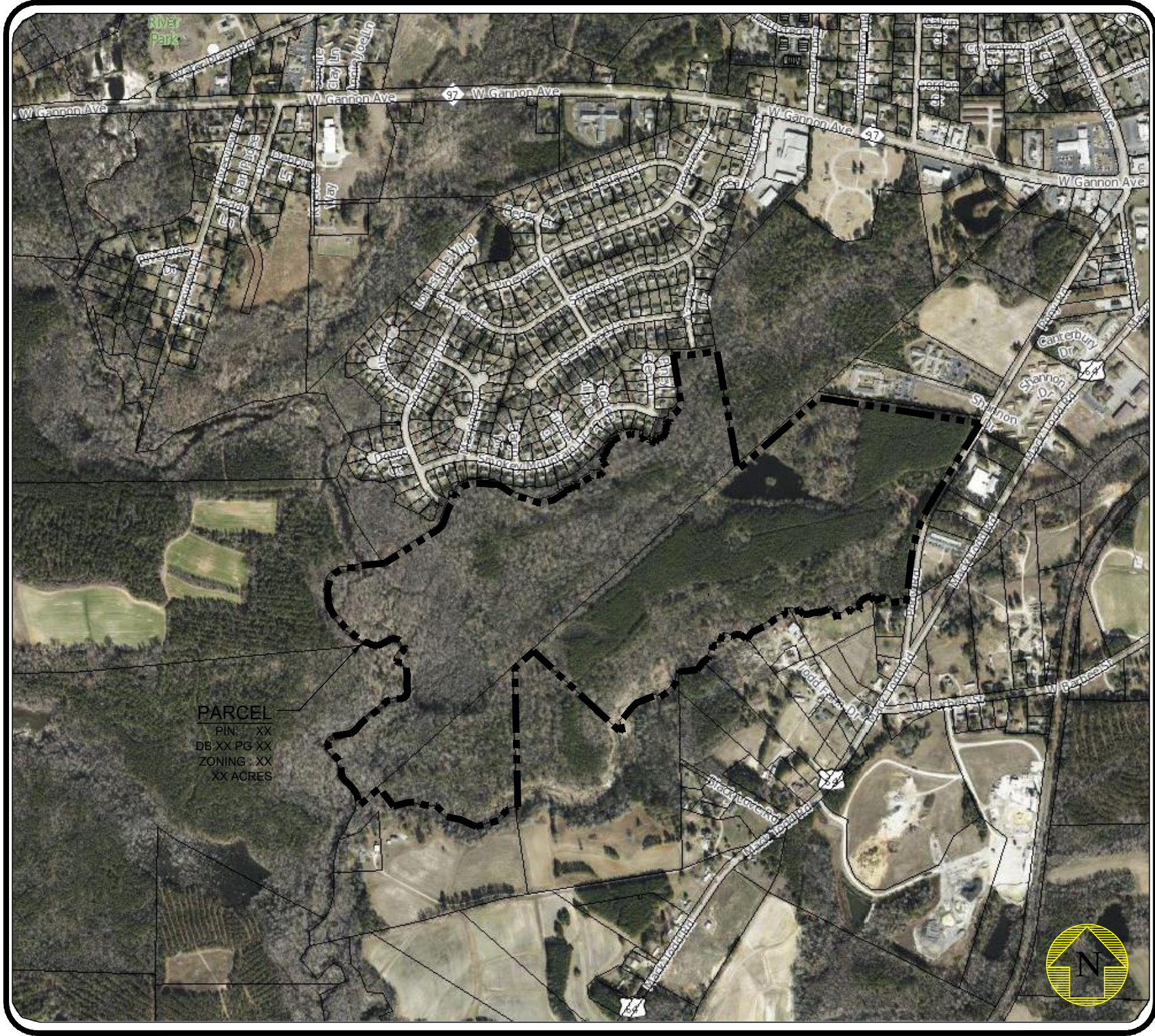


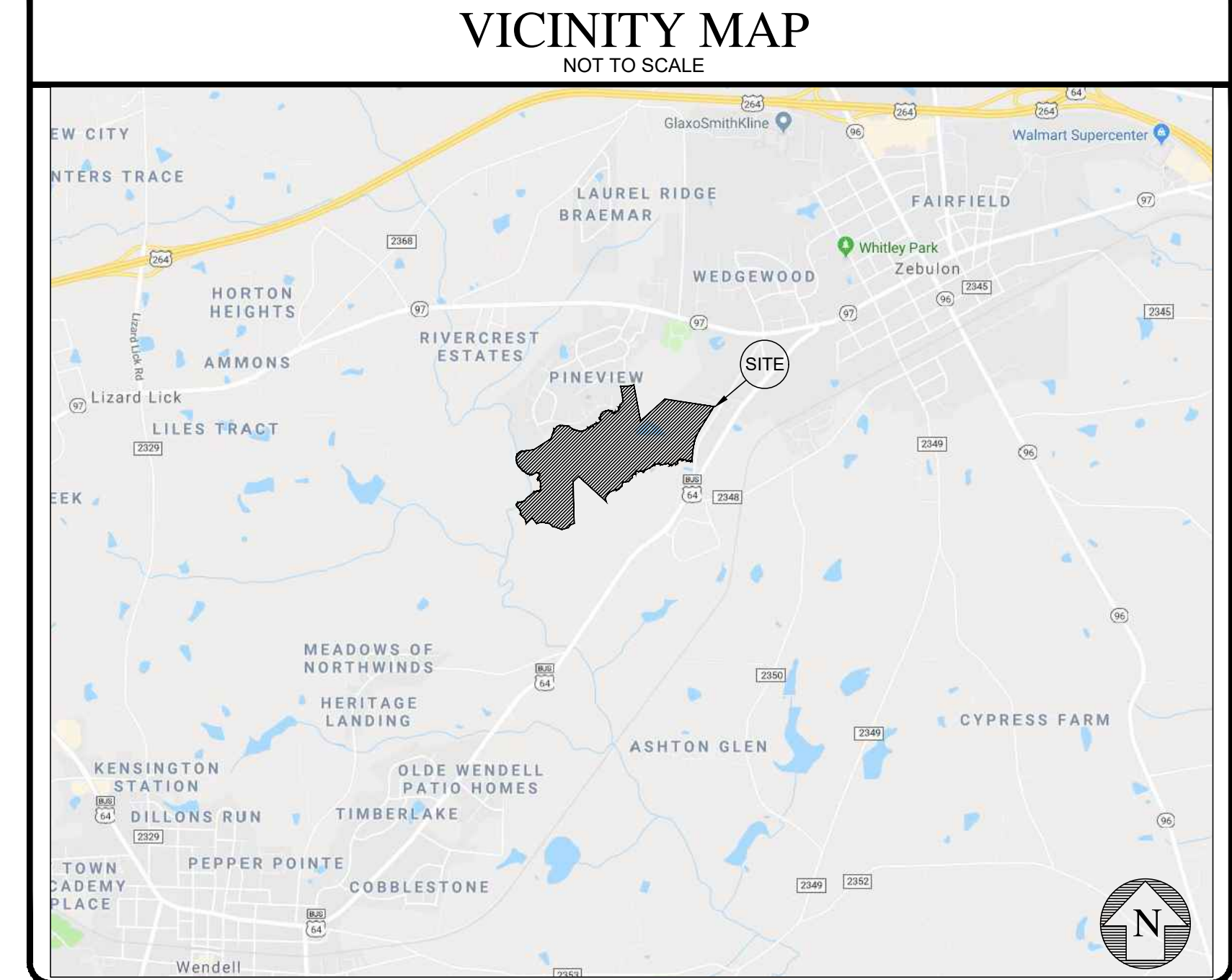
SHEET INDEX

Table listing sheet titles and numbers: COVER SHEET (C-1), PROJECT NOTES (C-2), EXISTING CONDITIONS PLAN (C-3), OVERALL EROSION CONTROL PLAN (C-4), EROSION CONTROL GROUND GENERAL NOTES (C-4A), NCGOI GROUND STABILIZATION (C-4B), NCGOI SELF INSPECTION (C-4C), EROSION CONTROL PLAN INITIAL PHASE 1 TO 5 (C-4D - C-4H), EROSION CONTROL PLAN INTERMEDIATE PHASE 1 TO 5 (C-4I - C-4 M), EROSION CONTROL PLAN RIPRAP (C-4 N), EROSION CONTROL PLAN FINAL (C-4 O), EROSION CONTROL PLAN (C-5 - C-12G), OVERALL SITE PLAN (C-13), SITE PLAN (C-14 - C-21), OVERALL UTILITY PLAN (C-22), UTILITY PLAN (C-23 - C-30), OVERALL GRADING & DRAINAGE PLAN (C-31), STORM DRAINAGE RESPONSIBILITY (C-31A), STORM DRAINAGE PIPE SCHEDULE (C-31B), STORM DRAINAGE STRUCTURE DATA (C-31C), GRADING & DRAINAGE PLAN (C-32 - C-39), PLAN & PROFILE (PP-1 - PP-23), PONY RD. IMPROVEMENTS (PP-24 - PP-25C), GREENWAY TRAIL (PP-26 - PP-29), STORM PROFILES (P-1 - P-6), OVERALL LANDSCAPE PLAN (L-1), LANDSCAPE PLAN (L-2 - L-9), EC-DETAILS (D-1 - D-4), SITE DETAILS (D-5 - D-8A), SANITARY SEWER DETAILS (D-9 - D-10), WATER SERVICE DETAILS (D-11 - D-12), SCM PLAN & DETAILS (D-14 - D-18), LANDSCAPE DETAILS & NOTES (D-19), SITE LIGHTING PLANS (LP-1 - LP-2)

CONSTRUCTION DRAWINGS FOR CADENCE MEADOWS (PONY ROAD REZONING # 4961187) (IDT PROJECT # 635059) 705 PONY ROAD ZEBULON, NC FINAL SET DATE: SEPTEMBER 1, 2022



SITE LOCATION MAP NOT TO SCALE



VICINITY MAP NOT TO SCALE

STREAM AND WETLAND SOI & ENVIRONMENTAL CONSULTANTS, PA 8412 FALLS OF NEUSE ROAD SUITE 104 RALEIGH, NC 27615

CURRENT OWNER GOVIND & MADHU CHANDAK 2919 BREEZEWOOD AVE. SUITE 100 FAYETTEVILLE, NC 27624-9104

DEVELOPER/FUTURE OWNER RHH LAND DEVELOPERS, LLC 2919 BREEZEWOOD AVE. SUITE 100 FAYETTEVILLE, NC (910) 486-4864

Plan Set Approved Town of Zebulon Planning Department 12/20/2022

SURVEY CONTACT SUMMIT DESIGN & ENGINEERING SERVICES 320 EXECUTIVE COURT HILLSBOROUGH, NC 27278

ENGINEER CONTACT SUMMIT DESIGN & ENGINEERING SERVICES 1110 NAVAHO DR. STE. 600 RALEIGH, NC 27609

Revisions table with columns for revision number, description, and date.

WATER AND SEWER PERMITS The City of Raleigh consents to the connection and extension of the City's Public Sewer System as shown on this plan.

The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan.

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION Plans for the proposed use have been reviewed for general compliance with applicable codes.

Table with columns: Public Street Name, 6" DIP LENGTH, 8" DIP LENGTH, Phase. Lists streets like Southland, Rosebush Dr, etc.

WATERLINE / SANITARY SEWER CONNECTIONS:

Table showing connection details for single family homes and townhomes, including pipe size, length, and depth.

Table with columns: Public Street Name, Type of Street, Start Station, End Station, Lineal Footage, Sidewalk (LF), ROW Width, Back To Curb, Street Lights TOZ / HOA, Phase. Lists streets like Southland, Rosebush Dr, etc.

Table with columns: Private Alley, Type of Street, Start Station, End Station, Lineal Footage, ROW Width, Back To Curb, Phase. Lists alleys 6 through 15.

Table with columns: TOZ (LF), GREENWAY BOARDWALK (LF), HOA, SIDEWALK (LF). Shows totals for TOZ, HOA, and SIDEWALK.

Summary table with columns: PIPE SIZE, PHASE 1, PHASE 2, PHASE 3, PHASE 4, PHASE 5, GRAND TOTAL. Shows totals for each pipe size (15" to 72").

SITE INFORMATION:

Site information including current owner (PNC of North Carolina, LLC), applicant (RHH Land Investors, LLC), parcel ID (0060530), site address (705 Pony Road), jurisdiction (Zebulon, NC), existing use (vacant), proposed use (residential subdivision), and parking details.

PUBLIC SERVICE CONTACTS:

Public service contacts for Water, Sewer, Fire, Electric, Telephone, Gas, Cable, State Roadways, Public Works, and Planning.

S&E PERMIT NUMBER SEC-06923-2021 SWF-069318-2021 & SWF-069319-2021

EROSION CONTROL, STORMWATER AND FLOODPLAIN MANAGEMENT APPROVED

Approval checkboxes for Erosion Control (S-), Stormwater Mgmt. (S-), Flood Study (S-), and Date.

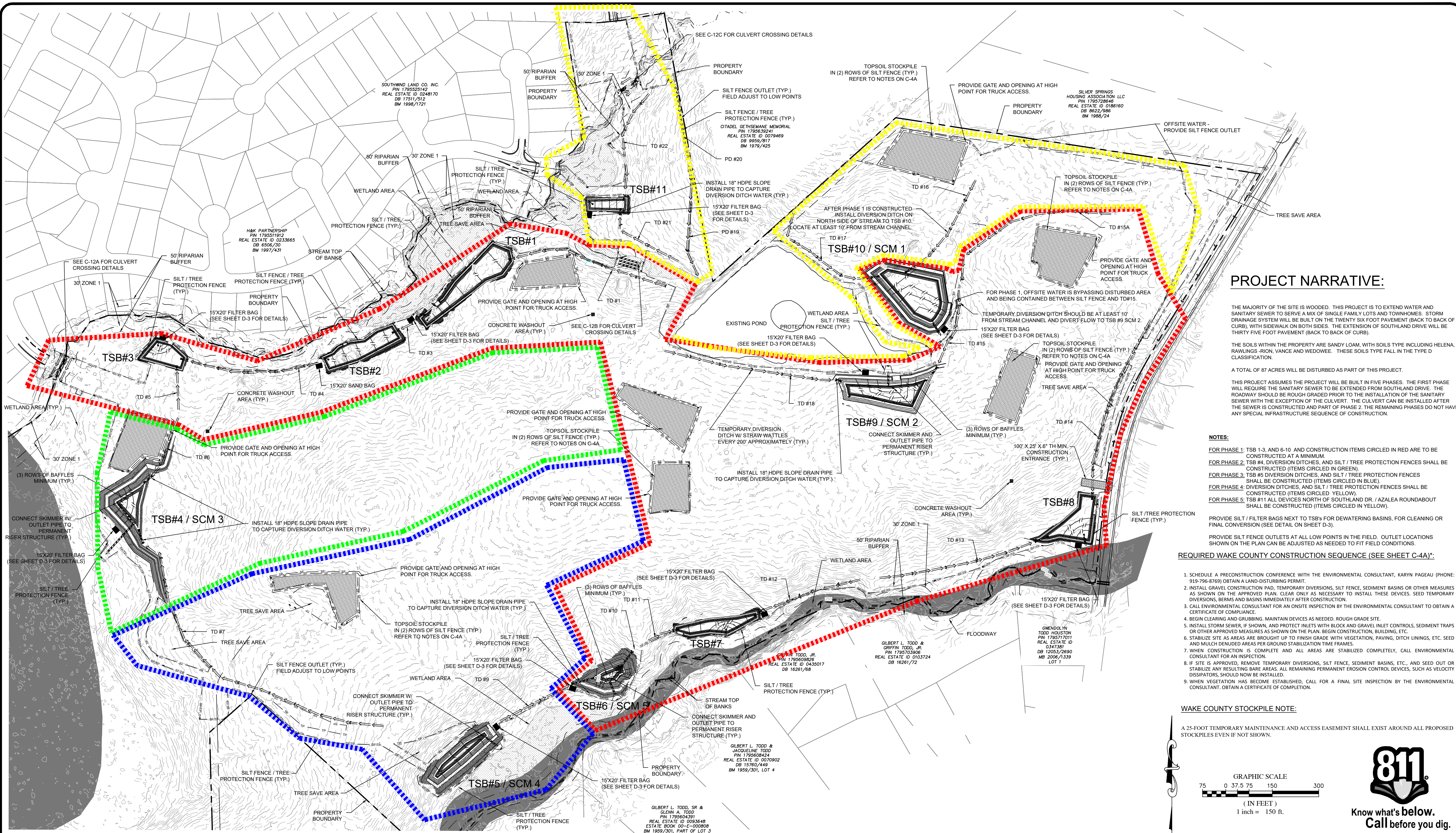


CONTRACTOR SHALL NOTIFY 'NC811' (811) OR (1-800-632-4849) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED.

Summit Design and Engineering Services logo and contact information: 320 Executive Court, Hillsborough, NC 27278.

Construction Drawings for Cadence Meadows cover sheet information: Project No. 19-0103, Drawing Name: 19-0103_cs.dwg, Sheet No. C-1.

Vertical text on the far left edge of the drawing.



PROJECT NARRATIVE:

THE MAJORITY OF THE SITE IS WOODED. THIS PROJECT IS TO EXTEND WATER AND SANITARY SEWER TO SERVE A MIX OF SINGLE FAMILY LOTS AND TOWNHOMES. STORM DRAINAGE SYSTEM WILL BE BUILT ON THE TWENTY SIX FOOT PAVEMENT (BACK TO BACK CURB), WITH SIDEWALK ON BOTH SIDES. THE EXTENSION OF SOUTHLAND DRIVE WILL BE THIRTY FIVE FOOT PAVEMENT (BACK TO BACK OF CURB).

THE SOILS WITHIN THE PROPERTY ARE SANDY LOAM, WITH SOILS TYPE INCLUDING HELENA, RAWLINGS-RION, VANCE AND WEDDOWE. THESE SOILS TYPE FALL IN THE TYPE D CLASSIFICATION.

A TOTAL OF 87 ACRES WILL BE DISTURBED AS PART OF THIS PROJECT.

THIS PROJECT ASSUMES THE PROJECT WILL BE BUILT IN FIVE PHASES. THE FIRST PHASE WILL REQUIRE THE SANITARY SEWER TO BE EXTENDED FROM SOUTHLAND DRIVE. THE ROADWAY SHOULD BE ROUGH GRADED PRIOR TO THE INSTALLATION OF THE SANITARY SEWER WITH THE EXCEPTION OF THE CULVERT. THE CULVERT CAN BE INSTALLED AFTER THE SEWER IS CONSTRUCTED AND PART OF PHASE 2. THE REMAINING PHASES DO NOT HAVE ANY SPECIAL INFRASTRUCTURE SEQUENCE OF CONSTRUCTION.

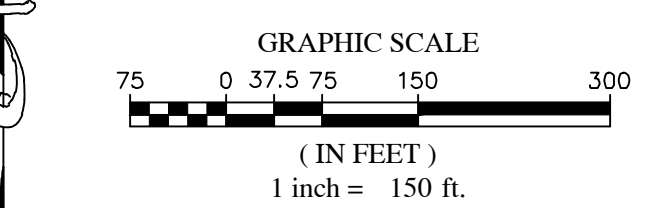
- NOTES:**
- FOR PHASE 1: TSB 1-3, AND 6-10 AND CONSTRUCTION ITEMS CIRCLED IN RED ARE TO BE CONSTRUCTED AT A MINIMUM.
 - FOR PHASE 2: TSB #4, DIVERSION DITCHES, AND SILT / TREE PROTECTION FENCES SHALL BE CONSTRUCTED (ITEMS CIRCLED IN GREEN).
 - FOR PHASE 3: TSB #5 DIVERSION DITCHES, AND SILT / TREE PROTECTION FENCES SHALL BE CONSTRUCTED (ITEMS CIRCLED IN BLUE).
 - FOR PHASE 4: DIVERSION DITCHES, AND SILT / TREE PROTECTION FENCES SHALL BE CONSTRUCTED (ITEMS CIRCLED YELLOW).
 - FOR PHASE 5: TSB #11 ALL DEVICES NORTH OF SOUTHLAND DR. / AZALEA ROUNDABOUT SHALL BE CONSTRUCTED (ITEMS CIRCLED IN YELLOW).
- PROVIDE SILT / FILTER BAGS NEXT TO TSBs FOR DEWATERING BASINS, FOR CLEANING OR FINAL CONVERSION (SEE DETAIL ON SHEET D-3).
- PROVIDE SILT FENCE OUTLETS AT ALL LOW POINTS IN THE FIELD. OUTLET LOCATIONS SHOWN ON THE PLAN CAN BE ADJUSTED AS NEEDED TO FIT FIELD CONDITIONS.

REQUIRED WAKE COUNTY CONSTRUCTION SEQUENCE (SEE SHEET C-4A):

- SCHEDULE A PRECONSTRUCTION CONFERENCE WITH THE ENVIRONMENTAL CONSULTANT, KARYN PAGEAU (PHONE: 919-796-8769) OBTAIN A LAND-DISTURBING PERMIT.
- INSTALL GRAVEL CONSTRUCTION PAD, TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS OR OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. SEED TEMPORARY DIVERSIONS, BERMS AND BASINS IMMEDIATELY AFTER CONSTRUCTION.
- CALL ENVIRONMENTAL CONSULTANT FOR AN ONSITE INSPECTION BY THE ENVIRONMENTAL CONSULTANT TO OBTAIN A CERTIFICATE OF COMPLIANCE.
- BEGIN CLEARING AND GRUBBING. MAINTAIN DEVICES AS NEEDED. ROUGH GRADE SITE.
- INSTALL STORM SEWER, IF SHOWN, AND PROTECT INLETS WITH BLOCK AND GRAVEL INLET CONTROLS, SEDIMENT TRAPS OR OTHER APPROVED MEASURES AS SHOWN ON THE PLAN. BEGIN CONSTRUCTION, BUILDING, ETC.
- STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC. SEED AND MULCH DENUDED AREAS PER GROUND STABILIZATION TIME FRAMES.
- WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, CALL ENVIRONMENTAL CONSULTANT FOR AN INSPECTION.
- IF SITE IS APPROVED, REMOVE TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS, ETC. AND SEED OUT OR STABILIZE ANY RESULTING BARE AREAS. ALL REMAINING PERMANENT EROSION CONTROL DEVICES, SUCH AS VELOCITY DISSIPATORS, SHOULD NOW BE INSTALLED.
- WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR A FINAL SITE INSPECTION BY THE ENVIRONMENTAL CONSULTANT. OBTAIN A CERTIFICATE OF COMPLETION.

WAKE COUNTY STOCKPILE NOTE:

A 25-FOOT TEMPORARY MAINTENANCE AND ACCESS EASEMENT SHALL EXIST AROUND ALL PROPOSED STOCKPILES EVEN IF NOT SHOWN.



DITCH CALCULATIONS - REFER TO NCDOT STANDARDS DETAIL 876.02

PHASE	NAME	DEPTH (FT)	BOTTOM WIDTH (FT)	SLOPE (%)	SIDE SLOPE	Q10 (cfs)	V10 (fps)	FLOW DEPTH (ft)	SHEAR STRESS (psf)	DITCH LENGTH (FT)	MATTING - LENGTH (FT)
1	TD #1	1.5	2.0	1.65%	2H:1V	8.11	3.62	0.67	0.69	545	NAG-S75 - 200 FT
-	TD #2	-	-	-	-	-	-	-	-	-	-
1	TD #3	1.5	2.0	5.60%	2H:1V	3.86	4.57	0.32	1.12	70	NAG-S75 - 30 FT
1	TD #4	1.5	2.0	1.00%	2H:1V	11.42	3.34	0.90	0.56	450	NAG-S75 - 200 FT
1	TD #5	1.5	2.0	2.84%	2H:1V	1.71	2.74	0.25	0.44	140	NAG-S75 - 50 FT
2	TD #6	1.5	2.0	2.10%	2H:1V	5.93	3.66	0.53	0.69	240	NAG-S75 - 100 FT
2 (200) & 3 (900)	TD #7	2.5	2.0	3.50%	2H:1V	41.41	5.52	1.5	3.28	1100	NAG-S150 - 120 FT
-	TD #8	-	-	-	-	-	-	-	-	-	-
3	TD #9	1.5	2.0	1.00%	2H:1V	13.13	3.49	0.96	0.60	270	NAG-S75 - 100 FT
1	TD #10	1.5	2.0	10.00%	2H:1V	0.13	1.24	0.05	0.31	90	NAG-S75 - 50 FT
1	TD #11	1.5	2.0	10.00%	2H:1V	1.1	3.45	0.14	0.87	100	NAG-S75 - 50 FT
1	TD #12	1.5	2.0	2.60%	2H:1V	12.12	4.80	0.73	1.18	350	NAG-S75 - 150 FT
1	TD #13	1.5	2.0	1.10%	2H:1V	11.49	3.47	0.88	0.60	535	NAG-S75 - 200 FT
1	TD #14	1.5	2.0	5.40%	2H:1V	5.24	4.39	0.42	1.42	610	NAG-S75 - 300 FT
1	TD #15	1.5	2.0	3.51%	2H:1V	9.71	4.53	0.65	1.42	610	NAG-S75 - 300 FT
4	TD #15A	1.5	2.0	2.00%	2H:1V	8.11	3.48	0.69	0.86	630	NAG-S75 - 250 FT
4	TD #16	1.5	2.0	2.20%	2H:1V	3.64	3.25	0.40	0.55	365	NAG-S75 - 150 FT
4	TD #17	1.5	2.0	2.70%	2H:1V	6.88	4.14	0.54	0.91	405	NAG-S75 - 200 FT
4	TD #18	1.5	2.0	1.00%	2H:1V	10.91	3.30	0.88	0.55	595	NAG-S75 - 300 FT
5	PD #19	1.5	2.0	3.17%	2H:1V	9.34	4.86	0.6	1.19	410	NAG-P300 - 370 FT
5	PD #20	1.5	2.0	4.80%	2H:1V	4.95	4.57	0.39	1.17	230	NAG-P300 - 220 FT
5	TD #21	1.5	2.0	1.45%	2H:1V	2.58	2.46	0.38	0.34	275	NAG-S75 - 150 FT
5	TD #22	1.5	2.0	1.57%	2H:1V	4.80	3.12	0.51	0.50	380	NAG-S75 - 200 FT

PHASE	Basin	Drainage Area (AC)	Denuded Area (AC)	Volume Req'd (CF)	Volume Provided (CF)	Surface Area Req'd (SF)	Surface Area Provided (SF)	Size (WxLxD)	Weir Length (FT)	Skimmer/Orifice	Riser/Barrel
1	TSB 1	12.42	12.42	22356	40794	16047	17000	50x340x3'	16	4"/2.25"	36"/24"
1	TSB 2	8	8	14400	32244	11484	12500	50x250x3'	25	3"/2"	N/A
1	TSB 3	4	4	7200	16884	5742	6600	60x110x3'	14	2"/1.5"	N/A
2	TSB 4 / SCM 3	16.18	16.18	29124	98167	21115	22500	150x150x5'	20	4"/2.5"	INSTALL PERMANENT 6'X6' RISER STRUCTURE W/ 48" RCP PER SHEET D-16
3	TSB 5 / SCM 4	6.27	6.27	11286	60167	8182	15000	60x250x5'	20	3"/1.75"	INSTALL PERMANENT 4'X4' RISER STRUCTURE W/ 36" RCP PER SHEET D-17
1	TSB 6 / SCM 5	7.4	7.4	13320	42269	10623	16500	100x165x3'	20	2.5"/2"	N/A
1	TSB 7	8.1	8.1	14580	24023	11628	13250	350x265x3'	30	3"/2"	N/A
1	TSB 8	6.85	6.85	12330	48768	9831	15000	100x150x4'	30	3"/1.75"	N/A
1	TSB 9 / SCM 2	14.2	14.2	25560	66564	20384	24300	90x270x3'	20	3"/2.5"	INSTALL PERMANENT 4'X4' RISER STRUCTURE W/ 36" RCP PER SHEET D-15
1	TSB 10 / SCM 1	27.82	10.92	50076	124321	23708	26055	145x265x5'	28	4"/3.5"	INSTALL PERMANENT 4'X4' RISER STRUCTURE W/ 18" RCP PER SHEET D-14
5	TSB 11	2.4	2.4	4320	12181	3445	4200	35x120x4'	20	1.5"/1.25"	N/A

LEGEND:

- SF - SILT FENCE
- SF/TP - SILT / TREE PROTECTION FENCE
- TP - TREE PROTECTION FENCE
- LD - LIMITS OF DISTURBANCE
- PI - PIPE INLET PROTECTION
- RD - RIPRAP DISSIPATOR APRON
- CL - CLEARING LIMITS
- DD - DIVERSION DITCH
- SO - SILT FENCE OUTLET
- SD - STORM DRAINAGE PIPE

GRADING & STORM LEGEND:

EXIST / PROPOSED

- EXISTING STORM PIPE
- PROPOSED STORM PIPE
- LIMITS OF DISTURBANCE
- LIMITS OF DISTURBANCE & TREE PROTECTION FENCE
- TREE PROTECTION FENCE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- WOODS LINE

PHASE 1 (Red)
PHASE 2 (Green)
PHASE 3 (Blue)
PHASE 4 AND 5 (Yellow)

NO.	DATE	REVISIONS
6	06/07/2022	DAS
5	05/03/2022	DAS
4	04/06/2022	DAS
3	03/24/2022	DAS
2	02/25/2022	DAS
1	01/07/2022	DAS

PROJECT ENGINEER/ARCHITECT
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PROJECT MANAGER
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DRAWN BY
JALAMY@SUMMITDESIGN.COM
FIRST ISSUE DATE
11-01-2021



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www.summitdes.com

CONSTRUCTION DRAWINGS FOR CADENCE MEADOWS
915 PONY ROAD
ZEBULON, NC

OVERALL EROSION CONTROL PLAN

PROJECT NO.
19-0103

DRAWING NAME:
19-0103_ec.dwg

SHEET NO.
C-4

WAKE COUNTY CONSTRUCTION SEQUENCE:

1. SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH THE ENVIRONMENTAL CONSULTANT - KARYN PAGEAU - 919 796-8769. OBTAIN A LAND-DISTURBING PERMIT.
 - a) OBTAIN APPROVED SET OF CONSTRUCTION DRAWINGS. A LAND DISTURBANCE PERMIT WILL BE REQUIRED BEFORE THE ONSET OF ANY GRADING ACTIVITY. KEEP A COPY OF BOTH ITEMS ONSITE THROUGHOUT CONSTRUCTION.
 - b) IF AN OFFSITE SOIL SPOIL OR BORROW SITE IS UTILIZED, THEN THE DISTURBED AREA FOR THE SPOIL/BORROW SITE MUST BE INCLUDED IN THE LAND-DISTURBANCE PLAN AND PERMIT UNLESS THE SPOIL/BORROW SITE ALREADY HAS A LAND DISTURBANCE PERMIT.
 - c) ATTAIN CERTIFICATE OF COVERAGE FOR THE NCG010000 CONSTRUCTION STORMWATER PERMIT AND POST ON-SITE PRIOR TO LAND-DISTURBING ACTIVITY.
2. INSTALL GRAVEL CONSTRUCTION PAD, TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS OR OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. SEED TEMPORARY DIVERSIONS, BERMS AND BASINS IMMEDIATELY AFTER CONSTRUCTION.
 - a) INSTALL TEMPORARY CONSTRUCTION ENTRANCE / EXIT AND MAINTAIN PER THE NOTES ON THE EROSION CONTROL SHEETS AND IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL GUIDELINES. ALL CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE PROPERTY AT THIS LOCATION.
 - b) INSTALL TREE PROTECTION FENCING ALONG THE ENTIRE LENGTH OF THE CLEARING / DISTURBANCE LIMITS WHERE THE LIMITS ARE ADJACENT TO EXISTING VEGETATION. USE TREE PROTECTION/ SILT FENCE COMBINATION FENCE PER DETAIL WHERE INDICATED ON PLANS.
 - c) CLEAR ONLY AS NECESSARY TO INSTALL THE EROSION CONTROL DEVICES AS SHOWN ON THIS PLAN. INSTALL SILT FENCING AND ALL SILT FENCE OUTLETS AS SHOWN, AND PROVIDE SUPPLEMENTAL OUTLETS AS NEEDED IN LOCATIONS WHERE FIELD CONDITIONS INDICATE AREAS WHERE SITE RUNOFF WILL POND.
 - d) CONSTRUCT SKIMMER SEDIMENT BASINS AS SHOWN ON THE PLANS.
 - e) INSTALL TEMPORARY DIVERSION DITCHES AS SHOWN TO ROUTE SEDIMENT LADEN SOILS DOWN SLOPE FROM CONSTRUCTION ACTIVITIES THAT DISTURB SITE SOILS. DIRECT AS NEEDED TO PROMOTE POSITIVE DRAINAGE TO THE APPROPRIATE SKIMMER BASIN AS SHOWN ON THE PLANS.
 - f) TEMPORARILY SEED, MULCH, ANCHOR AND STABILIZE ALL EROSION CONTROL DEVICES IMMEDIATELY AFTER CONSTRUCTION. ENSURE THAT DIVERSION TRANSITION AREAS INTO SEDIMENT BASINS ARE LINED AND STABILIZED AND THAT DIVERSIONS AND LINING EXTEND INTO BASINS.
3. CALL ENVIRONMENTAL CONSULTANT FOR AN ONSITE INSPECTION BY THE ENVIRONMENTAL CONSULTANT TO OBTAIN A CERTIFICATE OF COMPLIANCE.
4. BEGIN CLEARING AND GRUBBING. MAINTAIN DEVICES AS NEEDED. ROUGH GRADE SITE.
 - a) BEGIN CLEARING AND GRUBBING OF THE VEGETATION AS SHOWN. DISPOSE OF ALL WASTE MATERIALS IN ACCORDANCE WITH THE APPROVED SOLID WASTE MANAGEMENT PLAN OR LOCAL LANDFILL ORDINANCE.
 - b) BEGIN GRADING ACTIVITIES TO PRODUCE FINAL ROADWAY GRADES SHOWN ON GRADING PLAN AND PLAN / PROFILE SHEETS.
 - c) SHIFT AND/OR REROUTE TEMPORARY DIVERSION DITCHES AROUND CONSTRUCTION ACTIVITIES AS NEEDED TO MAINTAIN THE DRAINAGE AREAS AS SHOWN ON THE PLANS AND TO MAINTAIN POSITIVE FLOW TO THE SKIMMER BASINS.
 - d) BEGIN STREAM CROSSING BY INSTALLING PUMPS AS NEEDED TO MANAGE BASE FLOW CONDITIONS AND DEWATERING THE WORK AREA AS SHOWN ON CULVERT CROSSING SHEETS C-12A, C-12B AND C12C.
 - e) CONSTRUCT HEAD/ END WALLS AND PIPE PER PLAN. UTILIZE ON SITE CUT TO BACK FILL THE PIPE TO THE GREATEST EXTENT PRACTICAL. CONTRACTOR SHALL EXERCISE EXTREME CAUTION AND CARE WITH RESPECT TO STABILIZING AND MAINTAINING THE FILL SLOPES ADJACENT TO THE STREAM AND BUFFER.
5. INSTALL STORM SEWER, IF SHOWN, AND PROTECT INLETS WITH BLOCK AND GRAVEL INLET CONTROLS, SEDIMENT TRAPS OR OTHER APPROVED MEASURES AS SHOWN ON THE PLAN. BEGIN CONSTRUCTION, BUILDING, ETC.
 - a) CONTINUE MAINTENANCE AND INSPECTION OF EROSION CONTROL DEVICES AFTER RUNOFF PRODUCING STORM EVENTS. NO DISTURBED AREA IS TO BE LEFT WITHOUT PROTECTIVE COVER (MULCH OR STRAW / TACK) AFTER COMPLETION OF CONSTRUCTION OR DEVELOPMENT ACTIVITIES PER THE TIME FRAMES ESTABLISHED IN THE STABILIZATION CHART ON THIS SHEET. DURING CONSTRUCTION OR DEVELOPMENT ACTIVITIES, ANY DISTURBED AREAS SHALL BE PROTECTED AND STABILIZED ACCORDING TO THE STABILIZATION TIMEFRAME CHART SHOWN. DISTURBED AREAS FOR ANY PORTION OF THE SITE SHALL BE STABILIZED WITHIN 7 DAYS UPON COMPLETION OF CONSTRUCTION OR DEVELOPMENT ACTIVITIES IN THAT AREA.
 - b) INSTALL UTILITIES AND STORM DRAIN PIPING AS GRADING ACTIVITIES PERMIT.
 - c) INSTALL TEMPORARY INLET PROTECTION AT THE END OF EACH WORKING DAY FOR ALL PARTIALLY INSTALLED STORM DRAINS. (SEE DETAIL SHEET)
 - d) DE-WATERING OF STRUCTURES WITH SEDIMENT-LADEN WATER DIRECTLY TO STREAMS IS PROHIBITED.
6. STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC. SEED AND MULCH DENUDEED AREAS PER GROUND STABILIZATION TIME FRAMES.
 - a) INSTALL BLANKET MATTING ON ALL SLOPES 3:1 OR GREATER.
 - b) FOR ANY AREA OF LAND-DISTURBING ACTIVITY WHERE GRADING ACTIVITIES HAVE BEEN COMPLETED, TEMPORARY OR PERMANENT GROUND COVER SUFFICIENT TO RESTRAIN EROSION SHALL BE PROVIDED AS SOON AS PRACTICABLE, BUT IN NO CASE LATER THAN SEVEN DAYS AFTER COMPLETION.
7. WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, CALL ENVIRONMENTAL CONSULTANT FOR AN INSPECTION.
8. IF SITE IS APPROVED, REMOVE TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS, ETC., AND SEED OUT OR STABILIZE ANY RESULTING BARE AREAS. ALL REMAINING PERMANENT EROSION CONTROL DEVICES, SUCH AS VELOCITY DISSIPATORS, SHOULD NOW BE INSTALLED.
 - a) SEE REQUIRED WAKE COUNTY BASIN REMOVAL SEQUENCE FOR FURTHER INFORMATION.
 - b) TSB 4, 5, 6, 9 AND 10 ARE TO BE CONVERTED TO A SCM DEVICE. COORDINATE WITH THE TOWN OF ZEBULON AND WAKE COUNTY AS TO WHEN THE SCM DEVICE CAN BE CONVERTED. AREAS DOWNSTREAM OF BASINS AND DIVERSIONS SHALL BE STABILIZED UPON CONSTRUCTION.
9. WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR A FINAL SITE INSPECTION BY THE ENVIRONMENTAL CONSULTANT. OBTAIN A CERTIFICATE OF COMPLETION.
 - a) NOTICE OF TERMINATION (NOT) WILL NEED BE FILED FOLLOWING CLOSEOUT OF THE EROSION CONTROL PLAN TO END STORMWATER COVERAGE.

TOPSOIL STOCKPILE NOTES:

- a. A 25-FOOT TEMPORARY MAINTENANCE AND ACCESS EASEMENT SHALL EXIST AROUND ALL PROPOSED STOCKPILES.
- b. STOCKPILE SHALL BE LOCATED AT A MINIMUM OF 25' FROM ADJACENT PROPERTY LINES.
- c. STOCKPILE HEIGHT SHALL NOT EXCEED 35 FEET.
- d. STOCKPILE SLOPES SHALL BE 2:1 OR FLATTER.
- e. OFF-SITE SPOIL OR BORROW AREAS MUST BE IN COMPLIANCE WITH WAKE COUNTY UDO AND STATE REGULATIONS. ALL SPOIL AREAS OVER AN ACRE ARE REQUIRED TO HAVE AN APPROVED SEDIMENT CONTROL PLAN. DEVELOPER/CONTRACTOR SHALL NOTIFY WAKE COUNTY OF ANY OFFSITE DISPOSAL OF SOIL, PRIOR TO DISPOSAL. FILL OF FEMA FLOODWAYS AND NON-ENCROACHMENT AREAS ARE PROHIBITED EXCEPT AS OTHERWISE PROVIDED BY SUBSECTION 14-19-2 OF THE WAKE COUNTY UNIFIED DEVELOPMENT ORDINANCE (CERTIFICATIONS AND PERMITS REQUIRED).

MAINTENANCE REQUIREMENTS:

- f. SEEDING OR COVERING STOCKPILES WITH TARPS OR MULCH IS REQUIRED. TARPS SHOULD BE KEPT IN AT THE TOP OF THE SLOPE TO KEEP WATER FROM RUNNING UNDERNEATH THE PLASTIC.
- g. IF A STOCKPILE IS TO REMAIN FOR FUTURE USE AFTER THE PROJECT IS COMPLETE (BUILDERS, ETC.), THE FINANCIAL RESPONSIBLE PARTY MUST NOTIFY WAKE COUNTY OF A RESPONSIBLE PARTY FOR THAT STOCKPILE.
- h. PROVIDE STAGED SEEDING AND MULCHING ON A CONTINUAL BASIS WHILE THE STOCKPILE IS IN USE.
- i. ESTABLISH AND MAINTAIN A VEGETATIVE BUFFER AT THE TOE OF THE SLOPE (WHERE PRACTICAL).

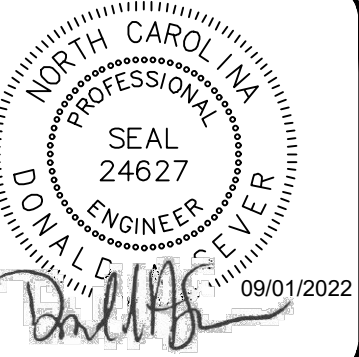
REQUIRED WAKE COUNTY BASIN REMOVAL SEQUENCE:

1. Schedule a site meeting with the Environmental Consultant to determine if a basin can be removed. Install silt fencing or other temporary erosion control measures as needed prior to removal of the basin.
2. Contact NCDEQ - Raleigh Regional Office (919) 791-4200 to determine the Division of Energy, Mineral and Land Resources contact person to receive dewatering notifications. At least 10 days prior to beginning dewatering activity, send Email to NCDEQ-DEMLR contact person and copy Environmental Consultant that met you onsite. The email should include: E&S Jurisdiction: Wake County, Wake County Project: Name, Number, and Location (city/town), Environmental Consultant Name, and address the following: a) Reason for conversion, b) Basin #, c) Dewatering method, and d) all other necessary info from Part II, Section G, Item 4 of the NCG01. (Keep email for your NPDES monitoring documentation.)
3. After receiving positive confirmation from NCDEQ-DEMLR that you may remove the basin OR on > Day 11, whichever is sooner. Remove Basin(s) and associated temporary diversion ditches. If pipes need to be extended, perform this operation at this time. Fine grade area in preparation for seeding.
4. Perform seedbed preparation, seed, mulch and anchor any resulting bare areas immediately.
5. Install velocity dissipators and/or level spreaders as required on the Erosion Control Plan.
6. When site is fully stabilized, call Environmental Consultant for approval of removing remaining temporary erosion control measures and advice on when site can be issued a Certificate of Completion. Note: A meeting should also be scheduled with the Environmental Consultant to determine when a basin may be converted for stormwater use. Some municipalities may also require this.

NO.	REVISIONS	DATE	BY
7	FINAL SET	09/07/2022	DAS
6	REVISED PER WAKE COUNTY REVIEW COMMENTS 05/24/2022	06/07/2022	DAS
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4	REVISED PER CITY OF RALEIGH REVIEW COMMENTS 03/24/2022	04/06/2022	DAS
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1	REVISED PER TOWN OF ZEBULON REVIEW COMMENTS 11/12/2021	01/07/2022	DAS

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CONSTRUCTION DRAWINGS FOR
CADENCE MEADOWS
 915 PONY ROAD
 ZEBULON, NC

EROSION CONTROL GROUND
 GENERAL NOTES

PROJECT NO.
19-0103
 DRAWING NAME:
 19-0103_D_EC
 SHEET NO.
C-4A



Know what's below.
 Call before you dig.

