letter.

Please don't hesitate to let me know if you have any questions.

Regards,

Dennis Folmar, PE, LEED AP
Partner



11/04/2022
THIS DOCUMENT WAS ELECTRONICALLY
SIGNED BY DENNIS L. FOLMAR JR

6

8209A Market St. Ste 222 Wilmington, NC 28411
P: 910.915.6529 E: jrednc5@yahoo.com

Jerome Rufaro Redmond, PE
Building Engineering & Design
Building Analysis
Structural Design
Project Management

July 6, 2022

RE: Shepard's Park Boardwalks - 229 Quincy Meadow Ave. Zebulon, NC

To Whom It May Concern:

An evaluation was completed of the boardwalks constructed by Span Builders at said location to verify compliance with the construction documentation permitted by the Town of Zebulon and Wake County. The material, size and length of the piles, in general¹ were in compliance with design specifications were driven² in accordance with standard construction practice^{3,4}. The framing system⁵ and corresponding connections met or exceeded design specifications and were constructed in accordance with general construction practice.

In summary, the structural systems of the boardwalks⁶ as constructed, was built in accordance with general construction practice and adequate for the continuous load path of all required loads and therefore, in compliance with the permit regulations of the Town of Zebulon and Wake County and the structural requirements of the North Carolina Building Code.

Please give me a call if you have any further questions.

Regards,



Jerome Rufaro Redmond, PE
Principal Structural Engineer

¹ As required per Special Inspection Table 1704.8. Original design was for spread footing foundation. Piles lengths included additional 10' for embedment.
² Driven with Pilemaster 24-500 Hammer April 11-14, 2022. Driven to refusal and continued for 5 minutes for each pile.
³ As required per Special Inspection Table 1704.8
⁴ Typical required minimum penetration of piles is 10'. The piling penetrations ranged from 5'0" to 11'0"; refusal at bedrock is acceptable compliance alternative.
⁵ Evaluation of the boardwalk included decking, joists, girders and bracing size and spacing
⁶ Design and Construction per 2304 and 2306.

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Shepard's Park Boardwalks Certification

PILE LOG				
Name of Project: Shepards Park Boardwalks				
Nearest Street Address: 229 Quincy Meadow Avenue				
City/State: Zebulon, NC				
Material Type: 8" x 8" Pressure Treated, Ground Contact Pine				
Material Dimension prior to cutting: 8" x 8" x 16'				
Hammer Model: Pilemaster 24-500				

Pile #	Date Driven	Time Driven	Depth at Refusal	Time Hammer Hit After Refusal
1	4/11/2022	8:30AM	6'	5:00
2	4/11/2022	8:50AM	7'	5:00
3	4/11/2022	9:05AM	8'	5:00
4	4/11/2022	9:20AM	6'	5:00
5	4/11/2022	9:30AM	11'	5:00
6	4/11/2022	9:45AM	9'	5:00
7	4/11/2022	10:10AM	8'	5:00
8	4/11/2022	10:25AM	6'	5:00
9	4/11/2022	10:40AM	6'	5:00
10	4/11/2022	11:05AM	7'	5:00
11	4/11/2022	11:25AM	6'	5:00
12	4/11/2022	11:40AM	7'	5:00
13	4/11/2022	12:05PM	6'	5:00
14	4/11/2022	1:25PM	6'	5:00
15	4/11/2022	1:50PM	7'	5:00
16	4/11/2022	2:20PM	8'	5:00
17	4/11/2022	2:40PM	10'	5:00
18	4/11/2022	3:10PM	11'	5:00
19	4/12/2022	8:45AM	8'	5:00
20	4/12/2022	9:20AM	7'	5:00
21	4/12/2022	9:50AM	6'	5:00
22	4/12/2022	10:20AM	7'	5:00

Jerome Rufaro Redmond, PE
Principal Structural Engineer

7

Shepard's Park Boardwalks Certification

Pile #	Date Driven	Time Driven	Depth at Refusal	Time Hammer Hit After Refusal
1	4/12/2022	11:30AM	6'	5:00
2	4/12/2022	12:05PM	5'	5:00
3	4/12/2022	1:30 PM	6'	5:00
4	4/12/2022	2:00 PM	7'	5:00
5	4/12/2022	2:40 PM	8'	5:00
6	4/13/2022	8:35 AM	6'	5:00
7	4/13/2022	9:00 AM	6'	5:00
8	4/13/2022	9:20 AM	5'	5:00
9	4/13/2022	9:50 AM	7'	5:00
10	4/13/2022	10:20 AM	8'	5:00
11	4/13/2022	10:45 AM	7'	5:00
12	4/13/2022	11:15 AM	6'	5:00
13	4/13/2022	11:40 AM	5'	5:00
14	4/13/2022	1:15 PM	6'	5:00
15	4/13/2022	1:40 PM	7'	5:00
16	4/13/2022	2:05 PM	6'	5:00
17	4/14/2022	9:15 AM	7'	5:00
18	4/14/2022	10:00 AM	6'	5:00

Jerome Rufaro Redmond, PE
Principal Structural Engineer



①

February 14, 2023

Lauren Granger
Ashton Woods
4025 Lake Boone Trail, Suite 200
Raleigh, NC 27607

Reference: Summary of Greenway Trail
Shepards Park – Phase 2A, 2B, and 2C (revised 2-14-2023)
Zebulon, North Carolina
TME Project No.: 201315C

Handwritten:
✓
3-3-23
Approved
AS
Submitted

Dear Ms. Granger:

TM Engineering Inc. has provided construction testing services for the interior roadways within Phases 2A, 2B, and 2C of the Shepards Park subdivision in Zebulon, North Carolina. These services included the observation of construction for the greenway trail.

Subgrade conditions were evaluated by proofrolling and probing with a one-half inch diameter steel probe rod. The contractor conducted repairs necessary to provide adequate stability in identified areas to repair near surface issues. It is our understanding through conversations with the grading contractor and town inspector that the aggregate base course was proofrolled and passed by the town inspector. Any minor movements observed and marked by town inspector were repaired with additional asphalt. Stone density tests were performed on the aggregate base course which produced results of 100% compaction at the test locations. Conditions observed by proofrolls or testing are representative of the conditions at the time and could be altered for many reasons such as weather or construction traffic as construction continues. Additionally, asphalt cores were obtained and tested in the lab. Lab results indicated that all cores met the necessary compaction requirement except for one coring location resulting at 89.6%. The location of this core may have been difficult to compact due to the proximity of the transition to the boardwalk which could have limited accessibility. TME suggests no further action.

TM Engineering Inc. appreciates the opportunity to have provided you with our services on this project. It should be noted that this letter provides a summary of observations at this time and is not a warranty or performance guarantee. Please contact us if you should have questions regarding this report or if we may be of further assistance.