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Required Ground Stabilization Timeframes		
Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> Temporary grass seed covered with straw or other mulches and tackifiers Hydroseeding Rolled erosion control products with or without temporary grass seed Appropriately applied straw or other mulch Plastic sheeting 	<ul style="list-style-type: none"> Permanent grass seed covered with straw or other mulches and tackifiers Geotextile fabrics such as permanent soil reinforcement matting Hydroseeding Shrubs or other permanent plantings covered with mulch Uniform and evenly distributed ground cover sufficient to restrain erosion Structural methods such as concrete, asphalt or retaining walls Rolled erosion control products with grass seed

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

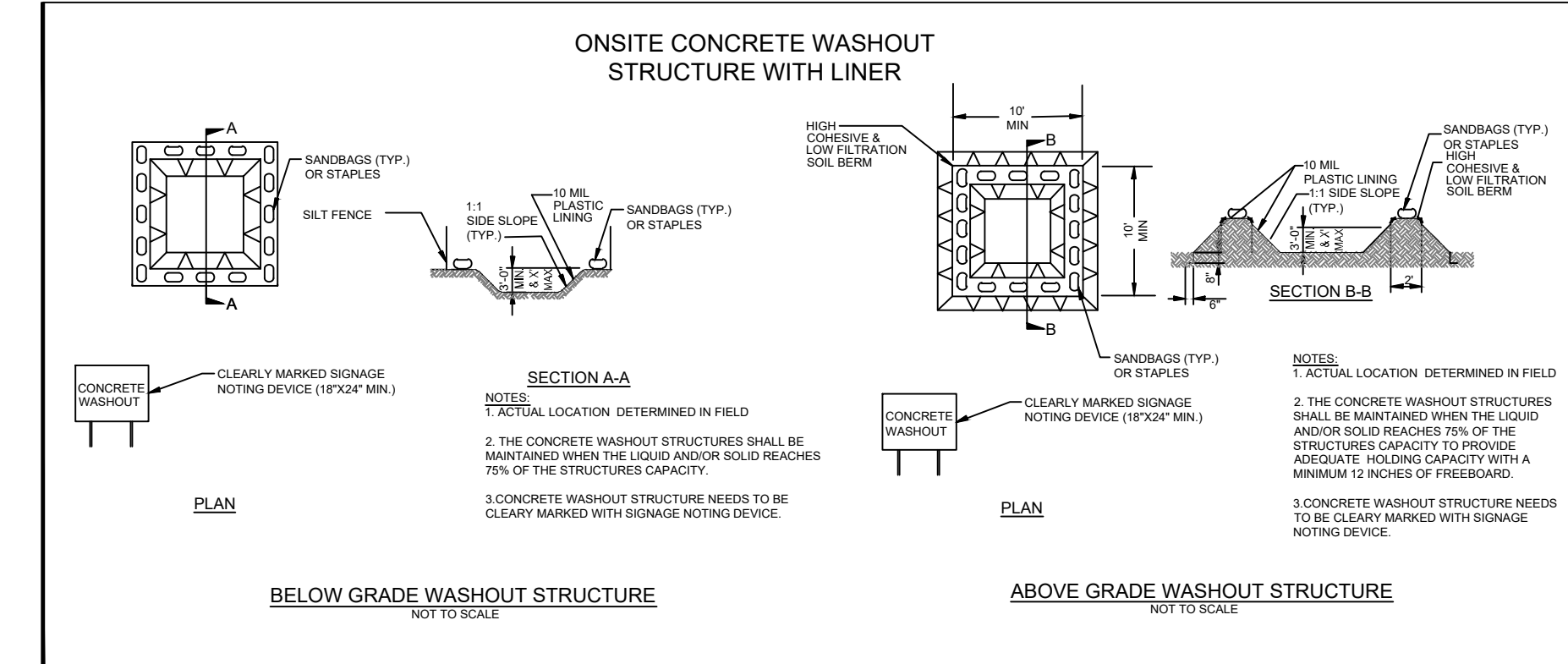
- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



CONCRETE WASHOUTS

- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

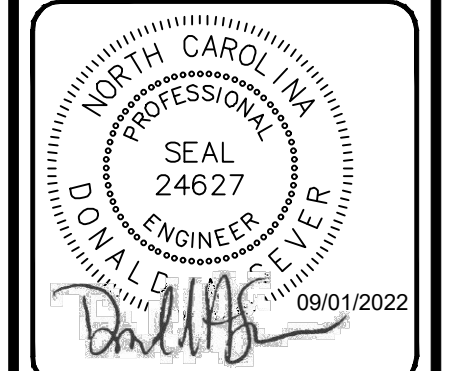
- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

HAZARDOUS AND TOXIC WASTE

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

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CONSTRUCTION DRAWINGS FOR
CADENCE MEADOWS
 915 PONY ROAD
 ZEBULON, NC
NCG01 GROUND STABILIZATION

**PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual day rainfall information is available, record the cumulative rain measurement for those unattended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the measures inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Indication of whether the measures were operating properly, 5. Description of maintenance needs for the measure, 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration, 5. Indication of visible sediment leaving the site, 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits, 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item (2)(a) of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land disturbing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

**PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

SECTION B: RECORDKEEPING

1. E&SC Plan Documentation

The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Documentation Requirements
(a) Each E&SC measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC plan.	Initial and date each E&SC measure on a copy of the approved E&SC plan or complete, date and sign an inspection report that lists each E&SC measure shown on the approved E&SC plan. This documentation is required upon the initial installation of the E&SC measures or if the E&SC measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC plan.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC measures.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation to be Kept on Site

In addition to the E&SC plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- (a) This General Permit as well as the Certificate of Coverage, after it is received.
- (b) Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

3. Documentation to be Retained for Three Years

All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

**PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

SECTION C: REPORTING

1. Occurrences that Must be Reported

Permittees shall report the following occurrences:

- (a) Visible sediment deposition in a stream or wetland.
- (b) Oil spills if:
 - They are 25 gallons or more,
 - They are less than 25 gallons but cannot be cleaned up within 24 hours,
 - They cause sheen on surface waters (regardless of volume), or
 - They are within 100 feet of surface waters (regardless of volume).
- (c) Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
- (d) Anticipated bypasses and unanticipated bypasses.
- (e) Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none"> • Within 24 hours, an oral or electronic notification. • Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis. • If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.
(b) Oil spills and release of hazardous substances per Item 1(b)-(c) above	<ul style="list-style-type: none"> • Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> • A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> • Within 24 hours, an oral or electronic notification. • Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.
(e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(l)(7)]	<ul style="list-style-type: none"> • Within 24 hours, an oral or electronic notification. • Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent reoccurrence of the noncompliance. [40 CFR 122.41(l)(6)]. • Division staff may waive the requirement for a written report on a case-by-case basis.

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Sheet: 1

PART II, SECTION G, ITEM (4)

DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

- (a) The E&SC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&SC plan authority has approved these items,
- (b) The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item (2)(c) and (d) of this permit,
- (c) Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems,
- (d) Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in Item (c) above,
- (e) Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and
- (f) Sediment removed from the dewatering treatment devices described in Item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

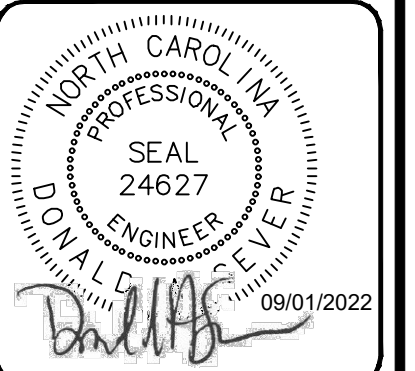
NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

EFFECTIVE: 04/01/19

NO.	DATE	REVISIONS
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**CONSTRUCTION DRAWINGS FOR
CADENCE MEADOWS**

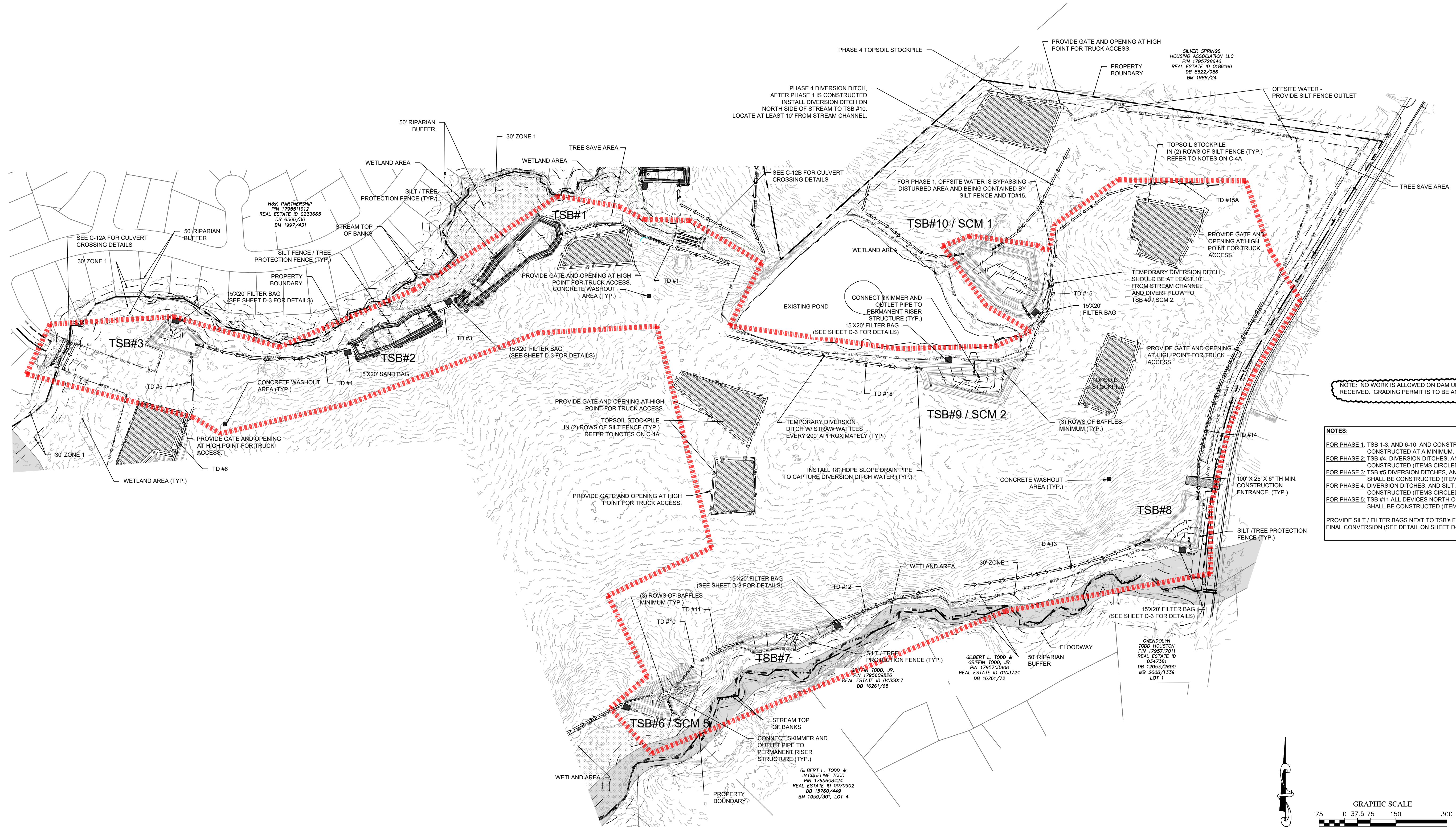
915 PONY ROAD
ZEBULON, NC

NCG01 SELF INSPECTION

PROJECT NO.
19-0103

DRAWING NAME:
19-0103_D_EC

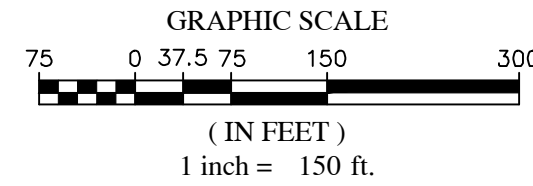
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NOTE: NO WORK IS ALLOWED ON DAM UNTIL NC DAM SAFETY APPROVAL IS RECEIVED. GRADING PERMIT IS TO BE AMENDED AT THAT TIME FOR THIS WORK.

NOTES:

FOR PHASE 1: TSB 1-3, AND 6-10 AND CONSTRUCTION ITEMS CIRCLED IN RED ARE TO BE CONSTRUCTED AT A MINIMUM.
 FOR PHASE 2: TSB #4, DIVERSION DITCHES, AND SILT / TREE PROTECTION FENCES SHALL BE CONSTRUCTED (ITEMS CIRCLED IN GREEN).
 FOR PHASE 3: TSB #5 DIVERSION DITCHES, AND SILT / TREE PROTECTION FENCES SHALL BE CONSTRUCTED (ITEMS CIRCLED IN BLUE).
 FOR PHASE 4: DIVERSION DITCHES, AND SILT / TREE PROTECTION FENCES SHALL BE CONSTRUCTED (ITEMS CIRCLED YELLOW).
 FOR PHASE 5: TSB #11 ALL DEVICES NORTH OF SOUTHLAND DR. / AZALEA ROUNDABOUT SHALL BE CONSTRUCTED (ITEMS CIRCLED IN YELLOW).
 PROVIDE SILT / FILTER BAGS NEXT TO TSB'S FOR DEWATERING BASINS, FOR CLEANING OR FINAL CONVERSION (SEE DETAIL ON SHEET D-3).



LEGEND:

- SF SILT FENCE
- SF/TP SILT / TREE PROTECTION FENCE
- TP TREE PROTECTION FENCE
- LD LIMITS OF DISTURBANCE
- PIPE INLET PROTECTION
- RIPRAP DISSIPATOR APRON
- CLEARING LIMITS
- DIVERSION DITCH
- SILT FENCE OUTLET
- STORM DRAINAGE PIPE

GRADING & STORM LEGEND:

- CURB INLET
 - DROP INLET
 - JUNCTION BOX
 - FLARED END SECTION (FES)
 - EXISTING STORM PIPE
 - PROPOSED STORM PIPE
 - LIMITS OF DISTURBANCE & TREE PROTECTION FENCE
 - TREE PROTECTION FENCE
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - WOODS LINE
- PHASE 1 (Red dashed line)
- PHASE 2 (Green dashed line)
- PHASE 3 (Blue dashed line)
- PHASE 4 AND 5 (Yellow dashed line)

NO.	DATE	BY	REVISIONS
7	09/01/2022	DAS	FINAL SET
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1	01/07/2022	DAS	REVISED PER TOWN OF ZEBULON REVIEW COMMENTS 11/12/2021

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 PROJECT NO. 19-0103
 PROJECT MANAGER: AMI ALEXANDER
 DESIGNER: JACQUELINE TODD
 CHECKED: GILBERT L. TODD
 DRAWN BY: JACQUELINE TODD

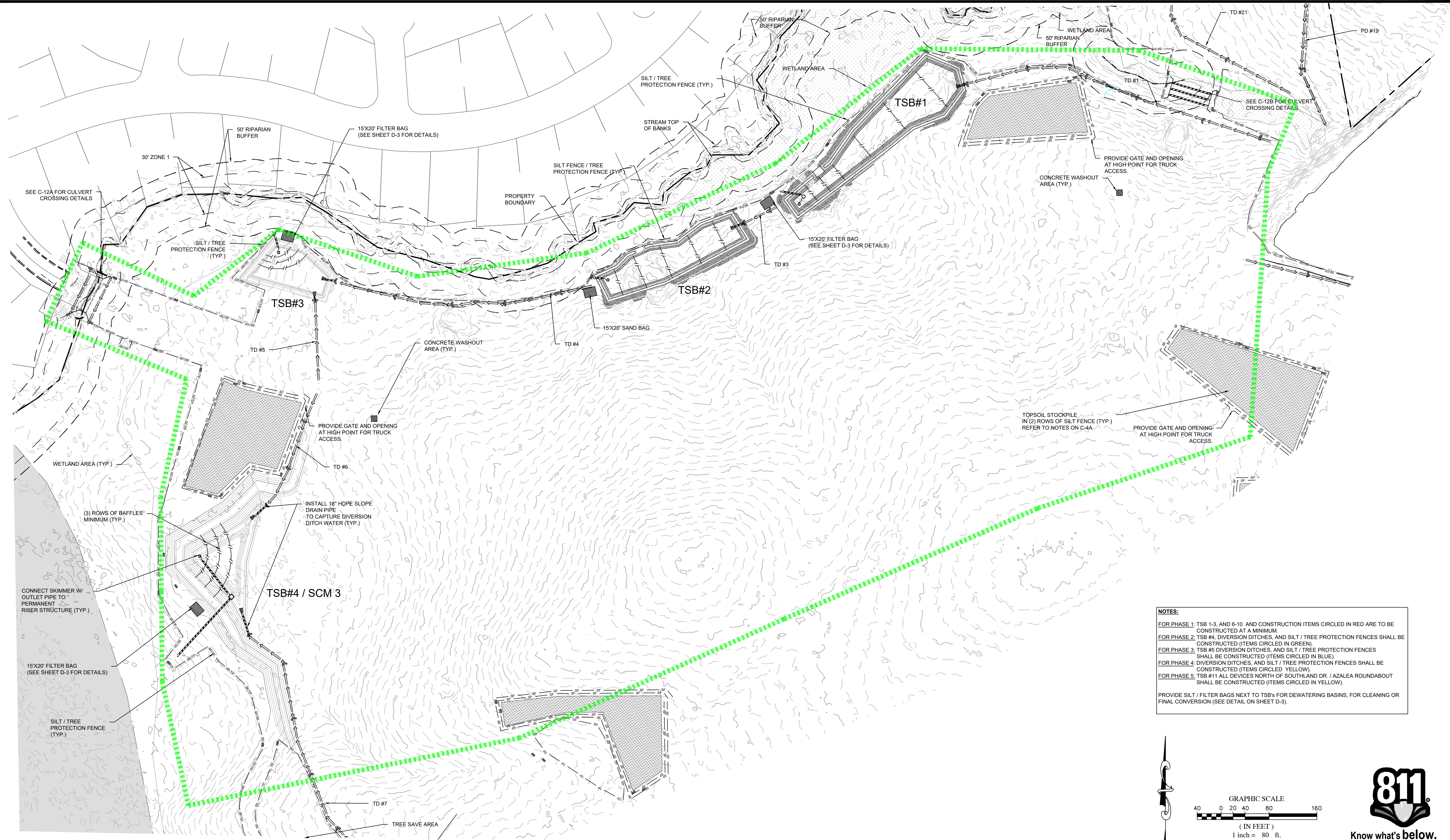
STATE OF NORTH CAROLINA
 PROFESSIONAL SEAL
 24627
 JACQUELINE TODD
 09/01/2022

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CONSTRUCTION DRAWINGS FOR
CADENCE MEADOWS
 915 PONY ROAD
 ZEBULON, NC

EROSION CONTROL PLAN PHASE 1

PROJECT NO. 19-0103
 DRAWING NAME: 19-0103_ec.dwg
 SHEET NO. C-4D



NOTES:

FOR PHASE 1: TSB 1-3, AND 6-10 AND CONSTRUCTION ITEMS CIRCLED IN RED ARE TO BE CONSTRUCTED AT A MINIMUM.

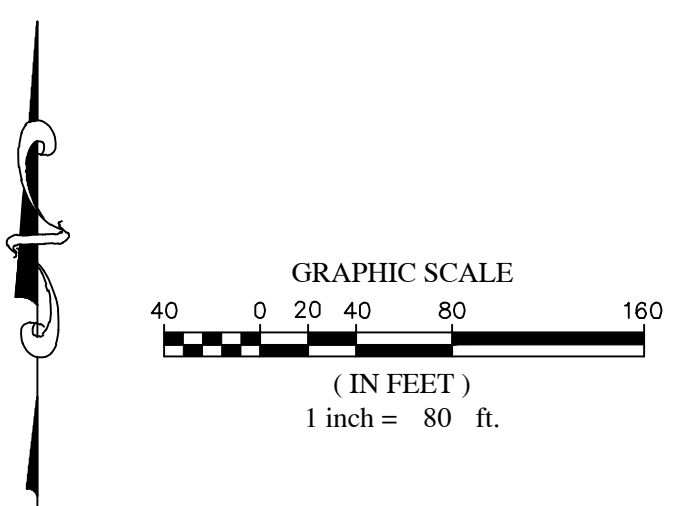
FOR PHASE 2: TSB #4, DIVERSION DITCHES, AND SILT / TREE PROTECTION FENCES SHALL BE CONSTRUCTED (ITEMS CIRCLED IN GREEN).

FOR PHASE 3: TSB #5 DIVERSION DITCHES, AND SILT / TREE PROTECTION FENCES SHALL BE CONSTRUCTED (ITEMS CIRCLED IN BLUE).

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FOR PHASE 5: TSB #11 ALL DEVICES NORTH OF SOUTHLAND DR. / AZALEA ROUNDABOUT SHALL BE CONSTRUCTED (ITEMS CIRCLED IN YELLOW).

PROVIDE SILT / FILTER BAGS NEXT TO TSBs FOR DEWATERING BASINS, FOR CLEANING OR FINAL CONVERSION (SEE DETAIL ON SHEET D-3).



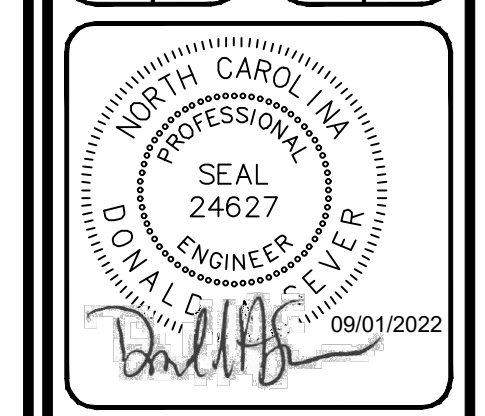
LEGEND:

— SF —	SILT FENCE	EXIST / PROPOSED	■	CURB INLET
— SF/TP —	SILT / TREE PROTECTION FENCE	▨	○	DROP INLET
— TP —	TREE PROTECTION FENCE	▩	□	JUNCTION BOX
— LD —	LIMITS OF DISTURBANCE	▬	▬	FLARED END SECTION (FES)
○	PIPE INLET PROTECTION	▬	▬	EXISTING STORM PIPE
▩	RIPRAP DISSIPATOR APRON	▬	▬	PROPOSED STORM PIPE
— —	CLEARING LIMITS	▬	▬	LIMITS OF DISTURBANCE
— —	DIVERSION DITCH	▬	▬	LIMITS OF DISTURBANCE & TREE PROTECTION FENCE
▩	SILT FENCE OUTLET	▬	▬	TREE PROTECTION FENCE
▬	STORM DRAINAGE PIPE	▬	▬	EXISTING MAJOR CONTOUR
		▬	▬	EXISTING MINOR CONTOUR
		▬	▬	PROPOSED MAJOR CONTOUR
		▬	▬	PROPOSED MINOR CONTOUR
		▬	▬	WOODS LINE
		■ ■ ■ ■ ■ ■ ■ ■ ■ ■	■ ■ ■ ■ ■ ■ ■ ■ ■ ■	PHASE 1
		■ ■ ■ ■ ■ ■ ■ ■ ■ ■	■ ■ ■ ■ ■ ■ ■ ■ ■ ■	PHASE 2
		■ ■ ■ ■ ■ ■ ■ ■ ■ ■	■ ■ ■ ■ ■ ■ ■ ■ ■ ■	PHASE 3
		■ ■ ■ ■ ■ ■ ■ ■ ■ ■	■ ■ ■ ■ ■ ■ ■ ■ ■ ■	PHASE 4 AND 5

NO.	DATE	BY	REVISIONS
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1	01/07/2022	DAS	REVISED PER TOWN OF ZEBULON REVIEW COMMENTS 11/17/2021

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 AMI ALEXANDER@SUMMITDE.NET
 PROJECT MANAGER
 DAS/DON.SEVER@SUMMITDE.NET

DRAWN BY:
 JALUMBY.ASHLEY@SUMMITDE.NET
 FIRST ISSUE DATE
 11-01-2021

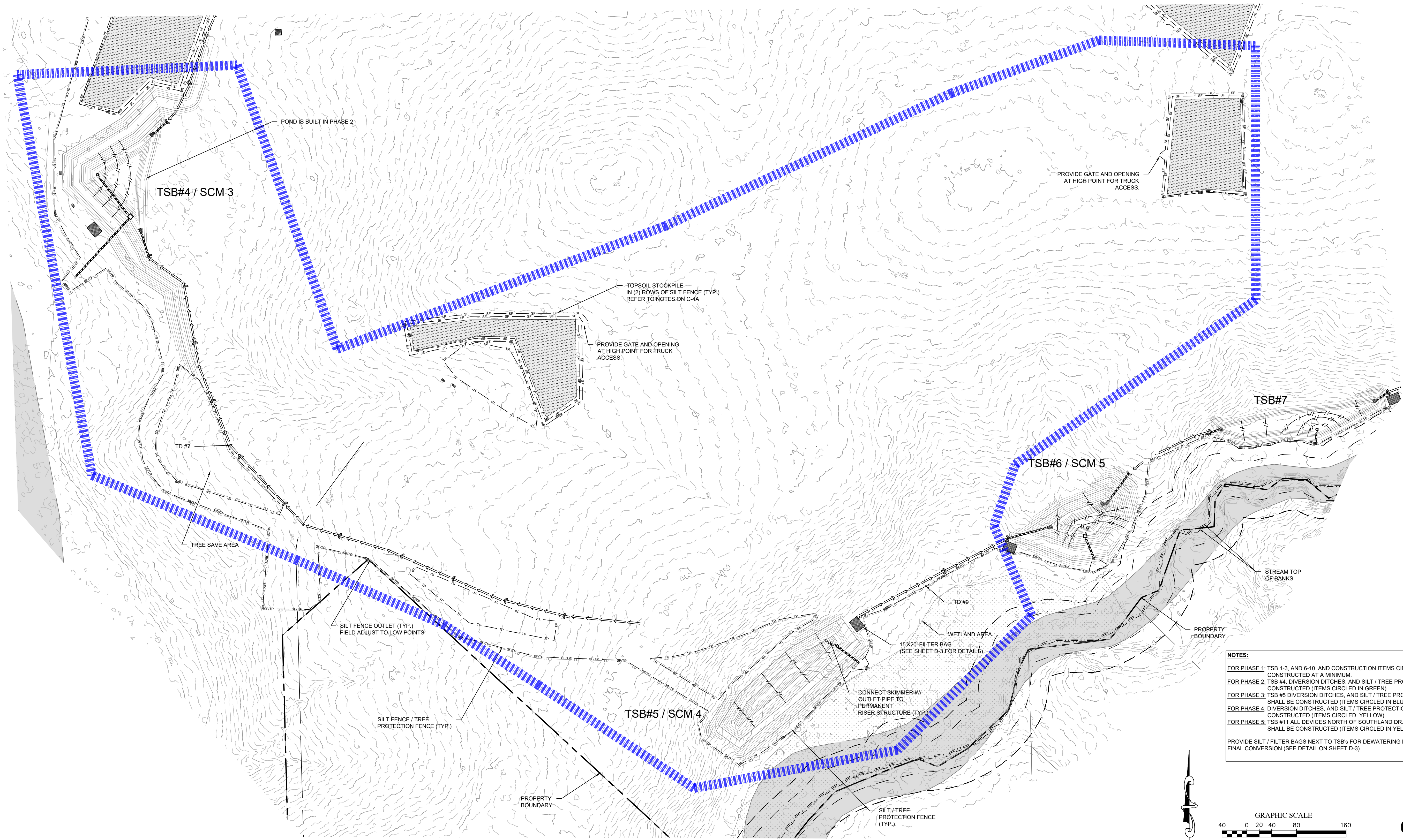


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**CONSTRUCTION DRAWINGS FOR
 CADENCE MEADOWS**
 915 PONY ROAD
 ZEBULON, NC

PROJECT NO.
19-0103
 DRAWING NAME:
 19-0103_ec.dwg
 SHEET NO.
C-4E

EROSION CONTROL PLAN PHASE 2



NOTES:

FOR PHASE 1: TSB 1-3, AND 6-10 AND CONSTRUCTION ITEMS CIRCLED IN RED ARE TO BE CONSTRUCTED AT A MINIMUM.

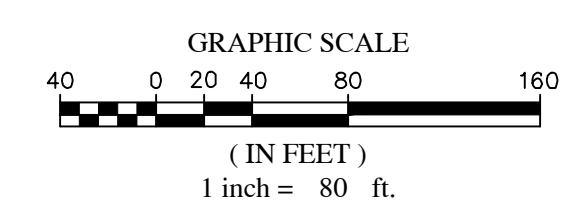
FOR PHASE 2: TSB #4, DIVERSION DITCHES, AND SILT / TREE PROTECTION FENCES SHALL BE CONSTRUCTED (ITEMS CIRCLED IN GREEN).

FOR PHASE 3: TSB #5 DIVERSION DITCHES, AND SILT / TREE PROTECTION FENCES SHALL BE CONSTRUCTED (ITEMS CIRCLED IN BLUE).

FOR PHASE 4: DIVERSION DITCHES, AND SILT / TREE PROTECTION FENCES SHALL BE CONSTRUCTED (ITEMS CIRCLED YELLOW).

FOR PHASE 5: TSB #11 ALL DEVICES NORTH OF SOUTHLAND DR. / AZALEA ROUNDABOUT SHALL BE CONSTRUCTED (ITEMS CIRCLED IN YELLOW).

PROVIDE SILT / FILTER BAGS NEXT TO TSB#s FOR DEWATERING BASINS, FOR CLEANING OR FINAL CONVERSION (SEE DETAIL ON SHEET D-3).



LEGEND:		GRADING & STORM LEGEND:	
— SF —	SILT FENCE	EXIST / PROPOSED	CURB INLET
— SF/TP —	SILT / TREE PROTECTION FENCE	EXISTING STORM PIPE	DROP INLET
— TP —	TREE PROTECTION FENCE	PROPOSED STORM PIPE	JUNCTION BOX
— LD —	LIMITS OF DISTURBANCE	EXISTING STORM PIPE	FLARED END SECTION (FES)
○	PIPE INLET PROTECTION	LD/TP	LIMITS OF DISTURBANCE & TREE PROTECTION FENCE
▒	RIPRAP DISSIPATOR APRON	TP	TREE PROTECTION FENCE
—	CLEARING LIMITS	100	EXISTING MAJOR CONTOUR
⇒ ⇒	DIVERSION DITCH	98	EXISTING MINOR CONTOUR
▒	SILT FENCE OUTLET	100	PROPOSED MAJOR CONTOUR
—	STORM DRAINAGE PIPE	98	PROPOSED MINOR CONTOUR
		WOODS LINE	
		PHASE 1	
		PHASE 2	
		PHASE 3	
		PHASE 4 AND 5	

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2	REVISD PER WAKE COUNTY REVIEW COMMENTS 12/14/2021	DAS
1	REVISD PER TOWN OF ZEBULON REVIEW COMMENTS 11/17/2021	DAS

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 NOTATION: UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN FEET AND INCHES.
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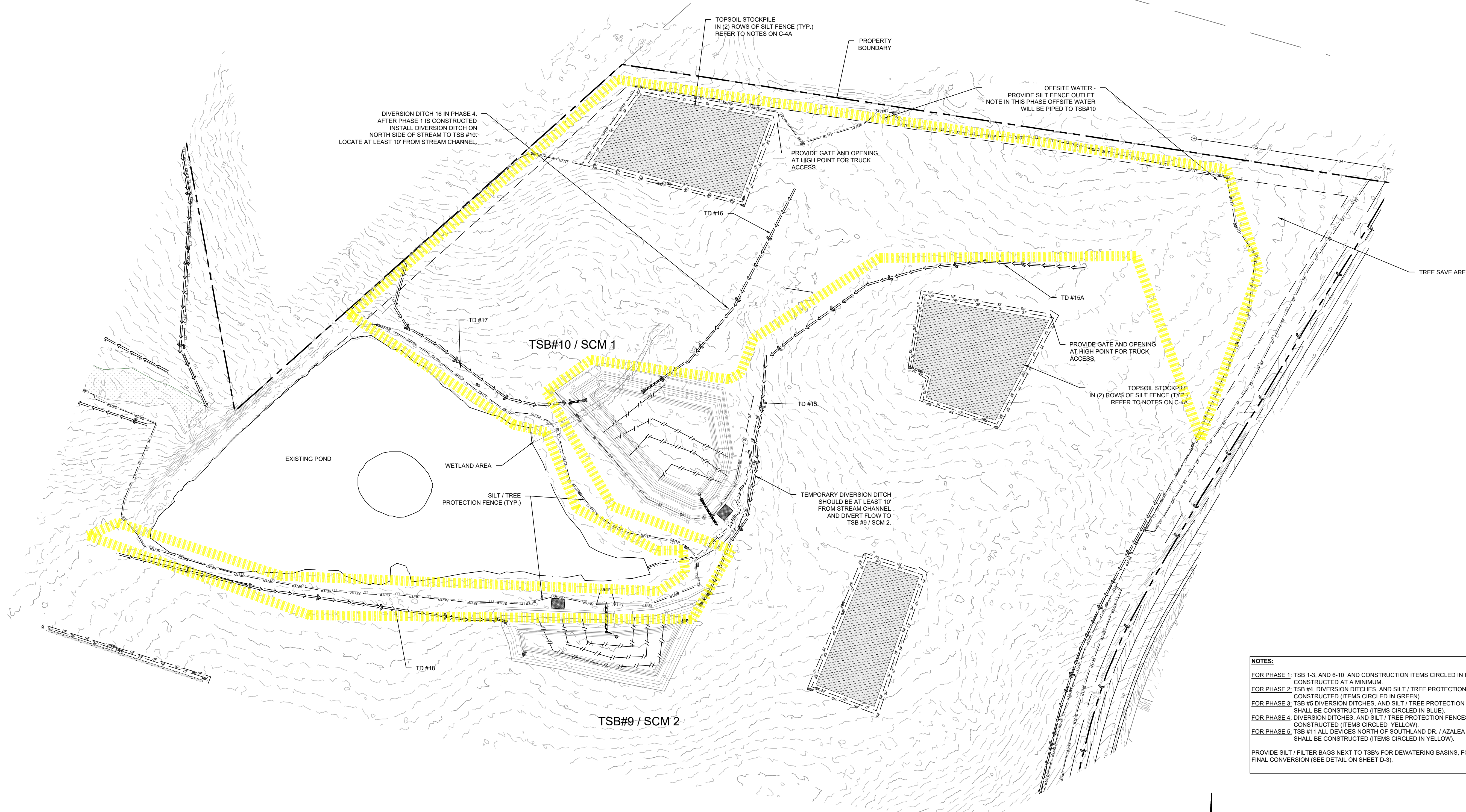
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 FIRST ISSUE DATE
 11/01/2021



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CONSTRUCTION DRAWINGS FOR
CADENCE MEADOWS
 915 PONY ROAD
 ZEBULON, NC

PROJECT NO.
19-0103
 DRAWING NAME:
 19-0103_ec.dwg
 SHEET NO.
C-4F



DIVERSION DITCH 16 IN PHASE 4. AFTER PHASE 1 IS CONSTRUCTED INSTALL DIVERSION DITCH ON NORTH SIDE OF STREAM TO TSB #10. LOCATE AT LEAST 10' FROM STREAM CHANNEL.

TOPSOIL STOCKPILE IN (2) ROWS OF SILT FENCE (TYP.) REFER TO NOTES ON C-4A

OFFSITE WATER - PROVIDE SILT FENCE OUTLET. NOTE IN THIS PHASE OFFSITE WATER WILL BE PIPED TO TSB#10

PROVIDE GATE AND OPENING AT HIGH POINT FOR TRUCK ACCESS.

PROVIDE GATE AND OPENING AT HIGH POINT FOR TRUCK ACCESS.

TOPSOIL STOCKPILE IN (2) ROWS OF SILT FENCE (TYP.) REFER TO NOTES ON C-4A

TEMPORARY DIVERSION DITCH SHOULD BE AT LEAST 10' FROM STREAM CHANNEL AND DIVERT FLOW TO TSB #9 / SCM 2.

EXISTING POND

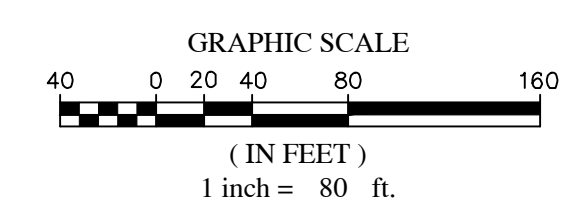
WETLAND AREA

SILT / TREE PROTECTION FENCE (TYP.)

TSB#10 / SCM 1

TSB#9 / SCM 2

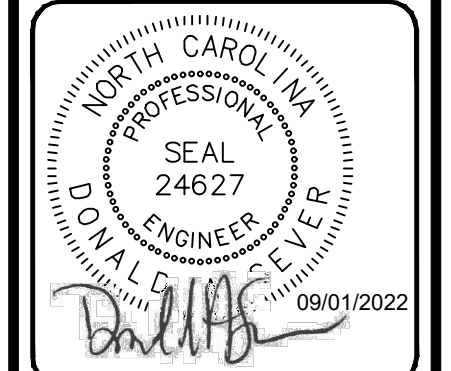
NOTES:
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LEGEND:		GRADING & STORM LEGEND:	
— SF —	SILT FENCE	EXIST / PROPOSED	CURB INLET
— SF/TP —	SILT / TREE PROTECTION FENCE	EXIST / PROPOSED	DROP INLET
— TP —	TREE PROTECTION FENCE	EXIST / PROPOSED	JUNCTION BOX
— LD —	LIMITS OF DISTURBANCE	EXIST / PROPOSED	FLARED END SECTION (FES)
○	PIPE INLET PROTECTION	EXIST / PROPOSED	EXISTING STORM PIPE
▨	RIPRAP DISSIPATOR APRON	EXIST / PROPOSED	PROPOSED STORM PIPE
—	CLEARING LIMITS	EXIST / PROPOSED	LIMITS OF DISTURBANCE
⇒ ⇒	DIVERSION DITCH	EXIST / PROPOSED	LIMITS OF DISTURBANCE & TREE PROTECTION FENCE
▨	SILT FENCE OUTLET	EXIST / PROPOSED	TREE PROTECTION FENCE
—	STORM DRAINAGE PIPE	EXIST / PROPOSED	EXISTING MAJOR CONTOUR
		EXIST / PROPOSED	EXISTING MINOR CONTOUR
		EXIST / PROPOSED	PROPOSED MAJOR CONTOUR
		EXIST / PROPOSED	PROPOSED MINOR CONTOUR
		EXIST / PROPOSED	WOODS LINE
		EXIST / PROPOSED	PHASE 1
		EXIST / PROPOSED	PHASE 2
		EXIST / PROPOSED	PHASE 3
		EXIST / PROPOSED	PHASE 4 AND 5

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1	01/07/2022	DAS	REVISED PER TOWN OF ZEBULON REVIEW COMMENTS 11/12/2021

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 DESIGNER: DAS/DON SEEVER@SUMMITDESIGN.COM
 CHECKER: JAL/JIMMY ASHLEY@SUMMITDESIGN.COM
 DRAWN BY: JAL/JIMMY ASHLEY@SUMMITDESIGN.COM
 FIRST ISSUE DATE: 11/01/2021
 DESCRIPTION OF THE ALTERNATION:

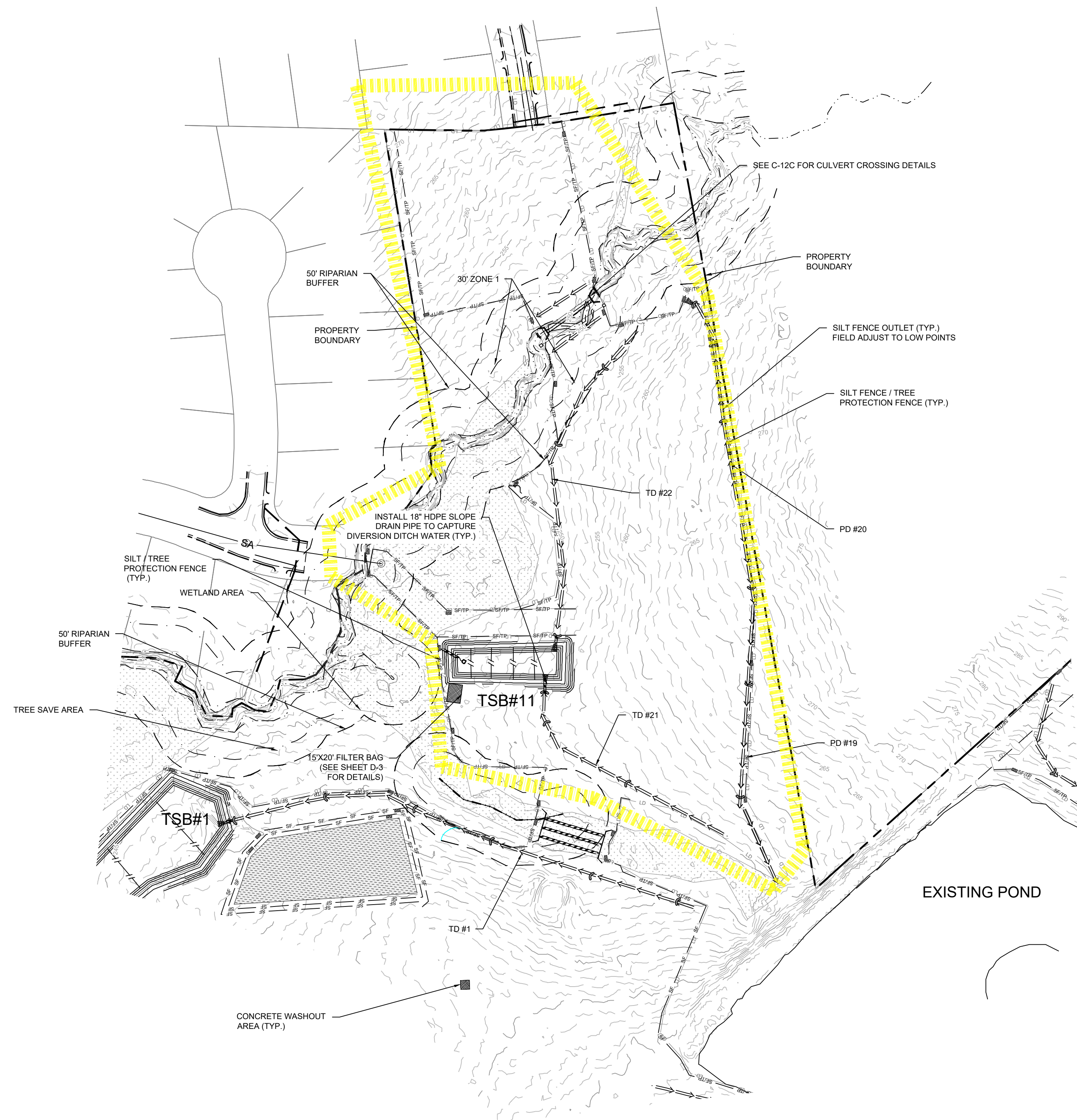


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CONSTRUCTION DRAWINGS FOR
CADENCE MEADOWS
 915 PONY ROAD
 ZEBULON, NC

EROSION CONTROL PLAN PHASE 4

PROJECT NO. 19-0103
 DRAWING NAME: 19-0103_ec.dwg
 SHEET NO. C-4G



NOTES:

FOR PHASE 1: TSB 1-3, AND 6-10 AND CONSTRUCTION ITEMS CIRCLED IN RED ARE TO BE CONSTRUCTED AT A MINIMUM.

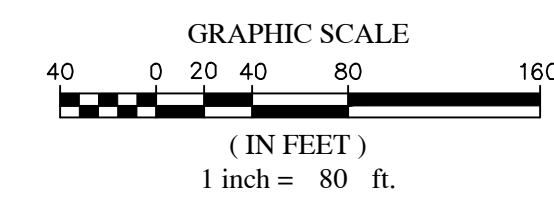
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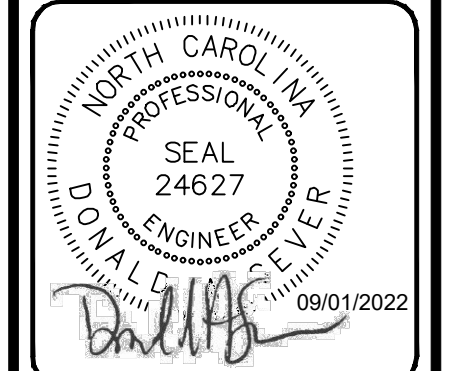


LEGEND:		GRADING & STORM LEGEND:	
— SF —	SILT FENCE	EXIST / PROPOSED	CURB INLET
— SF/TP —	SILT / TREE PROTECTION FENCE	EXIST	DROP INLET
— TP —	TREE PROTECTION FENCE	PROPOSED	JUNCTION BOX
— LD —	LIMITS OF DISTURBANCE	EXISTING STORM PIPE	FLARED END SECTION (FES)
○	PIPE INLET PROTECTION	PROPOSED STORM PIPE	LIMITS OF DISTURBANCE
▨	RIPRAP DISSIPATOR APRON	— LD/TP —	LIMITS OF DISTURBANCE & TREE PROTECTION FENCE
—	CLEARING LIMITS	— TP —	TREE PROTECTION FENCE
⇒ ⇒	DIVERSION DITCH	— 100 —	EXISTING MAJOR CONTOUR
▨	SILT FENCE OUTLET	— 98 —	EXISTING MINOR CONTOUR
—	STORM DRAINAGE PIPE	— 98 —	PROPOSED MAJOR CONTOUR
		— 98 —	PROPOSED MINOR CONTOUR
		—	WOODS LINE
		■ ■ ■ ■ ■	PHASE 1
		■ ■ ■ ■ ■	PHASE 2
		■ ■ ■ ■ ■	PHASE 3
		■ ■ ■ ■ ■	PHASE 4 AND 5

NO.	DATE	BY
7	09/07/2022	DAS
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1	01/07/2022	DAS

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 PROJECT MANAGER
 PROJECT NO. 19-0103
 DATE 09/07/2022

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 DRAWN BY
 J.ASHLEY@SUMMITDESIGN.COM
 FIRST ISSUE DATE
 09/07/2022



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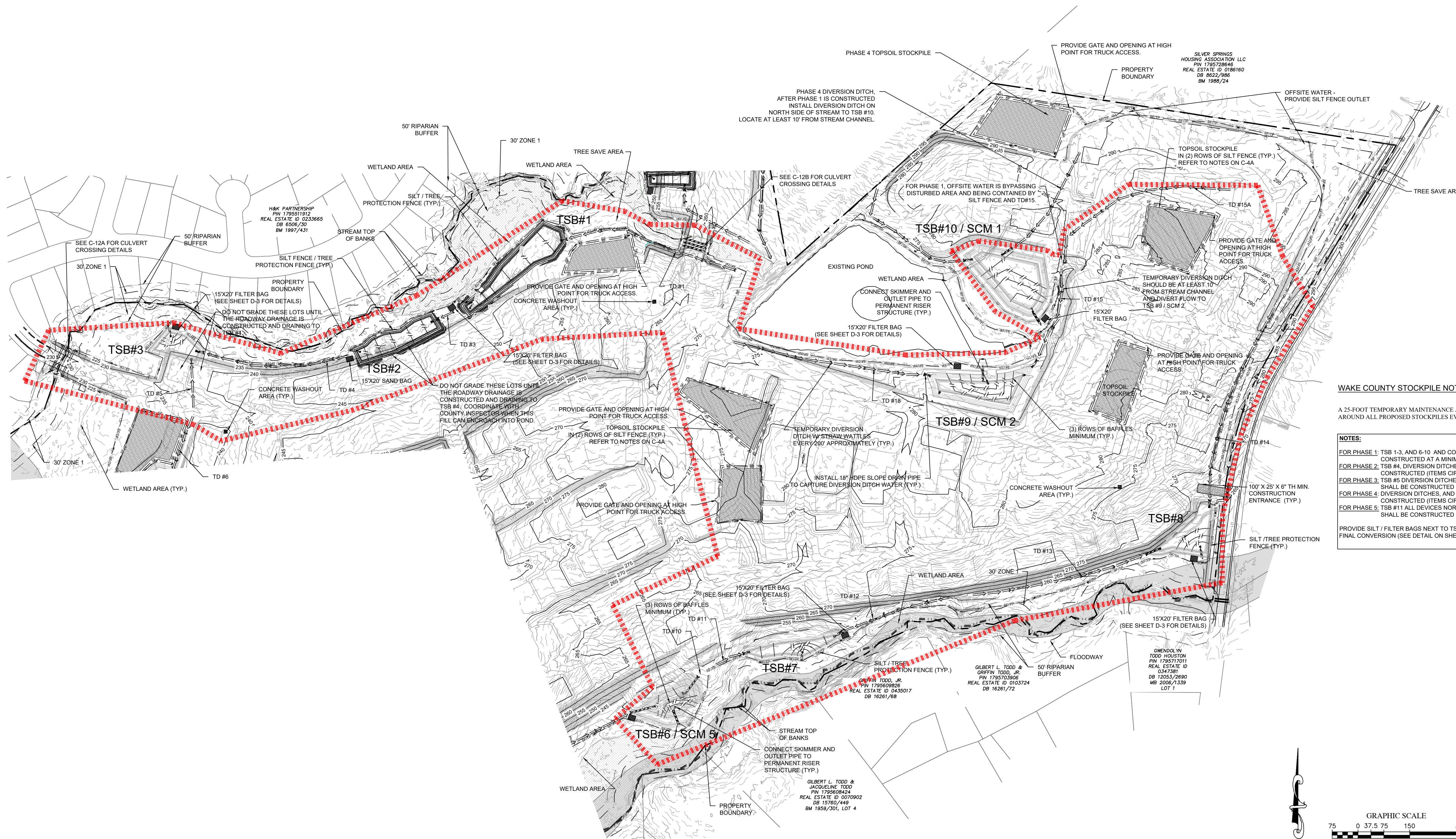
CONSTRUCTION DRAWINGS FOR
CADENCE MEADOWS
 915 PONY ROAD
 ZEBULON, NC

EROSION CONTROL PLAN PHASE 5

PROJECT NO.
19-0103

DRAWING NAME:
 19-0103_ec.dwg

SHEET NO.
C-4H

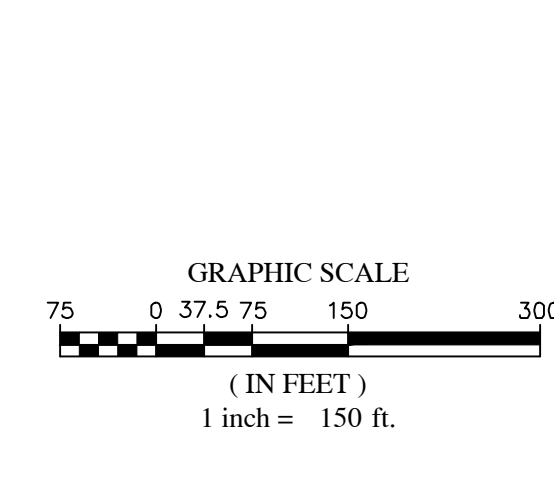


WAKE COUNTY STOCKPILE NOTE:

A 25-FOOT TEMPORARY MAINTENANCE AND ACCESS EASEMENT SHALL EXIST AROUND ALL PROPOSED STOCKPILES EVEN IF NOT SHOWN.