Sincerely,

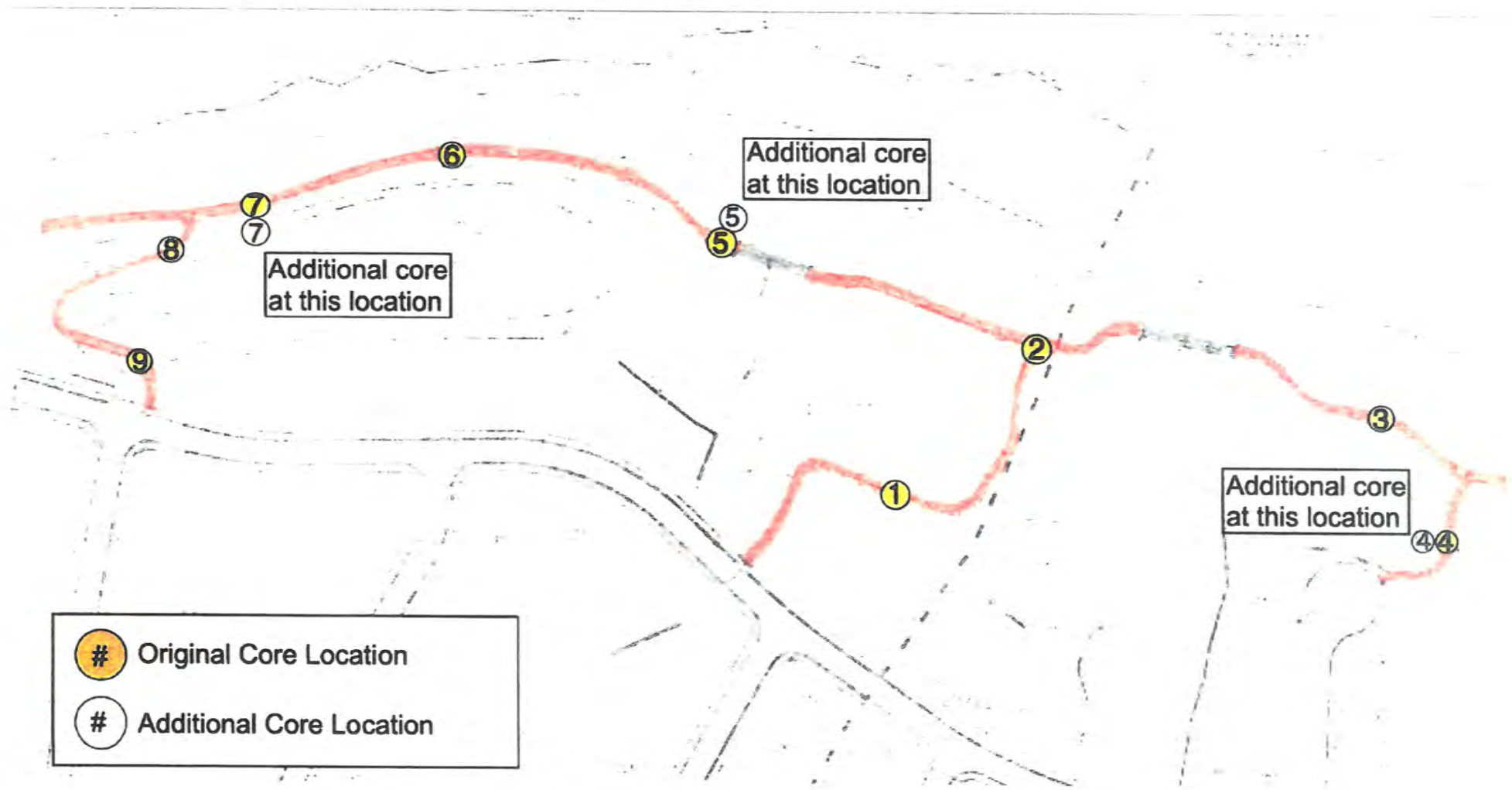
TM Engineering, Inc.

Toby Mallik, P.E.
NC Registration No. 026472



Handwritten signature of David Truesdale

David Truesdale
Project Manager



- # Original Core Location
- # Additional Core Location

Bulk Specific Gravity of Asphalt Core

AASHTO T 166-16, Method A

Client TM Engineering, Inc.
 Client Reference Shepard's Park Ph. 2
 Project No R-2023-021-002
 JMF 18-1576-271

Lab ID	-001	-002	-003
Boring No.	N/A	N/A	N/A
Depth	N/A	N/A	N/A
Sample No.	4	5	7

UNIT WEIGHT

Wt. of Core (gms.)	1933.1	1757.6	2598.1
Length 1 (in.)	1.973	1.927	2.666
Length 2 (in.)	1.952	1.803	2.713
Length 3 (in.)	1.956	1.833	2.652
Top Diameter (in.)	5.912	5.890	5.889
Middle Diameter (in.)	5.889	5.881	5.885
Bottom Diameter (in.)	5.859	5.897	5.889
Sample Volume (cc)	874.26	827.58	1194.05
Unit Wt.(gms/cc)	2.21	2.12	2.18
Unit Wt.(pcf.)	137.98	132.52	135.77

Bulk Specific Gravity (G_{mb})

Wt. in Water (gms.)	1073.0	975.9	1426.1
Wt. Surface Dry (gms.)	1936.6	1782.2	2603.6
Bulk Specific Gravity (G_{mb})	2.238	2.180	2.206
Absorption (%)	0.40%	3.05%	0.47%
Compaction (%)	91.9%	89.6%	90.6%

Tested By DO Date 2/2/23 Checked By GEM Date 2/2/23

Bulk Specific Gravity of Asphalt Core

AASHTO T 166-16, Method A

Client TM Engineering, Inc.
 Client Reference Shepard's Park Ph.2
 Project No. R-2023-021-001
 JMF #: 18-1576-271

Lab ID	-006	-007	-008	-009
Boring No.	N/A	N/A	N/A	N/A
Depth	N/A	N/A	N/A	N/A
Sample No.	6	7	8	9

UNIT WEIGHT

Wt. of Core (gms.)	2203.7	2779.3	3109.1	2372.1
Length 1 (in.)	2.249	3.015	3.090	2.428
Length 2 (in.)	2.255	3.000	3.114	2.461
Length 3 (in.)	2.294	2.974	3.113	2.496
Top Diameter (in.)	5.883	5.902	5.881	5.899
Middle Diameter (in.)	5.888	5.899	5.878	5.880
Bottom Diameter (in.)	5.891	5.889	5.890	5.915
Sample Volume (cc)	1010.85	1340.89	1383.39	1102.12
Unit Wt.(gms/cc)	2.18	2.07	2.25	2.15
Unit Wt.(pcf.)	136.03	129.34	140.24	134.30