NOTES:

- FOR PHASE 1: TSB 1-3, AND 6-10 AND CONSTRUCTION ITEMS CIRCLED IN RED ARE TO BE CONSTRUCTED AT A MINIMUM.
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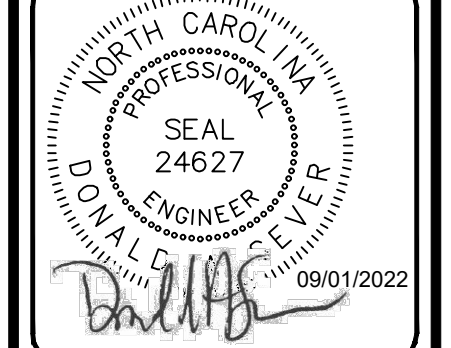


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— SF —	SILT FENCE	EXIST / PROPOSED	CURB INLET
— SF/TP —	SILT / TREE PROTECTION FENCE	EXIST / PROPOSED	DROP INLET
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— LD —	LIMITS OF DISTURBANCE	EXIST / PROPOSED	FLARED END SECTION (FES)
○	PIPE INLET PROTECTION	EXIST / PROPOSED	EXISTING STORM PIPE
▨	RIPRAP DISSIPATOR APRON	EXIST / PROPOSED	PROPOSED STORM PIPE
—	CLEARING LIMITS	EXIST / PROPOSED	LIMITS OF DISTURBANCE
→	DIVERSION DITCH	EXIST / PROPOSED	LIMITS OF DISTURBANCE & TREE PROTECTION FENCE
▨	SILT FENCE OUTLET	EXIST / PROPOSED	TREE PROTECTION FENCE
—	STORM DRAINAGE PIPE	EXIST / PROPOSED	EXISTING MAJOR CONTOUR
		EXIST / PROPOSED	EXISTING MINOR CONTOUR
		EXIST / PROPOSED	PROPOSED MAJOR CONTOUR
		EXIST / PROPOSED	PROPOSED MINOR CONTOUR
		EXIST / PROPOSED	WOODS LINE
		EXIST / PROPOSED	PHASE 1
		EXIST / PROPOSED	PHASE 2
		EXIST / PROPOSED	PHASE 3
		EXIST / PROPOSED	PHASE 4 AND 5

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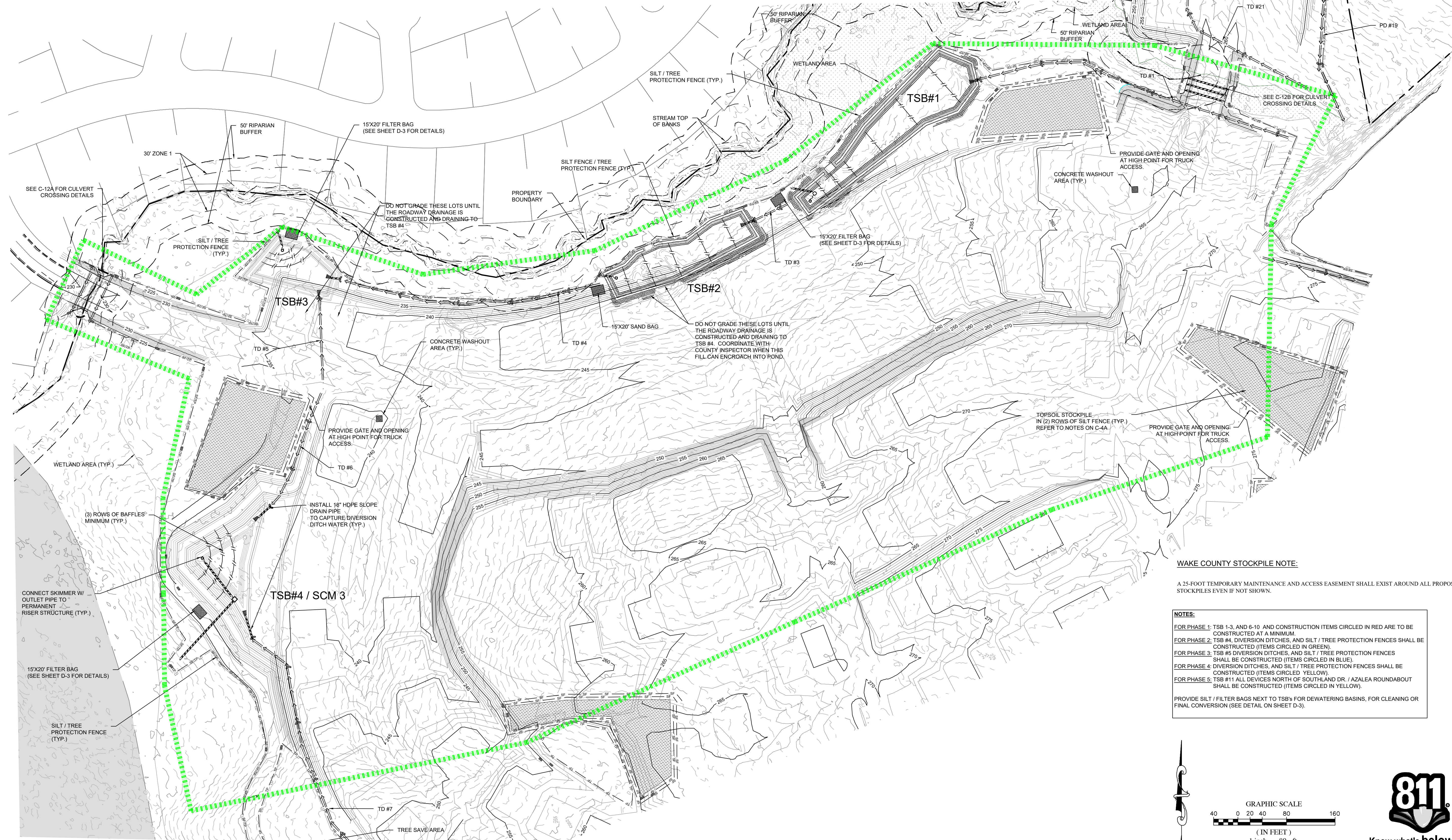
**CONSTRUCTION DRAWINGS FOR
 CADENCE MEADOWS**
 915 PONY ROAD
 ZEBULON, NC

**EROSION CONTROL PLAN
 INTERMEDIATE PHASE 1**

PROJECT NO.
19-0103

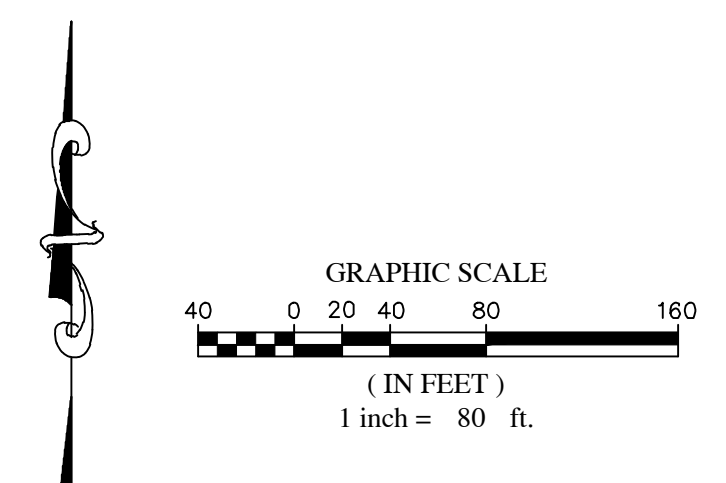
DRAWING NAME:
 19-0103_ec - intermediate

SHEET NO.
C-4 I



WAKE COUNTY STOCKPILE NOTE:
 A 25-FOOT TEMPORARY MAINTENANCE AND ACCESS EASEMENT SHALL EXIST AROUND ALL PROPOSED STOCKPILES EVEN IF NOT SHOWN.

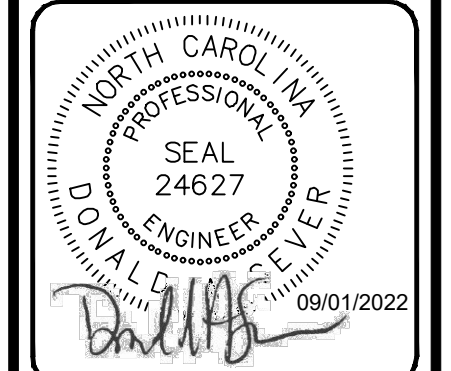
NOTES:
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 FOR PHASE 2: TSB #4, DIVERSION DITCHES, AND SILT / TREE PROTECTION FENCES SHALL BE CONSTRUCTED (ITEMS CIRCLED IN GREEN).
 FOR PHASE 3: TSB #5 DIVERSION DITCHES, AND SILT / TREE PROTECTION FENCES SHALL BE CONSTRUCTED (ITEMS CIRCLED IN BLUE).
 FOR PHASE 4: DIVERSION DITCHES, AND SILT / TREE PROTECTION FENCES SHALL BE CONSTRUCTED (ITEMS CIRCLED YELLOW).
 FOR PHASE 5: TSB #11 ALL DEVICES NORTH OF SOUTHLAND DR. / AZALEA ROUNDABOUT SHALL BE CONSTRUCTED (ITEMS CIRCLED IN YELLOW).
 PROVIDE SILT / FILTER BAGS NEXT TO TSB'S FOR DEWATERING BASINS, FOR CLEANING OR FINAL CONVERSION (SEE DETAIL ON SHEET D-3).



LEGEND:		GRADING & STORM LEGEND:	
— SF —	SILT FENCE	EXIST / PROPOSED	CURB INLET
— SF/TP —	SILT / TREE PROTECTION FENCE	EXIST / PROPOSED	DROP INLET
— TP —	TREE PROTECTION FENCE	EXIST / PROPOSED	JUNCTION BOX
— LD —	LIMITS OF DISTURBANCE	EXIST / PROPOSED	FLARED END SECTION (FES)
○	PIPE INLET PROTECTION	EXIST / PROPOSED	EXISTING STORM PIPE
▒	RIPRAP DISSIPATOR APRON	EXIST / PROPOSED	PROPOSED STORM PIPE
—	CLEARING LIMITS	EXIST / PROPOSED	LIMITS OF DISTURBANCE
⇒ ⇒	DIVERSION DITCH	EXIST / PROPOSED	LIMITS OF DISTURBANCE & TREE PROTECTION FENCE
▒	SILT FENCE OUTLET	EXIST / PROPOSED	TREE PROTECTION FENCE
—	STORM DRAINAGE PIPE	EXIST / PROPOSED	EXISTING MAJOR CONTOUR
		EXIST / PROPOSED	EXISTING MINOR CONTOUR
		EXIST / PROPOSED	PROPOSED MAJOR CONTOUR
		EXIST / PROPOSED	PROPOSED MINOR CONTOUR
		EXIST / PROPOSED	WOODS LINE
		EXIST / PROPOSED	PHASE 1
		EXIST / PROPOSED	PHASE 2
		EXIST / PROPOSED	PHASE 3
		EXIST / PROPOSED	PHASE 4 AND 5

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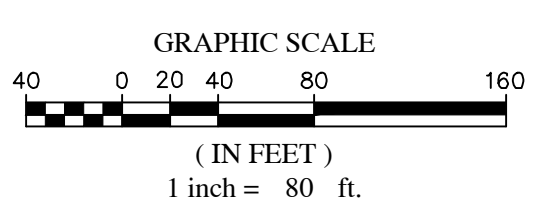
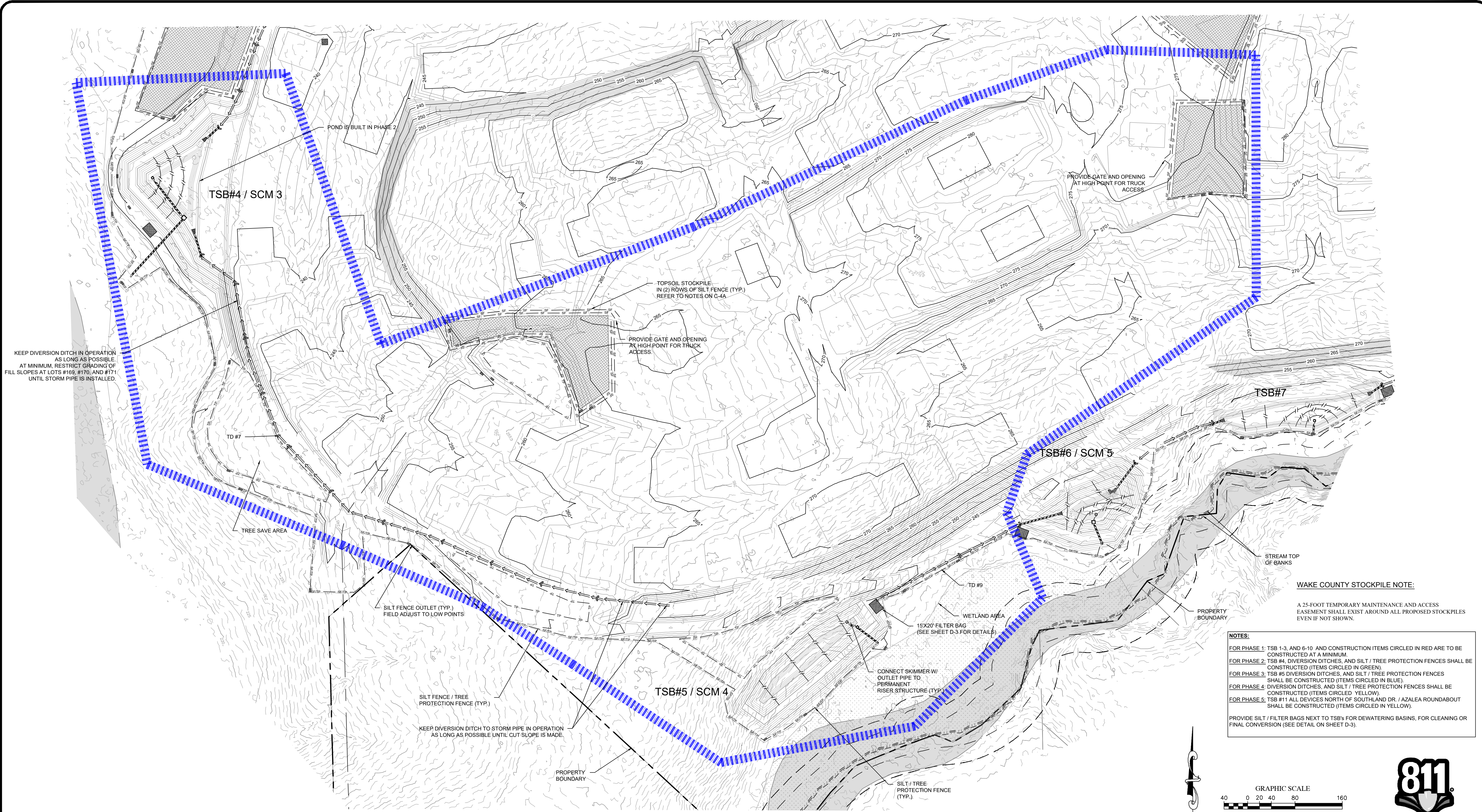
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 FIRST ISSUE DATE
 11-01-2021



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CONSTRUCTION DRAWINGS FOR
CADENCE MEADOWS
 915 PONY ROAD
 ZEBULON, NC

EROSION CONTROL PLAN
 INTERMEDIATE PHASE 2
 PROJECT NO.
 19-0103
 DRAWING NAME:
 19-0103_ec - intermediate
 SHEET NO.
 C-4 J



LEGEND:		GRADING & STORM LEGEND:	
— SF —	SILT FENCE	EXIST / PROPOSED	CURB INLET
— SF/TP —	SILT / TREE PROTECTION FENCE	EXIST / PROPOSED	DROP INLET
— TP —	TREE PROTECTION FENCE	EXIST / PROPOSED	JUNCTION BOX
— LD —	LIMITS OF DISTURBANCE	EXIST / PROPOSED	FLARED END SECTION (FES)
○	PIPE INLET PROTECTION	EXIST / PROPOSED	EXISTING STORM PIPE
■	RIPRAP DISSIPATOR APRON	EXIST / PROPOSED	PROPOSED STORM PIPE
—	CLEARING LIMITS	EXIST / PROPOSED	LIMITS OF DISTURBANCE
—>>>	DIVERSION DITCH	EXIST / PROPOSED	LIMITS OF DISTURBANCE & TREE PROTECTION FENCE
■	SILT FENCE OUTLET	EXIST / PROPOSED	TREE PROTECTION FENCE
—	STORM DRAINAGE PIPE	EXIST / PROPOSED	EXISTING MAJOR CONTOUR
		EXIST / PROPOSED	EXISTING MINOR CONTOUR
		EXIST / PROPOSED	PROPOSED MAJOR CONTOUR
		EXIST / PROPOSED	PROPOSED MINOR CONTOUR
		EXIST / PROPOSED	WOODS LINE
		EXIST / PROPOSED	PHASE 1
		EXIST / PROPOSED	PHASE 2
		EXIST / PROPOSED	PHASE 3
		EXIST / PROPOSED	PHASE 4 AND 5

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 FIRST ISSUE DATE
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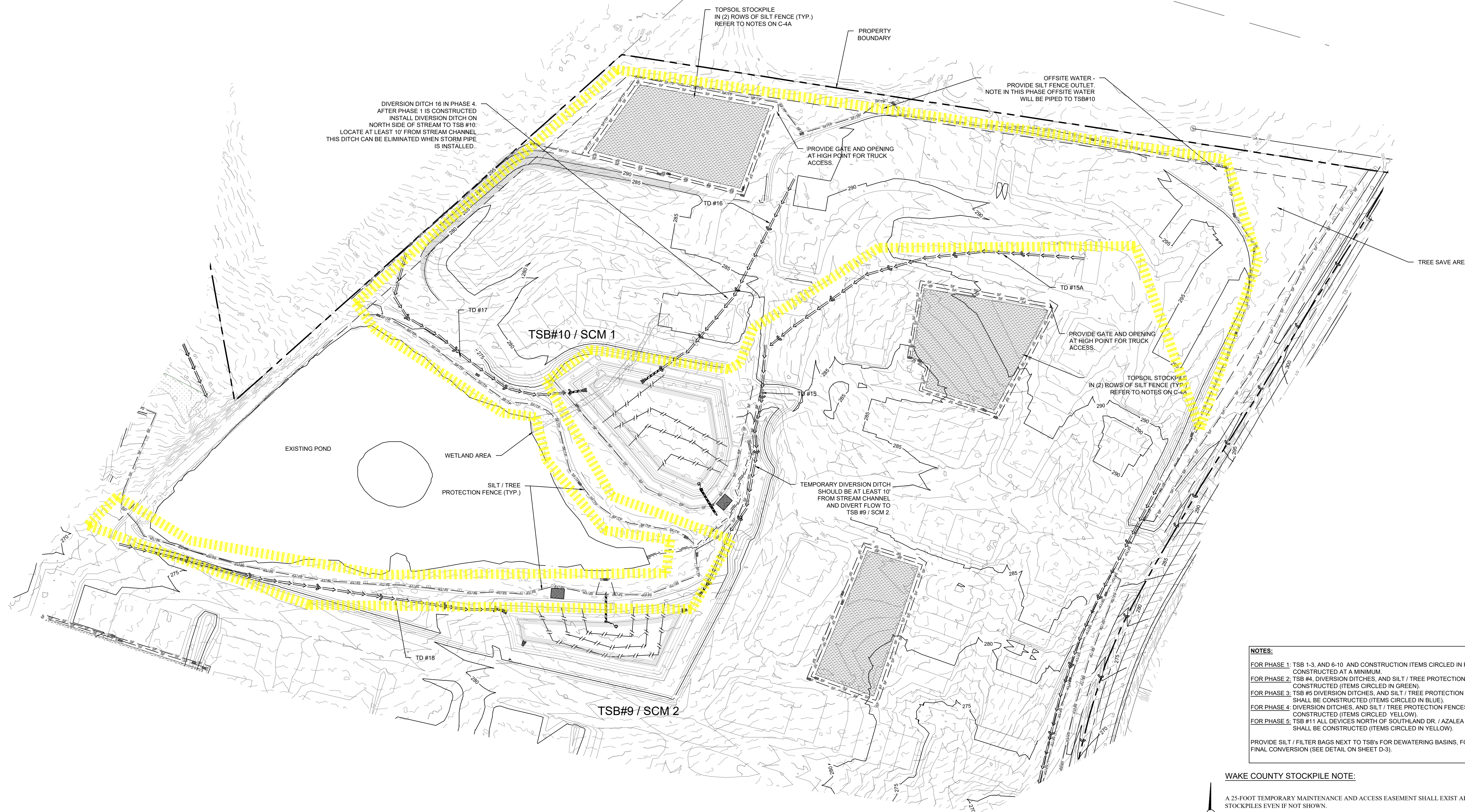


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CONSTRUCTION DRAWINGS FOR
CADENCE MEADOWS
 915 PONY ROAD
 ZEBULON, NC

EROSION CONTROL PLAN
 INTERMEDIATE PHASE 3

PROJECT NO.
19-0103
 DRAWING NAME:
 19-0103_ec - intermediate
 SHEET NO.
C-4 K



NOTES:

FOR PHASE 1: TSB 1-3, AND 6-10, AND CONSTRUCTION ITEMS CIRCLED IN RED ARE TO BE CONSTRUCTED AT A MINIMUM.

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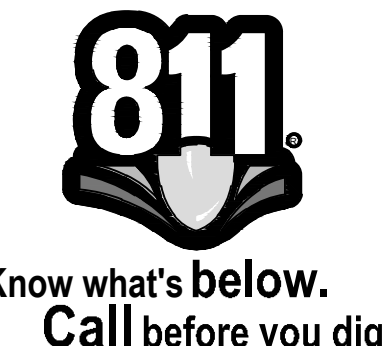
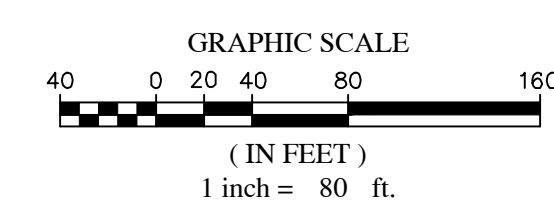
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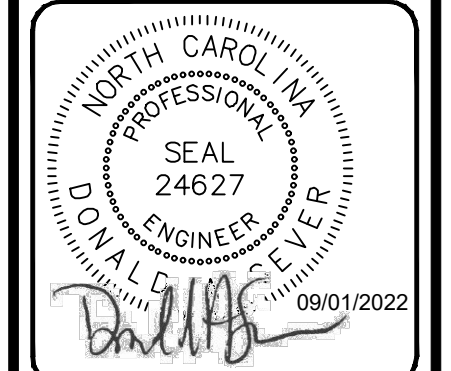


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 FIRST ISSUE DATE: 11/01/2021



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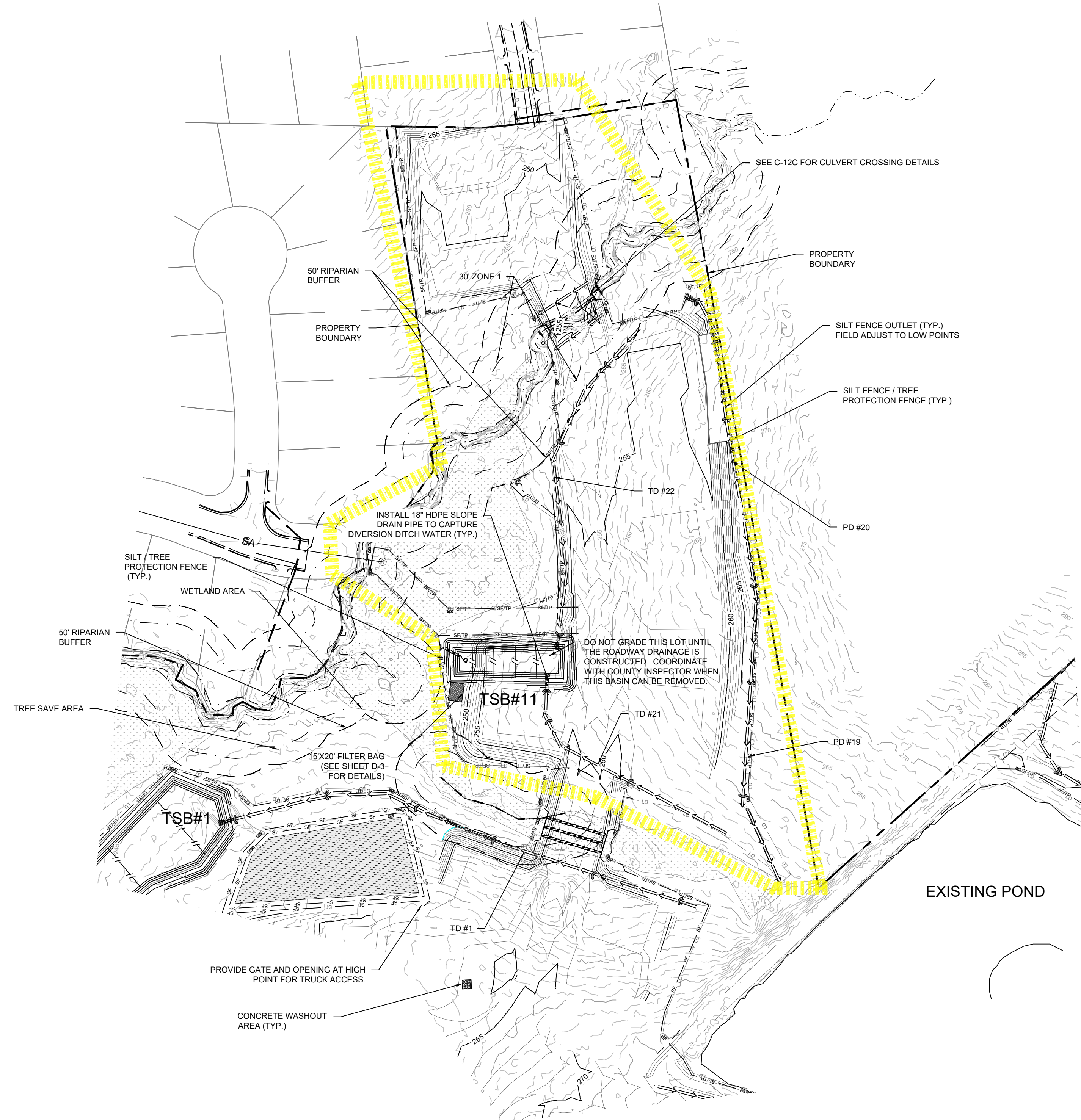
CONSTRUCTION DRAWINGS FOR
CADENCE MEADOWS
 915 PONY ROAD
 ZEBULON, NC

EROSION CONTROL PLAN
INTERMEDIATE PHASE 4

PROJECT NO.
19-0103

DRAWING NAME:
 19-0103_ec - intermediate

SHEET NO.
C-4 L



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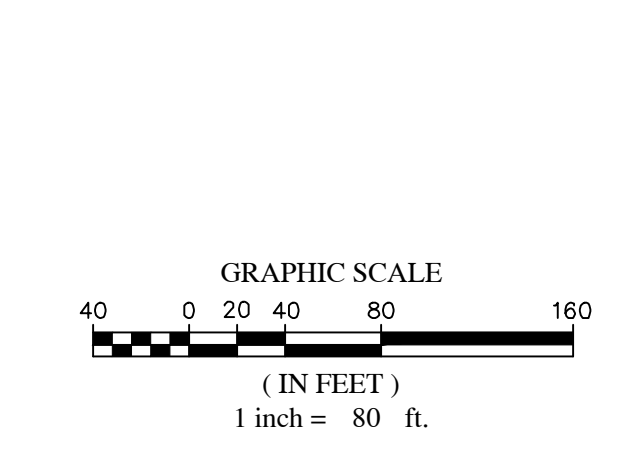
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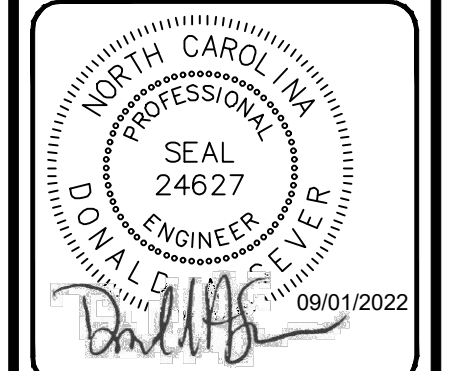


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 PROJECT MANAGER
 PROJECT NO. 19-0103
 DATE 09/01/2022

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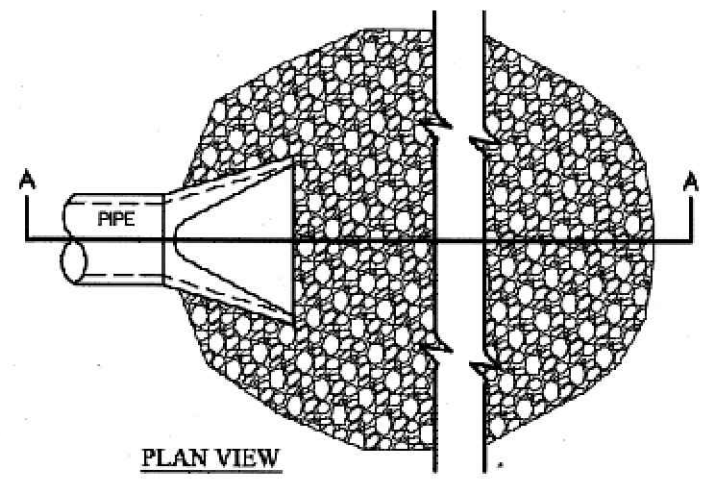
CONSTRUCTION DRAWINGS FOR
CADENCE MEADOWS
 915 PONY ROAD
 ZEBULON, NC

EROSION CONTROL PLAN
INTERMEDIATE PHASE 5

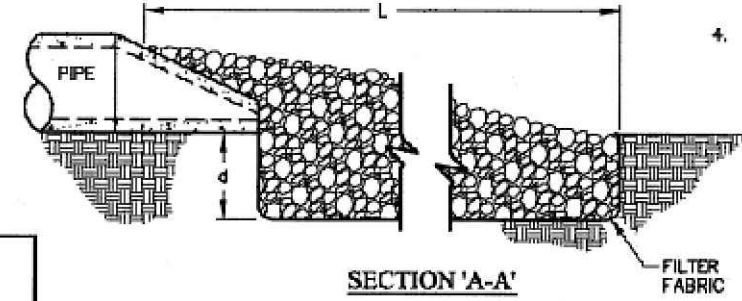
PROJECT NO.
19-0103

DRAWING NAME:
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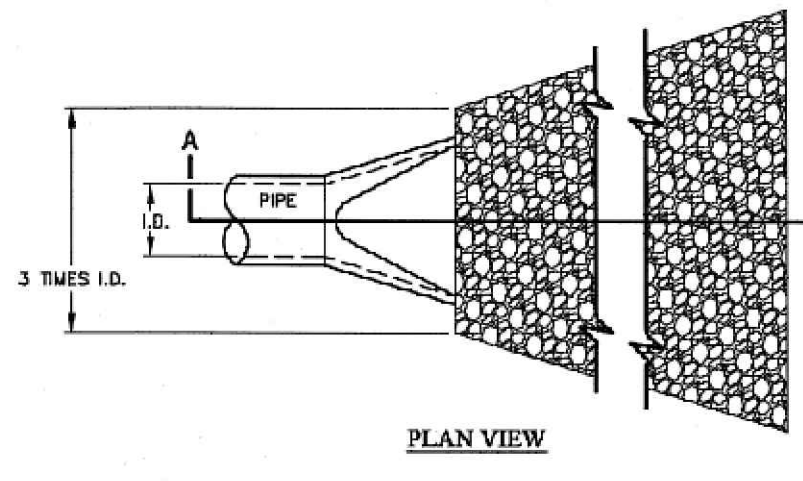
SHEET NO.
C-4 M



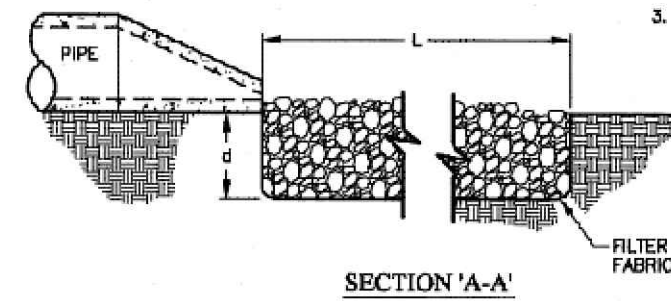
- NOTES:**
1. L = THE LENGTH OF THE RIPRAP APRON.
 2. d = 1.5 TIMES THE MAXIMUM STONE DIAMETER BUT NOT LESS THAN 6" (INCHES).
 3. IN A WELL-DEFINED CHANNEL EXTEND THE APRON UP THE CHANNEL BANKS TO AN ELEVATION OF 6" (INCHES) ABOVE THE MAXIMUM FLOW DEPTH OR TO THE TOP OF THE BANK, WHICHEVER IS LESS.
 4. A FILTER BLANKET OR FILTER FABRIC SHOULD BE INSTALLED BETWEEN THE RIPRAP AND SOIL FOUNDATION.



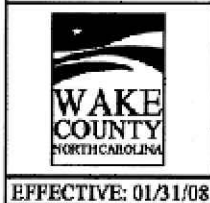
STANDARD PIPE OUTLET TO WELL-DEFINED CHANNEL



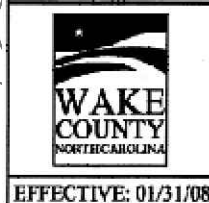
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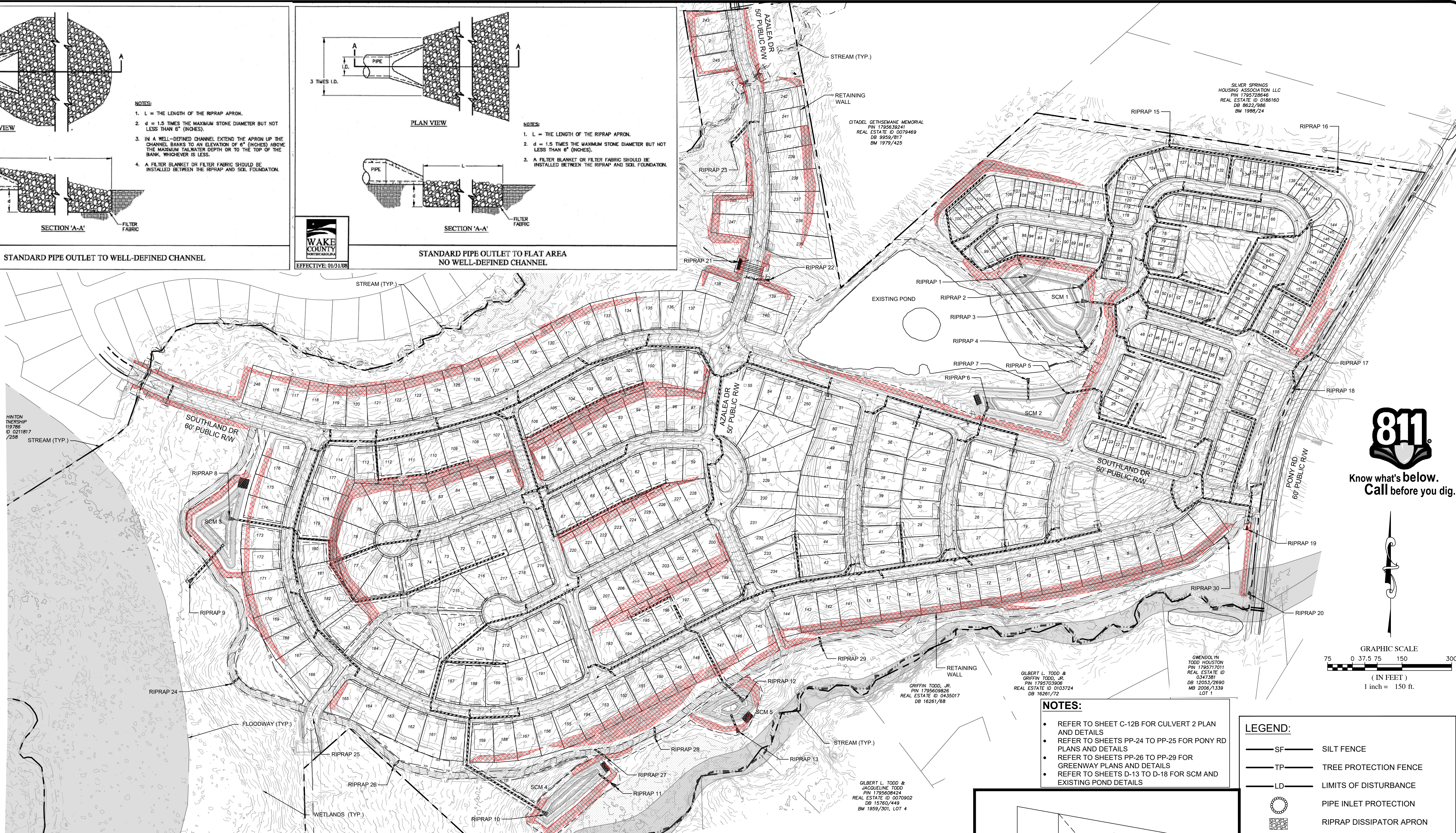
STANDARD PIPE OUTLET TO FLAT AREA NO WELL-DEFINED CHANNEL



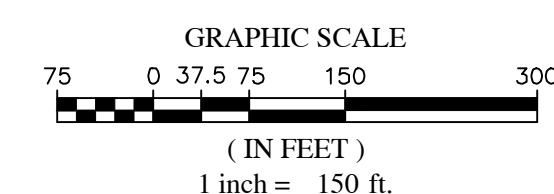
EFFECTIVE: 01/01/08



EFFECTIVE: 01/01/08



Know what's below.
Call before you dig.



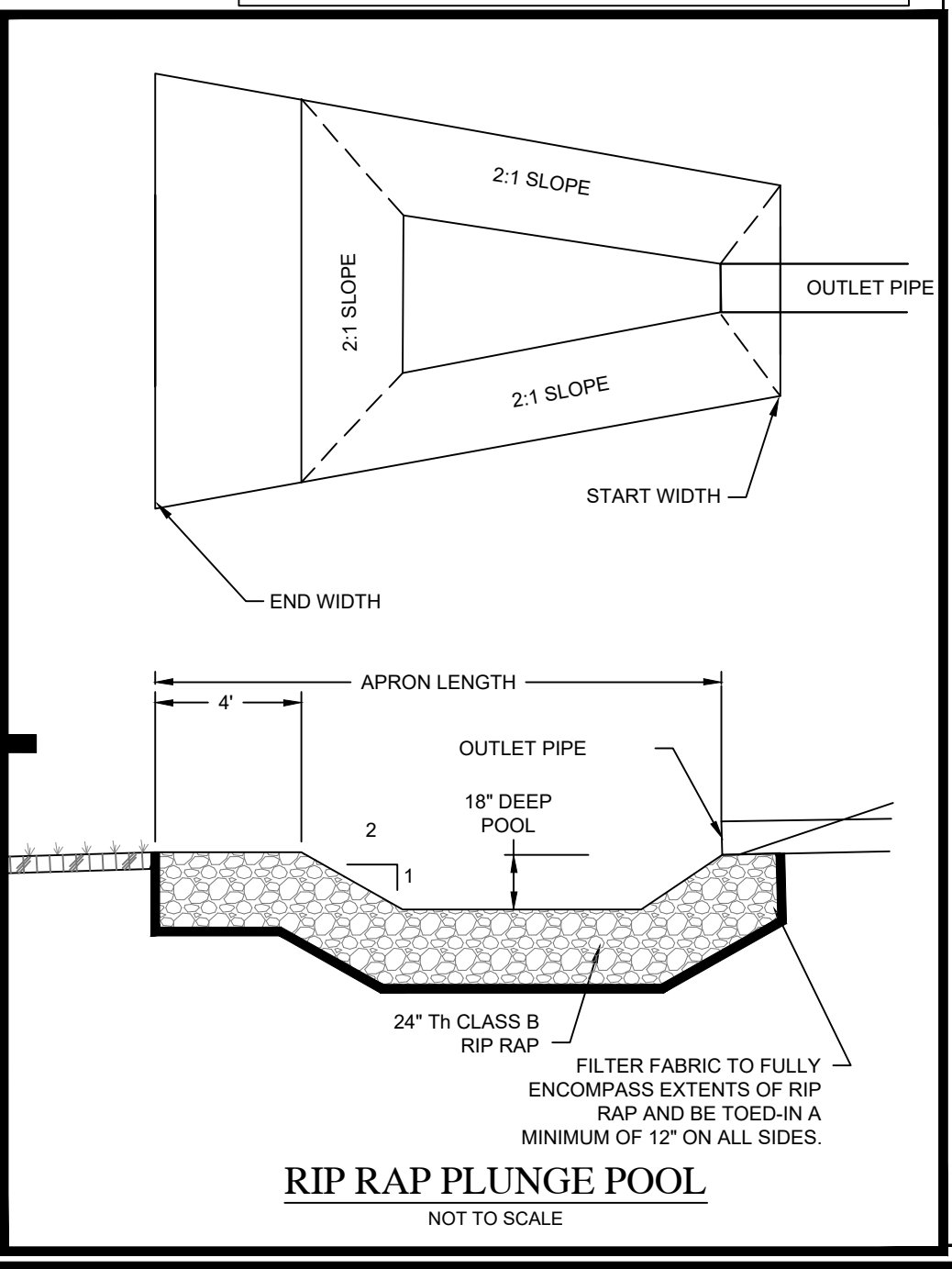
- NOTES:**
- REFER TO SHEET C-12B FOR CULVERT 2 PLAN AND DETAILS
 - REFER TO SHEETS PP-24 TO PP-25 FOR PONY RD PLANS AND DETAILS
 - REFER TO SHEETS PP-26 TO PP-29 FOR GREENWAY PLANS AND DETAILS
 - REFER TO SHEETS D-13 TO D-18 FOR SCM AND EXISTING POND DETAILS

LEGEND:

- SF SILT FENCE
- TP TREE PROTECTION FENCE
- LD LIMITS OF DISTURBANCE
- PIPE INLET PROTECTION
- RIPRAP DISSIPATOR APRON
- CLEARING LIMITS
- DIVERSION DITCH
- SILT FENCE OUTLET
- STORM DRAINAGE PIPE

GRADING & STORM LEGEND:

- EXIST / PROPOSED
- CURB INLET
- DROP INLET
- JUNCTION BOX
- FLARED END SECTION (FES)
- EXISTING STORM PIPE
- PROPOSED STORM PIPE
- LIMITS OF DISTURBANCE
- LIMITS OF DISTURBANCE & TREE PROTECTION FENCE
- TP TREE PROTECTION FENCE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- WOODS LINE
- SLOPES 3:1 AND STEEPER AND OVER 4:1 HIGH. USE MATTING AS PER DETAIL ON SHEET D-2



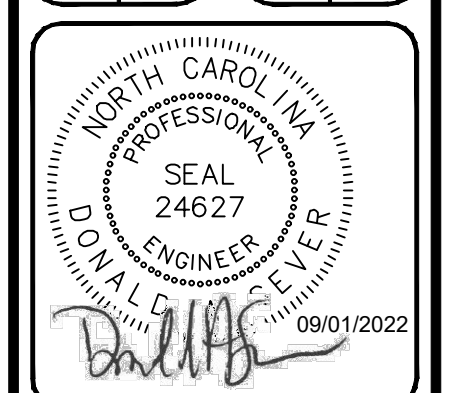
RIP RAP PLUNGE POOL
NOT TO SCALE

RIPRAP #	PIPE #	STRUCTURE #	PIPE DIA (IN)	PIPE SLOPE (%)	V10 (FPS)	STYLE	CLASS	APRON LENGTH (FT)	START WIDTH (FT)	END WIDTH (FT)	THICKNESS (IN)	NOTE
RIPRAP 1	P-1	ST-1 FES	24	0.50%	4.99	PLUNGE POOL	B	18	6	9	24	SCM 1
RIPRAP 2	P-15	ST-15 FES	42	0.50%	7.02	PLUNGE POOL	B	18	6	9	24	SCM 1
RIPRAP 3	P-33A	ST-33A FES	30	1.15%	6.16	PLUNGE POOL	B	18	6	9	24	SCM 1
RIPRAP 4	SCM 1 OUTLET	-	2	0.50%	-	TRAPEZOIDAL	B	4	2	4	12	SCM 1
RIPRAP 5	P-30	ST-30 FES	24	0.51%	4.89	PLUNGE POOL	B	18	6	9	24	SCM 2
RIPRAP 6	P-83A	ST-83A FES	24	0.50%	4.86	PLUNGE POOL	B	18	6	9	24	SCM 2
RIPRAP 7	SCM 2 OUTLET	-	30	1.03%	-	PLUNGE POOL	B	18	6	9	24	SCM 2
RIPRAP 8	P-100	ST-100 FES	48	0.82%	8.17	PLUNGE POOL	B	18	6	9	24	SCM 3
RIPRAP 9	SCM 3 OUTLET	-	48	1.14%	-	PLUNGE POOL	B	18	6	9	24	SCM 3
RIPRAP 10	ST-180 FES	P-180	30	3.38%	4.92	PLUNGE POOL	B	18	6	9	24	SCM 4
RIPRAP 11	SCM 4 OUTLET	-	30	4.57%	-	PLUNGE POOL	B	18	6	9	24	SCM 4
RIPRAP 12	P-200	ST-200 FES	36	1.88%	7.18	PLUNGE POOL	B	18	6	9	24	SCM 5
RIPRAP 13	SCM 5 OUTLET	-	36	2.57%	-	PLUNGE POOL	B	18	6	9	24	SCM 5
RIPRAP 14	P-25	ST-25 DI	18	4.12%	-	INLET PROTECTION	B	-	-	-	-	INLET PROTECTION - OFFSITE WATER
RIPRAP 15	P-24	ST-25 DI	36	0.94%	-	INLET PROTECTION	B	-	-	-	-	INLET PROTECTION - OFFSITE WATER
RIPRAP 16	P-287	ST-288 FES	18	10.29%	-	INLET PROTECTION	B	-	-	-	-	INLET PROTECTION
RIPRAP 17	P-285	ST-285 FES	18	1.50%	3.16	CHANNEL	B	6	3	6	12	FULL WIDTH OF DITCH
RIPRAP 18	P-265	ST-265 FES	30	0.83%	4.18	PLUNGE POOL	B	12	8	12	12	FULL WIDTH OF DITCH
RIPRAP 19	-	-	-	-	-	PLUNGE POOL	B	10	6	12	24	DITCH OUTLET - FULL WIDTH OF DITCH
RIPRAP 20	-	-	-	-	-	CHANNEL	B	10	30	30	24	CULVERT 2 OUTFALL
RIPRAP 21	CULVERT 2	HW-3	3-72"	2.53%	-	CHANNEL	B	10	30	30	24	CULVERT 2 OUTFALL
RIPRAP 22	P-255	ST-255 FES	15	0.50%	3.13	TRAPEZOIDAL	B	8	4	8	12	GREENWAY
RIPRAP 23	P-260	ST-260 FES	15	0.50%	5.53	TRAPEZOIDAL	B	8	4	8	12	GREENWAY
RIPRAP 24	P-300	-	12	1.00%	-	TRAPEZOIDAL	B	4	2	4	12	GREENWAY
RIPRAP 25	P-301	-	12	1.00%	-	TRAPEZOIDAL	B	4	2	4	12	GREENWAY
RIPRAP 26	P-302	-	12	1.00%	-	TRAPEZOIDAL	B	4	2	4	12	GREENWAY
RIPRAP 27	P-303	-	12	1.00%	-	TRAPEZOIDAL	B	4	2	4	12	GREENWAY
RIPRAP 28	P-304	-	12	1.00%	-	TRAPEZOIDAL	B	4	2	4	12	GREENWAY
RIPRAP 29	P-305	-	12	1.00%	-	TRAPEZOIDAL	B	4	2	4	12	GREENWAY
RIPRAP 30	P-306	-	12	1.00%	-	TRAPEZOIDAL	B	4	2	4	12	GREENWAY

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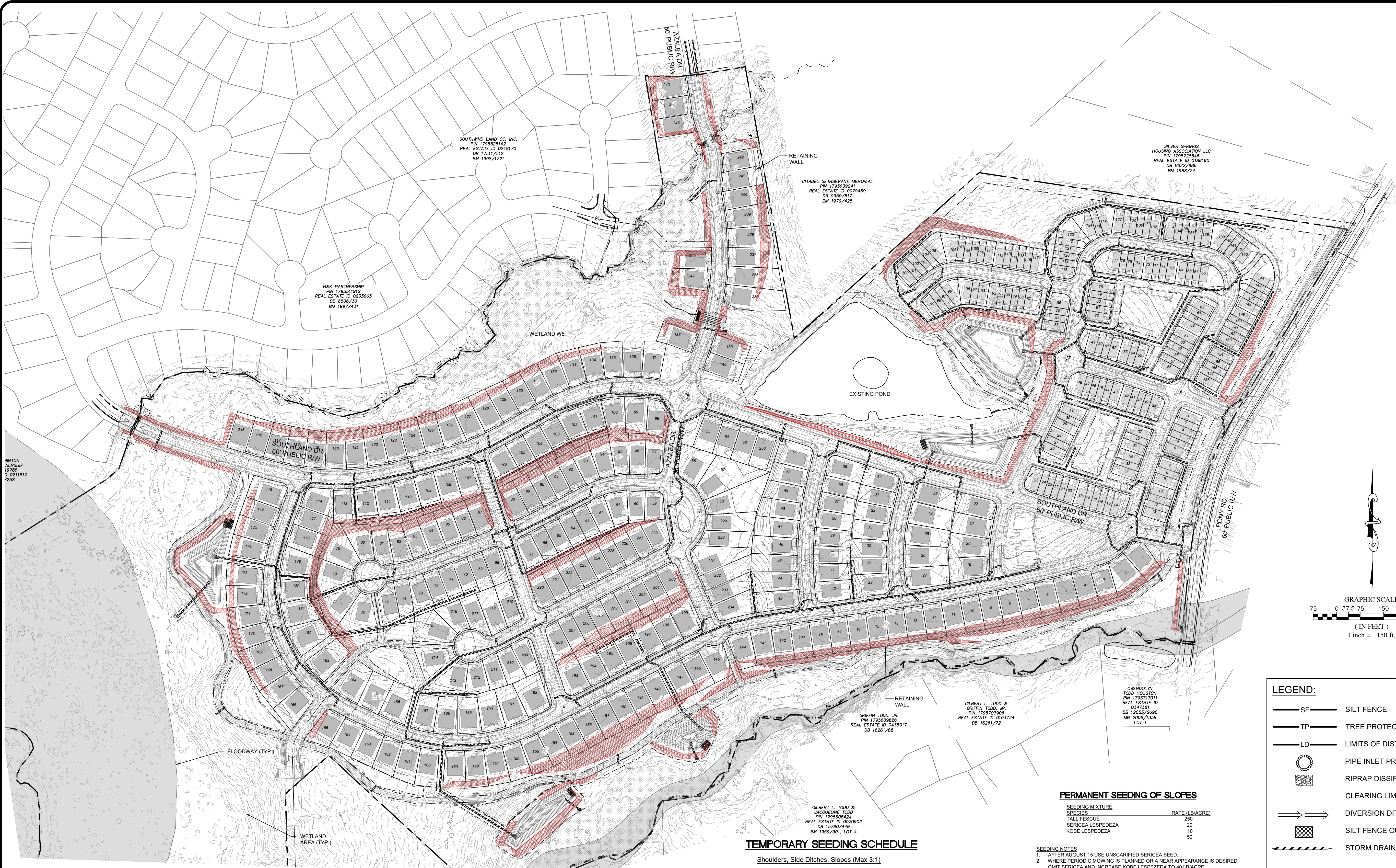
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CONSTRUCTION DRAWINGS FOR
CADENCE MEADOWS
915 PONY ROAD
ZEBULON, NC
EROSION CONTROL PLAN RIPRAP
PROJECT NO.
19-0103
DRAWING NAME:
19-0103_ec.dwg
SHEET NO.
C-4 N



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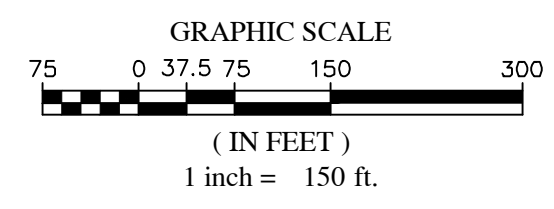
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PIN 178551812
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DB 6506/30
BM 1997/431

SOUTHWIND LAND CO. INC.
PIN 178552942
REAL ESTATE ID 0248170
DB 1751/312
BM 1998/1721

CITADEL GETHSEMANE MEMORIAL
PIN 1785639241
REAL ESTATE ID 0079469
DB 9959/817
BM 1979/425

SILVER SPRINGS
HOUSING ASSOCIATION LLC
PIN 1782728649
REAL ESTATE ID 0186160
DB 8822/388
BM 1986/24

EXISTING POND



NPDES STABILIZATION PLAN:

This page is submitted to comply with NPDES General Stormwater Permit NCG010000.
This page can be approved by the City pursuant to NPDES General Stormwater Permit NCG010000 only.
This page of the approved plans is enforceable exclusively pursuant to NPDES General Stormwater Permit NCG010000.

Site Area Description	Stabilization	Timeframe Exceptions
Perimeter dikes, swales, ditches and slopes	7 days	None
High Quality Water (HQW) Zones	7 days	None
Slopes steeper than 3:1	7 days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
Slopes 3:1 or flatter	14 days	7 days for slopes greater than 50' in length
All other areas with slopes flatter than 4:1	14 days	None, except for perimeters and HQW Zones

SEEDBED PREPARATION

- CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
- RIP THE ENTIRE AREA TO 6 INCHES DEPTH.
- REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
- APPLY AGRICULTURAL LIME, FERTILIZER, AND UNIFORM MIX WITH SOIL (SEE BELOW).
- CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM REASONABLY UNIFORM SEEDBED IS PREPARED 4 TO 6 INCHES DEEP.
- SEED ON A FRESHLY PREPARED SEEDBED AND SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK.
- MULCH IMMEDIATELY AFTER SEEDING AND.
- INSPECT ALL SEEDBED AREAS AND MAKE NECESSARY RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. STAND SHOULD BE OVER 80% DAMAGED, REESTABLISH ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
- CONSULT CONSERVATION INSPECTOR ON MAINTENANCE AND FERTILIZATION AFTER PERMANENT COVER IS.

* APPLY:
AGRICULTURAL LIMESTONE - 3 TONS/ACRES (3 TONS/ACRE IN CLAY SOILS)
FERTILIZER - 1,000 lbs./ACRE - 10-10-10
SUPERPHOSPHATE - 500 lbs./ACRE - 20% ANALYSIS
MULCH - 2 TONS/ACRE (5000 LBS/AC FOR STEEP SLOPES) - SMALL GRAIN STRAW
ANOTHER - ASPHALT EMULSION @ 400 GALS./ACRE

SEEDING AND MULCHING

- MAINTENANCE:**
- NEW SEEDINGS SHOULD BE INSPECTED FREQUENTLY AND MAINTENANCE PERFORMED AS NEEDED. IF RILLS AND GULLIES DEVELOP, THEY MUST BE FILLED, RE-SEED, AND MULCHED AS SOON AS POSSIBLE. DIVERSIONS MAY BE NEEDED UNTIL NEW PLANTS TAKE HOLD.
 - DAMAGE TO VEGETATION FROM DISEASES, INSECTS, TRAFFIC, ETC., CAN OCCUR AT ANY TIME. HERBICIDES AND REGULAR MOWING MAY BE NEEDED TO CONTROL WEEDS, DUST AND SPRAYS MAY BE NEEDED TO CONTROL INSECTS.
 - WEEK OR DAMAGED SPOTS MUST BE RELIEMED, FERTILIZED, MULCHED, AND RESEED AS PROMPTLY AS POSSIBLE.

TEMPORARY SEEDING SCHEDULE

DATE	TYPE	PLANTING RATE
Aug 15 - Nov 01	Tall Fescue	300 lbs/acre
Nov 01 - Mar 01	Tall Fescue and Abruzzi Rye	300 lbs/acre
Mar 01 - Apr 15	Tall Fescue	300 lbs/acre
Apr 15 - Jun 30	Hulled Common Bermudagrass	25 lbs/acre
Jul 01 - Aug 15	Tall Fescue and ***Browtop Millet or ***Sorghum-Sudan Hybrids	35 lbs/acre
Mar 01 - Jun 01	Seireea Lespedeza (scarified) AND: Add Tall Fescue	50 lbs/acre
Mar 01 - Apr 15	Add Tall Fescue	120 lbs/acre
Mar 01 - Jun 30	Add Hulled Common Bermudagrass	25 lbs/acre
Jun 01 - Sep 01	***Tall Fescue and ***Browtop Millet or ***Sorghum-Sudan Hybrids	120 lbs/acre
Sep 01 - Mar 01	Seireea Lespedeza (unhulled-uncarified) and Tall Fescue	70 lbs/acre
Nov 01 - Mar 01	Add Abruzzi Rye	25 lbs/acre

Shoulders, Side Ditches, Slopes (Max 3:1)
Consult Conservation Engineer or Soil Conservation Services for additional information concerning other alternatives for vegetation of denuded areas. The above vegetation rates are those which do well under local conditions; other seeding rate combinations are possible.
***Temporary - Reseed according to optimum season for desired permanent vegetation. Do not allow temporary cover to grow over 12" in height before mowing, otherwise fescue may be shaded out.

PERMANENT SEEDING OF SLOPES

SEEDING MIXTURE SPECIES	RATE (LBS/ACRE)
TALL FESCUE	250
SERIEEA LESPEDEZA	20
KOBE LESPEDEZA	10
	50

- SEEDING NOTES**
- AFTER AUGUST 15 USE UNSCARIFIED SERIEEA SEED.
 - WHERE PERIODIC MOWING IS PLANNED OR A NEAR APPEARANCE IS DESIRED, OMIT SERIEEA AND INCREASE KOBE LESPEDEZA TO 40 LBS/ACRE.
 - TO EXTEND SPRING SEEDING DATES INTO JUNE, ADD 15 LBS/ACRE HULLED BERMUDAGRASS; HOWEVER, AFTER MID-APRIL IT IS PREFERABLE TO SEED TEMPORARY COVER.

NURSE PLANTS
BETWEEN MAY 1 AND AUGUST 15, ADD 10 LBS/ACRE GERMAN MILLET OR 15 LBS/ACRE SUDANGRASS. PRIOR TO MAY 1 OR AFTER AUGUST 15 ADD 40 LBS/ACRE RYE (GRAIN).

SEEDING DATES

FALL:	BEST	POSSIBLE
OCTOBER 25	AUGUST 25 - SEPTEMBER 15	AUGUST 20 - OCTOBER 15
LATE WINTER:	FEBRUARY 15 - MARCH 21	FEBRUARY 1 - APRIL 15

FALL IS BEST FOR ALL FESCUE AND LATE WINTER FOR LESPEDEZAS. OVER SEEDING OF KOBE LESPEDEZA OVER FALL-SEEDED TALL FESCUE IS VERY EFFECTIVE.

SOIL AMENDMENTS
APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 4,000 LBS/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LBS/ACRE 10-10-10 FERTILIZER.

MULCH
APPLY 4,000 LBS/ACRE GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING OR ROVING OR BY CRIMPING WITH A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE
REFERTILIZE IN THE SECOND YEAR UNLESS GROWTH IS FULLY ADEQUATE. MAY BE MOWED ONCE OR TWICE A YEAR, BUT MOWING IS NOT NECESSARY. RESEED, FERTILIZE AND MULCH DAMAGED AREAS IMMEDIATELY.

LEGEND:

- SF SILT FENCE
- TP TREE PROTECTION FENCE
- LD LIMITS OF DISTURBANCE
- PIPE INLET PROTECTION
- RIPRAP DISSIPATOR APRON
- CLEARING LIMITS
- DIVERSION DITCH
- SILT FENCE OUTLET
- STORM DRAINAGE PIPE

GRADING & STORM LEGEND:

- EXIST / PROPOSED
- CURB INLET
 - DROP INLET
 - JUNCTION BOX
 - FLARED END SECTION (FES)
 - EXISTING STORM PIPE
 - PROPOSED STORM PIPE
 - LIMITS OF DISTURBANCE
 - LIMITS OF DISTURBANCE & TREE PROTECTION FENCE
 - TREE PROTECTION FENCE
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - WOODS LINE
 - SLOPES 3:1 AND STEEPER AND OVER 4:1 HIGH. USE MATTING AS PER DETAIL ON SHEET D-2

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FIRST ISSUE DATE
11/01/2021



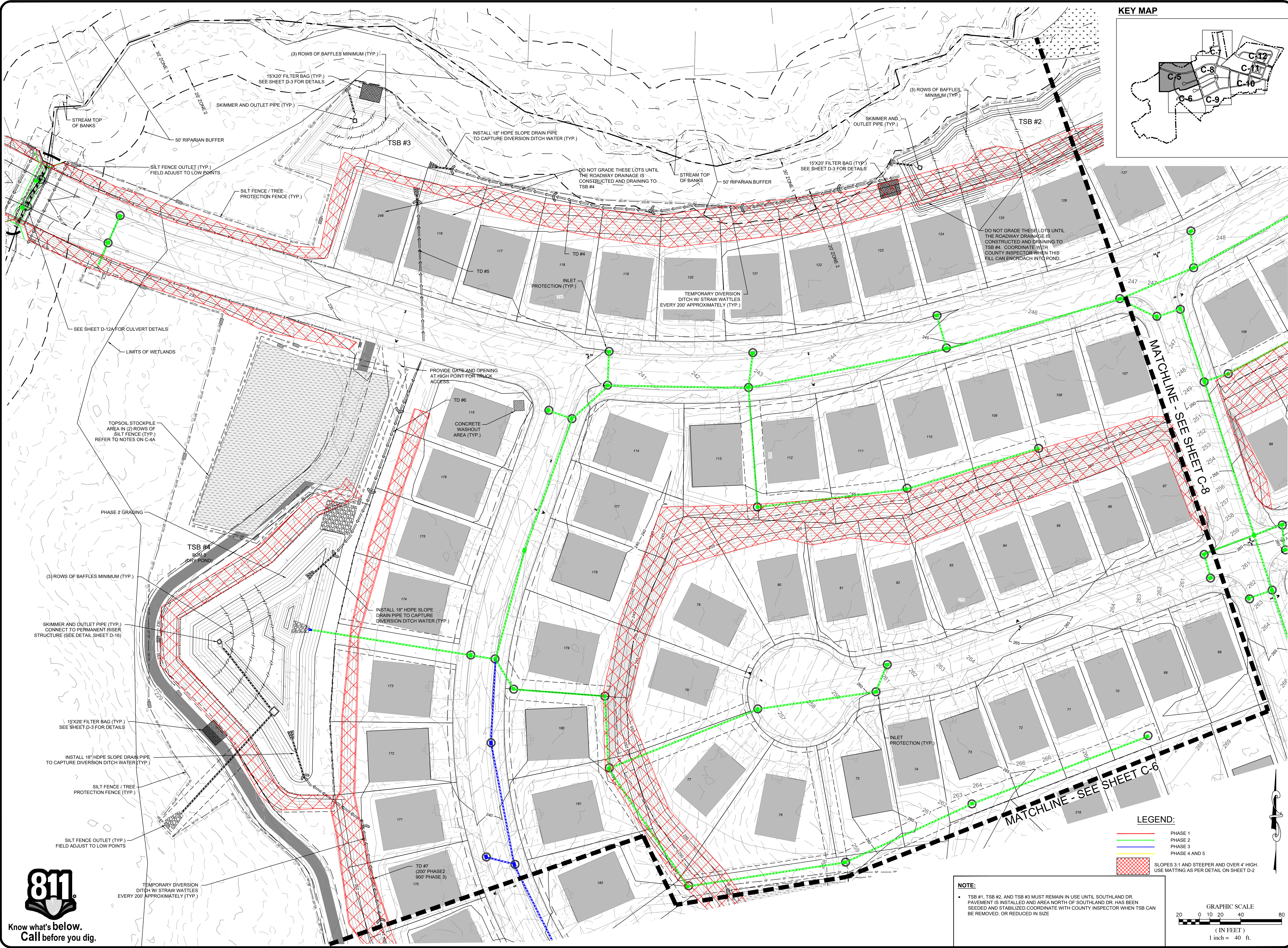
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CONSTRUCTION DRAWINGS FOR
CADENCE MEADOWS
915 PONY ROAD
ZEBULON, NC
EROSION CONTROL PLAN FINAL

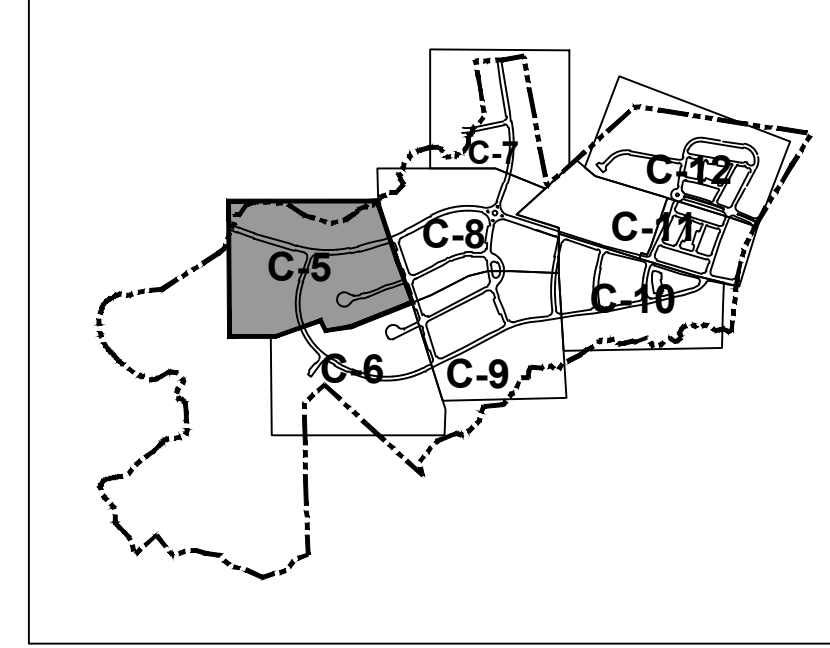
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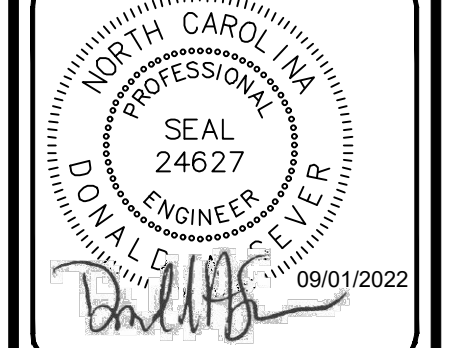


KEY MAP



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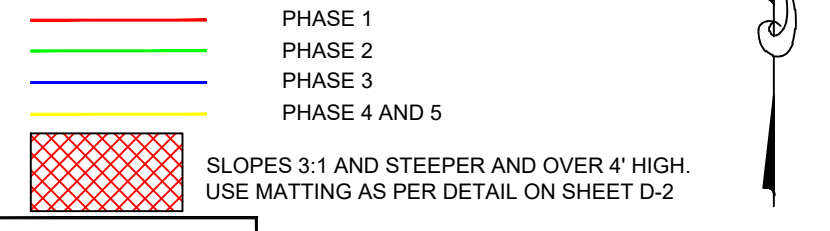


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CONSTRUCTION DRAWINGS FOR
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 915 PONY ROAD
 ZEBULON, NC
EROSION CONTROL PLAN

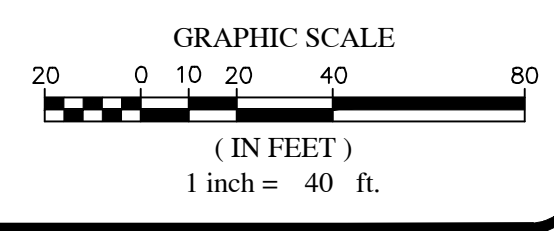
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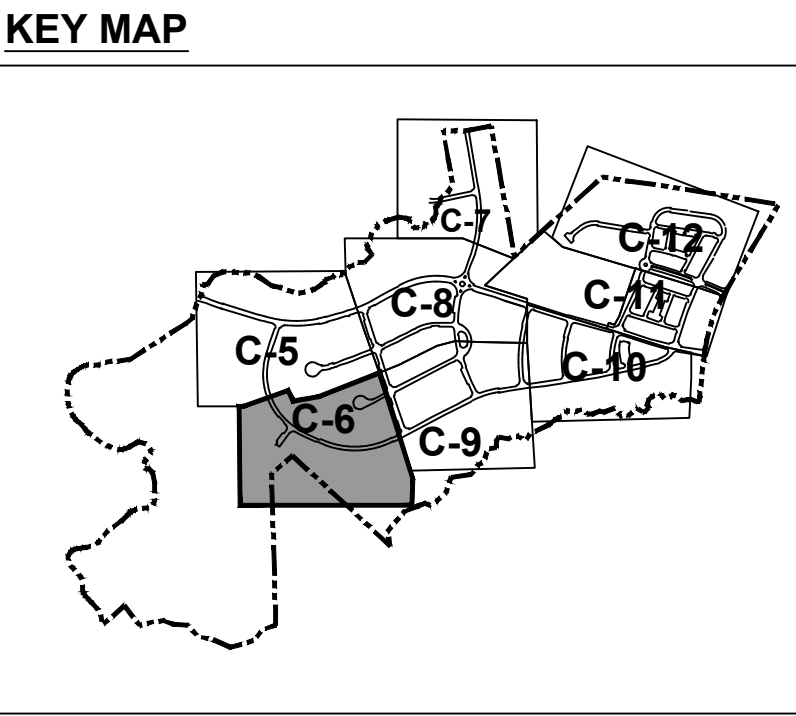
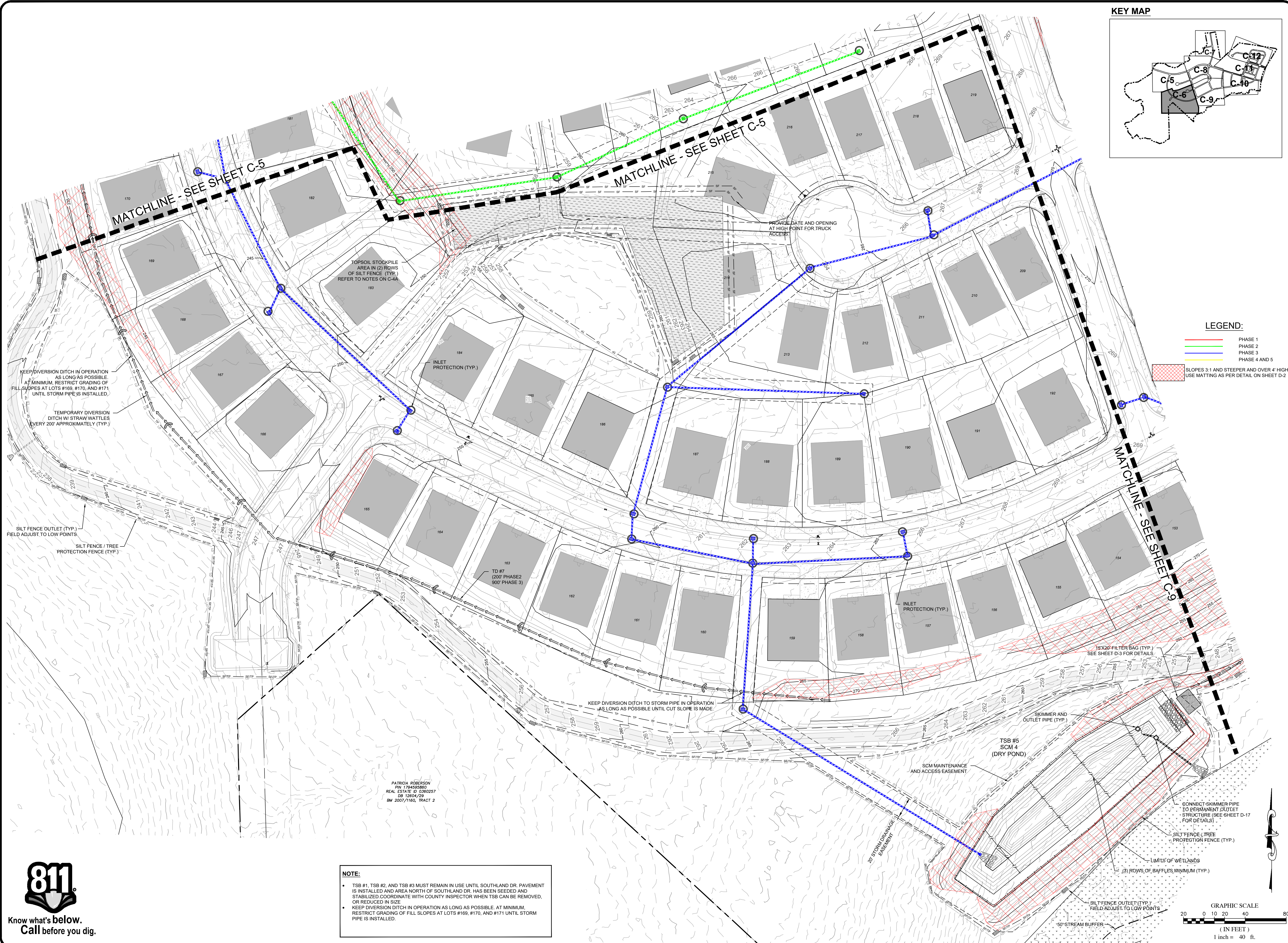
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NOTE:

• TSB #1, TSB #2, and TSB #3 MUST REMAIN IN USE UNTIL SOUTHLAND DR. PAVEMENT IS INSTALLED AND AREA NORTH OF SOUTHLAND DR. HAS BEEN SEEDING AND STABILIZED COORDINATE WITH COUNTY INSPECTOR WHEN TSB CAN BE REMOVED, OR REDUCED IN SIZE





LEGEND:

[Red line]	PHASE 1
[Blue line]	PHASE 2
[Green line]	PHASE 3
[Yellow line]	PHASE 4 AND 5
[Red hatched box]	SLOPES 3:1 AND STEEPER AND OVER 4' HIGH. USE MATTING AS PER DETAIL ON SHEET D-2.

NOTE:

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- KEEP DIVERSION DITCH IN OPERATION AS LONG AS POSSIBLE. AT MINIMUM, RESTRICT GRADING OF FILL SLOPES AT LOTS #169, #170, AND #171 UNTIL STORM PIPE IS INSTALLED.

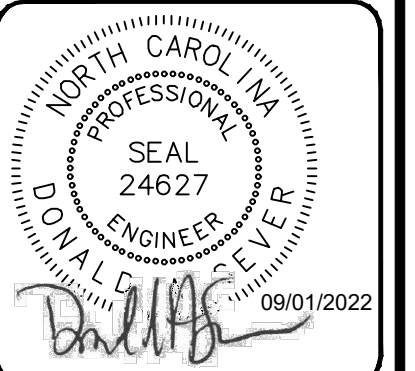
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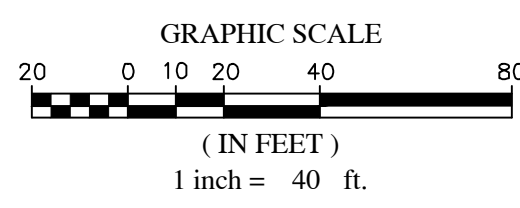
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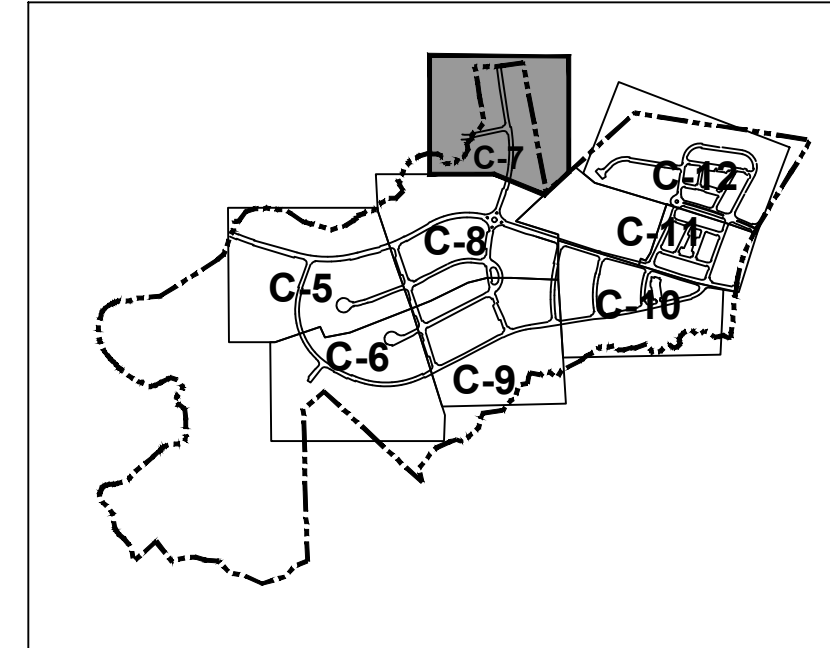
CONSTRUCTION DRAWINGS FOR CADENCE MEADOWS
 915 PONY ROAD
 ZEBULON, NC
EROSION CONTROL PLAN

PROJECT NO.
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KEY MAP



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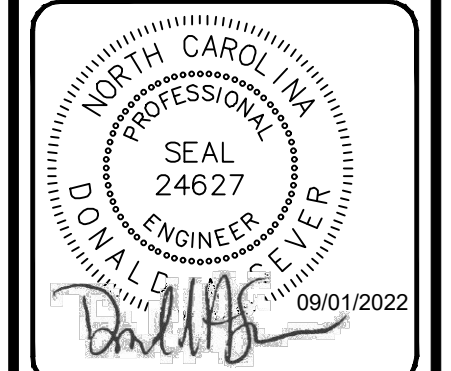
LEGEND:

- PHASE 1
- PHASE 2
- PHASE 3
- PHASE 4 AND 5
- SLOPES 3:1 AND STEEPER AND OVER 4' HIGH. USE MATTING AS PER DETAIL ON SHEET D-2

GRAPHIC SCALE
0 10 20 40 80
(IN FEET)
1 inch = 40 ft.

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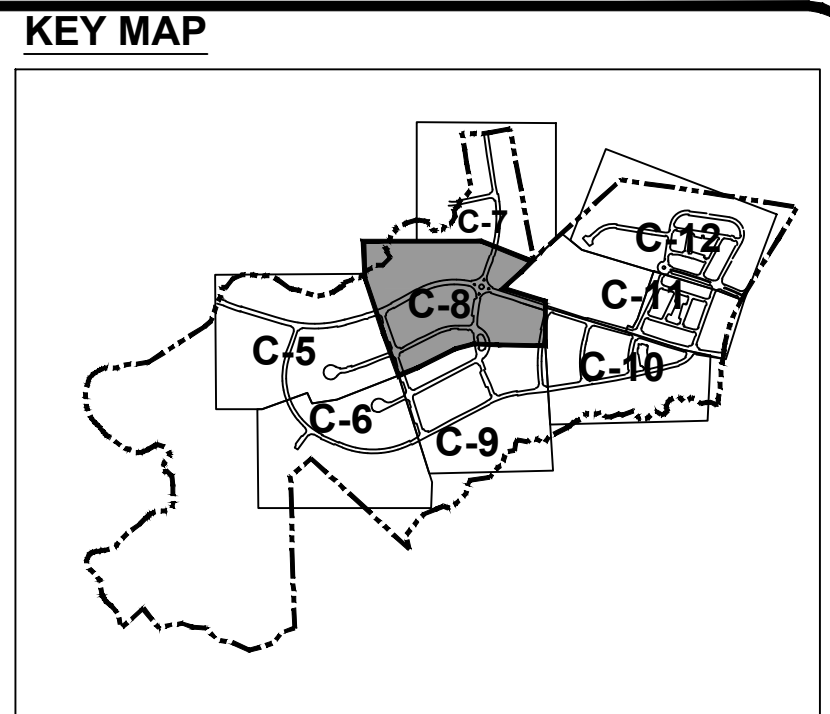
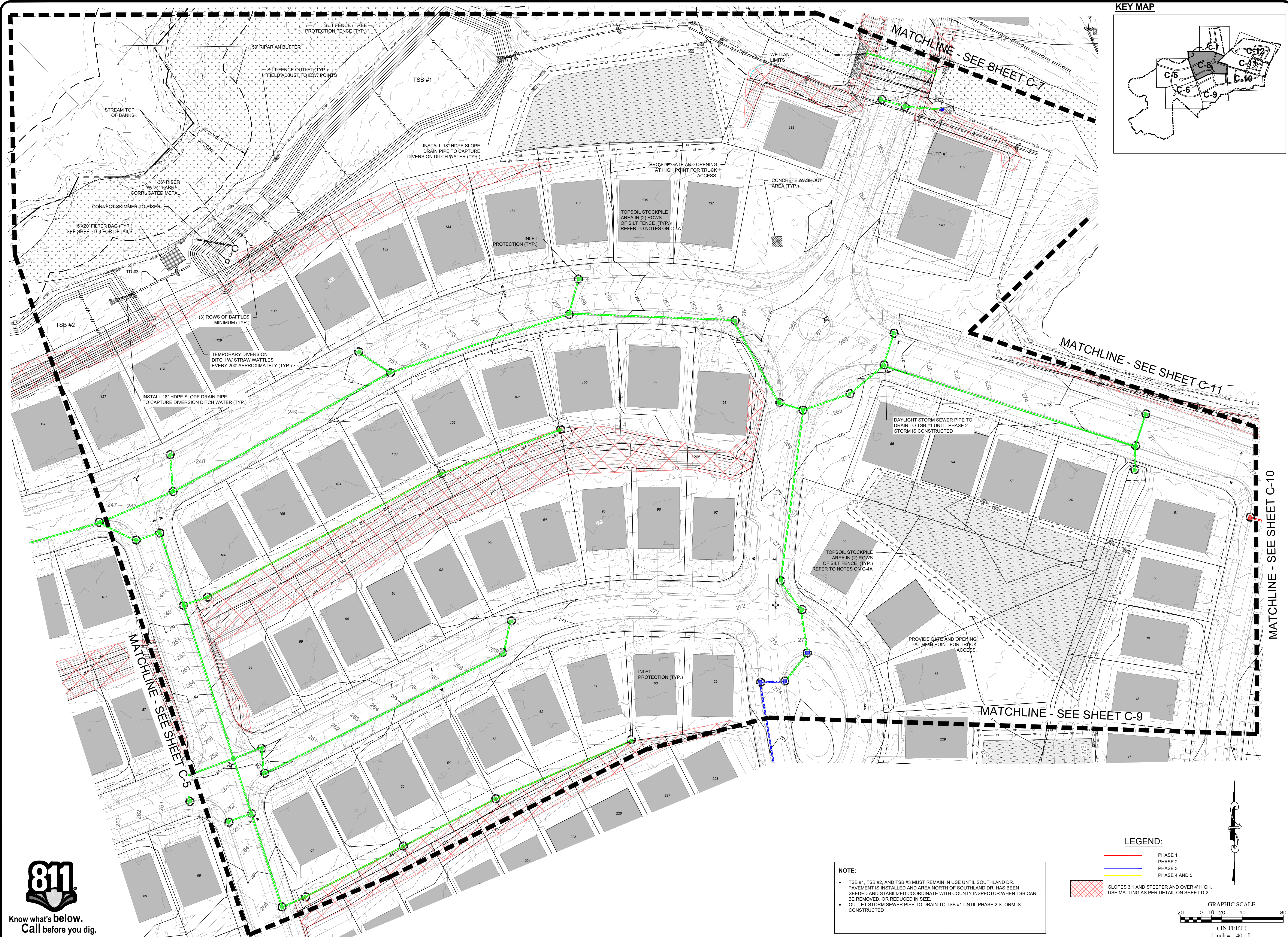
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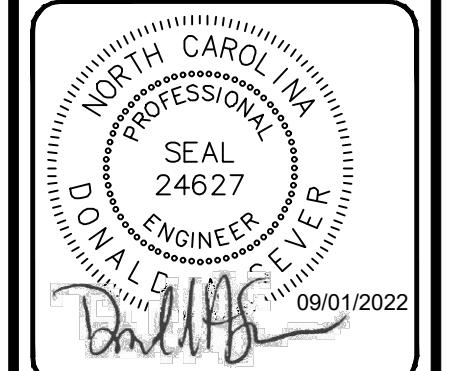
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5	05/03/2022	DAS	REVISED PER WAKE COUNTY REVIEW COMMENTS 04/27/2022
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 FIRST ISSUE DATE
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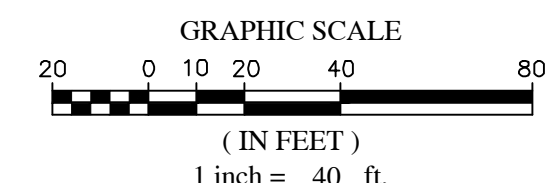
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CONSTRUCTION DRAWINGS FOR
CADENCE MEADOWS
 915 PONY ROAD
 ZEBULON, NC
EROSION CONTROL PLAN

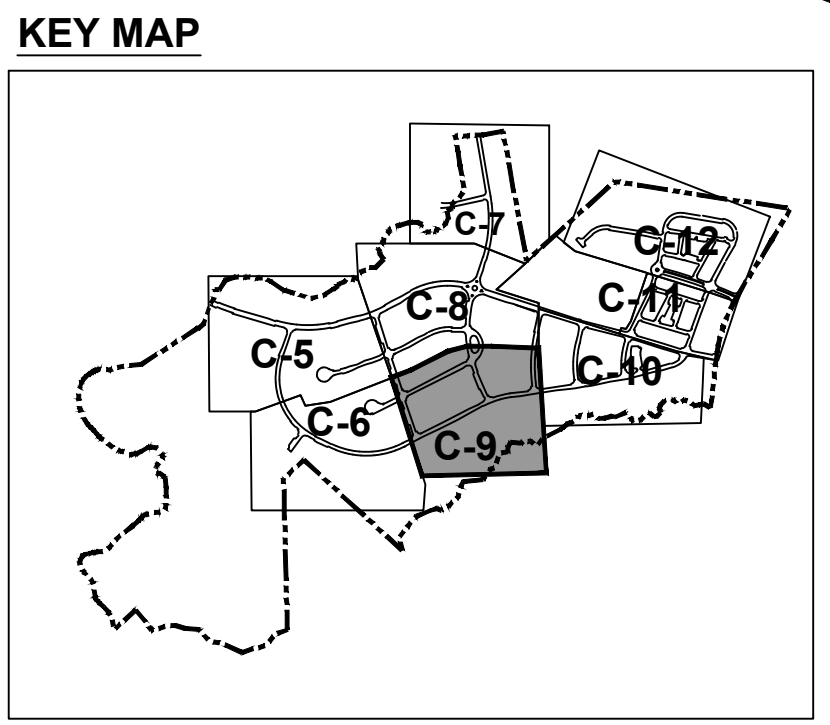
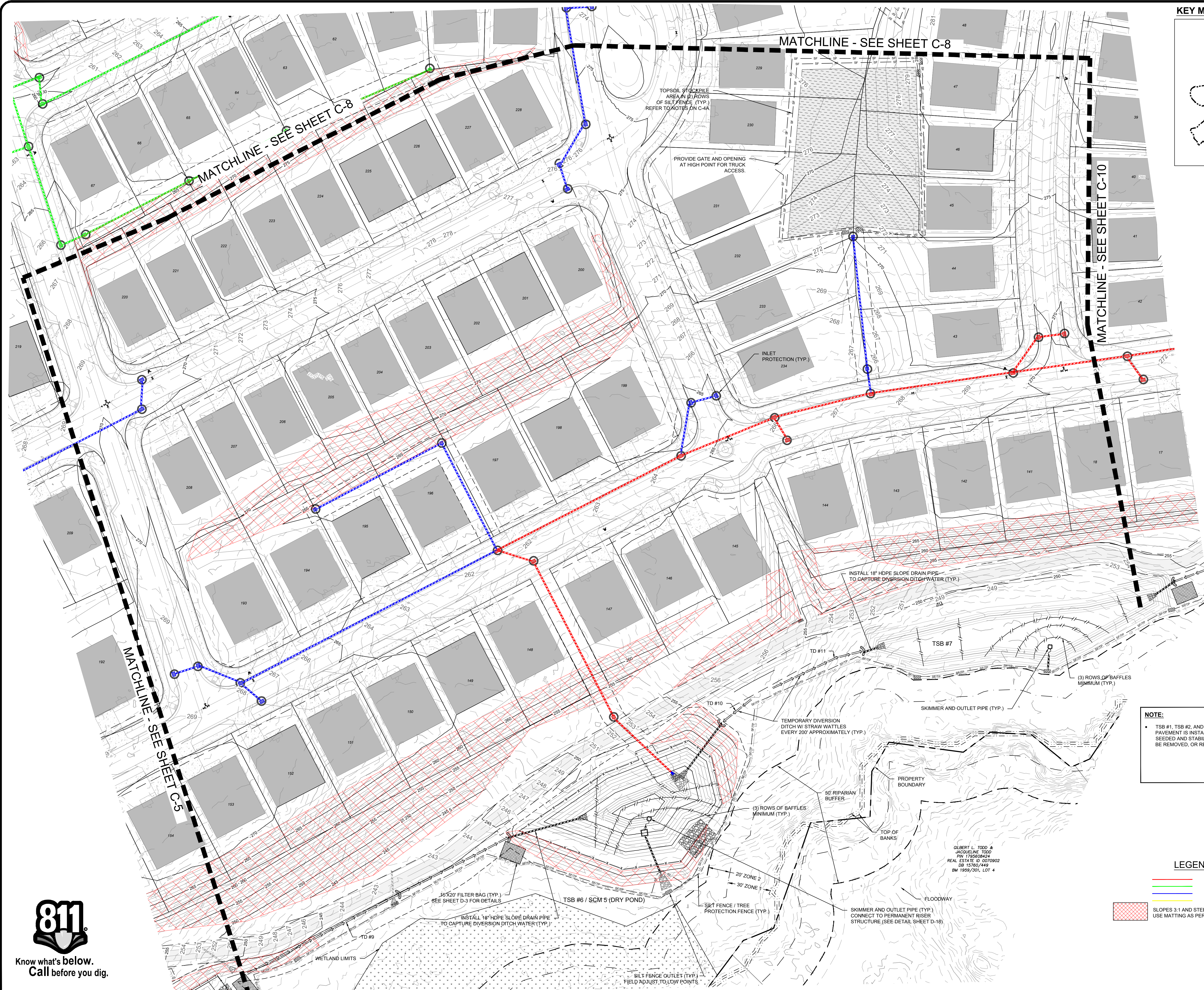
PROJECT NO.
19-0103
 DRAWING NAME:
 19-0103_ec.dwg
 SHEET NO.
C-8

NOTE:
 • TSB #1, TSB #2, AND TSB #3 MUST REMAIN IN USE UNTIL SOUTHLAND DR. PAVEMENT IS INSTALLED AND AREA NORTH OF SOUTHLAND DR. HAS BEEN SEEDED AND STABILIZED COORDINATE WITH COUNTY INSPECTOR WHEN TSB CAN BE REMOVED OR REDUCED IN SIZE.
 • OUTLET STORM SEWER PIPE TO DRAIN TO TSB #1 UNTIL PHASE 2 STORM IS CONSTRUCTED

LEGEND:
 PHASE 1
 PHASE 2
 PHASE 3
 PHASE 4 AND 5
 SLOPES 3:1 AND STEEPER AND OVER 4' HIGH.
 USE MATTING AS PER DETAIL ON SHEET D-2