Bulk Specific Gravity (G_{mb})

Wt. in Water (gms.)	1225.9	1487.3	1750.9	1312.7
Wt. Surface Dry (gms.)	2209.3	2791.9	3111.7	2377.6
Bulk Specific Gravity (G_{mb})	2.241	2.130	2.285	2.228
Absorption (%)	0.57%	0.96%	0.19%	0.51%
Compaction (%)	92.4%	87.8%	94.2%	91.9%

Tested By DO Date 1/11/23 Checked By GEM Date 1/12/23

Bulk Specific Gravity of Asphalt Core

AASHTO T 166-16, Method A

Client: TM Engineering, Inc.
 Client Reference: Shepard's Park Ph.2
 Project No.: R-2023-021-001
 JMF #: 18-1576-271

Lab ID	-001	-002	-003	-004	-005
Boring No.	N/A	N/A	N/A	N/A	N/A
Depth	N/A	N/A	N/A	N/A	N/A
Sample No.	1	2	3	4	5

UNIT WEIGHT

Wt. of Core (gms.)	2373.2	2298.4	2447.2	2087.8	2805.7
Length 1 (in.)	2.409	2.377	2.533	2.252	3.148
Length 2 (in.)	2.363	2.432	2.499	2.239	3.042
Length 3 (in.)	2.389	2.447	2.508	2.244	2.979
Top Diameter (in.)	5.895	5.884	5.889	5.897	5.885
Middle Diameter (in.)	5.935	5.865	5.897	5.888	5.899
Bottom Diameter (in.)	5.877	5.893	5.877	5.873	5.859
Sample Volume (cc)	1070.26	1076.52	1121.31	1001.03	1360.49
Unit Wt.(gms/cc)	2.22	2.14	2.18	2.09	2.06
Unit Wt.(pcf.)	138.37	133.23	136.18	130.14	128.69

Bulk Specific Gravity (G_{mb})

Wt. in Water (gms.)	1341.9	1256.4	1361.0	1123.6	1501.7
Wt. Surface Dry (gms.)	2374.9	2309.3	2449.4	2095.6	2819.2
Bulk Specific Gravity (G_{mb})	2.297	2.183	2.248	2.148	2.130
Absorption (%)	0.16%	1.03%	0.21%	0.81%	1.02%
Compaction (%)	94%	90%	92.7%	88.6%	87.8%

Tested By: DO Date: 1/11/23 Checked By: GEM Date: 1/12/23

8

*12-1-22
Approved
AS
submitted*

ENGINEER CERTIFICATION STATEMENT
PUBLIC WATER

Project: Shepards Park II – Phases 2A
City of Raleigh Public Utilities Department Permit #W-3699

I, FRED V. BOONE, AS A DULY REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NORTH CAROLINA, HAVING BEEN AUTHORIZED TO OBSERVE PERIODICALLY THE CONSTRUCTION OF THE PROJECT, SHEPARDS PARK PHASE II, HEREBY STATE THAT, TO THE BEST OF MY ABILITIES, DUE CARE AND DILIGENCE WAS USED IN THE OBSERVATION OF THE CONSTRUCTION SUCH THAT BY MY INSPECTION OF THE CONSTRUCTED IMPROVEMENTS AND MY REVIEW OF THE AS-BUILT SURVEY DATA, I HEREBY CERTIFY THAT THE (1) PUBLIC IMPROVEMENTS, (2) PRIVATE IMPROVEMENTS, AND (3) PUBLIC SAFETY OF THE ABOVE REFERENCED PROJECT AS CONSTRUCTED ARE IN COMPLIANCE WITH THE REQUIREMENTS OF THE IMPROVEMENTS AS PRESCRIBED IN THE APPROVED CONSTRUCTION DRAWINGS, APPROVED DESIGN DOCUMENTS, AND/OR ANY APPROVED MODIFICATIONS, EXCEPT AS NOTED IN RED ON THE "AS-BUILT" DRAWINGS. FURTHERMORE, I CERTIFY THAT THE RED-NOTED EXCEPTIONS DO NOT ADVERSELY AFFECT THE REQUIRED PERFORMANCE OR PUBLIC SAFETY ASPECTS OF THE IMPROVEMENTS.

NAME: FRED V. BOONE

DATE: 11/22/2022



LPA
12-1-22
APPROVED AS
SUBMITTED

ENGINEER CERTIFICATION STATEMENT
PUBLIC SANITARY SEWER

Project: Shepards Park II – Phases 2A
City of Raleigh Public Utilities Department Permit #: S-4608

I, FRED V. BOONE, AS A DULY REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NORTH CAROLINA, HAVING BEEN AUTHORIZED TO OBSERVE PERIODICALLY THE CONSTRUCTION OF THE PROJECT, SHEPARDS PARK PHASE II, HEREBY STATE THAT, TO THE BEST OF MY ABILITIES, DUE CARE AND DILIGENCE WAS USED IN THE OBSERVATION OF THE CONSTRUCTION SUCH THAT BY MY INSPECTION OF THE CONSTRUCTED IMPROVEMENTS AND MY REVIEW OF THE AS-BUILT SURVEY DATA, I HEREBY CERTIFY THAT THE (1) PUBLIC IMPROVEMENTS, (2) PRIVATE IMPROVEMENTS, AND (3) PUBLIC SAFETY OF THE ABOVE REFERENCED PROJECT AS CONSTRUCTED ARE IN COMPLIANCE WITH THE REQUIREMENTS OF THE IMPROVEMENTS AS PRESCRIBED IN THE APPROVED CONSTRUCTION DRAWINGS, APPROVED DESIGN DOCUMENTS, AND/OR ANY APPROVED MODIFICATIONS, EXCEPT AS NOTED IN RED ON THE "AS-BUILT" DRAWINGS. FURTHERMORE, I CERTIFY THAT THE RED-NOTED EXCEPTIONS DO NOT ADVERSELY AFFECT THE REQUIRED PERFORMANCE OR PUBLIC SAFETY ASPECTS OF THE IMPROVEMENTS.

NAME: FRED V. BOONE

DATE: 11/22/2022



FINAL WAIVER AND RELEASE OF LIEN

NORTH CAROLINA

WAKE COUNTY

TO: All parties having an interest in the following project:

PROJECT: Shepards Park – Phase 2A – Town of Zebulon

All work related to the installation of roadway and stormwater infrastructure located within Shepards Park Subdivision Phase 2A as shown on Construction plans by The John R. McAdams Company, Inc. dated June 15, 2020.

FOR GOOD AND VALUABLE CONSIDERATION, the undersigned does hereby WAIVE, RELEASE AND FOREVER DISCHARGE any and all liens, claims or rights of liens on or against the premises described above for and on account of work performed and labor, equipment and/or materials supplied at or in connection with construction or improvement at the premises described above.