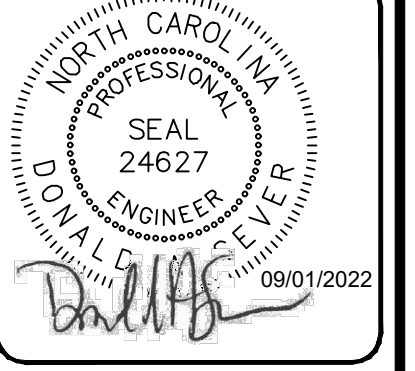
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NO.	DATE	BY	REVISIONS
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1	11/23/2021	DAS	REVISED PER TOWN OF ZEBULON REVIEW COMMENTS 11/23/2021

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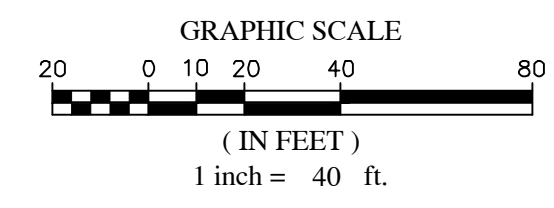
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CONSTRUCTION DRAWINGS FOR
CADENCE MEADOWS
 915 PONY ROAD
 ZEBULON, NC
EROSION CONTROL PLAN

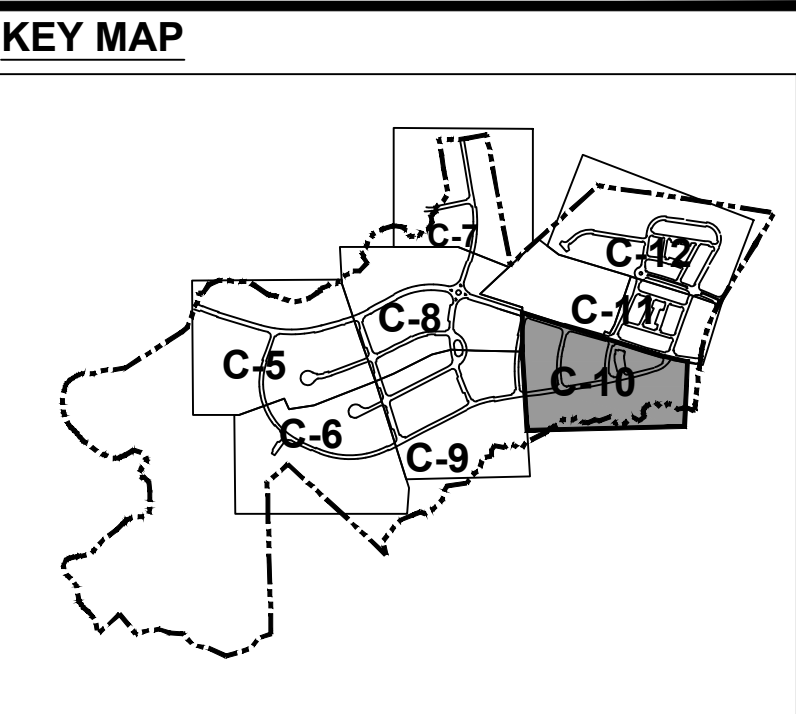
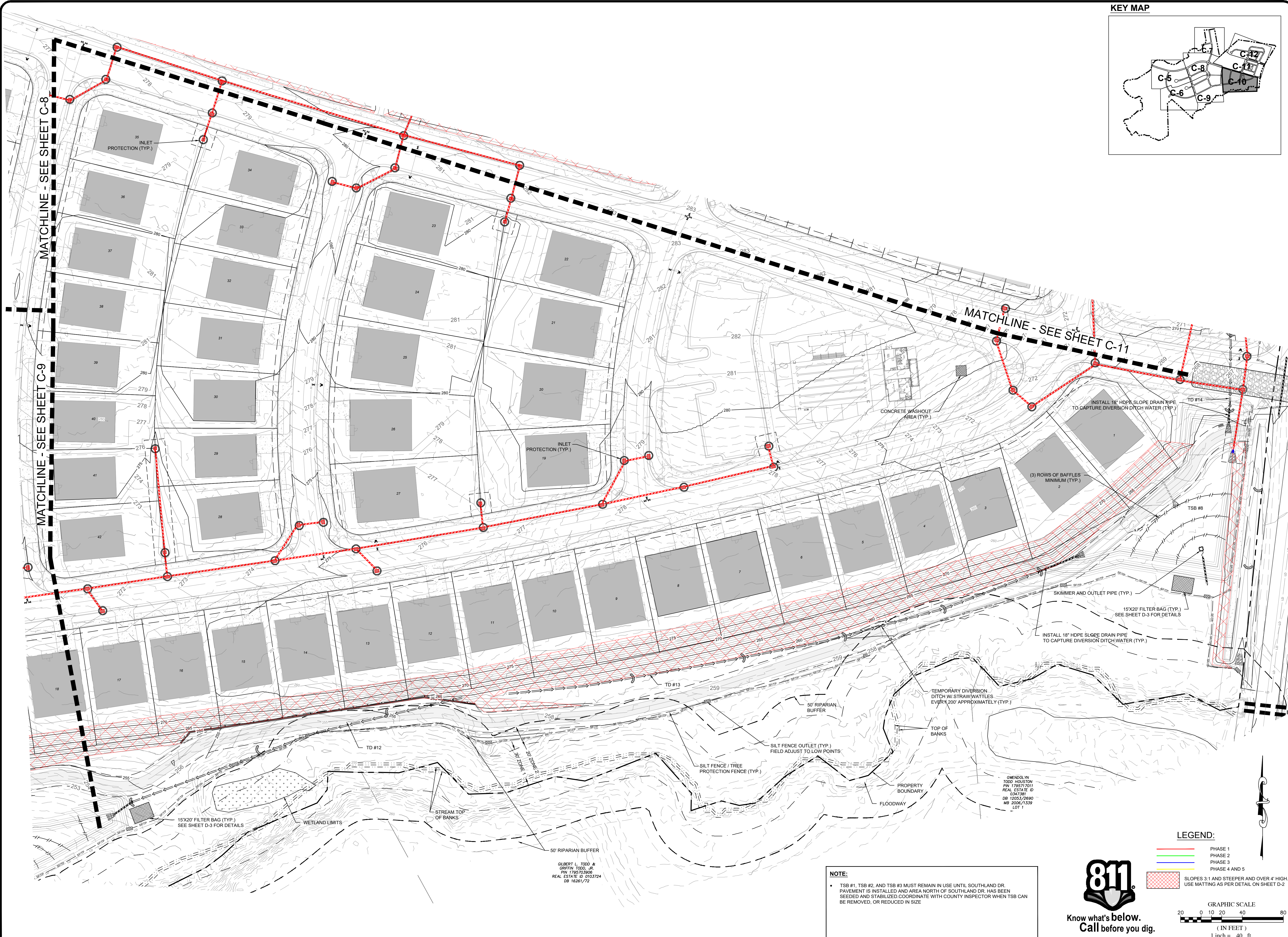
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19-0103
 DRAWING NAME:
19-0103_ec.dwg
 SHEET NO.
C-9

NOTE:
 • TSB #1, TSB #2, AND TSB #3 MUST REMAIN IN USE UNTIL SOUTHLAND DR. PAVEMENT IS INSTALLED AND AREA NORTH OF SOUTHLAND DR. HAS BEEN SEEDING AND STABILIZED COORDINATE WITH COUNTY INSPECTOR WHEN TSB CAN BE REMOVED, OR REDUCED IN SIZE

LEGEND:
 PHASE 1
 PHASE 2
 PHASE 3
 PHASE 4 AND 5
 SLOPES 3:1 AND STEEPER AND OVER 4' HIGH USE MATTING AS PER DETAIL ON SHEET D-2

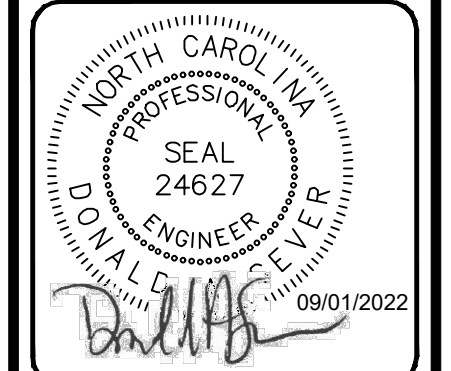


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NO.	DATE	BY	REVISIONS
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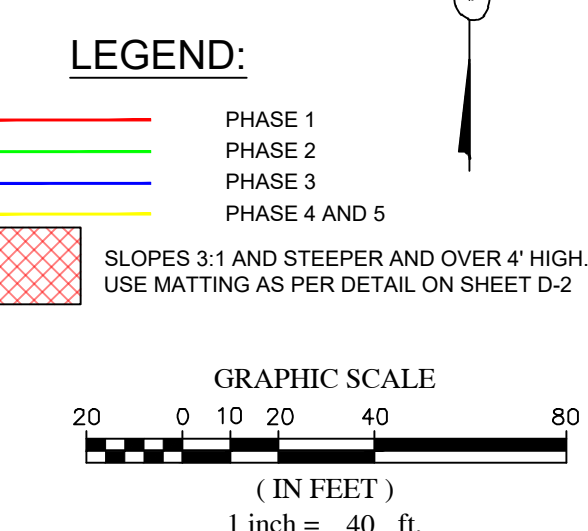
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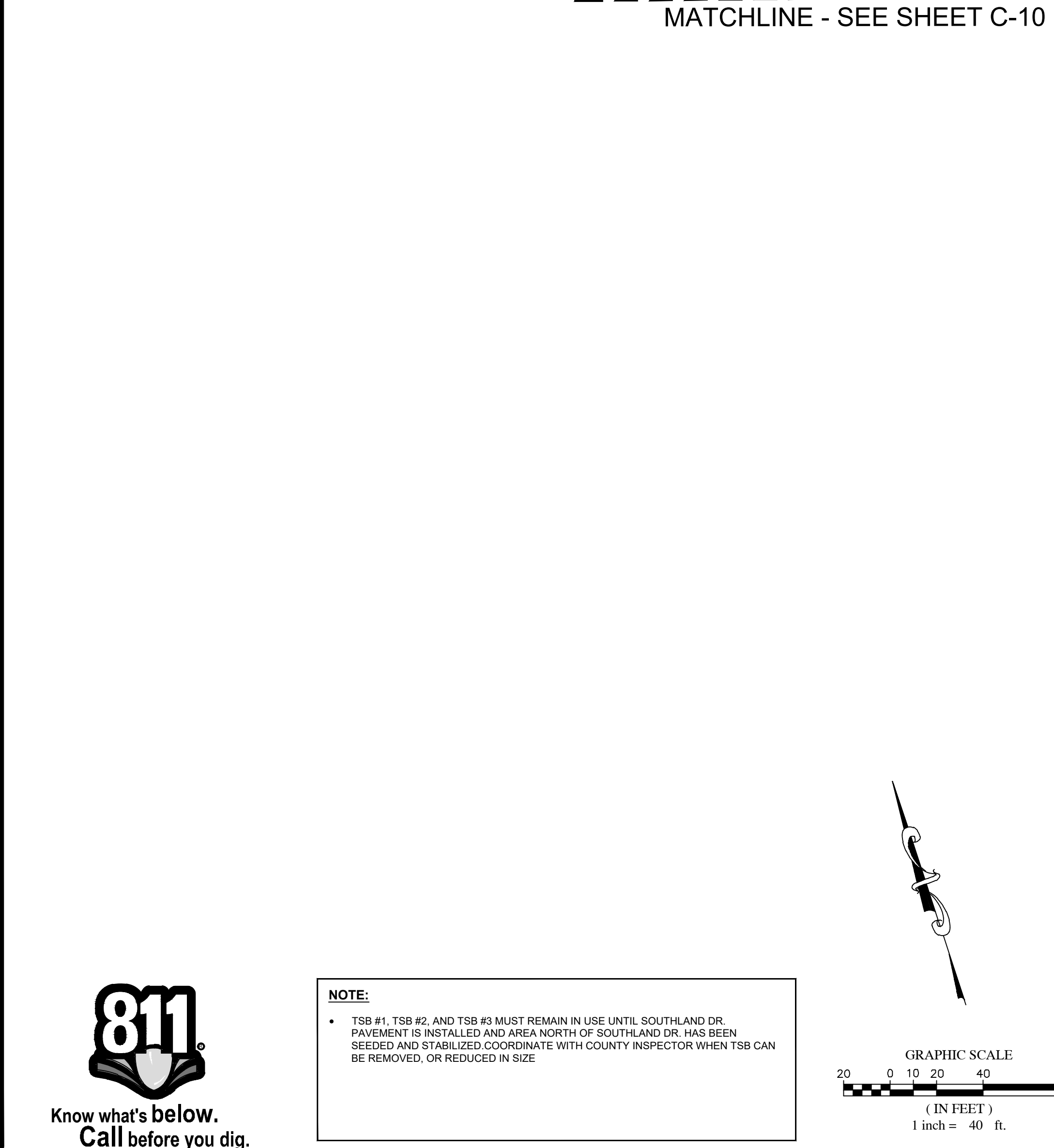
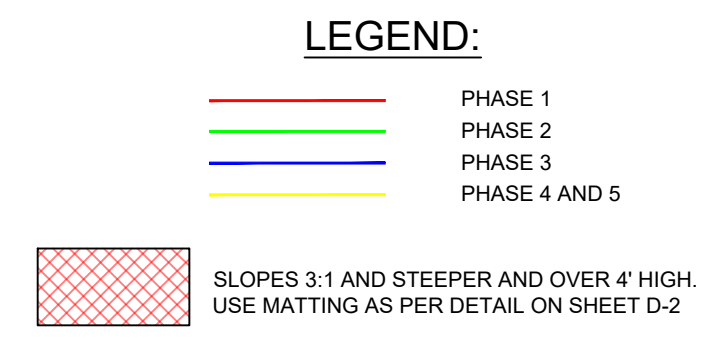
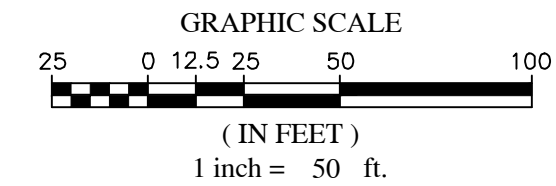
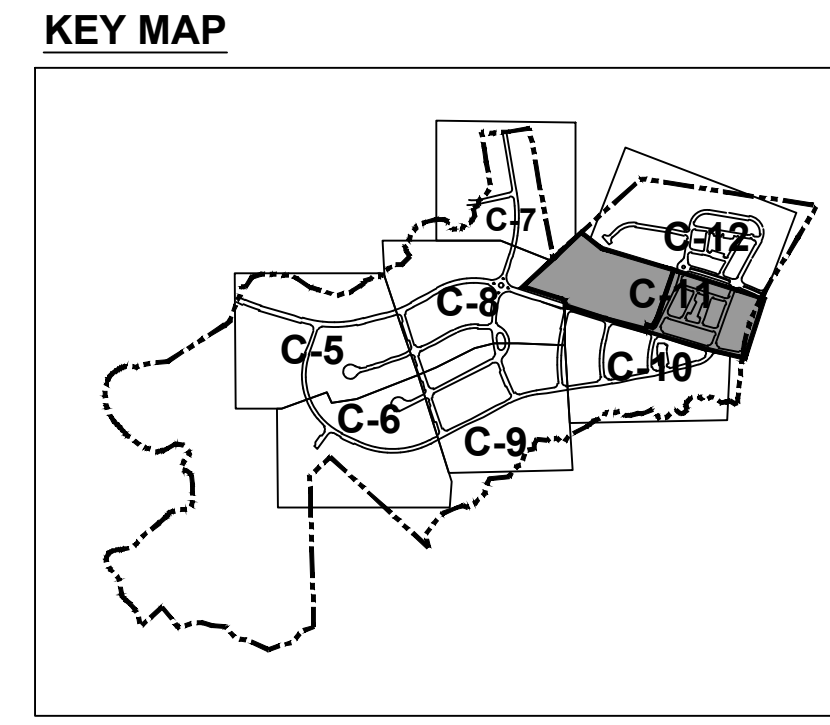
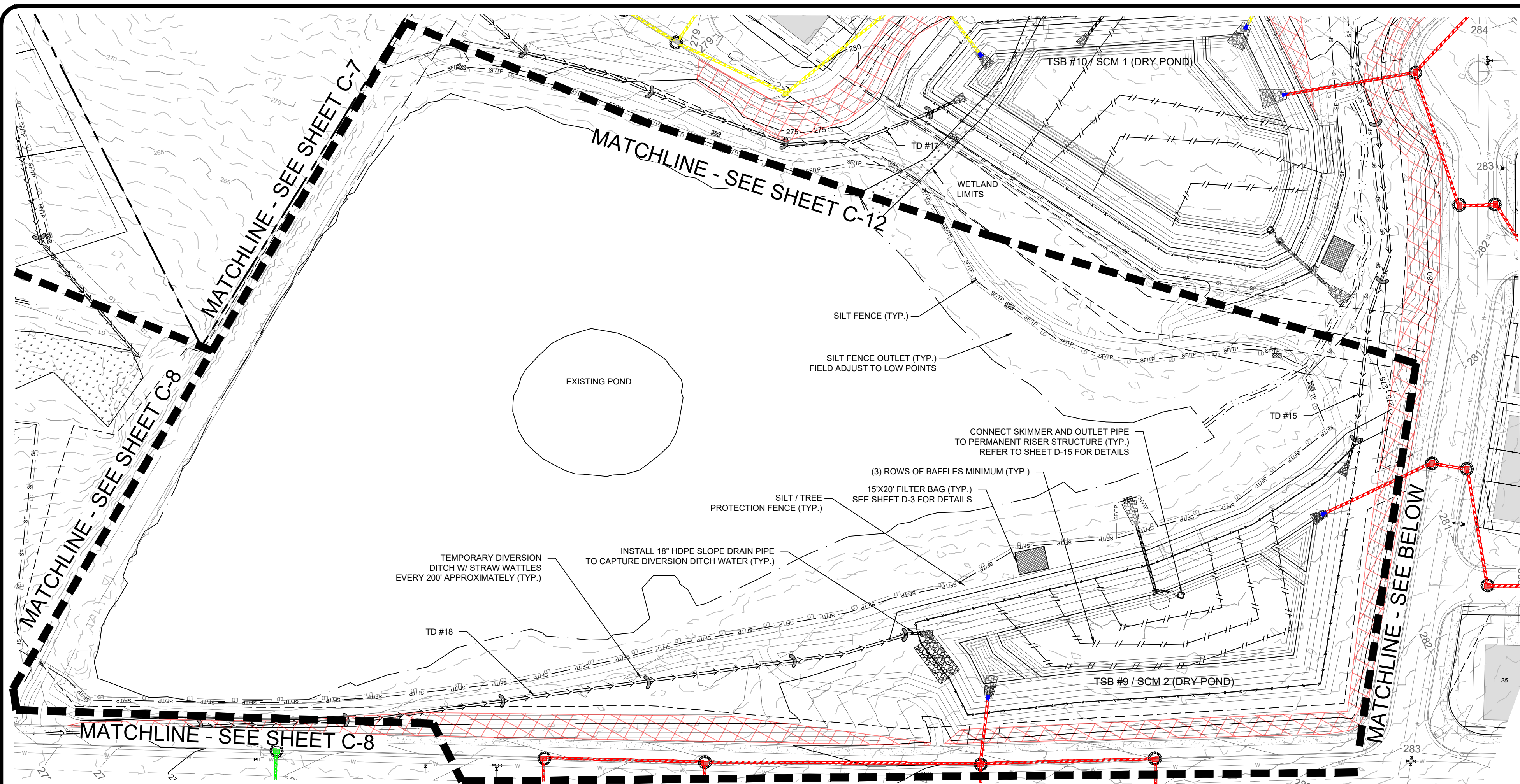
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CONSTRUCTION DRAWINGS FOR
CADENCE MEADOWS
 915 PONY ROAD
 ZEBULON, NC
EROSION CONTROL PLAN
 PROJECT NO.
19-0103
 DRAWING NAME:
 19-0103_ec.dwg
 SHEET NO.
C-10

NOTE:
 • TSB #1, TSB #2, AND TSB #3 MUST REMAIN IN USE UNTIL SOUTHLAND DR. PAVEMENT IS INSTALLED AND AREA NORTH OF SOUTHLAND DR. HAS BEEN SEEDED AND STABILIZED. COORDINATE WITH COUNTY INSPECTOR WHEN TSB CAN BE REMOVED, OR REDUCED IN SIZE

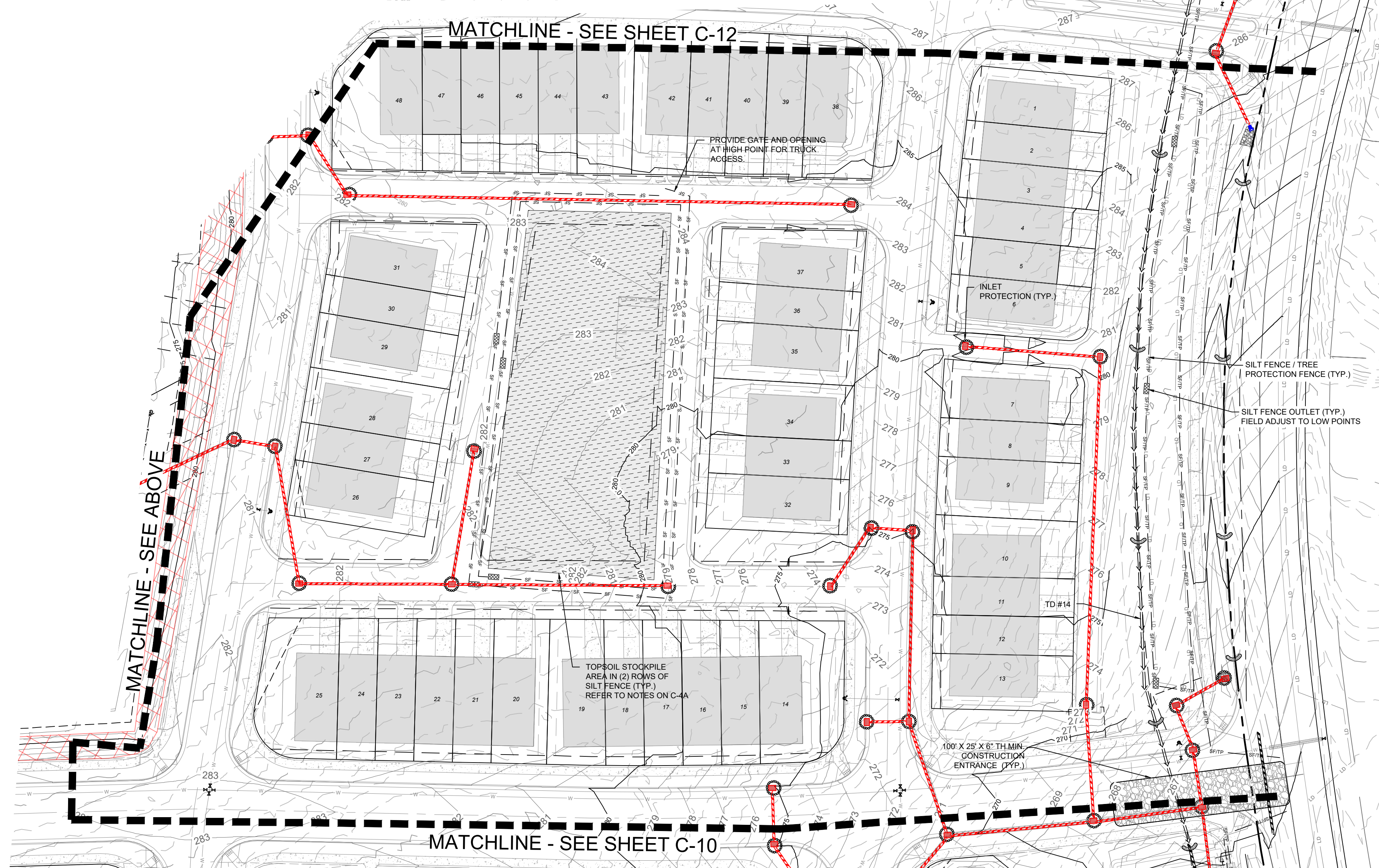


GILBERT L. TOOD &
 CHRISTEN TOOD, JR.
 PIN 1795703808
 REAL ESTATE ID 0103724
 DB 16261/72



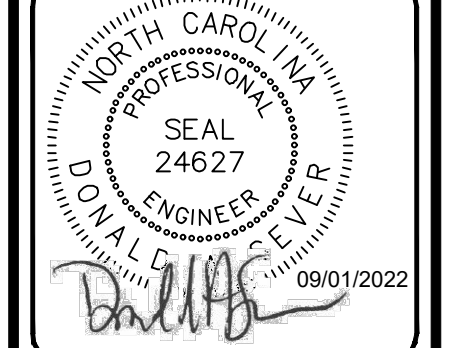
NOTE:

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1	01/07/2022	DAS	REVISED PER TOWN OF ZEBULON REVIEW COMMENTS 11/12/2021

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PROJECT MANAGER
DAS/DON.SEVER@SUMMITDE.NET
DRAWN BY
JALIMY.ASHLEY@SUMMITDE.NET
FIRST ISSUE DATE
11-01-2021

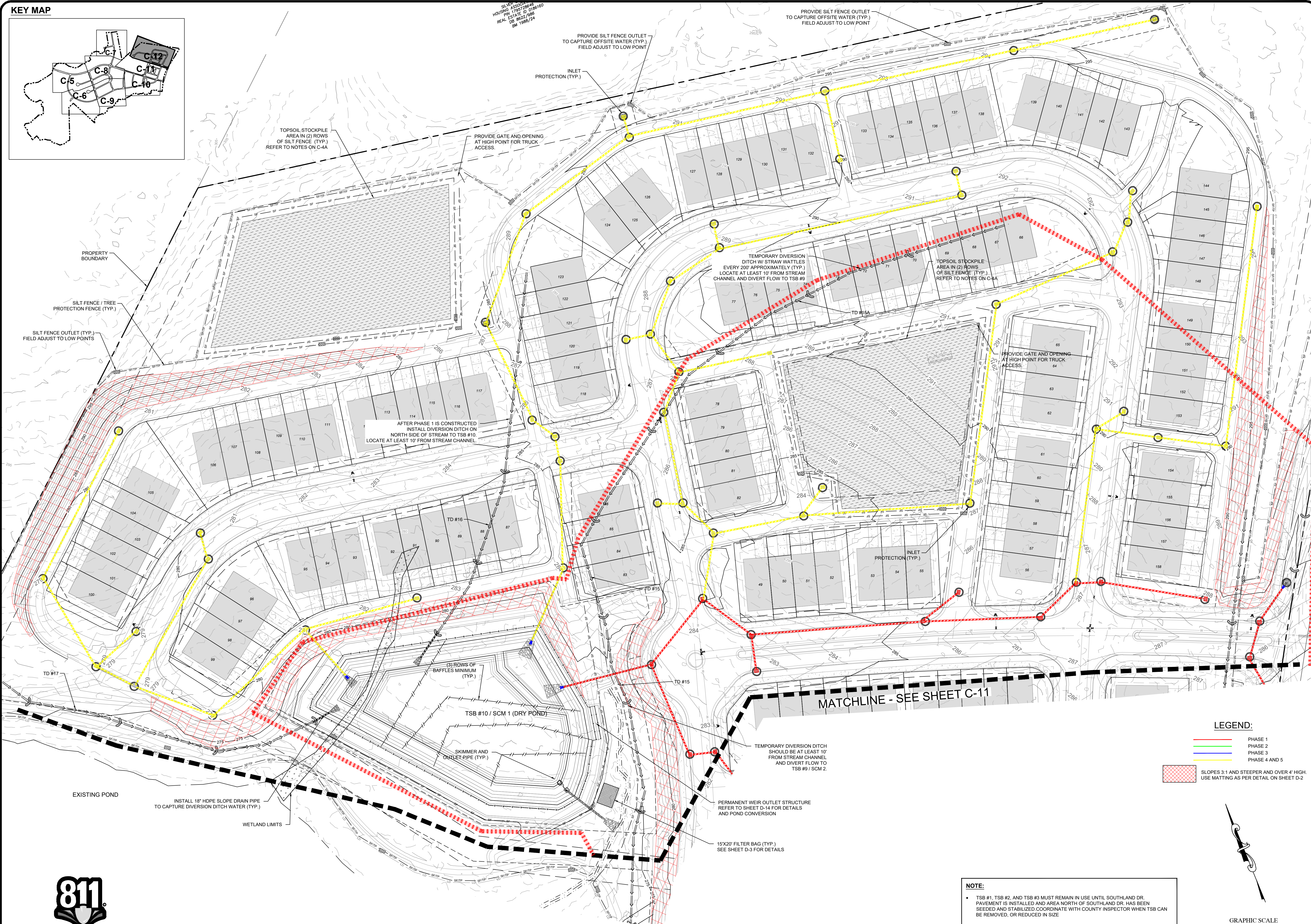
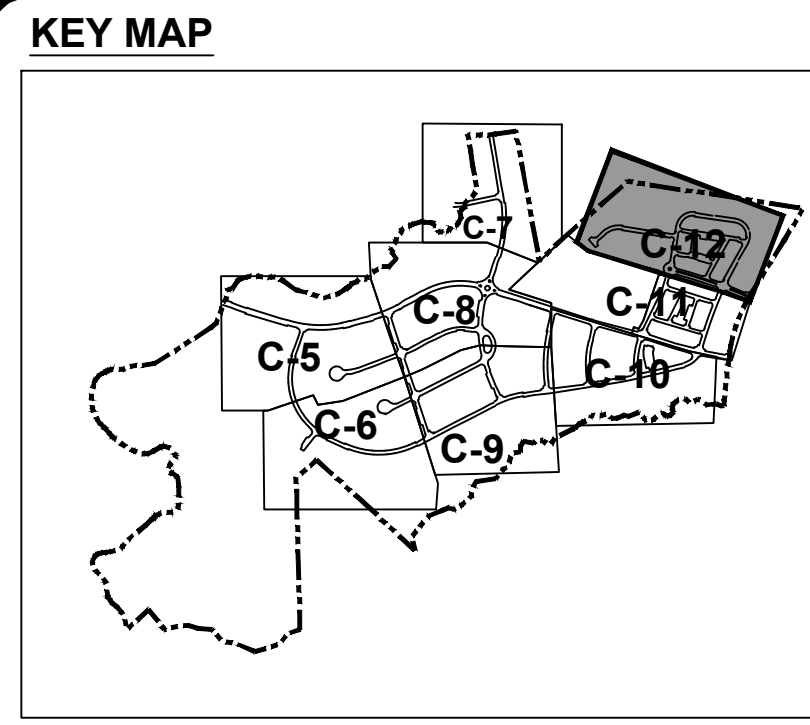


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CONSTRUCTION DRAWINGS FOR
CADENCE MEADOWS
915 PONY ROAD
ZEBULON, NC

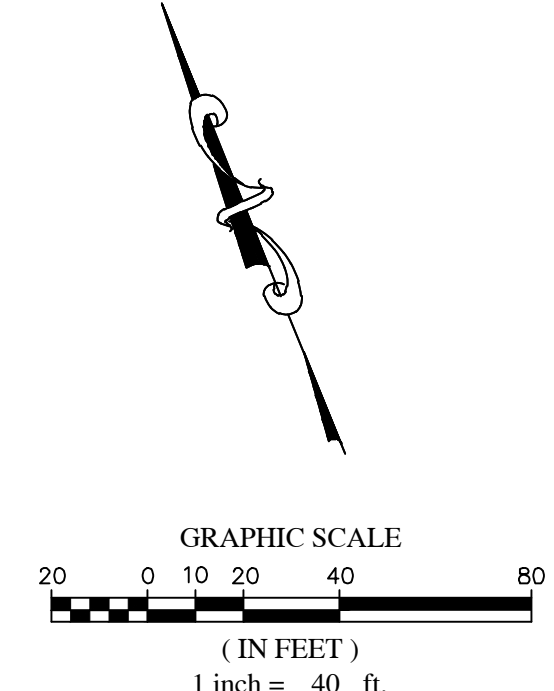
EROSION CONTROL PLAN

PROJECT NO.
19-0103
DRAWING NAME:
19-0103_ec.dwg
SHEET NO.
C-11



LEGEND:

	PHASE 1
	PHASE 2
	PHASE 3
	PHASE 4 AND 5
	SLOPES 3:1 AND STEEPER AND OVER 4' HIGH. USE MATTING AS PER DETAIL ON SHEET D-2

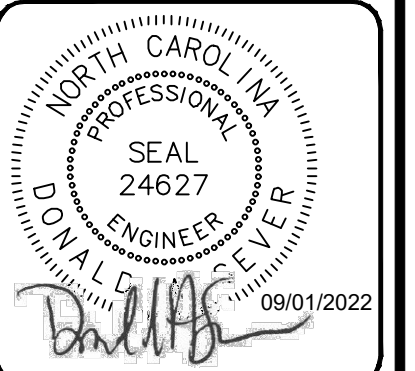


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CONSTRUCTION DRAWINGS FOR
CADENCE MEADOWS
 915 PONY ROAD
 ZEBULON, NC

EROSION CONTROL PLAN

PROJECT NO.
19-0103

DRAWING NAME:
19-0103_ec.dwg

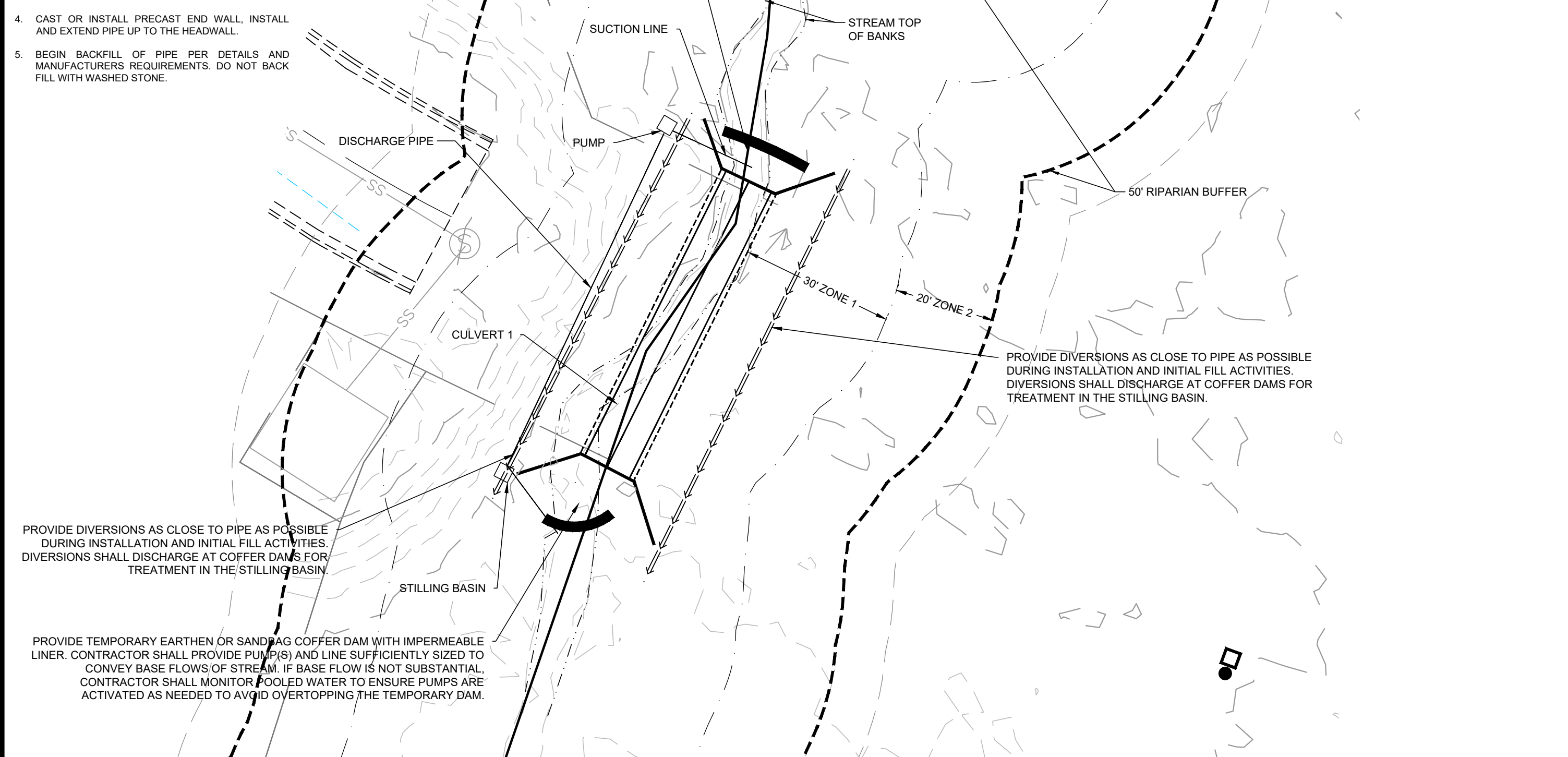
SHEET NO.
C-12



PHASE I - CONSTRUCTION SEQUENCE:

1. PROVIDE TEMPORARY DIVERSIONS AROUND PROPOSED UPSTREAM END WALL TO ALLOW STREAM TO CONTINUE NATURAL FLOW THROUGHOUT CONSTRUCTION.
2. INSTALL BYPASS PIPES/ PUMPS AS NEEDED TO HANDLE BASE FLOW CONDITIONS.
3. INSTALL PROPOSED PIPE AS SHOWN.
4. CAST OR INSTALL PRECAST END WALL. INSTALL AND EXTEND PIPE UP TO THE HEADWALL.
5. BEGIN BACKFILL OF PIPE PER DETAILS AND MANUFACTURERS REQUIREMENTS. DO NOT BACK FILL WITH WASHED STONE.

CONSTRUCT COFFER DAM WITH IMPERMEABLE LINER JUST BEYOND END WALL TO CAPTURE FLOWS THAT BYPASS UPSTREAM COFFER DAM. COME FROM GROUND WATER OR COME FROM RUNOFF DURING RAIN EVENTS. RUNOFF CAPTURED BY COFFER DAM SHALL BE PUMPED INTO A STILLING BASIN PER NCDOT ST 1630.06 AND RELEASED ON DOWNSTREAM SIDE OF COFFER DAM.



CREEK CROSSING - PHASE I SOUTHLAND DR. CULVERT 1

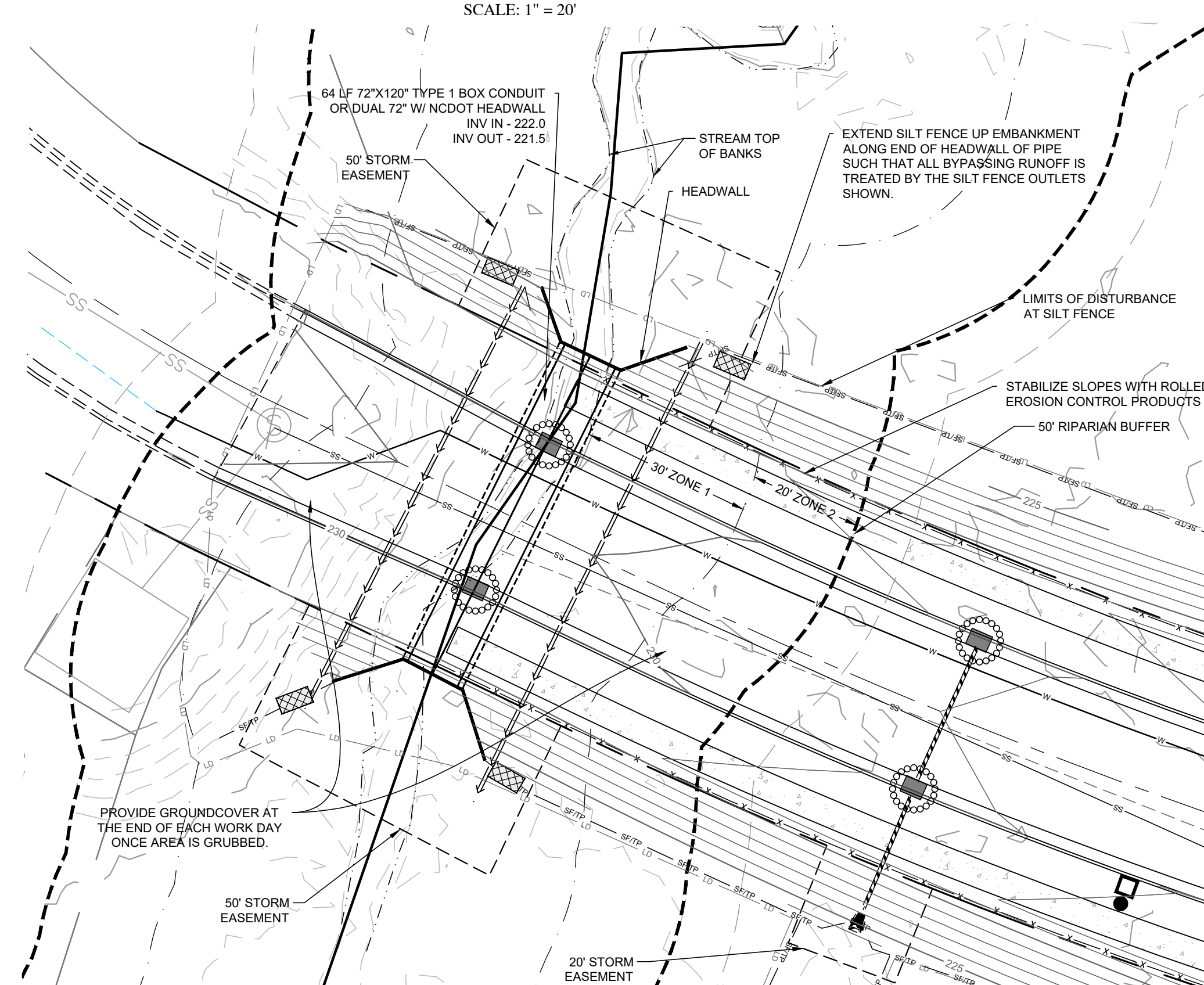
SCALE: 1" = 20'

PHASE II - CONSTRUCTION SEQUENCE:

1. CONTINUE FILL EFFORTS TO REACH THE DESIRED GRADES ENSURING THAT ALL COMPACTION REQUIREMENTS ARE MET.
2. WHEN CONSTRUCTING FILL FOR EMBANKMENT AT CROSSING PROVIDE ROLLED EROSION CONTROL MATTING TO TOP OF FILL SLOPE AT THE END OF EACH DAY.

CREEK CROSSING - PHASE II SOUTHLAND DR. CULVERT 1

SCALE: 1" = 20'

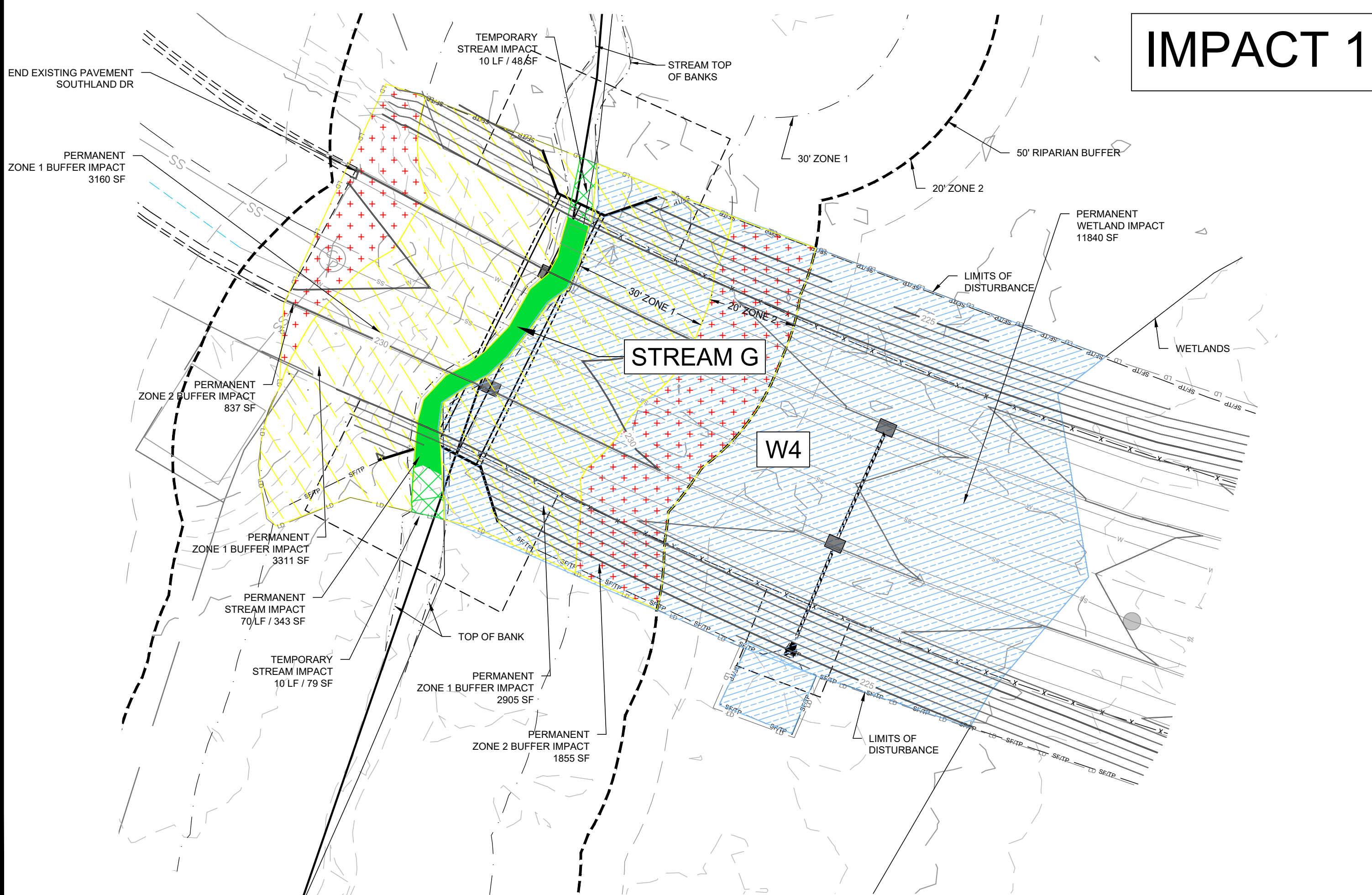


STREAM AND WETLAND IMPACTS SOUTHLAND DR. CULVERT 1

SCALE: 1" = 20'

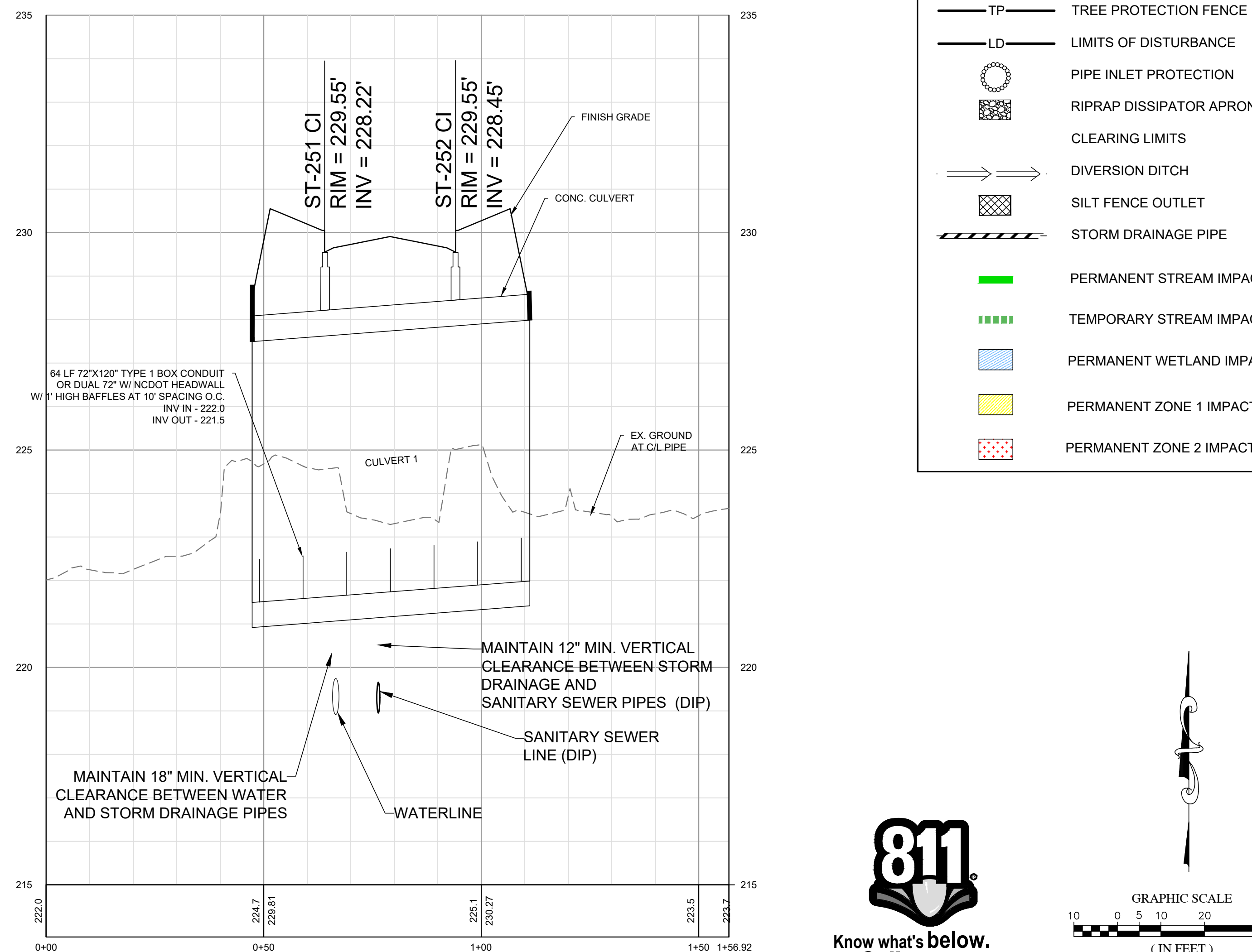
CULVERT 1 - STREAM CROSSING G - WETLAND W4 - IMPACT 1			
IMPACTED AREA	PERMANENT	TEMPORARY (10')	
WETLAND (SF)	11840		
STREAM (LF)	70	20	
STREAM (SF)	343	127	
ZONE 1 BUFFER (SF)	6216		
ZONE 2 BUFFER (SF)	2692		

IMPACT 1



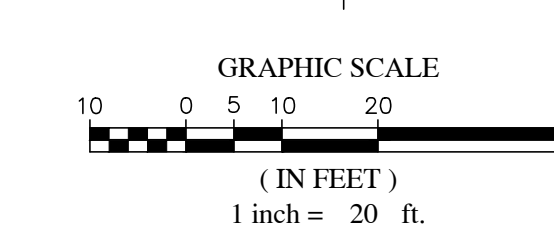
CREEK CROSSING PROFILE SOUTHLAND DR. CULVERT 1

SCALE: 1" = 20'



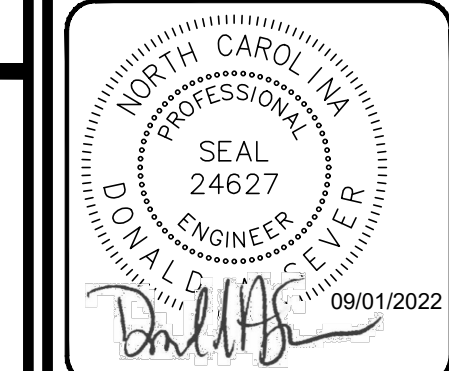
LEGEND:

- SF — SILT FENCE
- TP — TREE PROTECTION FENCE
- LD — LIMITS OF DISTURBANCE
- PIPE INLET PROTECTION
- ▣ RIPRAP DISSIPATOR APRON
- CLEARING LIMITS
- DIVERSION DITCH
- ▣ SILT FENCE OUTLET
- ▨ STORM DRAINAGE PIPE
- █ PERMANENT STREAM IMPACT
- ▤ TEMPORARY STREAM IMPACT
- ▨ PERMANENT WETLAND IMPACT
- ▨ PERMANENT ZONE 1 IMPACT
- ▨ PERMANENT ZONE 2 IMPACT



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 FIRST ISSUE DATE: 11-01-2021



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CONSTRUCTION DRAWINGS FOR CADENCE MEADOWS
 915 PONY ROAD ZEBULON, NC
EROSION CONTROL PLAN-SOUTHLAND DR CULVERT - IMPACT 1

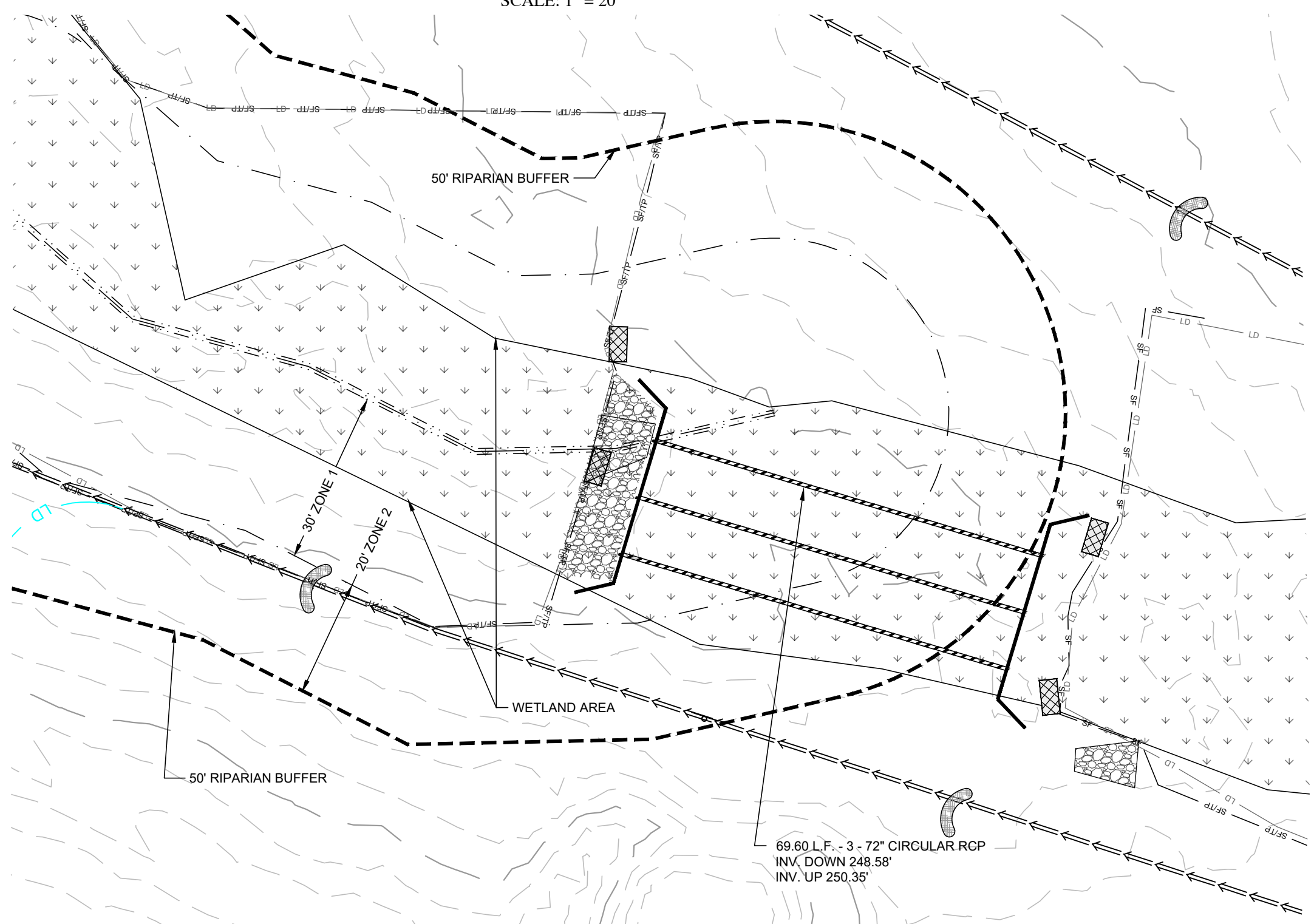
PROJECT NO. 19-0103
 DRAWING NAME: 19-0103_ec.dwg
 SHEET NO. C-12A

PHASE I - CONSTRUCTION SEQUENCE:

1. PROVIDE TEMPORARY DIVERSIONS AROUND PROPOSED UPSTREAM END WALL TO ALLOW STREAM TO CONTINUE NATURAL FLOW THROUGHOUT CONSTRUCTION.
2. INSTALL BYPASS PIPES/PUMPS AS NEEDED TO HANDLE BASE FLOW CONDITIONS.
3. INSTALL PROPOSED PIPE AS SHOWN.
4. CAST OR INSTALL PRECAST END WALL, INSTALL AND EXTEND PIPE UP TO THE HEADWALL.
5. BEGIN BACKFILL OF PIPE PER DETAILS AND MANUFACTURERS REQUIREMENTS. DO NOT BACK FILL WITH WASHED STONE.

**CREEK CROSSING - PHASE I
CULVERT 2 AZALEA DR.**

SCALE: 1" = 20'

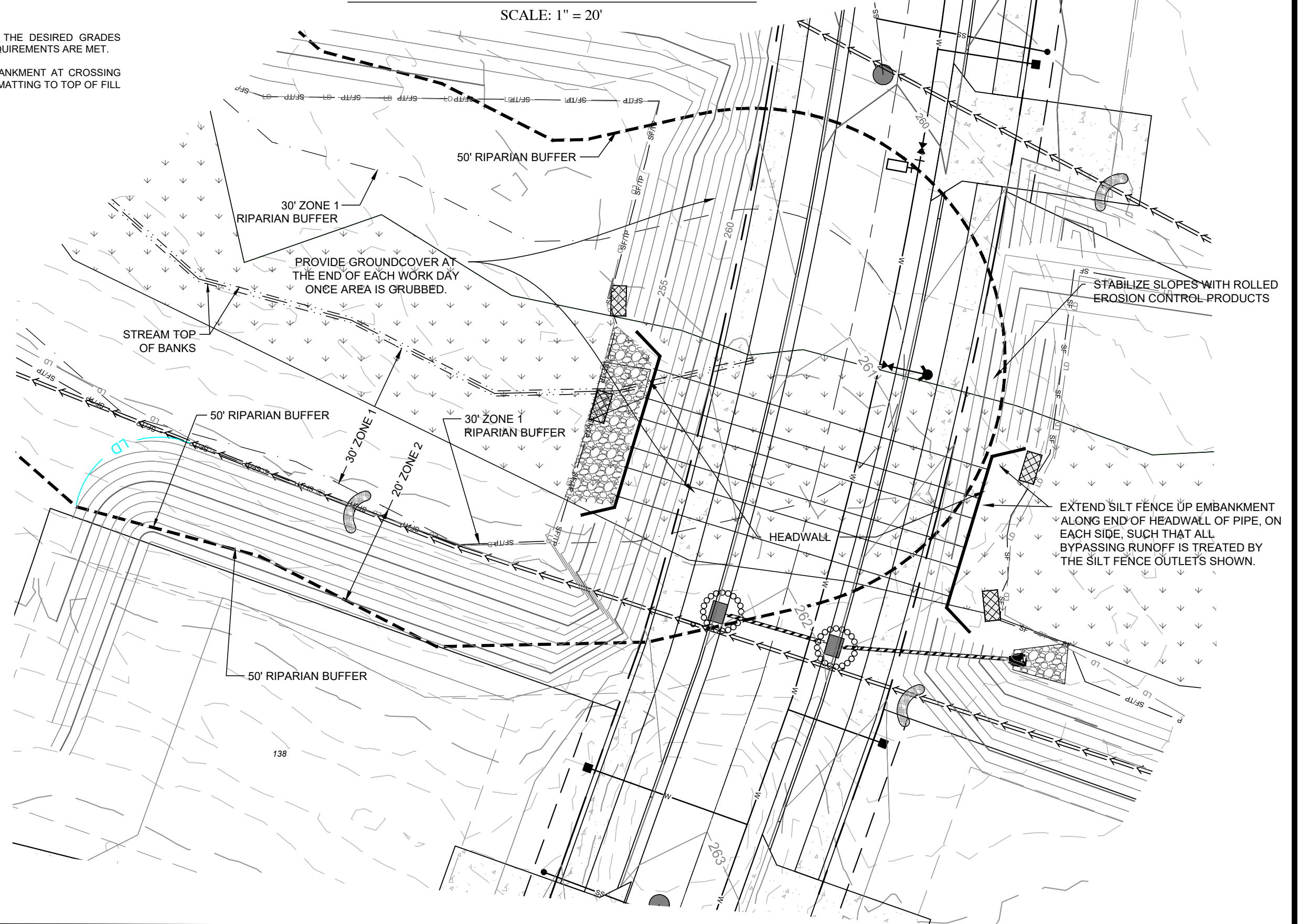


PHASE II - CONSTRUCTION SEQUENCE:

1. CONTINUE FILL EFFORTS TO REACH THE DESIRED GRADES ENSURING THAT ALL COMPACTION REQUIREMENTS ARE MET.
2. WHEN CONSTRUCTING FILL FOR EMBANKMENT AT CROSSING PROVIDE ROLLED EROSION CONTROL MATTING TO TOP OF FILL SLOPE AT THE END OF EACH DAY.

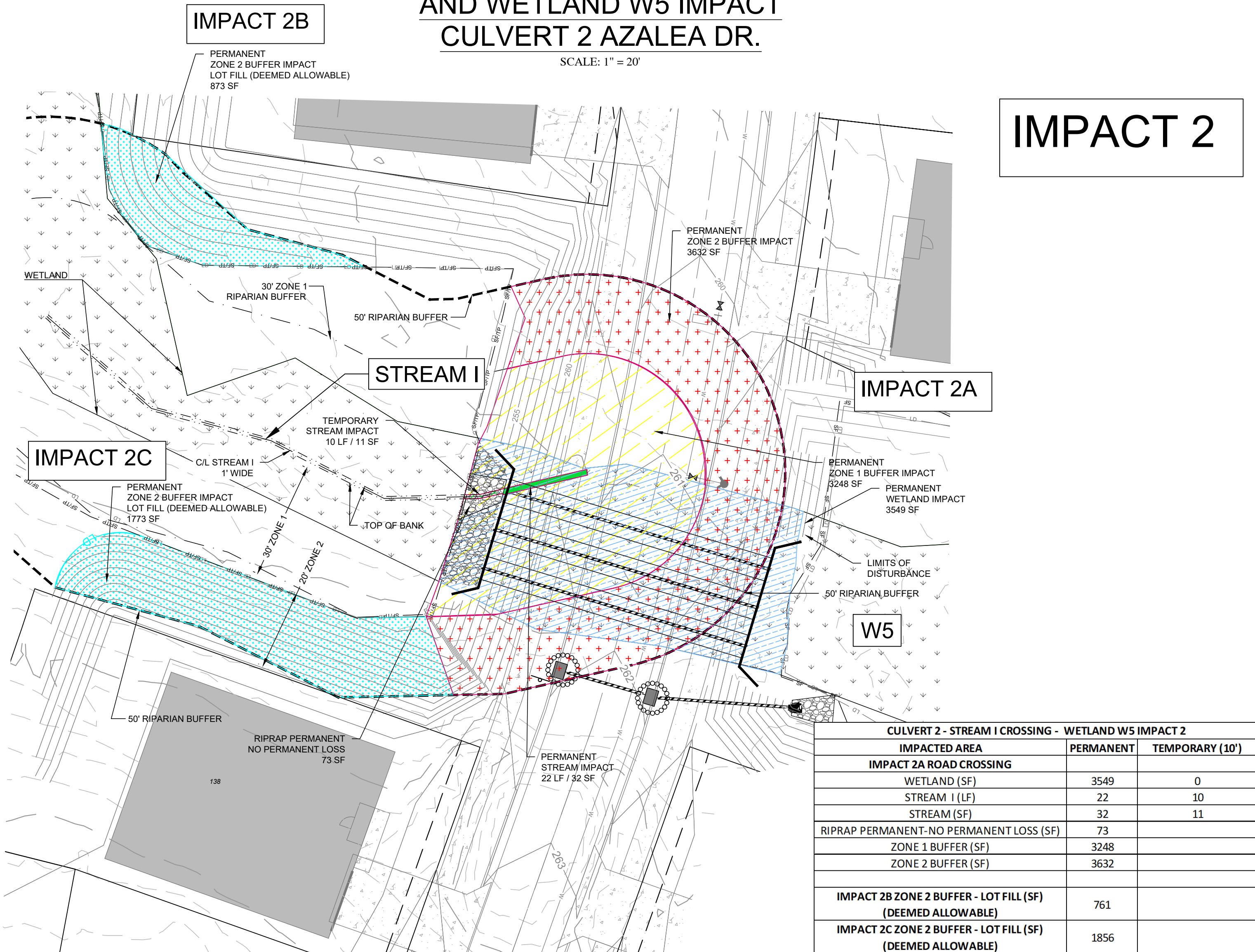
**CREEK CROSSING - PHASE II
CULVERT 2 AZALEA DR.**

SCALE: 1" = 20'



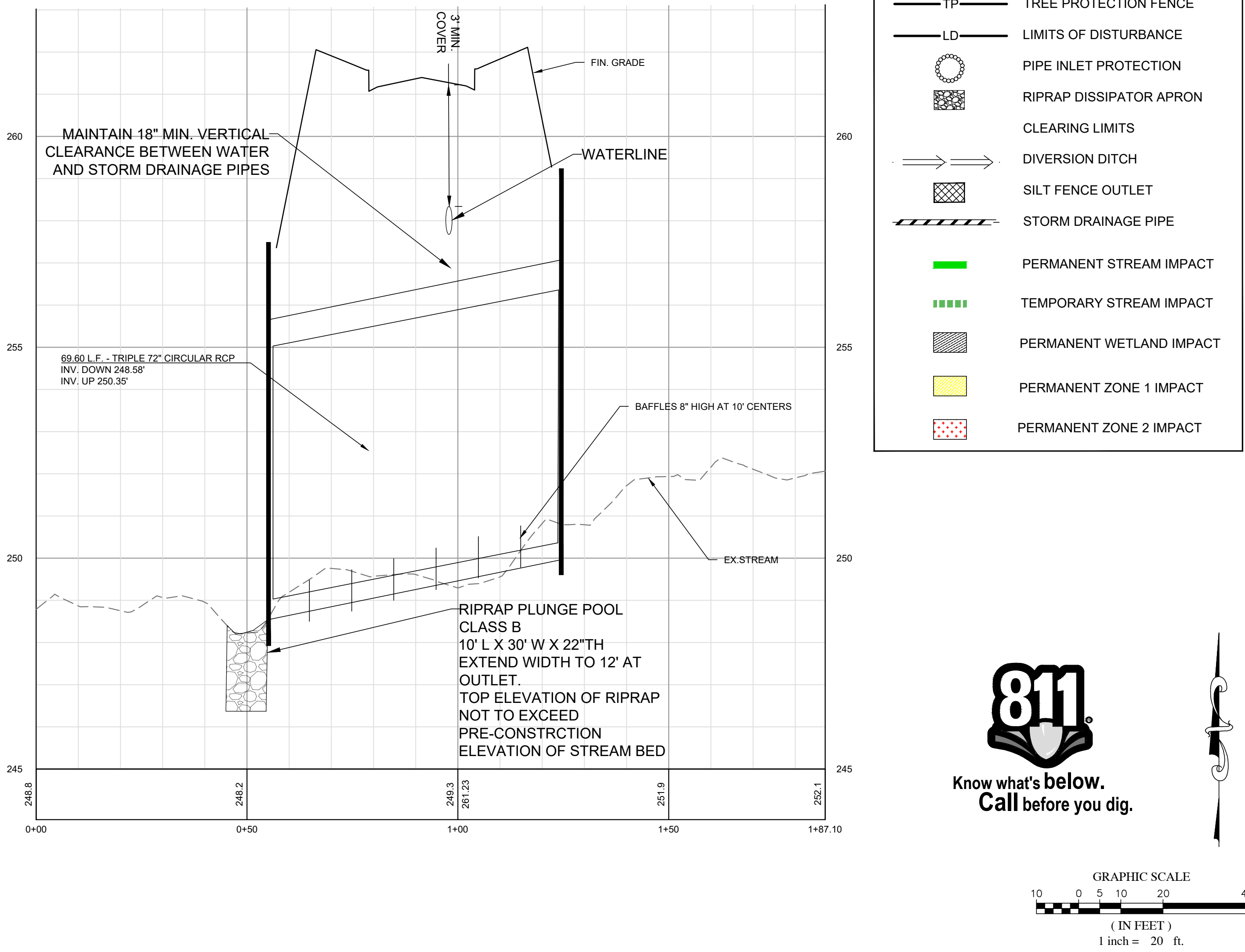
**CREEK CROSSING - STREAM I, BUFFER, AND WETLAND W5 IMPACT
CULVERT 2 AZALEA DR.**

SCALE: 1" = 20'



**CREEK CROSSING - PROFILE
CULVERT 2 AZALEA DR.**

SCALE: 1" = 20'



811
Know what's below.
Call before you dig.

GRAPHIC SCALE
10 0 5 10 20 40
(IN FEET)
1 inch = 20 ft.

NO.	DATE	REVISIONS
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4	04/06/2022	DAS
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2	02/25/2022	DAS
1	01/07/2022	DAS

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PROJECT MANAGER
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DRAWN BY
JA/JIMMY.ASHLEY@SUMMITDE.NET

FIRST ISSUE DATE
10-01-2021



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CONSTRUCTION DRAWINGS FOR
CADENCE MEADOWS

915 PONY ROAD
ZEBULON, NC

EROSION CONTROL PLAN-AZALEA DR
CULVERT 2 STREAM I - W5 I IMPACT 2

PROJECT NO.
19-0103

DRAWING NAME:
19-0103_ec.dwg

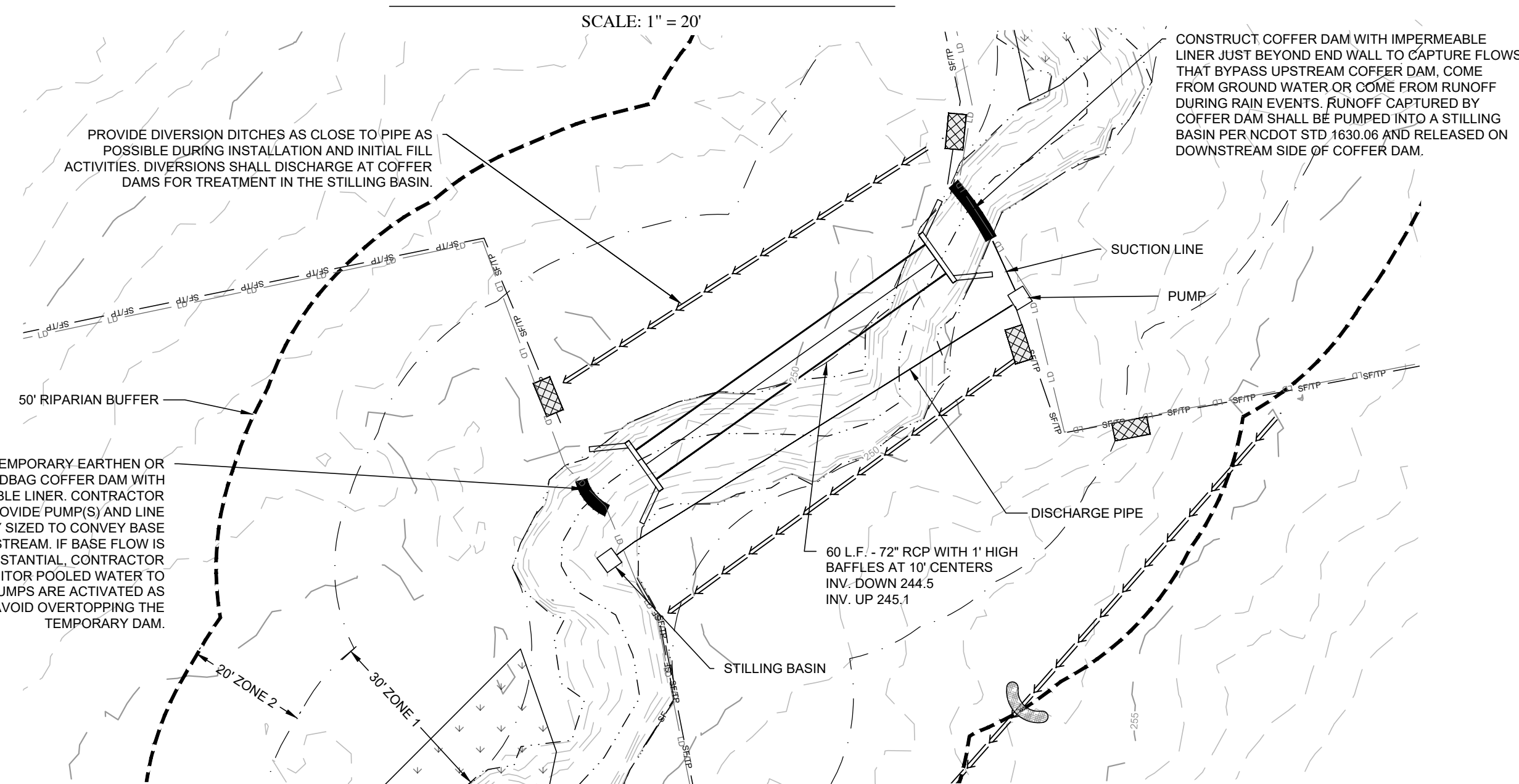
SHEET NO.
C-12B

PHASE I - CONSTRUCTION SEQUENCE:

1. PROVIDE TEMPORARY DIVERSIONS AROUND PROPOSED UPSTREAM END WALL TO ALLOW STREAM TO CONTINUE NATURAL FLOW THROUGHOUT CONSTRUCTION.
2. INSTALL BYPASS PIPES/ PUMPS AS NEEDED TO HANDLE BASE FLOW CONDITIONS.
3. INSTALL PROPOSED PIPE AS SHOWN.
4. CAST OR INSTALL PRECAST END WALL. INSTALL AND EXTEND PIPE UP TO THE HEADWALL.
5. BEGIN BACKFILL OF PIPE PER DETAILS AND MANUFACTURERS REQUIREMENTS. DO NOT BACK FILL WITH WASHED STONE.

PROVIDE DIVERSION DITCHES AS CLOSE TO PIPE AS POSSIBLE DURING INSTALLATION AND INITIAL FILL ACTIVITIES. DIVERSIONS SHALL DISCHARGE AT COFFER DAMS FOR TREATMENT IN THE STILLING BASIN.

PROVIDE TEMPORARY EARTHEN OR SANDBAG COFFER DAM WITH IMPERMEABLE LINER. CONTRACTOR SHALL PROVIDE PUMPS(S) AND LINE SUFFICIENTLY SIZED TO CONVEY BASE FLOWS OF STREAM. IF BASE FLOW IS NOT SUBSTANTIAL, CONTRACTOR SHALL MONITOR POOLED WATER TO ENSURE PUMPS ARE ACTIVATED AS NEEDED TO AVOID OVERTOPPING THE TEMPORARY DAM.

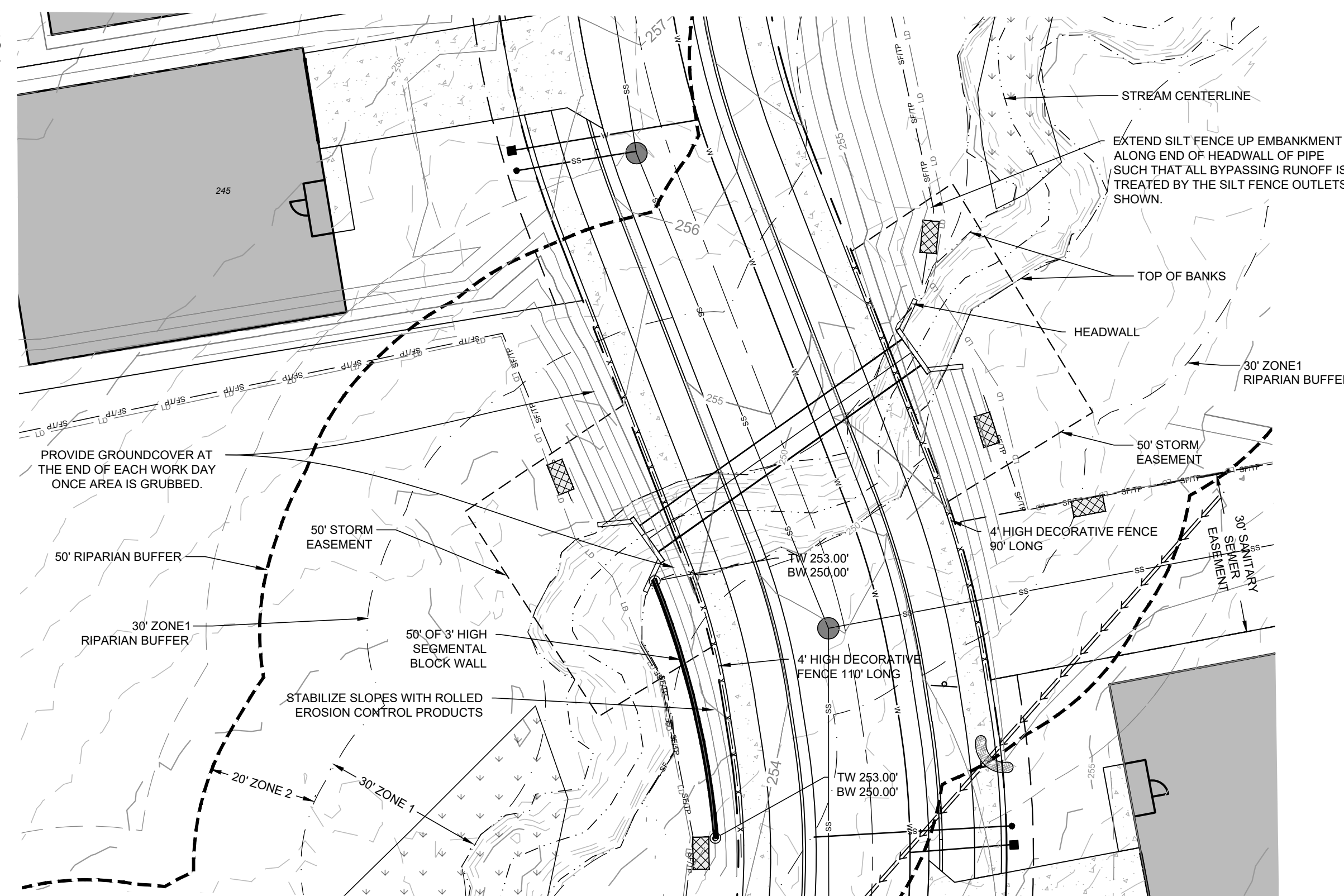


**CREEK CROSSING - PHASE I
CULVERT 3 - AZALEA DR.**

SCALE: 1" = 20'

PHASE II - CONSTRUCTION SEQUENCE:

1. CONTINUE FILL EFFORTS TO REACH THE DESIRED GRADES, ENSURING THAT ALL COMPACTION REQUIREMENTS ARE MET.
2. WHEN CONSTRUCTING FILL FOR EMBANKMENT AT CROSSING PROVIDE ROLLED EROSION CONTROL MATTING TO TOP OF FILL SLOPE AT THE END OF EACH DAY.

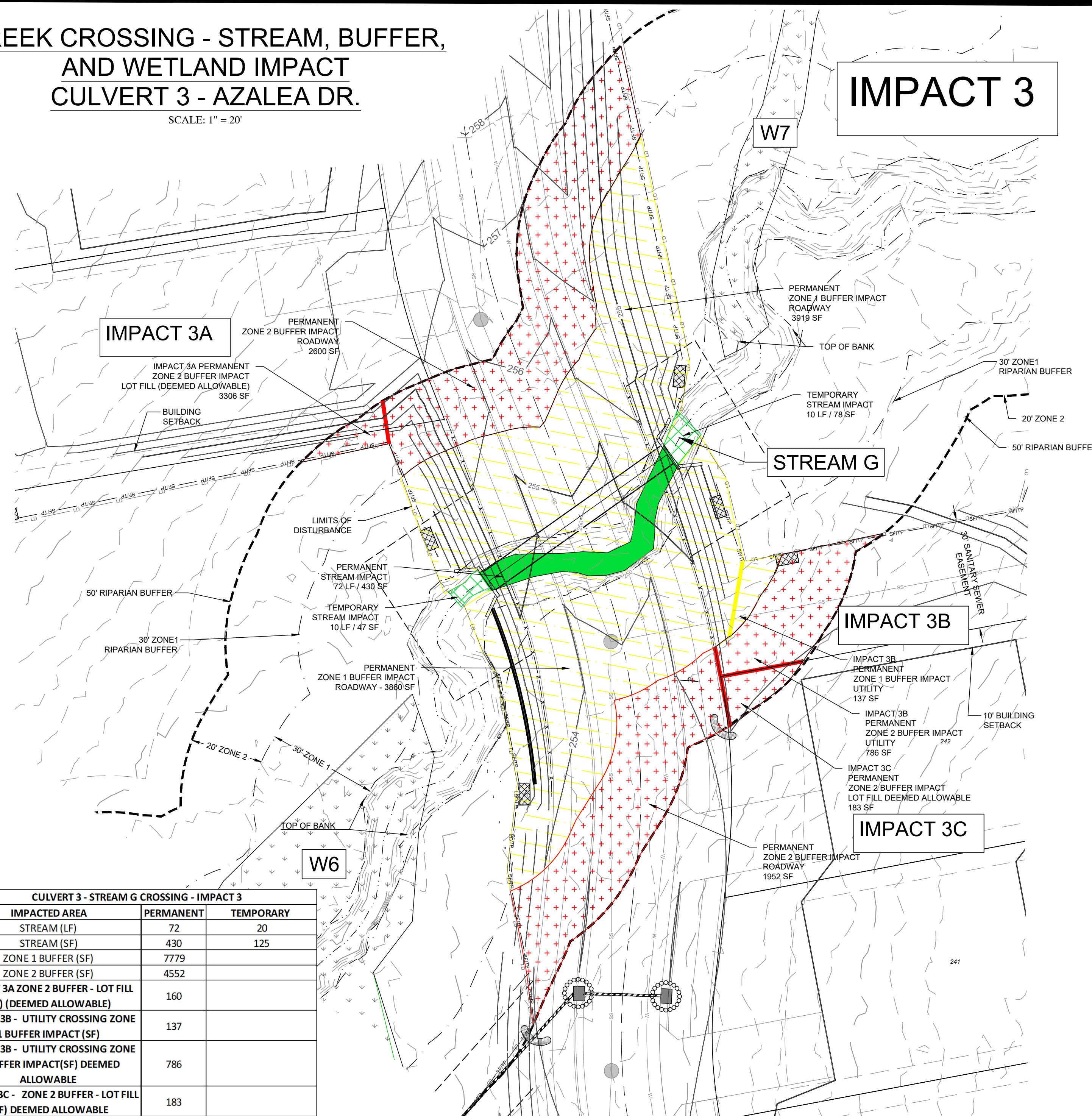


**CREEK CROSSING - PHASE II
CULVERT 3 - AZALEA DR.**

SCALE: 1" = 20'

**CREEK CROSSING - STREAM, BUFFER, AND WETLAND IMPACT
CULVERT 3 - AZALEA DR.**

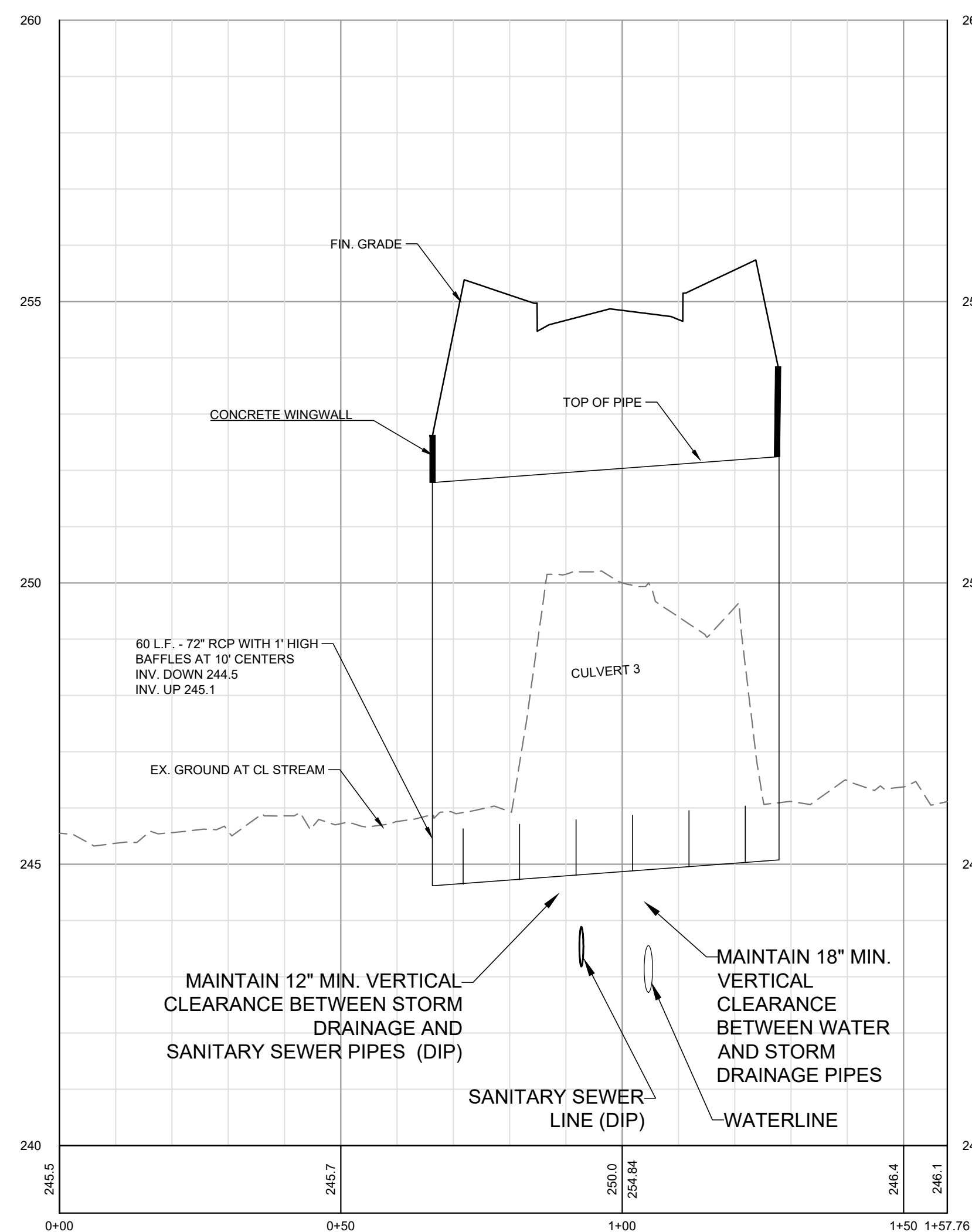
SCALE: 1" = 20'



IMPACT 3

**CREEK CROSSING - PROFILE
CULVERT 3 - AZALEA DR.**

SCALE: 1" = 20'

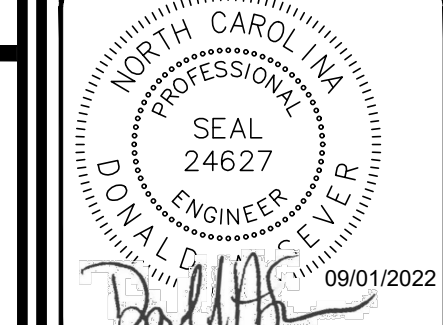


LEGEND:

- SF SILT FENCE
- TP TREE PROTECTION FENCE
- LD LIMITS OF DISTURBANCE
- PIPE INLET PROTECTION
- RIPRAP DISSIPATOR APRON
- CLEARING LIMITS
- DIVERSION DITCH
- SILT FENCE OUTLET
- STORM DRAINAGE PIPE
- PERMANENT STREAM IMPACT
- TEMPORARY STREAM IMPACT
- PERMANENT WETLAND IMPACT
- PERMANENT ZONE 1 IMPACT
- PERMANENT ZONE 2 IMPACT

CULVERT 3 - STREAM G CROSSING - IMPACT 3		
IMPACTED AREA	PERMANENT	TEMPORARY
STREAM (LF)	72	20
STREAM (SF)	430	125
ZONE 1 BUFFER (SF)	7779	
ZONE 2 BUFFER (SF)	4552	
IMPACT 3A ZONE 2 BUFFER - LOT FILL (SF) (DEEMED ALLOWABLE)	160	
IMPACT 3B - UTILITY CROSSING ZONE 1 BUFFER IMPACT (SF)	137	
IMPACT 3B - UTILITY CROSSING ZONE 2 BUFFER IMPACT(SF) DEEMED ALLOWABLE	786	
IMPACT 3C - ZONE 2 BUFFER - LOT FILL (SF) DEEMED ALLOWABLE	183	

NO.	DATE	REVISIONS
7	09/01/2022	FINAL SET
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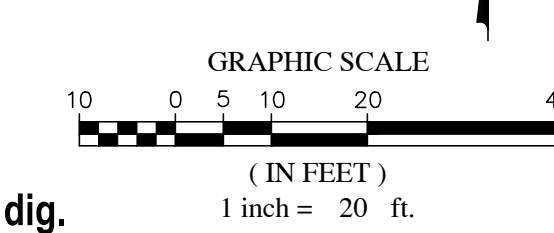
CONSTRUCTION DRAWINGS FOR
CADENCE MEADOWS
915 PONY ROAD
ZEBULON, NC

EROSION CONTROL PLAN AZALEA DR
CULVERT 3 IMPACT 3

PROJECT NO.
19-0103

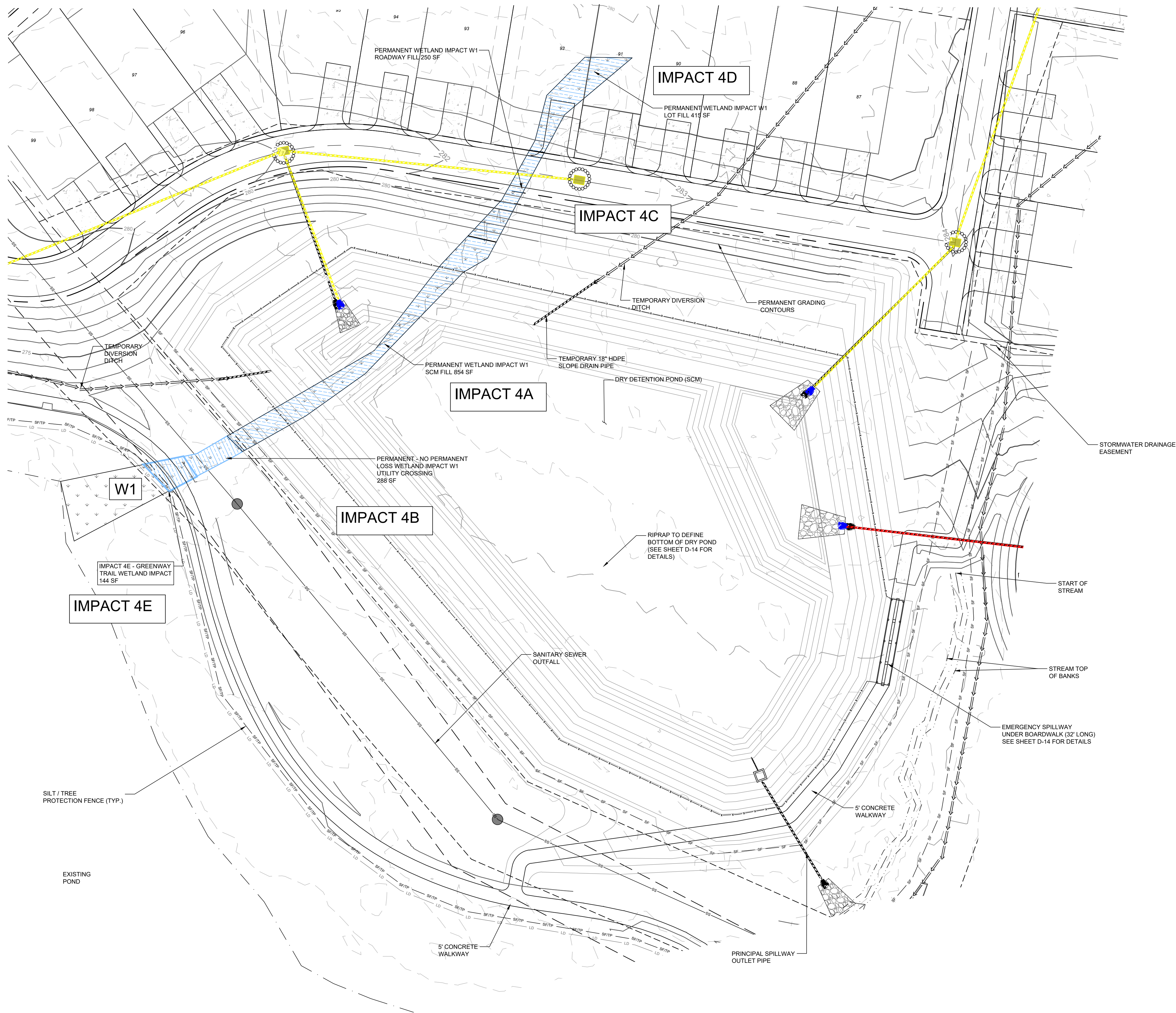
DRAWING NAME:
19-0103_ec.dwg

SHEET NO.
C-12C



WETLAND W1 IMPACT

SCALE: 1" = 20'