Furthermore, the undersigned warrants and represents that it has paid all material suppliers, equipment dealers and/or subcontractors for an and all labor, materials, and services due and owing on the project.

This 14th day of November, 2022.



By: Chris Hamrick

Title: Vice President of Finance

State of North Carolina; Wake County/City of Raleigh

Sworn to and subscribed before me this 14th day of November of 2022.


Notary Public

Amber A. Pullen
NOTARY PUBLIC
Wake County
North Carolina
My Commission Expires February 6th, 2026

My Commission Expires: February 6th 2026

✓
12-9-22
Approved
AS
Submitted

*
STARLIGHT
HOMES

#9

*Leah
12-8-22
Approved
to
submit this*

November 16, 2022

City of Raleigh Public Works
2500 Operations Way
Raleigh, NC 27604

REF: Shepards Park – Phase 2A
Zebulon, North Carolina

To Whom It May Concern:

Starlight Homes North Carolina, LLC has completed the installation of all the public infrastructure (for the Shepards Park Phase 2A project). This work was inspected by the City of Raleigh. All payments to contractors and vendors have been paid in full for all labor and materials to complete this project.

Sincerely,



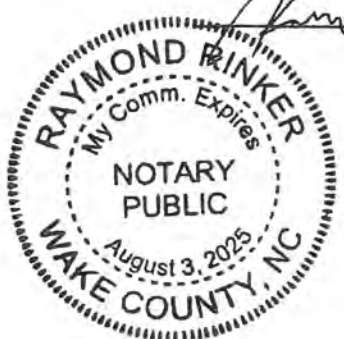
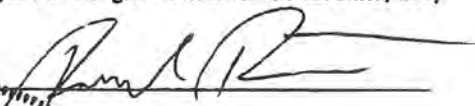
Chris Hamrick

Vice President of Finance

State: North Carolina

County: Wake

On this 16 day of November, 2022 before me, the undersigned notary public appeared Chris Hamrick, proved to me through satisfactory evidence of identification, to be the person whose name is signed on the letter above, and acknowledge to me that she signed it voluntarily for its stated purpose (as manager of Starlight Homes North Carolina, LLC).



Raymond Rinker, Notary Public
My Commission Expires: 8/3/25

4025 Lake Boone Road
Suite 200
Raleigh, NC 27607

9

~~12-9-22~~
Approved
As submitted

FINAL WAIVER AND RELEASE OF LIEN

NORTH CAROLINA

WAKE COUNTY

TO: All parties having an interest in the following project:

PROJECT: Shepards Park – Phase 2A – Town of Zebulon

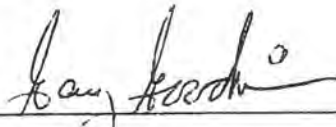
All work related to the installation of water and sewer infrastructure located within Shepards Park Phase 2A shown on construction plans by The John R. McAdams Company, Inc. dated June 15, 2020.

Public Sewer Collection/Extension System under permit number S-4608
Public Water Distribution/Extension System under permit number W-3699

FOR GOOD AND VALUABLE CONSIDERATION, the undersigned does hereby WAIVE, RELEASE AND FOREVER DISCHARGE any and all liens, claims or rights of liens on or against the premises described above for and on account of work performed and labor, equipment and/or materials supplied at or in connection with construction or improvement at the premises described above.

Furthermore, the undersigned warrants and represents that it has paid all material suppliers, equipment dealers and/or subcontractors for an and all labor, materials, and services due and owing on the project.

This 15 day of November, 2022.

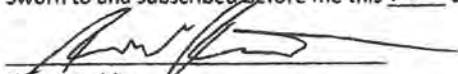


By: Gary Godwin

Title: Manager

State of North Carolina; Wake County/City of Raleigh

Sworn to and subscribed before me this 15 day of November of 2022.


Notary Public

My Commission Expires: 8/3/2025



10

LOTT
12-9-22
Approved
AS
Submitted

FINAL WAIVER AND RELEASE OF LIEN

NORTH CAROLINA

WAKE COUNTY

TO: All parties having an interest in the following project:

PROJECT: Shepards Park – Phase 2A – Town of Zebulon

All work related to the installation of roadway and stormwater infrastructure located within Shepards Park Subdivision Phase 2A as shown on Construction plans by The John R. McAdams Company, Inc. dated June 15, 2020.

FOR GOOD AND VALUABLE CONSIDERATION, the undersigned does hereby WAIVE, RELEASE AND FOREVER DISCHARGE any and all liens, claims or rights of liens on or against the premises described above for and on account of work performed and labor, equipment and/or materials supplied at or in connection with construction or improvement at the premises described above.

Furthermore, the undersigned warrants and represents that it has paid all material suppliers, equipment dealers and/or subcontractors for an and all labor, materials, and services due and owing on the project.

This 14th day of November, 2022.

Kenneth West Inc.
By: *[Signature]*
Title: President

State of North Carolina; Wake County/City of Raleigh

Sworn to and subscribed before me this 14 day of November of 2022.

[Signature]
Notary Public

My Commission Expires: 3-3-26



10

APPROVED AS SUBMITTED

FINAL WAIVER AND RELEASE OF LIEN

NORTH CAROLINA

WAKE COUNTY

TO: All parties having an interest in the following project:

PROJECT: Shepards Park – Phase 2A – Town of Zebulon

All work related to the installation of water and sewer infrastructure located within Shepards Park Phase 2A shown on construction plans by The John R. McAdams Company, Inc. dated June 15, 2020.

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Furthermore, the undersigned warrants and represents that it has paid all material suppliers, equipment dealers and/or subcontractors for an and all labor, materials, and services due and owing on the project.

This 14 day of November, 2022.

Chris Hamrick

By: Chris Hamrick

Title: Vice President of Finance

State of North Carolina; Wake County/City of Raleigh

Sworn to and subscribed before me this 14th day of November of 2022.

Amber A Pullen
Notary Public

Amber A. Pullen
NOTARY PUBLIC
Wake County
North Carolina
My Commission Expires February 6th, 2026

My Commission Expires: February 6th, 2026

11

STREETS Lights
~~OK~~
12-1-22
APPROVED

Work Order: 66190008 BILLING ONLY SHEPARD PARK (IA1/IA2/IA3) Site: TD-NC-SC Status: INDESIGN

Bill Details for Work Order 1 - 1 of 1

Billing	Bill Type	Bill Status	Total Charges	Date Submitted	Date Invoiced	Date Paid	Result Set?	Total CIAC Amount
1	CIAC	PAID	30,809.40	08/22/2022 4:53 PM	08/23/2022	09/07/2022		0.00

Accounting Information 1 - 2 of 2

Bill	From CIAC?	Charge Code	Description	Sub Total
1		STELECP	DEP Sales Tax Electric	1,909.40
1		UI	UG for Lighting	28,420.00

Customer Load 0 - 0 of 0

Amperage	KW Demand	Customer Type	Service Type
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12

Notification of Conditional Acceptance

of Water and Wastewater Infrastructure in Raleigh Water Merger Communities
(Garner, Knightdale, Rolesville, Wake Forest, Wendell, Zebulon)

Project Name: SHEPARD'S PARK
Project Phase: 2 - A

Permit Number(s): W- 3699
S- 4608

The City of Raleigh Water Department has completed field inspections and testing on the water and/or wastewater infrastructure associated with the development project/phase referenced above. Installation meets Raleigh Water specifications and the infrastructure is available for use. This preliminary acceptance is conditional on a final review of digital as-built data, project records and other submitted documentation. Formal notification of acceptance is pending and will be provided on successful completion of the conditional review.

Inspector Name: MICHAEL R. FOWLER, SR.

Date: 1 /13/2023

Comments:

FINAL / SIGNED ACCEPTANCE LETTER TO FOLLOW.

Notes on Project Phasing: Acceptance occurs after water and sewer infrastructure in an approved phase is installed, inspected/tested and the required supporting documentation has been received. Phases of construction must extend from and/or connect to existing (or concurrently accepted) infrastructure to be considered for acceptance. Acceptance boundaries are defined by the limits identified in the Raleigh Water approved utility phasing plan(s). Acceptance of unapproved sub-phases and/or partially complete phases will not be considered. Additional information can be found in the Raleigh Water Handbook at www.raleighnc.gov.

FIS
Pay Direct

Thank you for your payment.

Please print this receipt and keep it for your records.

Account Id : MCADAMS

Property Location :

Owner Name : MCADAMS

Payment Amount: \$1,371.15

Service Fee: \$40.45

Total Payment Amount: \$1,411.60

Receipt Number: 3846629681

Transaction Date: 03/08/2023 12:37 PM

Payment Type:



Account Number: *9801

Starlight Homes North Carolina, LLC

1021253

Town of Zebulon - Permits

010073

Invoice Date	PO / Invoice No.	Project / Lot #
12/08/2022	23-00189	

Amount	Holdback/Ins.	Discount	Net Payment
536,630.43			536,630.43

Total	536,630.43	0.00	0.00	536,630.43
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PLEASE DETACH THIS PORTION BEFORE DEPOSITING CHECK

Starlight Homes North Carolina, LLC

3820 Mansell Road, Suite 400
Alpharetta, GA 30022

Wells Fargo Controlled Disbursement

010073

66-156
531

Date	Amount
12/09/2022	\$*****536,630.43


Pay ****FIVE HUNDRED THIRTY SIX THOUSAND SIX HUNDRED THIRTY AND 43/100

To the
order of: Town of Zebulon - Permits
1003 N. Arendell Ave
Zebulon, NC 2597
United States of America

Starlight Homes North Carolina, LLC

PER

PER



Lisa K. Sims





Town of Zebulon
 1003 N. ARENDELL AVENUE
 ZEBULON, NC 27597
 (919)823-1806

(B)

INVOICE #
23-00189

YOU CAN PAY ONLINE BY CREDIT/DEBIT/ACH:
 WWW.EDMUNDSGOVPAY.COM/ZEBULON
 YOU WILL NEED YOUR ACCOUNT ID AND PIN

ACCOUNT ID: MCADAMS PIN: 333370
 INVOICE DATE: 12/07/22
 DUE DATE: 01/06/23

MCADAMS
 2905 Meridian Parkway
 Durham, NC 27713

QUANTITY/UNIT	SERVICE ID	DESCRIPTION	UNIT PRICE	AMOUNT
		SHEPARDS PARK 2A FINAL PLAT		
2348.7700/LF	GREENWYC	Greenway Construction Inspecti SHEPARDS PARK 2A FINAL PLAT	1.650000	3,875.47
6672.3000/LF	STREETCU	Streets/Curb/Gutter Constr Ins SHEPARDS PARK 2A FINAL PLAT	2.750000	18,348.83
6627.4100/LF	SIDEWALK	Sidewalk Construction Inspecti SHEPARDS PARK 2A FINAL PLAT	1.100000	7,290.15
8190.5000/LF	STORMMAP	STORMWATER MAPPING FEES SHEPARDS PARK 2A FINAL PLAT	1.650000	13,514.33
8190.5000/LF	STORMDRA	Storm Drainage Constr. Inspect SHEPARDS PARK 2A FINAL PLAT	1.100000	9,009.55
115.0000	TRANSPOR	Transportation Impact Fee SHEPARDS PARK 2A FINAL PLAT	1,200.540000	138,062.10
115.0000	RECIMPSF	RECREATION IMPACT FEE - SINGLE SHEPARDS PARK 2A FINAL PLAT	3,000.000000	345,000.00
1.0000	MAJORSUB	MAJOR SUBDIVISION FINAL PLAT SHEPARDS PARK 2A FINAL PLAT	300.000000	300.00
123.0000/LOT	PLAT PER	MAJ SUBDIVISION PLAT FEE/LOT SHEPARDS PARK 2A FINAL PLAT	10.000000	1,230.00
		TOTAL DUE:		\$ 536,630.43

PAYMENT COUPON - PLEASE DETACH AND RETURN THIS PORTION ALONG WITH YOUR PAYMENT

Town of Zebulon
 1003 N. ARENDELL AVENUE
 ZEBULON, NC 27597
 (919)823-1806

INVOICE #: 23-00189
 DESCRIPTION: SHEPARDS PARK 2A FINAL PLAT
 ACCOUNT ID: MCADAMS PIN: 333370
 DUE DATE: 01/06/23
 TOTAL DUE: \$ 536,630.43

MCADAMS
 2905 Meridian Parkway
 Durham, NC 27713





Town of Zebulon
 1003 N. ARENDELL AVENUE
 ZEBULON, NC 27597
 (919)823-1806

15

INVOICE #
23-00284

YOU CAN PAY ONLINE BY CREDIT/DEBIT/ACH:
 WWW.EDMUNDSGOVPAY.COM/ZEBULON
 YOU WILL NEED YOUR ACCOUNT ID AND PIN

ACCOUNT ID: MCADAMS PIN: 333370
 INVOICE DATE: 03/08/23
 DUE DATE: 03/13/23

MCADAMS
 2905 Meridian Parkway
 Durham, NC 27713

QUANTITY/UNIT	SERVICE ID	DESCRIPTION	UNIT PRICE	AMOUNT
		SHEPARDS PARK 2B/C GREENWAY		
831.0000/LF	GREENWYC	Greenway Construction Inspecti SHEPARDS PARK 2B/C GREENWAY	1.650000	1,371.15
			TOTAL DUE:	<u>\$ 1,371.15</u>