WETLAND W1 IMPACT 4		
IMPACTED AREA	PERMANENT	PERMANENT - NO PERMANENT LOSS
4A - WETLAND W1 SCM FILL (SF)	854	288
4B - W1 UTILITY CROSSING (SF)		
4C - W1 ROADWAY FILL (SF)	250	
4D - W1 LOT FILL (SF)	415	
4E - W1 GREENWAY LOT FILL (SF)	144	

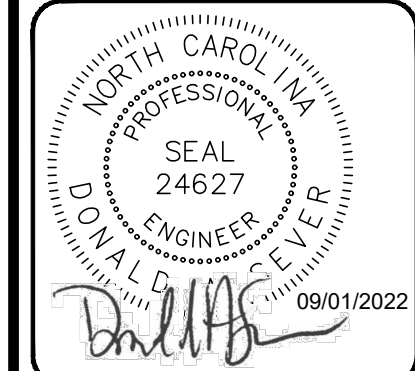
LEGEND:

- SILT FENCE
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- PIPE INLET PROTECTION
- RIPRAP DISSIPATOR APRON
- CLEARING LIMITS
- DIVERSION DITCH
- SILT FENCE OUTLET
- STORM DRAINAGE PIPE
- PERMANENT STREAM IMPACT
- TEMPORARY STREAM IMPACT
- PERMANENT WETLAND IMPACT
- PERMANENT ZONE 1 IMPACT
- PERMANENT ZONE 2 IMPACT

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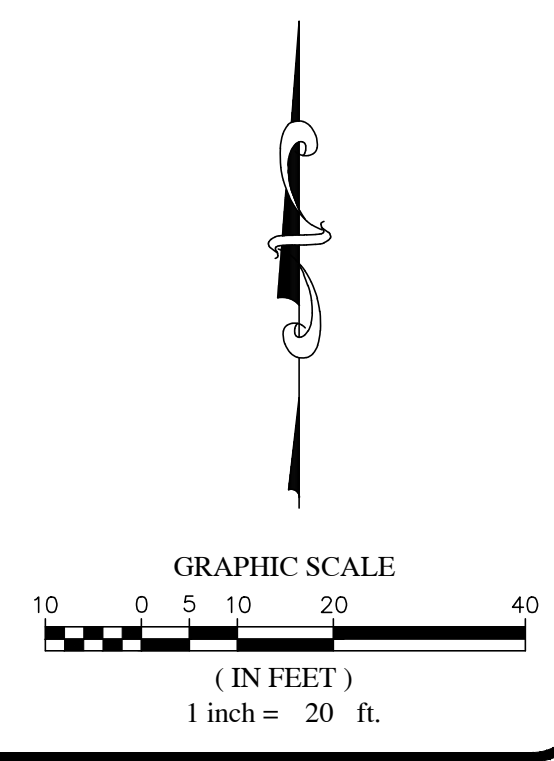
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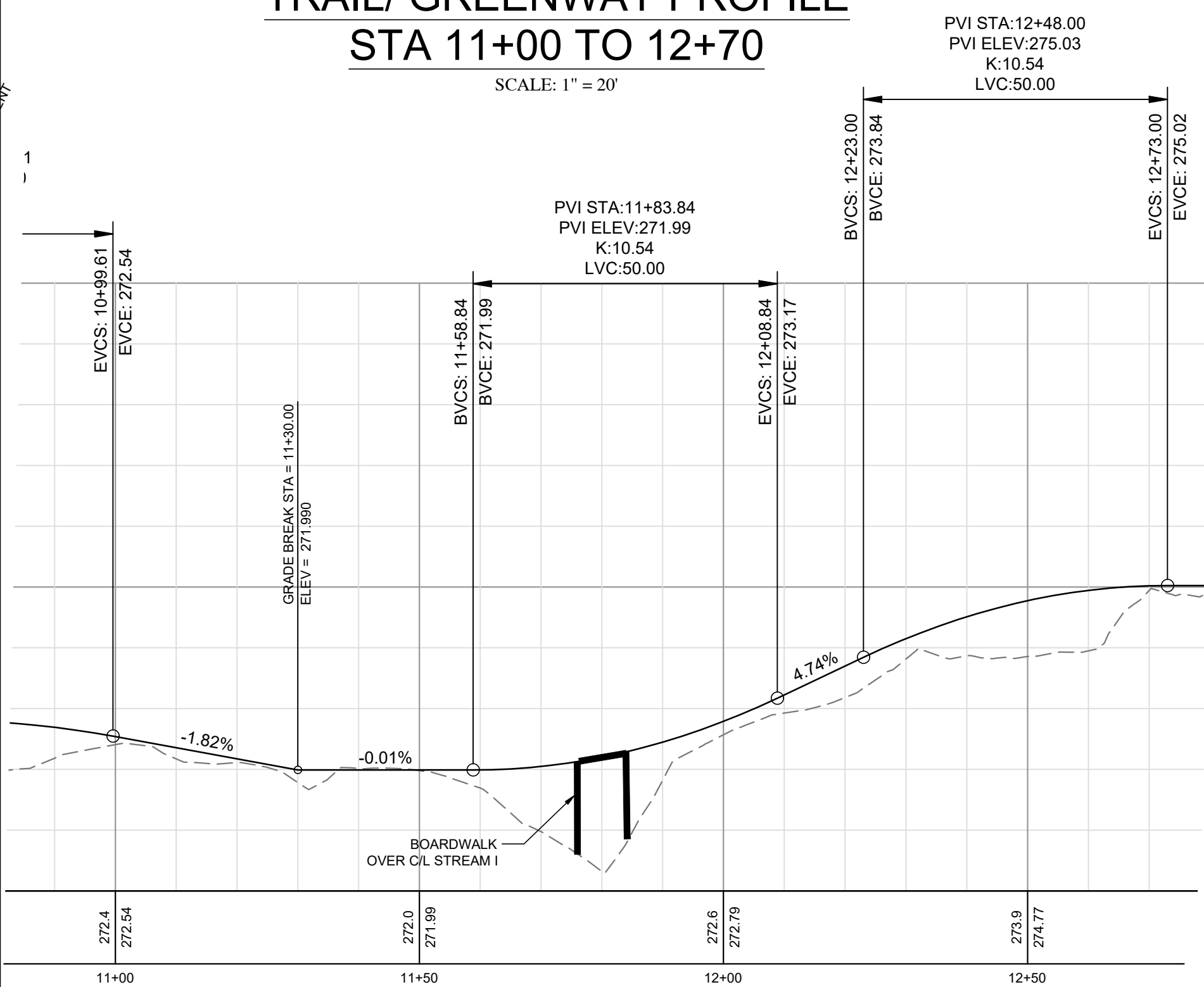
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CONSTRUCTION DRAWINGS FOR
CADENCE MEADOWS
 915 PONY ROAD
 ZEBULON, NC
WETLAND W1 IMPACT 4

PROJECT NO.: 19-0103
 DRAWING NAME: 19-0103_ec.dwg
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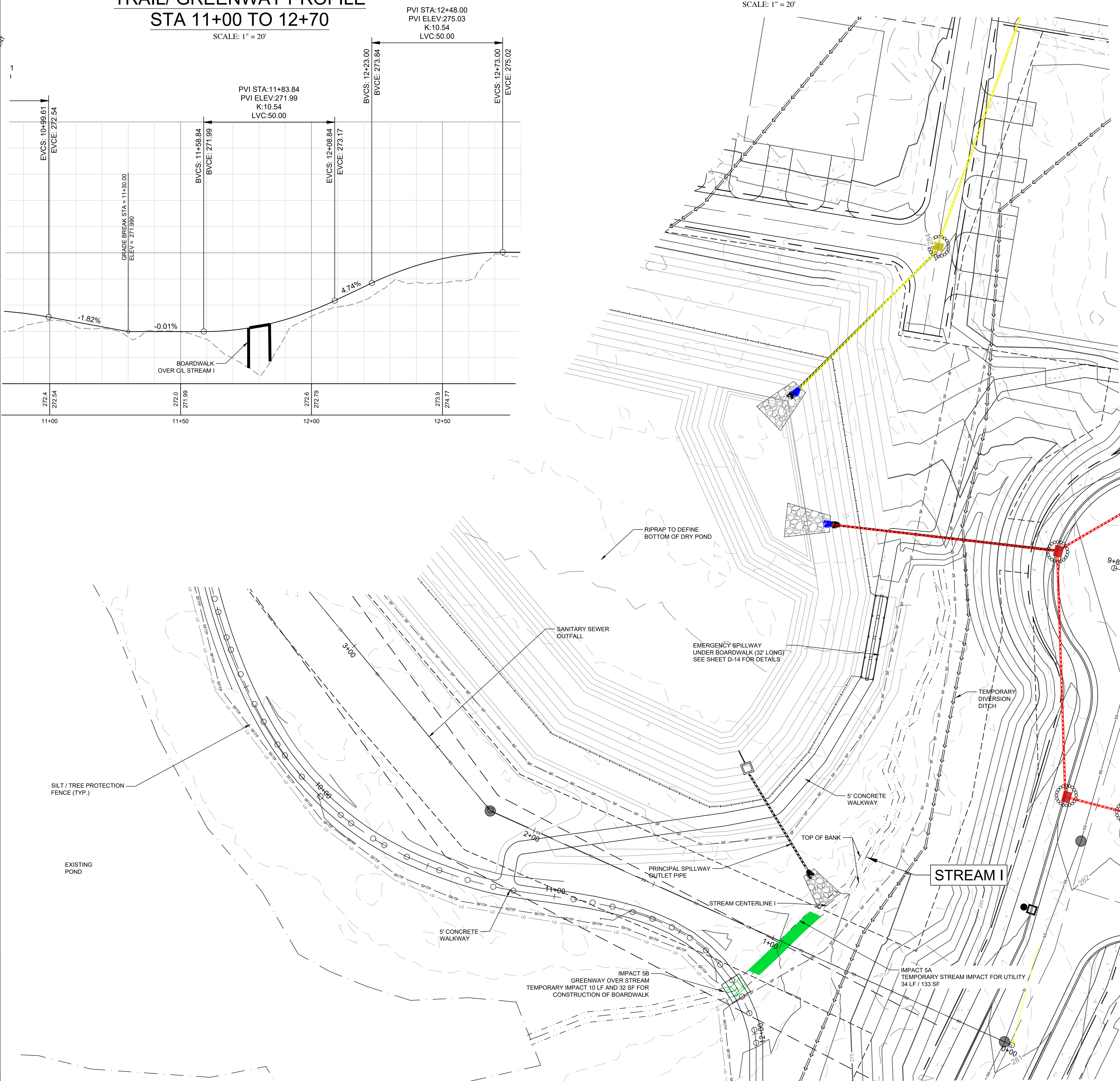


**TRAIL/ GREENWAY PROFILE
STA 11+00 TO 12+70**



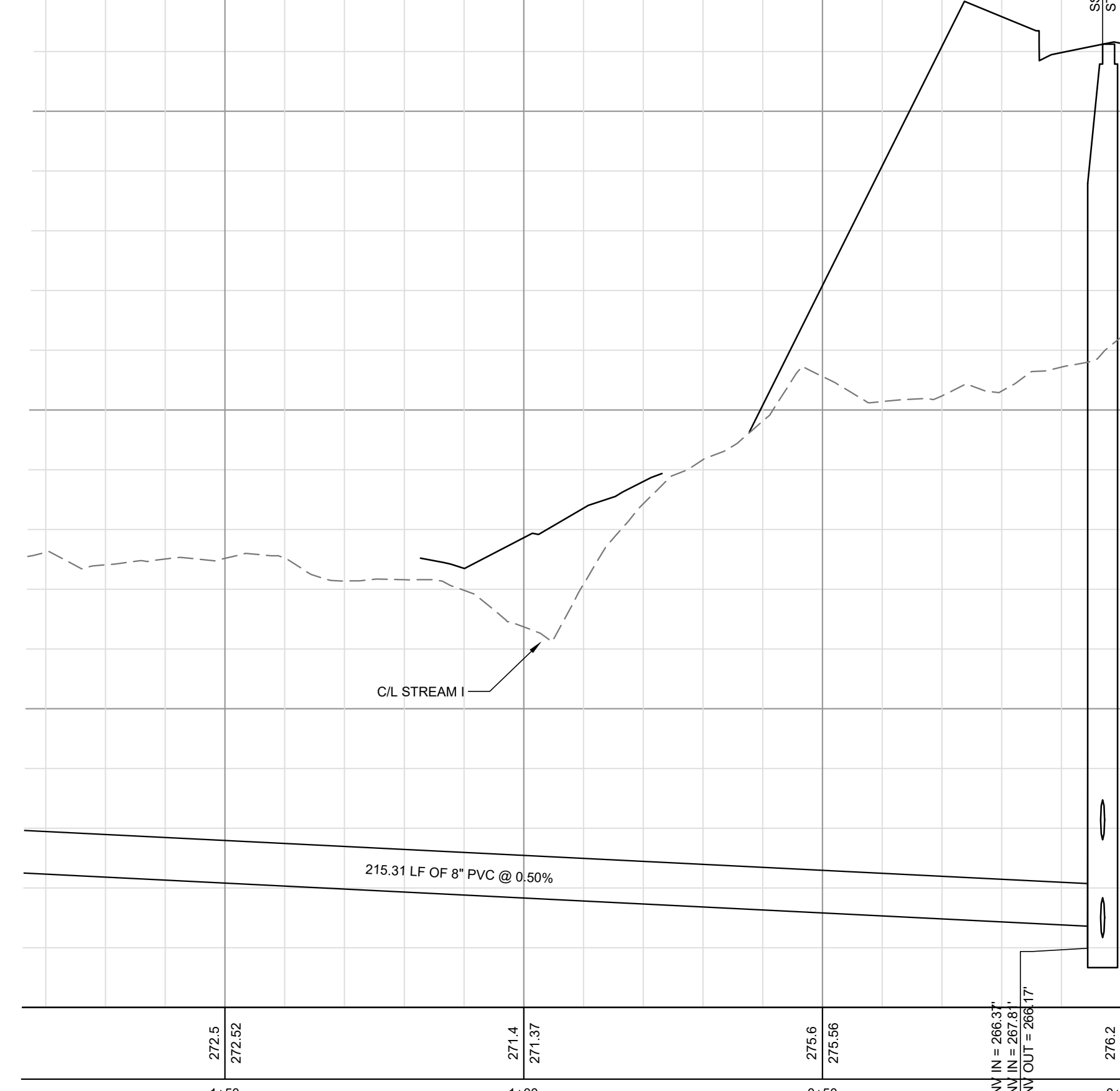
STREAM I UTILITY IMPACT

SCALE: 1" = 20'



**SANITARY SEWER PROFILE
STA 0+00 TO 1+70**

SCALE: 1" = 20'



IMPACT 5

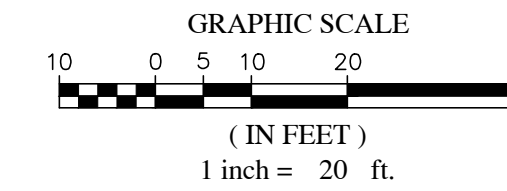
STREAM I UTILITY IMPACT 5		
IMPACTED AREA	PERMANENT	TEMPORARY (10')
IMPACT 5A UTILITY STREAM (LF)		34
IMPACT 5A UTILITY STREAM (SF)	133	
IMPACT 5B - WALKWAY STREAM (LF)	10	
IMPACT 5B - WALKWAY STREAM (SF)	32	

LEGEND:

- SF — SILT FENCE
- TP — TREE PROTECTION FENCE
- LD — LIMITS OF DISTURBANCE
- PIPE INLET PROTECTION
- ▒ RIPRAP DISSIPATOR APRON
- CLEARING LIMITS
- ⇄ DIVERSION DITCH
- ▒ SILT FENCE OUTLET
- STORM DRAINAGE PIPE
- █ PERMANENT STREAM IMPACT
- ▒ TEMPORARY STREAM IMPACT
- ▒ PERMANENT WETLAND IMPACT
- █ PERMANENT ZONE 1 IMPACT
- ▒ PERMANENT ZONE 2 IMPACT



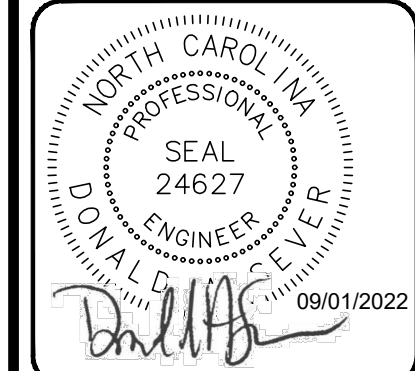
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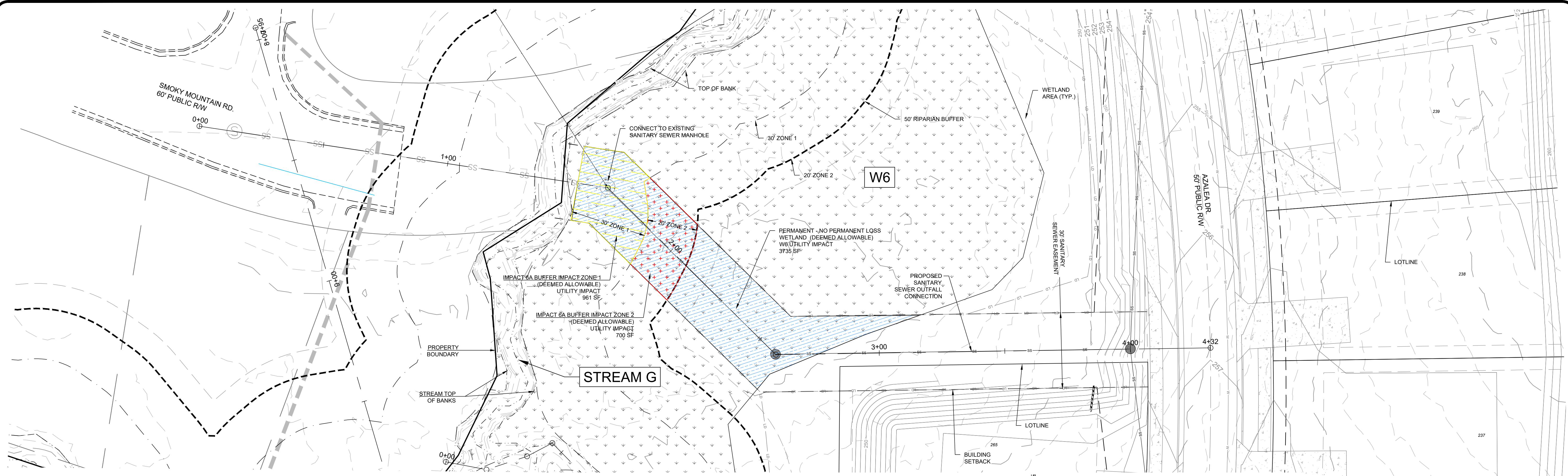
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PROJECT MANAGER: DAS(DON)SEIFER@SUMMITDE.NET
DRAWN BY: J(AJIMMY)ASHLEY@SUMMITDE.NET
FIRST ISSUE DATE: 11-01-2021



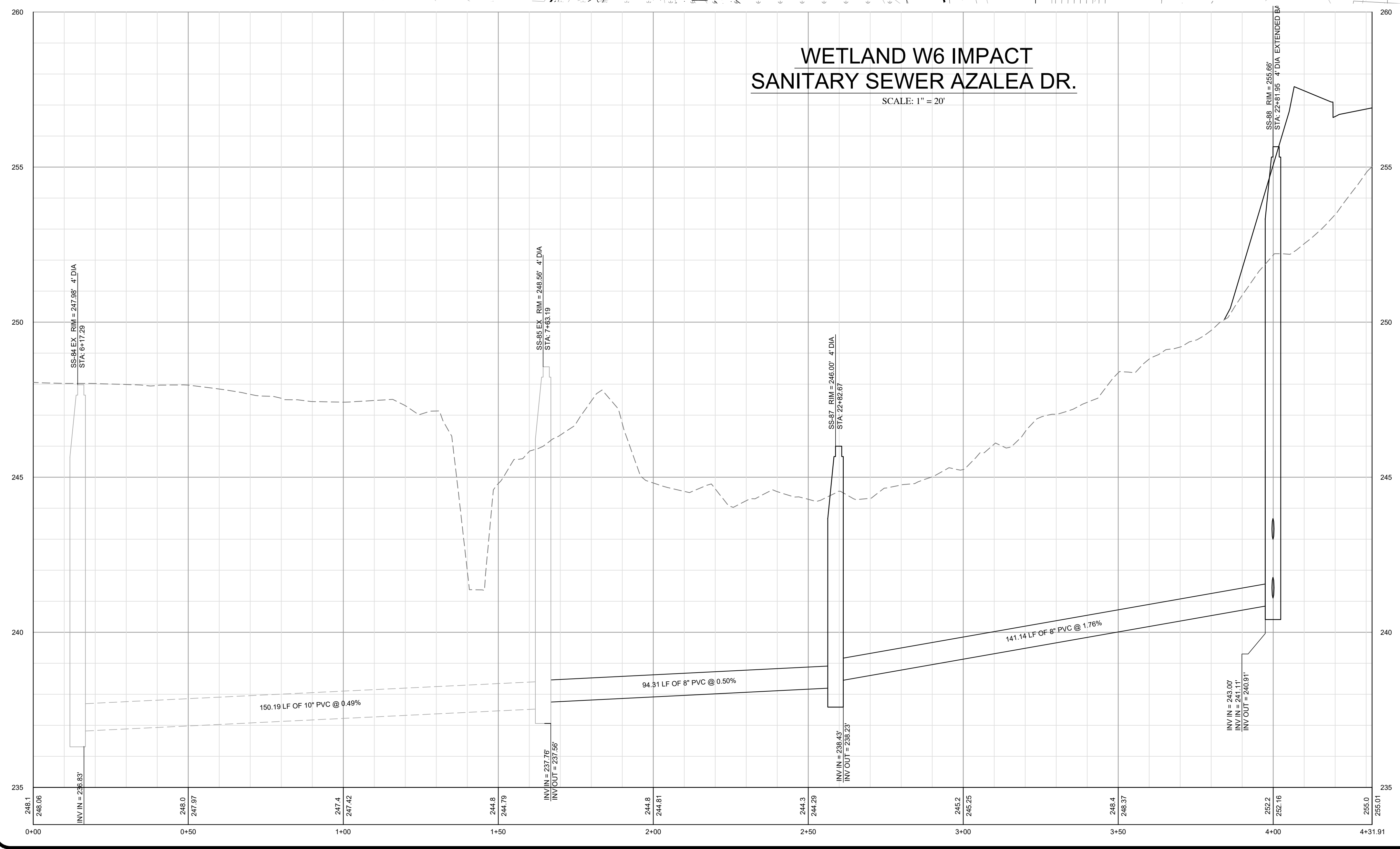
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**CONSTRUCTION DRAWINGS FOR
CADENCE MEADOWS**
915 PONY ROAD
ZEBULON, NC
STREAM I IMPACT 5

PROJECT NO.: 19-0103
DRAWING NAME: 19-0103_ec.dwg
SHEET NO.: C-12E



**WETLAND W6 IMPACT
SANITARY SEWER AZALEA DR.**
SCALE: 1" = 20'



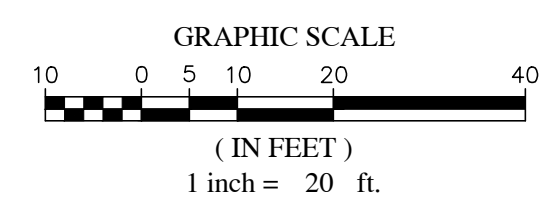
IMPACT 6

- LEGEND:**
- SF — SILT FENCE
 - TP — TREE PROTECTION FENCE
 - LD — LIMITS OF DISTURBANCE
 - PIPE INLET PROTECTION
 - ▒ RIPRAP DISSIPATOR APRON
 - CLEARING LIMITS
 - ⇨ DIVERSION DITCH
 - ▒ SILT FENCE OUTLET
 - ▒ STORM DRAINAGE PIPE
 - PERMANENT STREAM IMPACT
 - ▒ TEMPORARY STREAM IMPACT
 - ▒ PERMANENT WETLAND IMPACT
 - PERMANENT ZONE 1 IMPACT
 - ▒ PERMANENT ZONE 2 IMPACT

WETLAND W6 UTILITY IMPACT 6		
IMPACTED AREA	PERMANENT	PERMANENT - NO PERMANENT LOSS (DEEMED ALLOWABLE)
WETLAND (SF)	0	3735
IMPACT 6A - UTILITY CROSSING ZONE 1 BUFFER IMPACT(SF) DEEMED ALLOWABLE	961	
IMPACT 6A - UTILITY CROSSING ZONE 2 BUFFER IMPACT(SF) DEEMED ALLOWABLE	700	



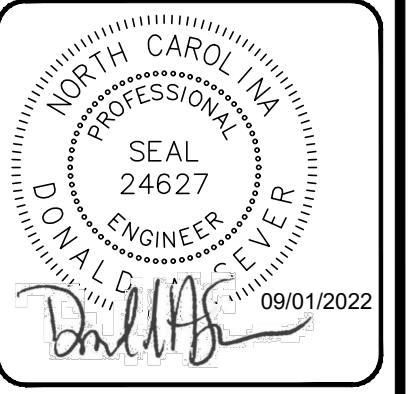
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 DRAWN BY: JAMMY.ASHLEY@SUMMITDE.NET
 FIRST ISSUE DATE: 11-01-2021

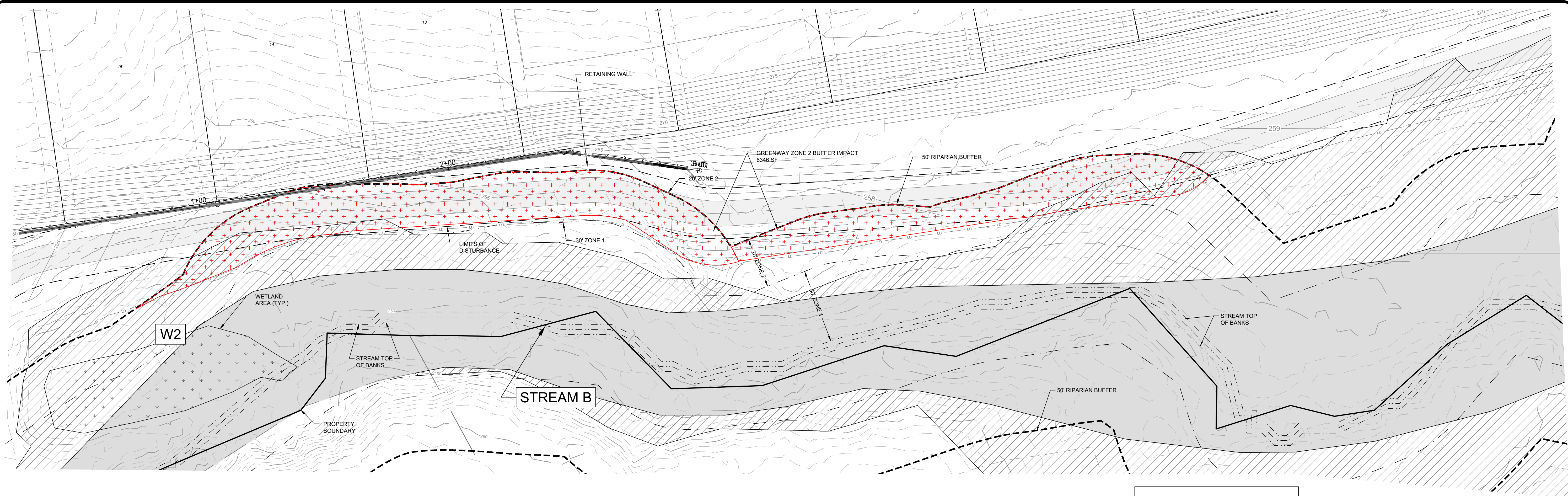


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**CONSTRUCTION DRAWINGS FOR
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**EROSION CONTROL PLAN-AZALEA DR
 UTILITY IMPACT 6**

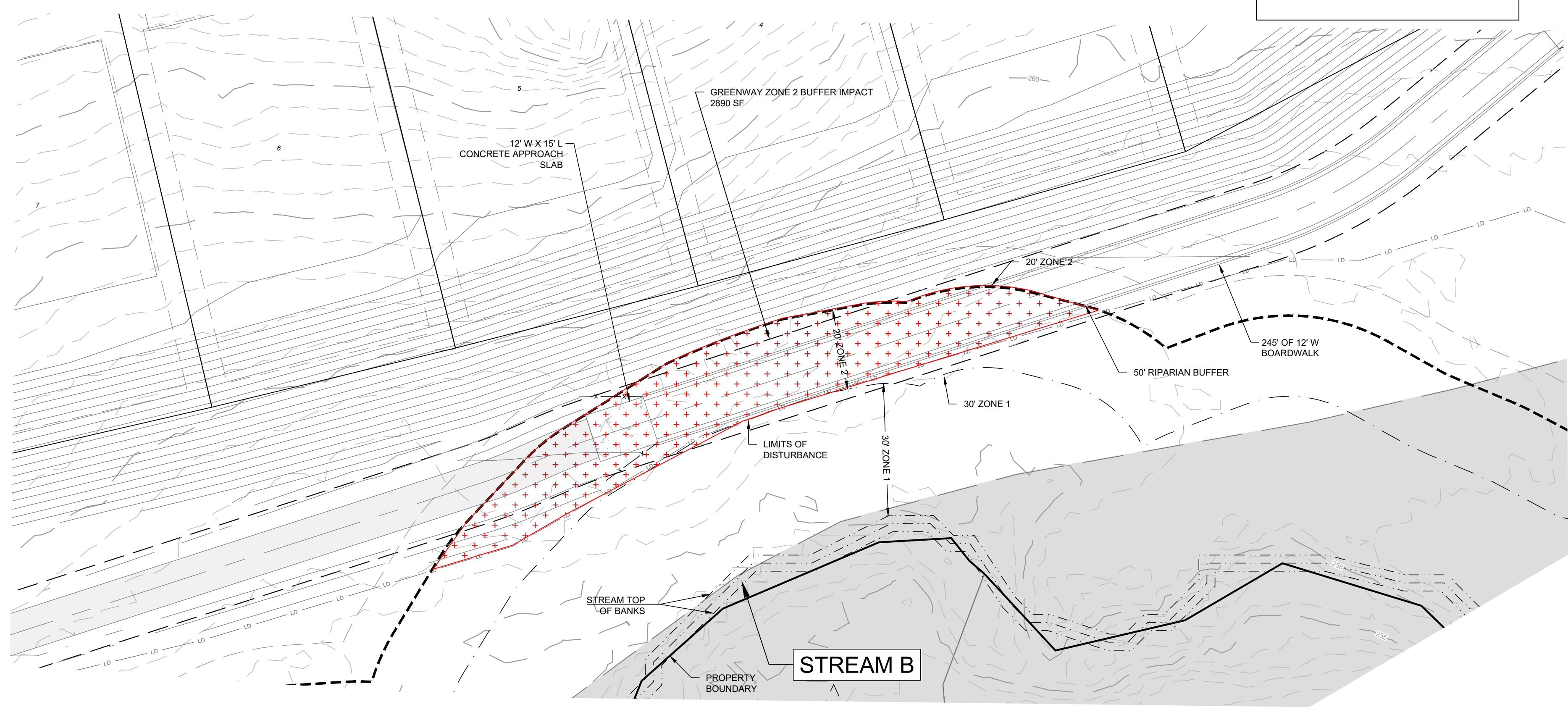
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**ZONE 2 BUFFER IMPACT
STREAM B**
SCALE: 1" = 20'

IMPACT 7

IMPACT 8

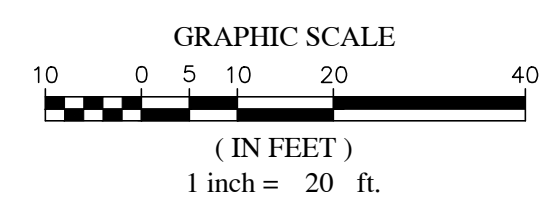


**ZONE 2 BUFFER IMPACT
STREAM B**
SCALE: 1" = 20'

LEGEND:

- SF— SILT FENCE
- TP— TREE PROTECTION FENCE
- LD— LIMITS OF DISTURBANCE
- PIPE INLET PROTECTION
- ▒ RIPRAP DISSIPATOR APRON
- CLEARING LIMITS
- ⇨ DIVERSION DITCH
- ▒ SILT FENCE OUTLET
- ▒ STORM DRAINAGE PIPE
- PERMANENT STREAM IMPACT
- ▒ TEMPORARY STREAM IMPACT
- ▒ PERMANENT WETLAND IMPACT
- PERMANENT ZONE 1 IMPACT
- ▒ PERMANENT ZONE 2 IMPACT

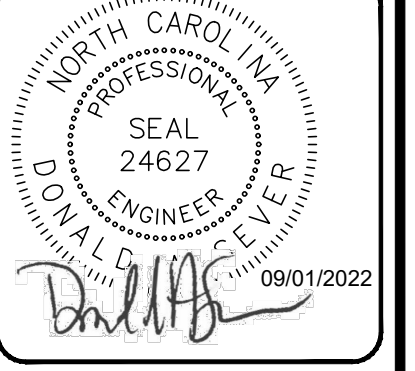
STREAM B GREENWAY IMPACT 7 AND 8		
IMPACTED AREA	PERMANENT	TEMPORARY (10')
GREENWAY (SF) IMPACT 7	6346	
GREENWAY (SF) IMPACT 8	2890	



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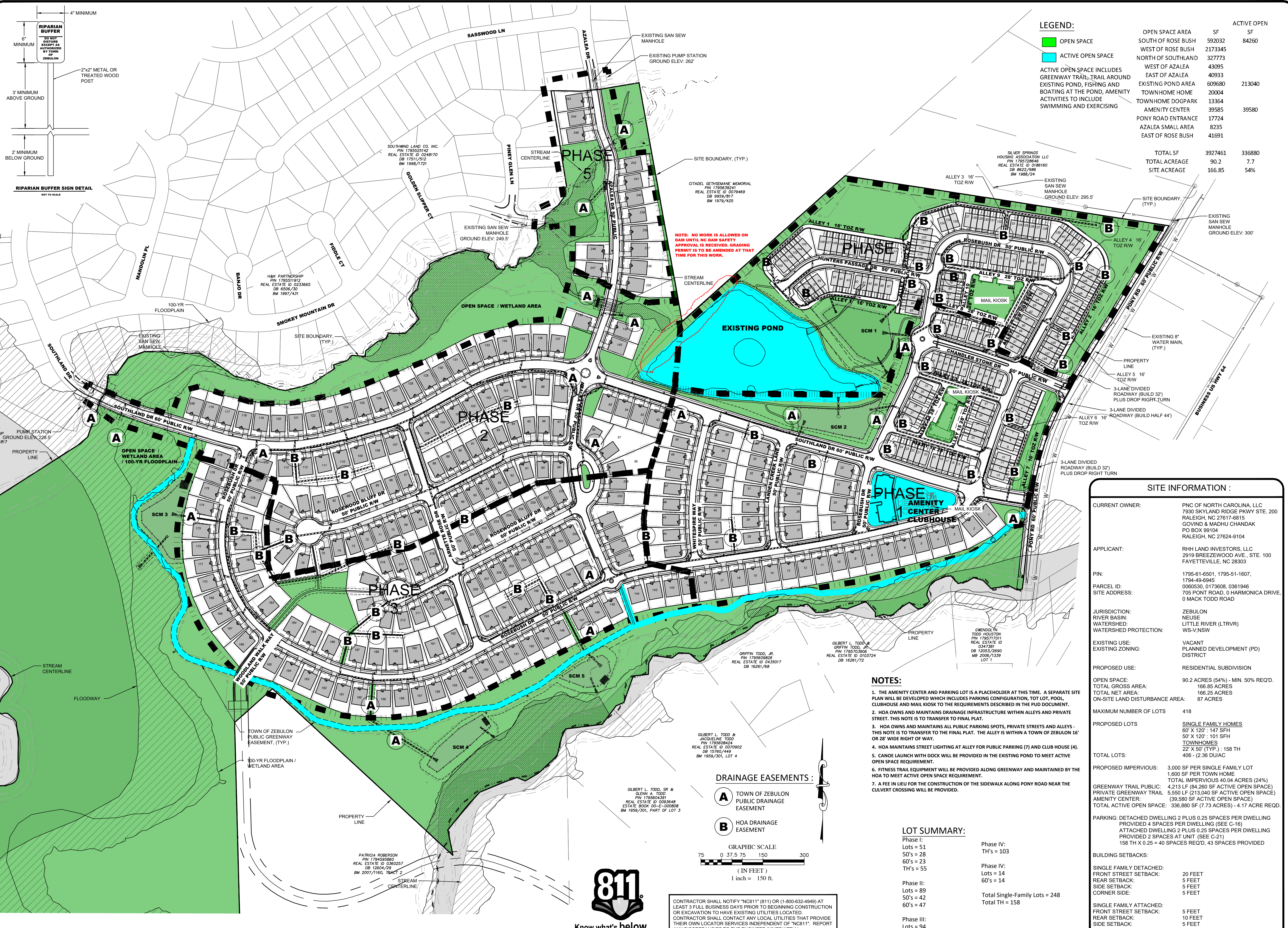
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DRAWN BY
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**CONSTRUCTION DRAWINGS FOR
CADENCE MEADOWS**
915 PONY ROAD
ZEBULON, NC
**EROSION CONTROL PLAN - GREENWAY
ZONE 2 BUFFER IMPACT 7 AND 8**

PROJECT NO.
19-0103
DRAWING NAME:
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SHEET NO.
C-12G



LEGEND:

■ OPEN SPACE	■ ACTIVE OPEN SPACE
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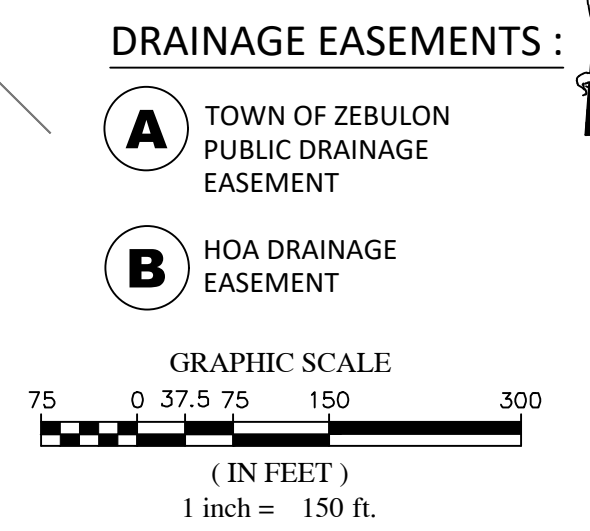
ACTIVE OPEN SPACE INCLUDES EXISTING TRAIL, TRAIL AROUND EXISTING POND, FISHERY AND BOATING AT THE POND, AMENITY ACTIVITIES TO INCLUDE SWIMMING AND EXERCISING

AREA	SF	ACTIVE OPEN SF
SOUTH OF ROSE BUSH	592032	84260
WEST OF ROSE BUSH	2173345	
NORTH OF SOUTHLAND	327773	
WEST OF AZALEA	43095	
EAST OF AZALEA	40933	
EXISTING POND AREA	609680	213040
TOWNHOME HOME	20004	
TOWNHOME DOGPARK	13364	
AMENITY CENTER	39585	39580
PONY ROAD ENTRANCE	17724	
AZALEA SMALL AREA	8235	
EAST OF ROSE BUSH	41691	
TOTAL SF	3927461	336880
TOTAL ACREAGE	90.2	7.7
SITE ACREAGE	166.85	54%

SITE INFORMATION :

CURRENT OWNER:	PNC OF NORTH CAROLINA, LLC 7930 SKYLAND RIDGE PKWY STE. 200 RALEIGH, NC 27617-6815 GOVIND & MADHU CHANDAK PO BOX 99104 RALEIGH, NC 27624-9104
APPLICANT:	RHH LAND INVESTORS, LLC 2919 BREEZEWOOD AVE., STE. 100 FAYETTEVILLE, NC 28303
PIN:	1795-61-6501, 1795-51-1607, 1794-49-6945
PARCEL ID:	0060530, 0173608, 0361946
SITE ADDRESS:	705 PONY ROAD, 0 HARMONICA DRIVE, 0 MACK TODD ROAD
JURISDICTION:	ZEBULON
RIVER BASIN:	NEUSE
WATERSHED:	LITTLE RIVER (LTRVR)
WATERSHED PROTECTION:	WS-V-NSW
EXISTING USE:	VACANT
EXISTING ZONING:	PLANNED DEVELOPMENT (PD) DISTRICT
PROPOSED USE:	RESIDENTIAL SUBDIVISION
OPEN SPACE:	90.2 ACRES (54%) - MIN. 50% REQ'D.
TOTAL GROSS AREA:	166.85 ACRES
TOTAL NET AREA:	166.25 ACRES
ON-SITE LAND DISTURBANCE AREA:	87 ACRES
MAXIMUM NUMBER OF LOTS:	418
PROPOSED LOTS:	SINGLE FAMILY HOMES 60' X 120' : 147 SFH 50' X 120' : 101 SFH TOWNHOMES 22' X 50' (TYP.) : 158 TH 406 - (2.36 DU/AC)
TOTAL LOTS:	
PROPOSED IMPERVIOUS:	3,000 SF PER SINGLE FAMILY LOT 1,600 SF PER TOWN HOME TOTAL IMPERVIOUS 40.04 ACRES (24%)
GREENWAY TRAIL PUBLIC:	4,213 LF (84,260 SF ACTIVE OPEN SPACE)
PRIVATE GREENWAY TRAIL:	5,550 LF (213,040 SF ACTIVE OPEN SPACE)
AMENITY CENTER:	(39,580 SF ACTIVE OPEN SPACE)
TOTAL ACTIVE OPEN SPACE:	336,880 SF (7.73 ACRES) - 4.17 ACRE REQ'D.
PARKING:	DETACHED DWELLING 2 PLUS 0.25 SPACES PER DWELLING PROVIDED 4 SPACES PER DWELLING (SEE C-16) ATTACHED DWELLING 2 PLUS 0.25 SPACES PER DWELLING PROVIDED 2 SPACES AT UNIT (SEE C-21) 158 TH X 0.25 = 40 SPACES REQ'D, 43 SPACES PROVIDED
BUILDING SETBACKS:	SINGLE FAMILY DETACHED: FRONT STREET SETBACK: 20 FEET REAR SETBACK: 5 FEET SIDE SETBACK: 5 FEET CORNER SIDE: 5 FEET
SINGLE FAMILY ATTACHED:	FRONT STREET SETBACK: 5 FEET REAR SETBACK: 10 FEET SIDE SETBACK: 5 FEET CORNER SIDE: 5 FEET

- NOTES:**
1. THE AMENITY CENTER AND PARKING LOT IS A PLACEHOLDER AT THIS TIME. A SEPARATE SITE PLAN WILL BE DEVELOPED WHICH INCLUDES PARKING CONFIGURATION, TOT LOT, POOL, CLUBHOUSE AND MAIL KIOSK TO THE REQUIREMENTS DESCRIBED IN THE PUB DOCUMENT.
 2. HOA OWNS AND MAINTAINS DRAINAGE INFRASTRUCTURE WITHIN ALLEYS AND PRIVATE STREET. THIS NOTE IS TO TRANSFER TO FINAL PLAT.
 3. HOA OWNS AND MAINTAINS ALL PUBLIC PARKING SPOTS, PRIVATE STREETS AND ALLEYS - THIS NOTE IS TO TRANSFER TO THE FINAL PLAT. THE ALLEY IS WITHIN A TOWN OF ZEBULON 16' OR 28' WIDE RIGHT OF WAY.
 4. HOA MAINTAINS STREET LIGHTING AT ALLEY FOR PUBLIC PARKING (7) AND CLUB HOUSE (4).
 5. CANOE LAUNCH WITH DOCK WILL BE PROVIDED IN THE EXISTING POND TO MEET ACTIVE OPEN SPACE REQUIREMENT.
 6. FITNESS TRAIL EQUIPMENT WILL BE PROVIDED ALONG GREENWAY AND MAINTAINED BY THE HOA TO MEET ACTIVE OPEN SPACE REQUIREMENT.
 7. A FEE IN LIEU FOR THE CONSTRUCTION OF THE SIDEWALK ALONG PONY ROAD NEAR THE CULVERT CROSSING WILL BE PROVIDED.