PAYMENT COUPON - PLEASE DETACH AND RETURN THIS PORTION ALONG WITH YOUR PAYMENT

Town of Zebulon
 1003 N. ARENDELL AVENUE
 ZEBULON, NC 27597
 (919)823-1806

INVOICE #: 23-00284
 DESCRIPTION: SHEPARDS PARK 2B/C GREENWAY
 ACCOUNT ID: MCADAMS PIN: 333370
 DUE DATE: 03/13/23
 TOTAL DUE: \$ 1,371.15

MCADAMS
 2905 Meridian Parkway
 Durham, NC 27713

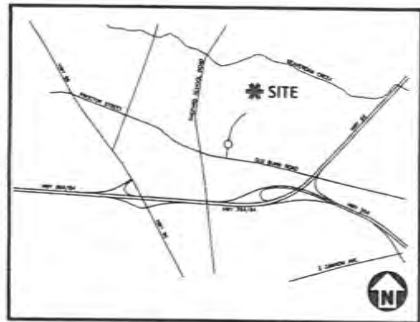


SHEPARDS PARK II

PHASE 2A

OLD BUNN ROAD
ZEBULON, NORTH CAROLINA

RECORD DRAWINGS
PROJECT NUMBER: AWH-19000
DATE: NOVEMBER 30, 2022



VICINITY MAP
N.T.S.

SHEET INDEX

CI.02	GRADING PLAN - AREA "A"
CI.03	GRADING PLAN - AREA "B"
CI.04	GRADING PLAN - AREA "C"
CI.05	GRADING PLAN - AREA "D"

ENGINEER CERTIFICATION STATEMENT
I, **Freddy O. Daniel**, a duly registered Professional Engineer in the State of North Carolina, hereby certify that I am the author of the design and drawings herein and that I am a duly licensed Professional Engineer in the State of North Carolina. I am not aware of any unpermitted work or any other work that I have performed that would reflect unfavorably on my professional reputation or the public safety of the State of North Carolina. I am not aware of any unpermitted work or any other work that I have performed that would reflect unfavorably on my professional reputation or the public safety of the State of North Carolina. I am not aware of any unpermitted work or any other work that I have performed that would reflect unfavorably on my professional reputation or the public safety of the State of North Carolina.

Name: **Freddy O. Daniel**
Date: **Dec 1 2022 8:40 AM**



MCADAMS
The John B. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713
Phone 919.361.5000
Fax 919.361.3269
License number: C-0293, C-187
www.mcadams.com

CONTACT
MIREY SANCHEZ
sanchez@mcadams.com
PHONE: 919.361.5000

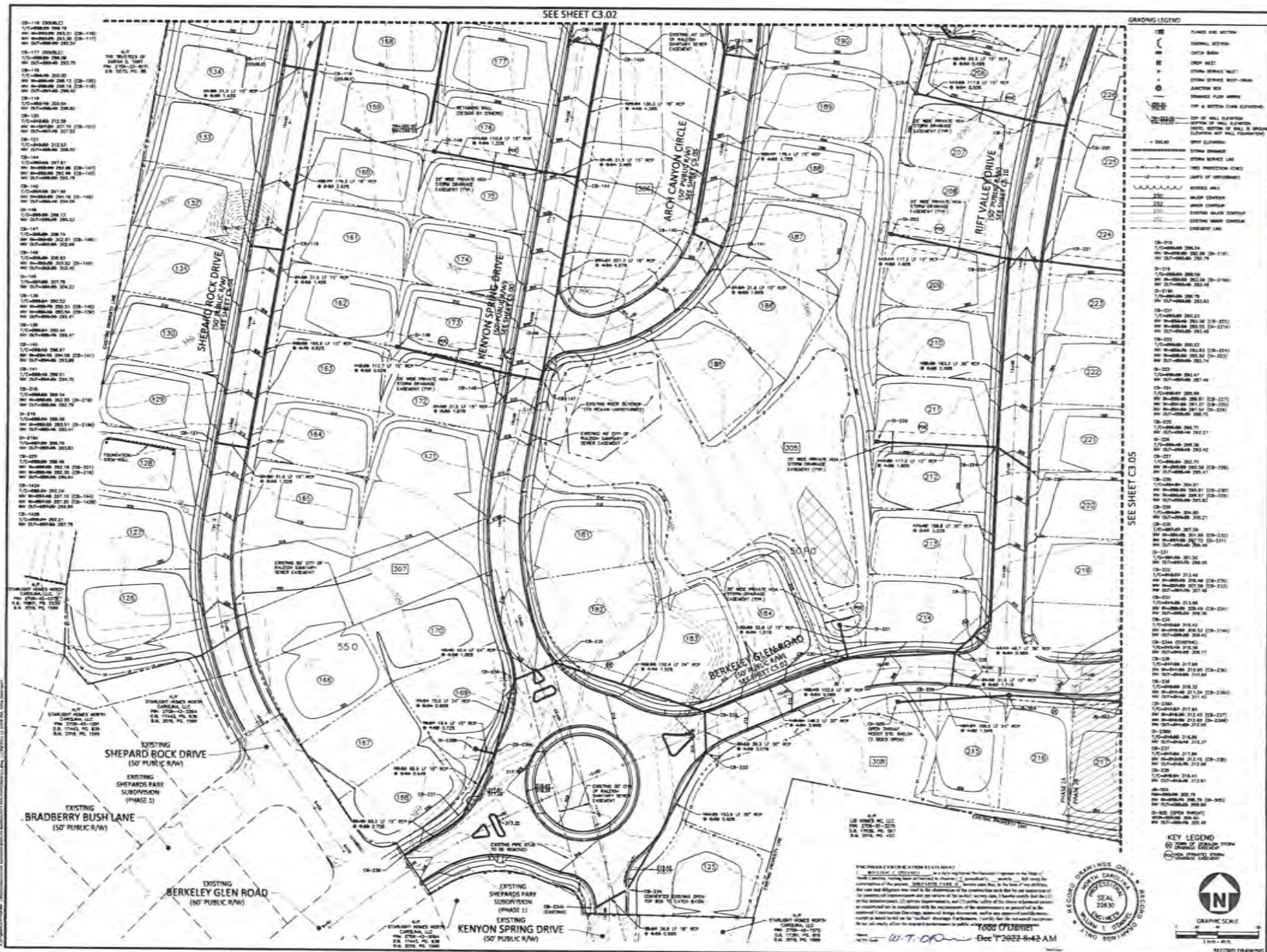
CLIENT
STARLIGHT HOMES NORTH CAROLINA L.L.C.
5713 SIX FORKS ROAD, SUITE 300
RALEIGH, NORTH CAROLINA 27609
PHONE: 919.422.7963



PROJECT DIRECTORY

REVISIONS

RECORD DRAWINGS FOR:
SHEPARDS PARK II
ZEBULON, NORTH CAROLINA
PROJECT NUMBER: AWH-19000



McADAMS
The John K. McAdams Company, Inc.
2903 Meridian Parkway
Durham, NC 27713
Phone 919.381.5000
Fax 919.381.2209
Former number: C-2291, C-187
www.mcadams.com

STARLIGHT
CONCRETE

**SHEPARDS PARK II
PHASE 2C
RECORD DRAWINGS**
ZEBULON, NORTH CAROLINA

REVISIONS

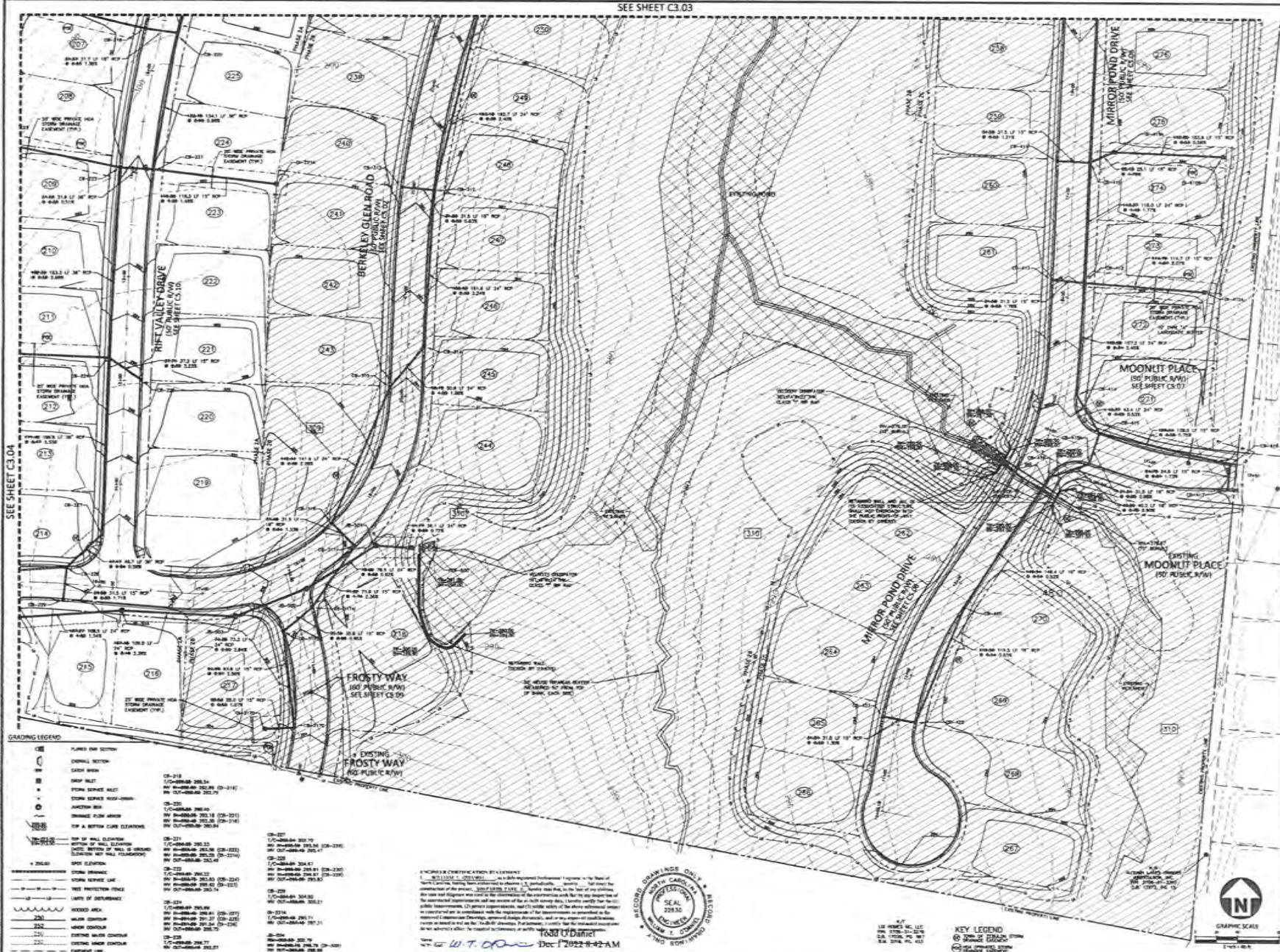
PLAN INFORMATION

ENCLOSURE INFORMATION SHEET

KEY LEGEND

GRAPHIC SCALE

SEE SHEET C3.03



GRAADING LEGEND

- | | | | |
|--|------------------------------|-------------------------------|----------------------|
| | FINISHED FLOOR ELEVATION | CS-218 | 1" Contour 285.54 |
| | ORIGINAL GROUND | BY 1" Contour 282.81 (CS-214) | BY 1" Contour 282.81 |
| | CATCH BASIN | CS-219 | 1" Contour 286.84 |
| | STORM SERVICE INLET | BY 1" Contour 282.81 (CS-214) | BY 1" Contour 282.81 |
| | STORM SERVICE ROOF DRAIN | CS-220 | 1" Contour 286.84 |
| | CATCHMENT AREA | BY 1" Contour 282.81 (CS-214) | BY 1" Contour 282.81 |
| | TOP & BOTTOM CURB ELEVATIONS | CS-216 | 1" Contour 282.81 |
| | TOP OF WALL ELEVATION | CS-221 | 1" Contour 282.81 |
| | BOTTOM OF WALL ELEVATION | BY 1" Contour 282.81 (CS-214) | BY 1" Contour 282.81 |
| | EXISTING WALL ELEVATION | BY 1" Contour 282.81 (CS-214) | BY 1" Contour 282.81 |
| | SPOT ELEVATION | CS-222 | 1" Contour 282.81 |
| | STORM DRAINAGE | CS-223 | 1" Contour 282.81 |
| | STORM SERVICE LINE | BY 1" Contour 282.81 (CS-214) | BY 1" Contour 282.81 |
| | FIRE PROTECTION PIPE | BY 1" Contour 282.81 (CS-214) | BY 1" Contour 282.81 |
| | UTILITY OF UNCERTAINTY | BY 1" Contour 282.81 (CS-214) | BY 1" Contour 282.81 |
| | WOODED AREA | CS-224 | 1" Contour 282.81 |
| | WATER CONTOUR | BY 1" Contour 282.81 (CS-214) | BY 1" Contour 282.81 |
| | EXISTING WATER CONTOUR | BY 1" Contour 282.81 (CS-214) | BY 1" Contour 282.81 |
| | EXISTING WALL CONTOUR | BY 1" Contour 282.81 (CS-214) | BY 1" Contour 282.81 |
| | EXISTING CURB | BY 1" Contour 282.81 (CS-214) | BY 1" Contour 282.81 |
| | EXISTING WALL | BY 1" Contour 282.81 (CS-214) | BY 1" Contour 282.81 |
| | EXISTING LINE | BY 1" Contour 282.81 (CS-214) | BY 1" Contour 282.81 |

A NOTICE CONTAINING A TRICK BY EXEMPT
 I, W. T. O'Daniel, a duly licensed Professional Engineer in the State of North Carolina, having been duly sworn to before a Notary Public, do hereby certify that the above information is true and correct to the best of my knowledge and belief, and that I am not aware of any information that would cause me to believe that the above information is not true and correct. I have prepared this document in accordance with the requirements of the North Carolina Engineering Law and the rules and regulations of the Board of Engineers and Architects of the State of North Carolina. I have not been convicted of any crime involving moral turpitude, and I have not been disciplined by any board of engineering or architecture. I have not been convicted of any crime involving moral turpitude, and I have not been disciplined by any board of engineering or architecture. I have not been convicted of any crime involving moral turpitude, and I have not been disciplined by any board of engineering or architecture.

W. T. O'Daniel
 Dec 1, 2022 8:42 AM



- KEY LEGEND
- -
 -
 -
 -
 -
 -
 -
 -
 -



McADAMS
 The John R. McAdams Company, Inc.
 2905 Mountain Parkway
 Durham, NC 27713
 Phone 919.363.5000
 Fax 919.363.2289
 Home Number: C-0293, C-087
 www.mcadams.com

CLIENT
 STARLIGHT HOMES NORTH CAROLINA L.L.C.
 5711 5th FORDS ROAD, SUITE 200
 RALEIGH, NORTH CAROLINA 27608
 PHONE: 919.422.7683



**SHEPARDS PARK II
 PHASE 2C
 RECORD DRAWINGS
 ZEBULON, NORTH CAROLINA**

REVISIONS

NO.	DATE	DESCRIPTION

PLAN INFORMATION

PROJECT NO.: AMP19000
 FILENAME: AMP19000-G1
 CHECKED BY: MTD
 DRAWN BY: SWW
 SCALE: 1"=40'
 DATE: 11.11.2023
 SHEET

**GRAADING AND STORM DRAINAGE PLAN
 AREA "D"**

C3.05

RECORD DRAWING

**RESOLUTION 2023-24
ACCEPTING ROADWAY, AND STORM DRAINAGE
INFRASTRUCTURE FOR SHEPARD PARK 2A
ACCEPTING GREENWAY FOR SHEPARD PARK 2A, B, C**

WHEREAS, Starlight Homes North Carolina, LLC the developers of Shepard Park Phase 2A requests the Town of Zebulon assume ownership and maintenance of the roadway and storm drainage infrastructure within the public right-of-way or dedicated easements of Shepard Park Phase 2A consisting of 8,190 linear feet (LF) of drainage infrastructure, and 6,672.3 LF of roadway:

- 1099.3 LF Logan Creek Drive
- 325.8 LF Swift Park Drive
- 1348.1 LF Shepard Rock Drive
- 1542.4 LF Kenyon Spring Drive
- 611.2 LF Arch Cannon Circle
- 1068.6 LF Rift Valley Drive
- 676.9 LF Berkely Glen Drive

WHEREAS, Starlight Homes North Carolina, LLC the developers of Shepard Park Phase 2A, B, C requests the Town of Zebulon assume ownership and maintenance of 3,179.77 LF of greenway and associated boardwalk within dedicated greenway easement.

WHEREAS, the Town of Zebulon has inspected said infrastructure; and

WHEREAS, Starlight Homes of North Carolina, LLC has completed all punch list tasks; and

WHEREAS, the Town of Zebulon has received all required documentation needed for Dedication and Warranty; and

WHEREAS, the Town of Zebulon has received a Subdivision Bond from Arch Insurance Company for completion of final asphalt roadway overlay, five-foot sidewalk, access ramps, SCM conversion, signage, striping and landscaping; and

WHEREAS, the Town of Zebulon may accept an offer of dedication of streets, sidewalks, curb and gutter, storm drainage and greenway by resolution of the Board of Commissioners per the Town of Zebulon Uniform Development Ordinance section 6.4.1 and 6.10.4.

NOW, THEREFORE, BE IT RESOLVED that the Board of Commissioners of the Town of Zebulon accepts dedication of the roadway, storm drainage, and greenway infrastructure.

Adopted this 3rd day of April 2023.

Glenn L. York – Mayor

SEAL

Lisa M. Markland, CMC - Town Clerk

Topic: Branding

Sponsor: Commissioner Quentin Miles

Co-Sponsor: Commissioner Shannon Baxter

Executive Summary:

The Board of Commissioners will consider the topic "Branding" introduced by Commissioner Miles and Co-Sponsored by Commissioner Baxter.

Background:

Per their Rules of Procedure, Board members may add items to the Regular Meeting agenda if submitted to the Mayor with the support of a second member no later than eleven (11) calendar days before the meeting.

On March 24, 2023, Commissioner Miles requested the addition of "Update on Branding" as an agenda item. Commissioner Baxter is the co-sponsor.

Discussion:

The Board can discuss the topic.

Policy Analysis:

Staff can conduct a policy analysis pending Board directive.

Financial Analysis:

Staff can conduct a financial analysis pending Board directive.

Staff Recommendation:

Staff can provide a recommendation pending completion of policy and financial analysis.

Attachment(s):

None

Topic: Personnel Policy
Sponsor: Commissioner Quentin Miles
Co-Sponsor: Commissioner Shannon Baxter

Executive Summary:

The Board of Commissioners will consider the topic "Personnel Policy" introduced by Commissioner Miles and Co-Sponsored by Commissioner Baxter.

Background:

Per their Rules of Procedure, Board members may add items to the Regular Meeting agenda if submitted to the Mayor with the support of a second member no later than eleven (11) calendar days before the meeting.

On March 24, 2023, Commissioner Miles submitted "Follow up about policies from Wednesday, March 8, 2023 meeting with you and Mr. Maynard". Commissioner Baxter Co-sponsored.

Discussion:

The Board can discuss the Personnel Policy. The conversation with Mr. Maynard focused on Staff feedback on the Personnel Policy and preparation for the April Work Session.

Policy Analysis:

The Board will receive feedback and an assessment of the Personnel Policy at their April Work Session.

Financial Analysis:

The Board will receive feedback and an assessment of the Personnel Policy at their April Work Session.

Staff Recommendation:

The Board will discuss the Personnel Policy at their April Work Session. Staff recommends waiting to discuss the Personnel Policy. Waiting will allow the Board to hear feedback and an assessment of the current policy and provide feedback on their policy objectives for developing and sustaining a multi-generational workforce.

Attachment(s):

None