LOT SUMMARY:

Phase I:	Phase IV:
Lots = 51	TH's = 103
50's = 28	
60's = 23	Phase IV:
TH's = 55	Lots = 14
	60's = 14
Phase II:	
Lots = 89	
50's = 42	Total Single-Family Lots = 248
60's = 47	Total TH = 158
Phase III:	
Lots = 94	
50's = 35	
60's = 59	

811
Know what's below.
Call before you dig.

CONTRACTOR SHALL NOTIFY "811" (811) OR (1-800-632-4849) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

NO.	DATE	BY	REVISIONS
7	09/07/2022	DAS	FINAL SET
6	06/27/2022	DAS	REVISED PER WAKE COUNTY REVIEW COMMENTS 05/24/2022
5	06/03/2022	DAS	REVISED PER WAKE COUNTY REVIEW COMMENTS 04/27/2022
4	06/03/2022	DAS	REVISED PER CITY OF RALEIGH REVIEW COMMENTS 05/24/2022
3	04/08/2022	DAS	REVISED PER WAKE COUNTY REVIEW COMMENTS 03/24/2022
2	02/25/2022	DAS	REVISED PER WAKE COUNTY REVIEW COMMENTS 12/14/2021
1	01/07/2022	DAS	REVISED PER TOWN OF ZEBULON REVIEW COMMENTS 11/17/2021

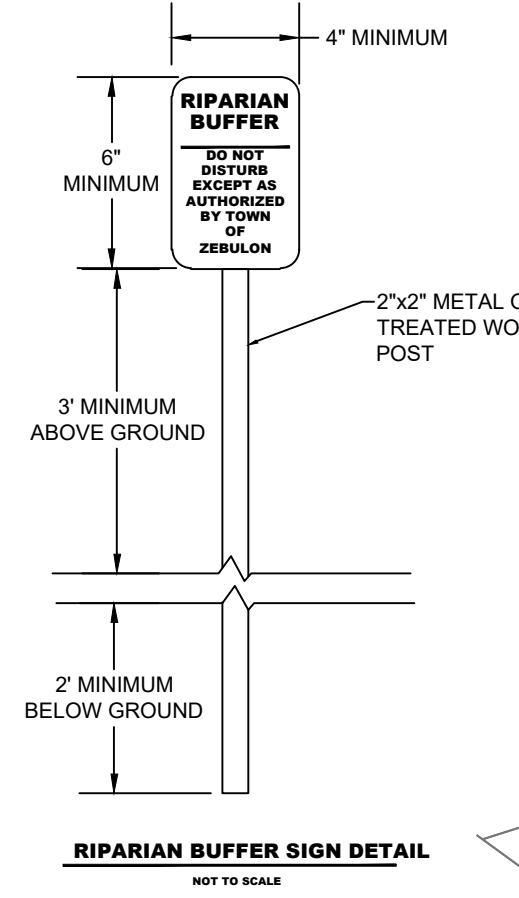
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SUMMIT DESIGN AND ENGINEERING SERVICES
DRAWING ALLOCATION:
PROJECT MANAGER: AMALEKMANOT@SUMMITDESIGN.COM
DESIGNER: DAVIDSON@SUMMITDESIGN.COM
PLANNING: JEFFREY@SUMMITDESIGN.COM
CHECKED BY: JEFFREY@SUMMITDESIGN.COM
DATE: 01/07/2022

PROFESSIONAL SEAL
24627
SEAL
DALLAS
09/01/2022

CONSTRUCTION DRAWINGS FOR
CADENCE MEADOWS
915 PONY ROAD
ZEBULON, NC
OVERALL SITE PLAN

SUMMIT
DESIGN AND ENGINEERING SERVICES
State License #: P-0339
320 Executive Court
Hillsborough, NC 27778
Voice: (919) 732-3883 Fax: (919) 732-6676
www.summitdes.com

PROJECT NO.
19-0103
DRAWING NAME:
19-0103_s.dwg
SHEET NO.
C-13

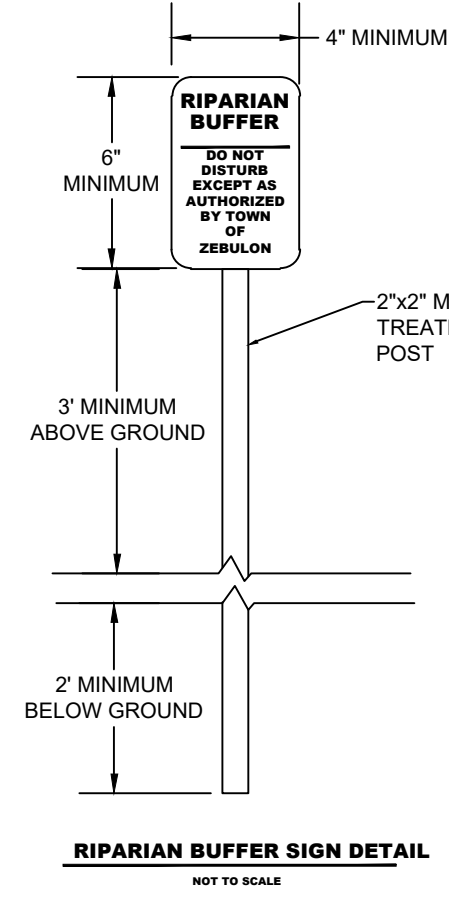
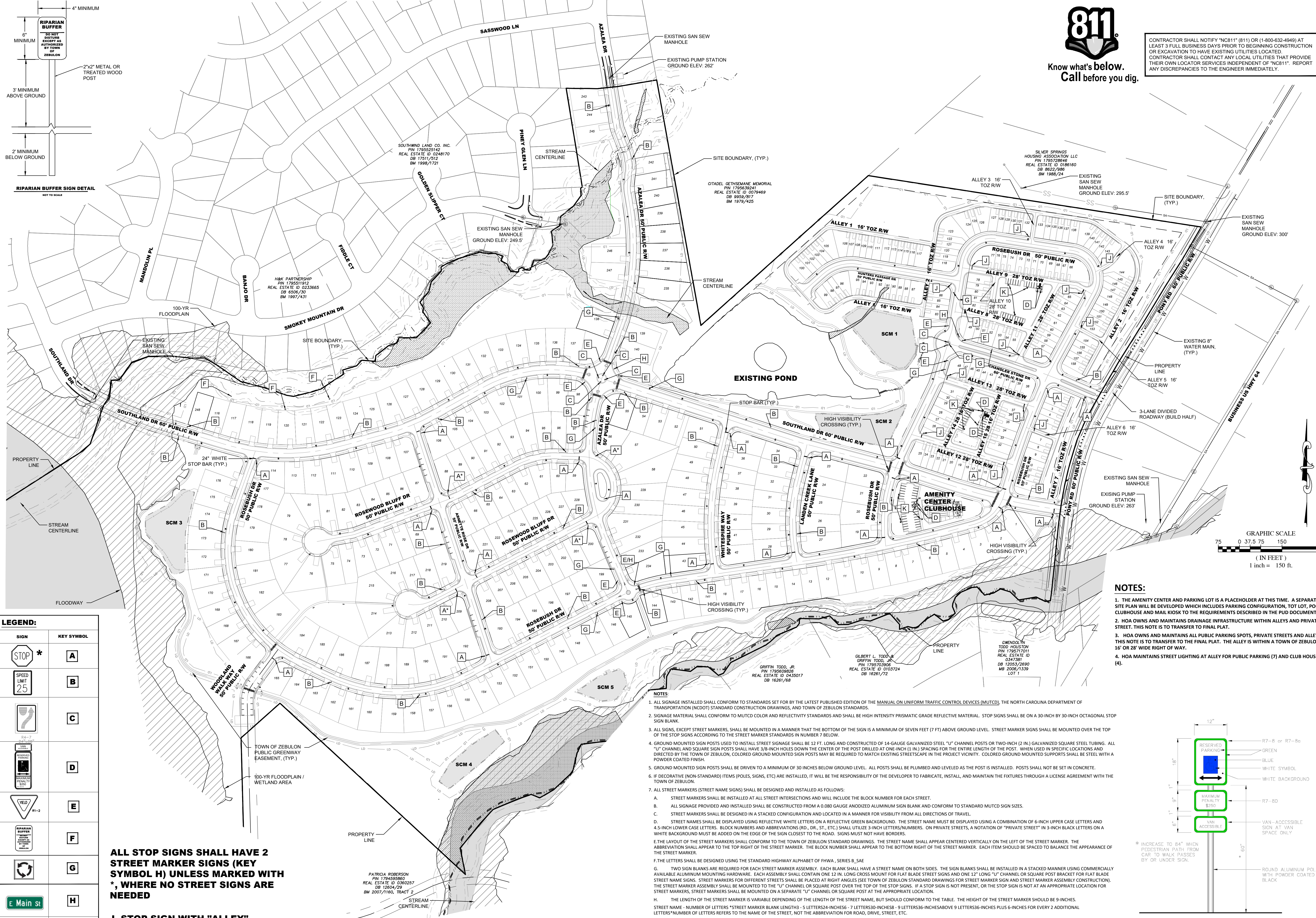


N:\031919\0103 PONY Rd. Subdivision\CAD\CON\Drawings\0103_S.dwg, C:\3D\Draws - 8/10/2022 2:48:49 PM, sheet 1 of 1



Know what's below. Call before you dig.

CONTRACTOR SHALL NOTIFY "811" (811) OR (1-800-632-4849) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.



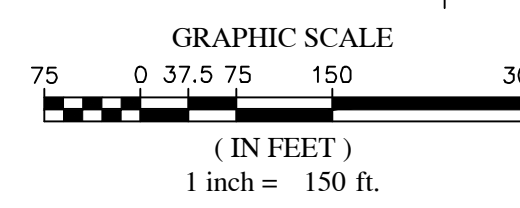
LEGEND:

SIGN	KEY SYMBOL
	A
	B
	C
	D
	E
	F
	G
	H
	J
	K

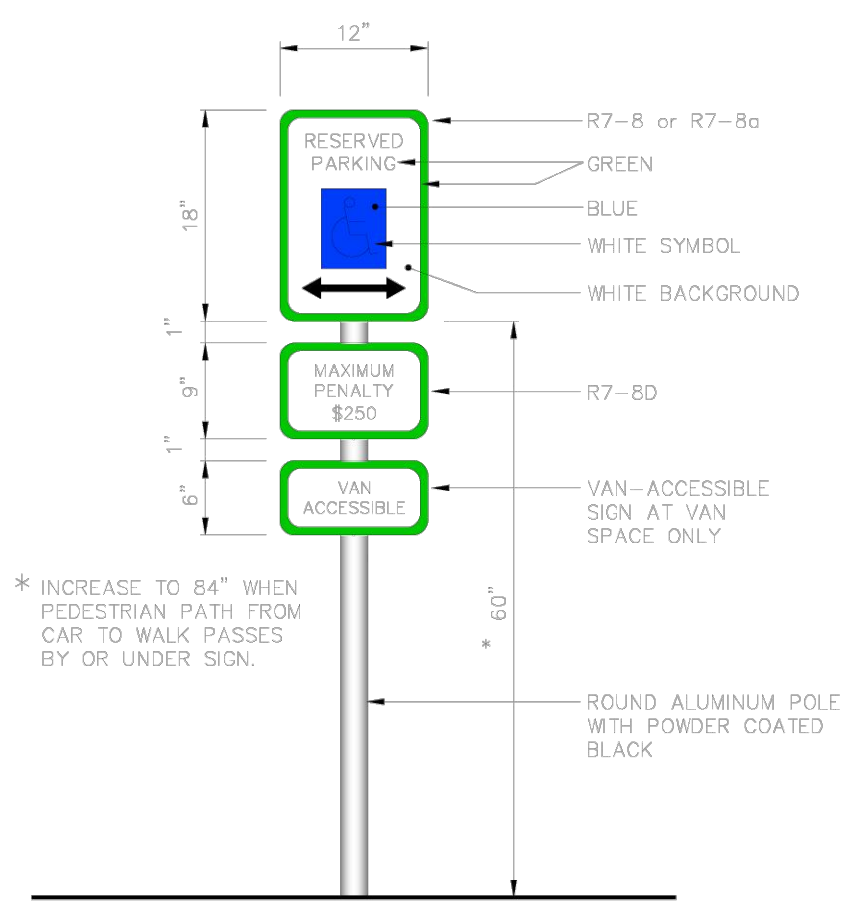
ALL STOP SIGNS SHALL HAVE 2 STREET MARKER SIGNS (KEY SYMBOL H) UNLESS MARKED WITH *, WHERE NO STREET SIGNS ARE NEEDED

J- STOP SIGN WITH "ALLEY" STREET MARKER SIGN MARKED PRIVATE

- NOTES:**
1. ALL SIGNAGE INSTALLED SHALL CONFORM TO STANDARDS SET FOR BY THE LATEST PUBLISHED EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) STANDARD CONSTRUCTION DRAWINGS, AND TOWN OF ZEBULON STANDARDS.
 2. SIGNAGE MATERIAL SHALL CONFORM TO MUTCD COLOR AND REFLECTIVITY STANDARDS AND SHALL BE HIGH INTENSITY PRISMATIC GRADE REFLECTIVE MATERIAL. STOP SIGNS SHALL BE ON A 30-INCH BY 30-INCH OCTAGONAL STOP SIGN BLANK.
 3. ALL SIGNS, EXCEPT STREET MARKERS, SHALL BE MOUNTED IN A MANNER THAT THE BOTTOM OF THE SIGN IS A MINIMUM OF SEVEN FEET (7 FT) ABOVE GROUND LEVEL. STREET MARKER SIGNS SHALL BE MOUNTED OVER THE TOP OF THE STOP SIGNS ACCORDING TO THE STREET MARKER STANDARDS IN NUMBER 7 BELOW.
 4. GROUND MOUNTED SIGN POSTS USED TO INSTALL STREET SIGNAGE SHALL BE 12 FT. LONG AND CONSTRUCTED OF 14-GAUGE GALVANIZED STEEL "U" CHANNEL POSTS OR TWO-INCH (2 IN.) GALVANIZED SQUARE STEEL TUBING. ALL "U" CHANNEL AND SQUARE SIGN POSTS SHALL HAVE 3/8-INCH HOLES DOWN THE CENTER OF THE POST DRILLED AT ONE-INCH (1 IN.) SPACING FOR THE ENTIRE LENGTH OF THE POST. WHEN USED IN SPECIFIC LOCATIONS AND DIRECTED BY THE TOWN OF ZEBULON, COLORED GROUND MOUNTED SIGN POSTS MAY BE REQUIRED TO MATCH EXISTING STREETScape IN THE PROJECT VICINITY. COLORED GROUND MOUNTED SUPPORTS SHALL BE STEEL WITH A POWDER COATED FINISH.
 5. GROUND MOUNTED SIGN POSTS SHALL BE DRIVEN TO A MINIMUM OF 30 INCHES BELOW GROUND LEVEL. ALL POSTS SHALL BE PLUMBED AND LEVELED AS THE POST IS INSTALLED. POSTS SHALL NOT BE SET IN CONCRETE.
 6. IF DECORATIVE (NON-STANDARD) ITEMS (POLES, SIGNS, ETC) ARE INSTALLED, IT WILL BE THE RESPONSIBILITY OF THE DEVELOPER TO FABRICATE, INSTALL, AND MAINTAIN THE FIXTURES THROUGH A LICENSE AGREEMENT WITH THE TOWN OF ZEBULON.
 7. ALL STREET MARKERS (STREET NAME SIGNS) SHALL BE DESIGNED AND INSTALLED AS FOLLOWS:
 - A. STREET MARKERS SHALL BE INSTALLED AT ALL STREET INTERSECTIONS AND WILL INCLUDE THE BLOCK NUMBER FOR EACH STREET.
 - B. ALL SIGNAGE PROVIDED AND INSTALLED SHALL BE CONSTRUCTED FROM A 0.080 GAUGE ANODIZED ALUMINUM SIGN BLANK AND CONFORM TO STANDARD MUTCD SIGN SIZES.
 - C. STREET MARKERS SHALL BE DESIGNED IN A STACKED CONFIGURATION AND LOCATED IN A MANNER FOR VISIBILITY FROM ALL DIRECTIONS OF TRAVEL.
 - D. STREET NAMES SHALL BE DISPLAYED USING REFLECTIVE WHITE LETTERS ON A REFLECTIVE GREEN BACKGROUND. THE STREET NAME SHALL BE DISPLAYED USING A COMBINATION OF 6-INCH UPPER CASE LETTERS AND 4.5-INCH LOWER CASE LETTERS. BLOCK NUMBERS AND ABBREVIATIONS (RD., DR., ST., ETC.) SHALL UTILIZE 3-INCH LETTERS/NUMBERS. ON PRIVATE STREETS, A NOTATION OF "PRIVATE STREET" IN 3-INCH BLACK LETTERS ON A WHITE BACKGROUND MUST BE ADDED ON THE EDGE OF THE SIGN CLOSEST TO THE ROAD. SIGNS MUST NOT HAVE BORDERS.
 - E. THE LAYOUT OF THE STREET MARKERS SHALL CONFORM TO THE TOWN OF ZEBULON STANDARD DRAWINGS. THE STREET NAME SHALL APPEAR CENTERED VERTICALLY ON THE LEFT OF THE STREET MARKER. THE ABBREVIATION SHALL APPEAR TO THE RIGHT OF THE STREET MARKER. THE BLOCK NUMBER SHALL APPEAR TO THE BOTTOM RIGHT OF THE STREET MARKER. EACH ITEM SHOULD BE SPACED TO BALANCE THE APPEARANCE OF THE STREET MARKER.
 - F. THE LETTERS SHALL BE DESIGNED USING THE STANDARD HIGHWAY ALPHABET OF FHWA, SERIES B, SAE.
 - G. TWO SIGN BLANKS ARE REQUIRED FOR EACH STREET MARKER ASSEMBLY. EACH BLANK SHALL HAVE A STREET NAME ON BOTH SIDES. THE SIGN BLANKS SHALL BE INSTALLED IN A STACKED MANNER USING COMMERCIALY AVAILABLE ALUMINUM MOUNTING HARDWARE. EACH ASSEMBLY SHALL CONTAIN ONE 12 IN. LONG CROSS MOUNT FOR FLAT BLADE STREET SIGNS AND ONE 12" LONG "U" CHANNEL OR SQUARE POST BRACKET FOR FLAT BLADE STREET NAME SIGNS. STREET MARKERS FOR DIFFERENT STREETS SHALL BE PLACED AT RIGHT ANGLES (SEE TOWN OF ZEBULON STANDARD DRAWINGS FOR STREET MARKER SIGN AND STREET MARKER ASSEMBLY CONSTRUCTION). THE STREET MARKER ASSEMBLY SHALL BE MOUNTED TO THE "U" CHANNEL OR SQUARE POST OVER THE TOP OF THE STOP SIGNS. IF A STOP SIGN IS NOT PRESENT, OR THE STOP SIGN IS NOT AT AN APPROPRIATE LOCATION FOR STREET MARKERS, STREET MARKERS SHALL BE MOUNTED ON A SEPARATE "U" CHANNEL OR SQUARE POST AT THE APPROPRIATE LOCATION.
 - H. THE LENGTH OF THE STREET MARKER IS VARIABLE DEPENDING OF THE LENGTH OF THE STREET NAME, BUT SHOULD CONFORM TO THE TABLE. THE HEIGHT OF THE STREET MARKER SHOULD BE 9-INCHES. STREET NAME - NUMBER OF LETTERS *STREET MARKER BLANK LENGTH - 5 LETTERS 24-INCHES - 6 LETTERS 30-INCHES - 7 LETTERS 36-INCHES - 8 LETTERS 42-INCHES - 9 LETTERS 48-INCHES PLUS 6 INCHES FOR EVERY 2 ADDITIONAL LETTERS. NUMBER OF LETTERS REFERS TO THE NAME OF THE STREET, NOT THE ABBREVIATION FOR ROAD, DRIVE, STREET, ETC.
 8. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC MATERIAL.
 9. STREET NAME SIGNS SHALL BE A MINIMUM OF EXTRUDED ALUMINUM BLADES USING A MINIMUM OF 4" C SERIES LETTERING IN HIGH INTENSITY SILVER & HIGH INTENSITY GREEN BACKGROUND (12" LETTERS FOR BLOCK NUMBERS)
 10. ALL REFLECTIVE SIGNS SHALL BE MADE OF HIGH INTENSITY GRADE REFLECTIVE SHEETING OR APPROVED EQUIVALENT.
 11. ALL SIGNS PLACED IN RIGHT-OF-WAY WILL BE APPROVED BY TOWN'S PUBLIC WORKS DIRECTOR.
 12. ERECT STREET SIGNS PLUMB.
 13. DEVELOPER SHALL BE RESPONSIBLE FOR FURNISHING & ERECTING ALL STREET NAME & REGULATORY SIGNS
 14. ALL HARDWARE MUST BE GALVANIZED.



- NOTES:**
1. THE AMENITY CENTER AND PARKING LOT IS A PLACEHOLDER AT THIS TIME. A SEPARATE SITE PLAN WILL BE DEVELOPED WHICH INCLUDES PARKING CONFIGURATION, TOT LOT, POOL, CLUBHOUSE AND MAIL KIOSK TO THE REQUIREMENTS DESCRIBED IN THE PUD DOCUMENT.
 2. HOA OWNS AND MAINTAINS DRAINAGE INFRASTRUCTURE WITHIN ALLEYS AND PRIVATE STREET. THIS NOTE IS TO TRANSFER TO FINAL PLAT.
 3. HOA OWNS AND MAINTAINS ALL PUBLIC PARKING SPOTS, PRIVATE STREETS AND ALLEYS - THIS NOTE IS TO TRANSFER TO THE FINAL PLAT. THE ALLEY IS WITHIN A TOWN OF ZEBULON 16' OR 28' WIDE RIGHT OF WAY.
 4. HOA MAINTAINS STREET LIGHTING AT ALLEY FOR PUBLIC PARKING (7) AND CLUB HOUSE (4).

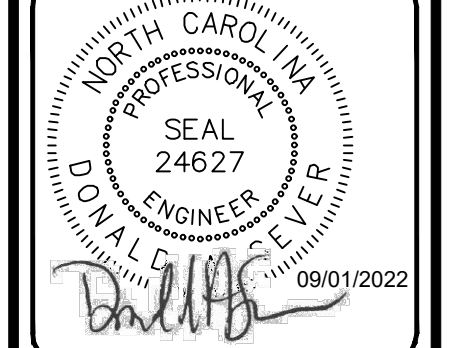


ELEVATIONAL VIEW HANDICAP PARKING SIGN (R7-8E)

NO.	DATE	BY	REVISIONS
7	09/07/2022	DAS	FINAL SET
6	06/07/2022	DAS	REVISED PER WAKE COUNTY REVIEW COMMENTS 05/24/2022
5	05/03/2022	DAS	REVISED PER WAKE COUNTY REVIEW COMMENTS 04/27/2022
4	04/06/2022	DAS	REVISED PER CITY OF WAKE COUNTY REVIEW COMMENTS 03/24/2022
3	04/06/2022	DAS	REVISED PER WAKE COUNTY REVIEW COMMENTS 03/24/2022
2	02/25/2022	DAS	REVISED PER WAKE COUNTY REVIEW COMMENTS 12/14/2021
1	01/07/2021	DAS	REVISED PER TOWN OF ZEBULON REVIEW COMMENTS 11/12/2020

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 PROJECT ENGINEER ELECTRICAL: DAS@SUMMITDE.NET
 PROJECT ENGINEER MECHANICAL: DAS@SUMMITDE.NET
 PROJECT ENGINEER PLUMBING: DAS@SUMMITDE.NET
 PROJECT ENGINEER SITEWORK: DAS@SUMMITDE.NET
 PROJECT ENGINEER SURVEYING: DAS@SUMMITDE.NET
 PROJECT ENGINEER TRAFFIC ENGINEERING: DAS@SUMMITDE.NET
 PROJECT ENGINEER WATER SUPPLY: DAS@SUMMITDE.NET
 PROJECT ENGINEER WASTE WATER: DAS@SUMMITDE.NET
 PROJECT ENGINEER WEATHERIZATION: DAS@SUMMITDE.NET
 PROJECT ENGINEER WOOD PRESERVATION: DAS@SUMMITDE.NET
 PROJECT ENGINEER YARD DESIGN: DAS@SUMMITDE.NET
 PROJECT ENGINEER ZONING: DAS@SUMMITDE.NET

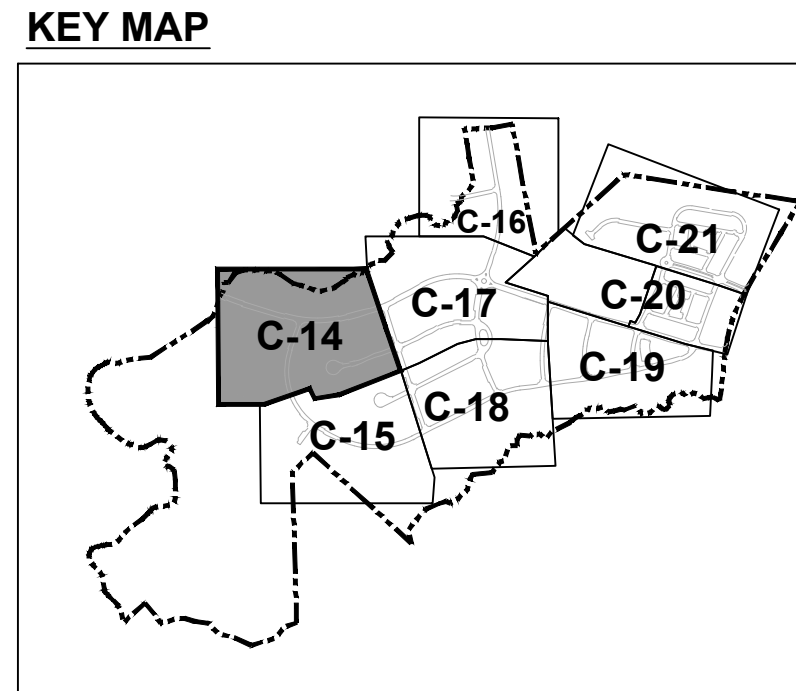
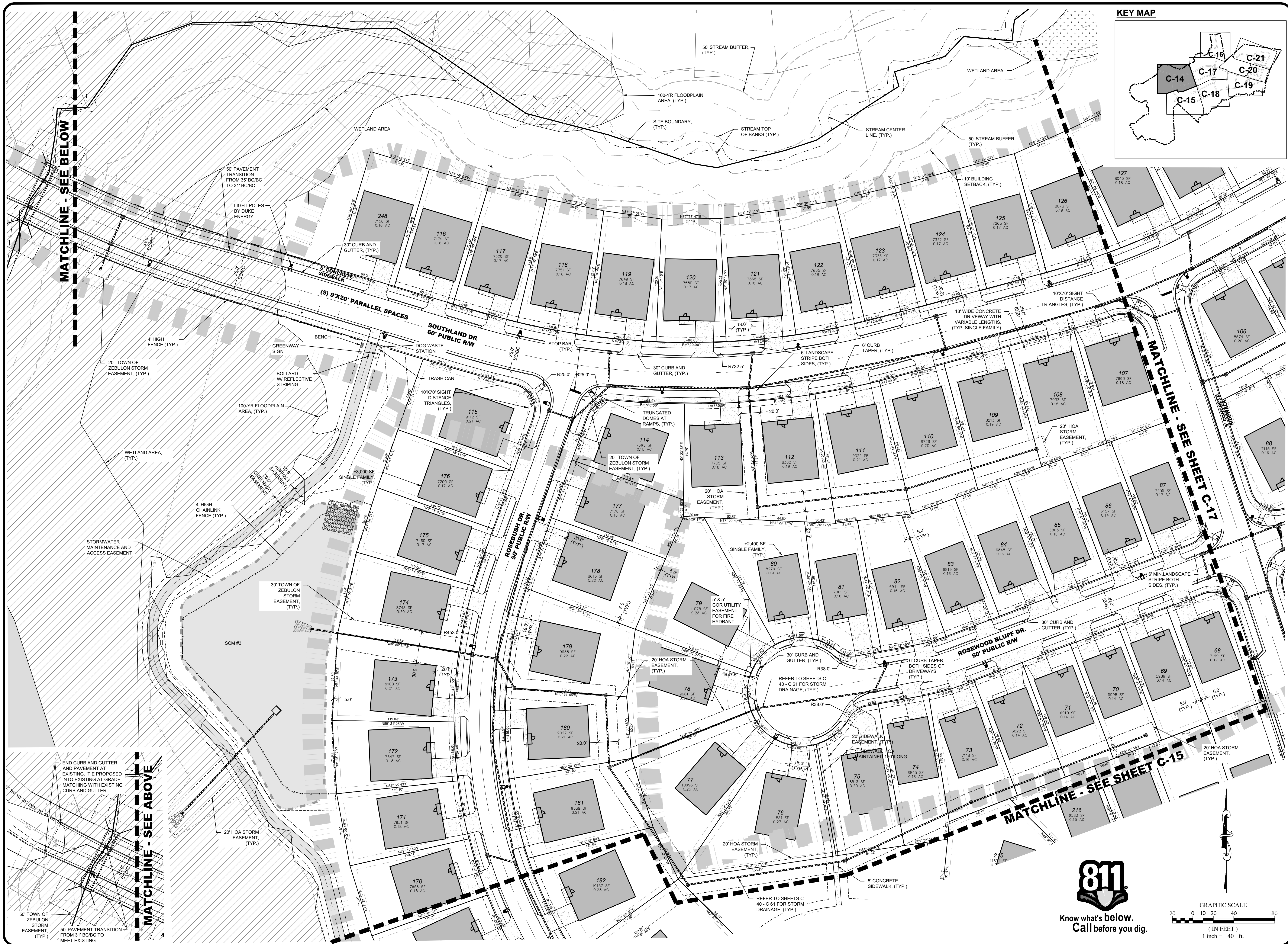
PROJECT ENGINEER ARCHITECT: AMALEXMAN@SUMMITDE.NET
 PROJECT MANAGER: AMALEXMAN@SUMMITDE.NET
 PROJECT ENGINEER ARCHITECT: DAS@SUMMITDE.NET
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CONSTRUCTION DRAWINGS FOR CADENCE MEADOWS
 915 PONY ROAD
 ZEBULON, NC
SIGNING PLAN

PROJECT NO. 19-0103
 DRAWING NAME: 19-0103_s.dwg
 SHEET NO. C-13A



NO.	DATE	REVISIONS	BY
7	05/01/2022	FINAL SET	DAS
6	05/07/2022	REVISED PER WAKE COUNTY REVIEW COMMENTS 05/24/2022	DAS
5	05/07/2022	REVISED PER WAKE COUNTY REVIEW COMMENTS 05/24/2022	DAS
4	05/07/2022	REVISED PER CITY OF RALEIGH REVIEW COMMENTS 03/24/2022	DAS
3	05/07/2022	REVISED PER WAKE COUNTY REVIEW COMMENTS 03/24/2022	DAS
2	05/07/2022	REVISED PER WAKE COUNTY REVIEW COMMENTS 03/24/2022	DAS
1	05/07/2022	REVISED PER TOWN OF ZEBULON REVIEW COMMENTS 11/12/2021	DAS

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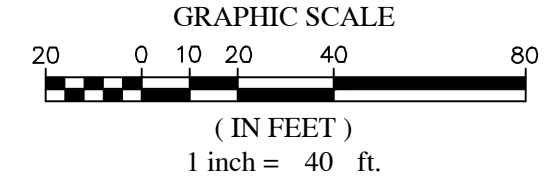
PROJECT ENGINEER/ARCHITECT
 AM/ALX/MX/MGO/SUMMIT/NET
 PROJECT MANAGER
 DAS/DSON/SE/ERS/SUMMIT/NET
 DRAWN BY
 JAW/JAWY/ASHT/SUMMIT/NET
 FIRST ISSUE DATE
 09/01/2022



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CONSTRUCTION DRAWINGS FOR
CADENCE MEADOWS
 915 PONY ROAD
 ZEBULON, NC
SITE PLAN

PROJECT NO.
19-0103
 DRAWING NAME:
 19-0103_s.dwg
 SHEET NO.
C-14



MATCHLINE - SEE BELOW

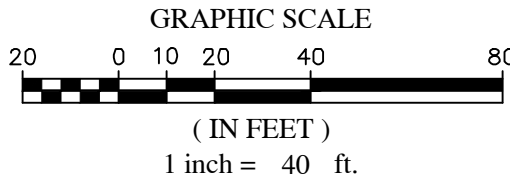
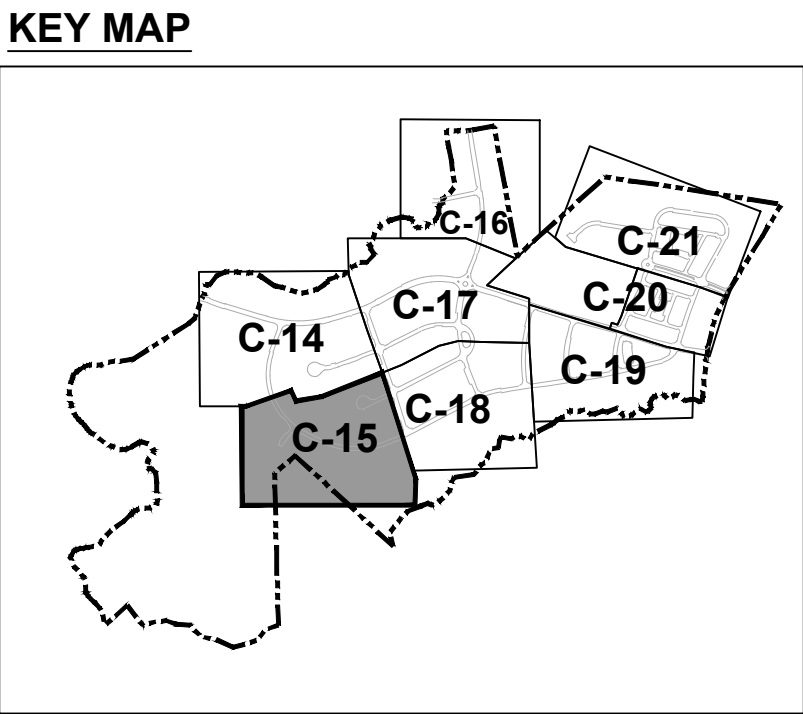
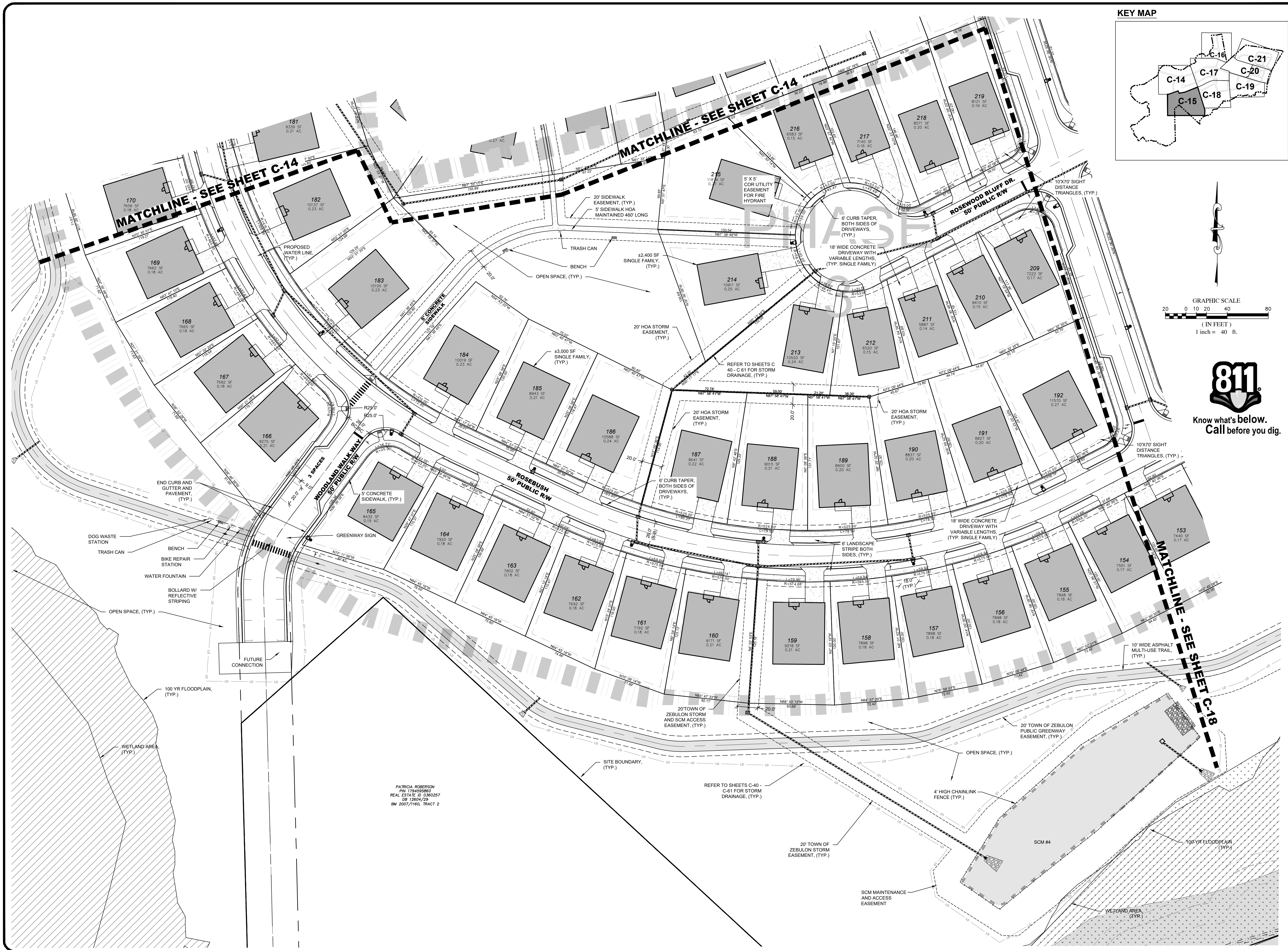
MATCHLINE - SEE SHEET C-17

MATCHLINE - SEE SHEET C-15

MATCHLINE - SEE ABOVE

END CURB AND GUTTER AND PAVEMENT AT EXISTING. THE PROPOSED INTO EXISTING AT GRADE MATCHING WITH EXISTING CURB AND GUTTER

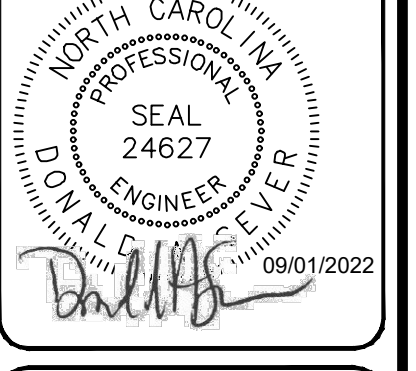
50' TOWN OF ZEBULON STORM EASEMENT, (TYP.)
 50' PAVEMENT TRANSITION FROM 31" BC/BC TO MEET EXISTING



NO.	REVISIONS	DATE	BY
7	FINAL SET	08/01/2022	DAS
6	REVISED PER WAKE COUNTY REVIEW COMMENTS 08/24/2022	08/01/2022	DAS
5	REVISED PER WAKE COUNTY REVIEW COMMENTS 04/21/2022	05/03/2022	DAS
4	REVISED PER CITY OF RALEIGH REVIEW COMMENTS 03/24/2022	04/06/2022	DAS
3	REVISED PER WAKE COUNTY REVIEW COMMENTS 03/24/2022	04/06/2022	DAS
2	REVISED PER WAKE COUNTY REVIEW COMMENTS 12/14/2021	02/25/2022	DAS
1	REVISED PER TOWN OF ZEBULON REVIEW COMMENTS 11/12/2021	01/07/2022	DAS

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PROJECT ENGINEER/ARCHITECT
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PROJECT MANAGER
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 DRAWN BY
 JAJIMMY.ASHLEY@SUMMITDESIGN.COM
 FIRST ISSUE DATE
 10/01/2021



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CONSTRUCTION DRAWINGS FOR
CADENCE MEADOWS
 915 PONY ROAD
 ZEBULON, NC

SITE PLAN

PROJECT NO.
19-0103

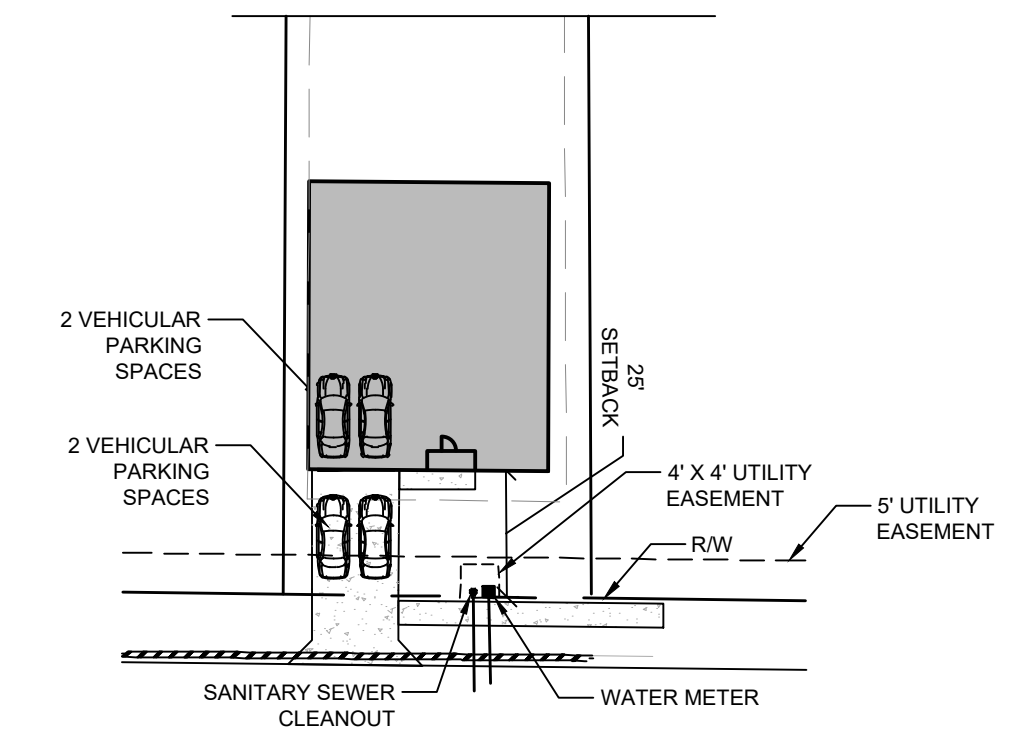
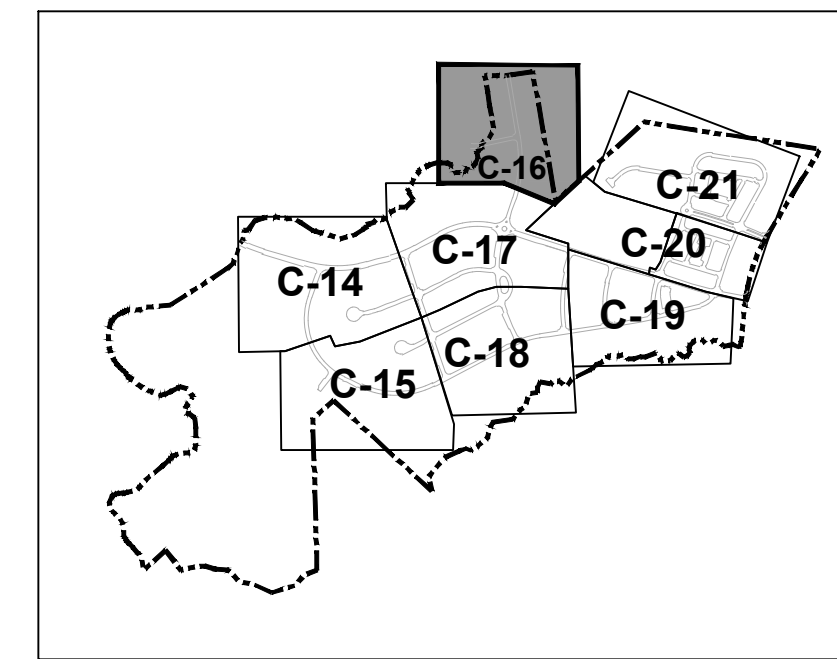
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C-15

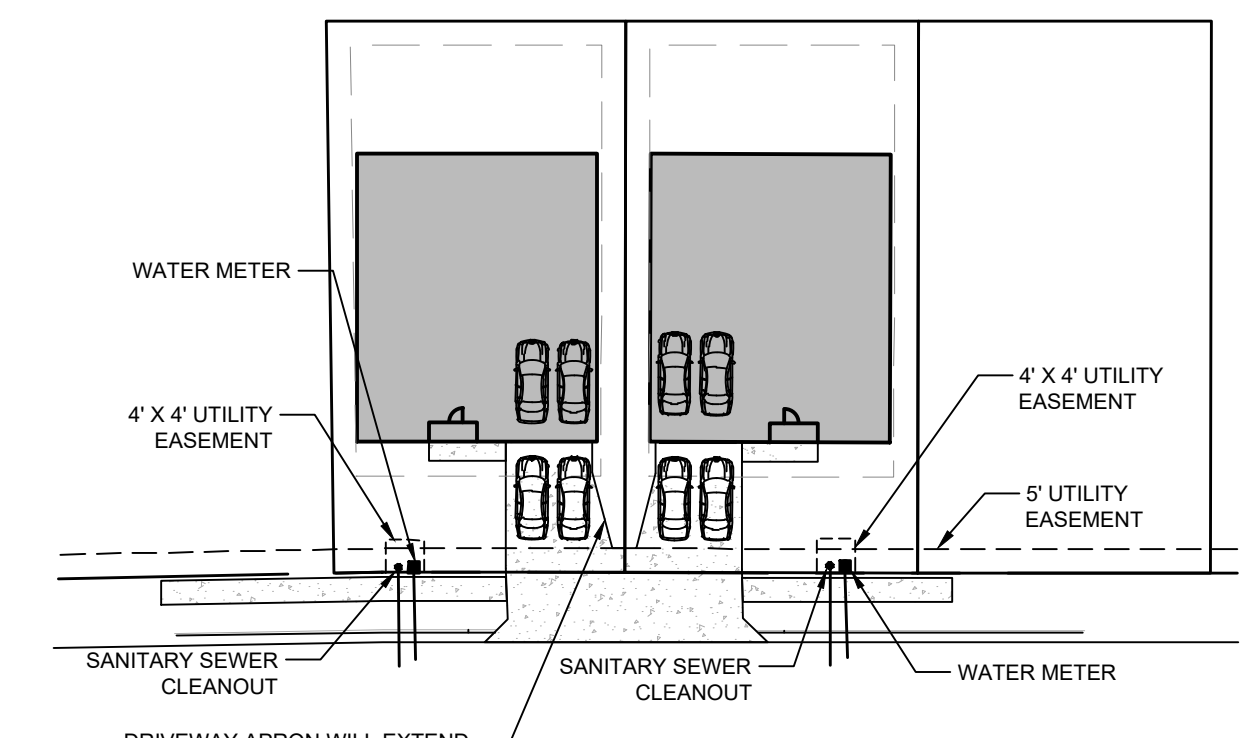
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KEY MAP



**TYPICAL LOT LAYOUT
(NOT TO SCALE)
TYPICAL LOT WILL PROVIDE 2 VEHICULAR
SPACES IN GARAGE AND 2 SPACES IN
DRIVEWAY, OR 4 SPACES PER LOT WHICH IS
GREATER THAN REQUIRED 2.25 SPACES.**

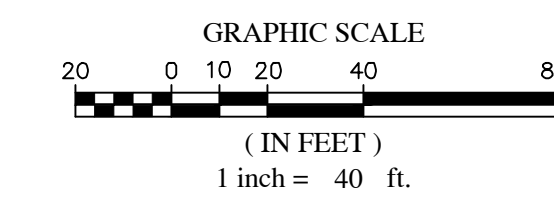


**LOT LAYOUT FOR PAIRED
DRIVEWAYS
(NOT TO SCALE)
PAIRED DRIVEWAY IS TO BE USED WHERE
MINIMUM DRIVEWAY SEPARATION OF 20'
CAN'T BE OBTAINED.**

CITADEL OPTHSEMANE MEMORIAL
REAL ESTATE, INC. 1979/425



Know what's below.
Call before you dig.



NO.	REVISIONS	DATE	BY
7	FINAL SET	09/01/2022	DA5
6	REVISED PER WAKE COUNTY REVIEW COMMENTS 09/24/2022	09/07/2022	DA5
5	REVISED PER WAKE COUNTY REVIEW COMMENTS 09/24/2022	09/07/2022	DA5
4	REVISED PER CITY OF RALEIGH REVIEW COMMENTS 03/24/2022	04/09/2022	DA5
3	REVISED PER WAKE COUNTY REVIEW COMMENTS 03/24/2022	04/09/2022	DA5
2	REVISED PER WAKE COUNTY REVIEW COMMENTS 01/11/2022	02/25/2022	DA5
1	REVISED PER TOWN OF ZEBULON REVIEW COMMENTS 11/21/2021	11/02/2021	DA5

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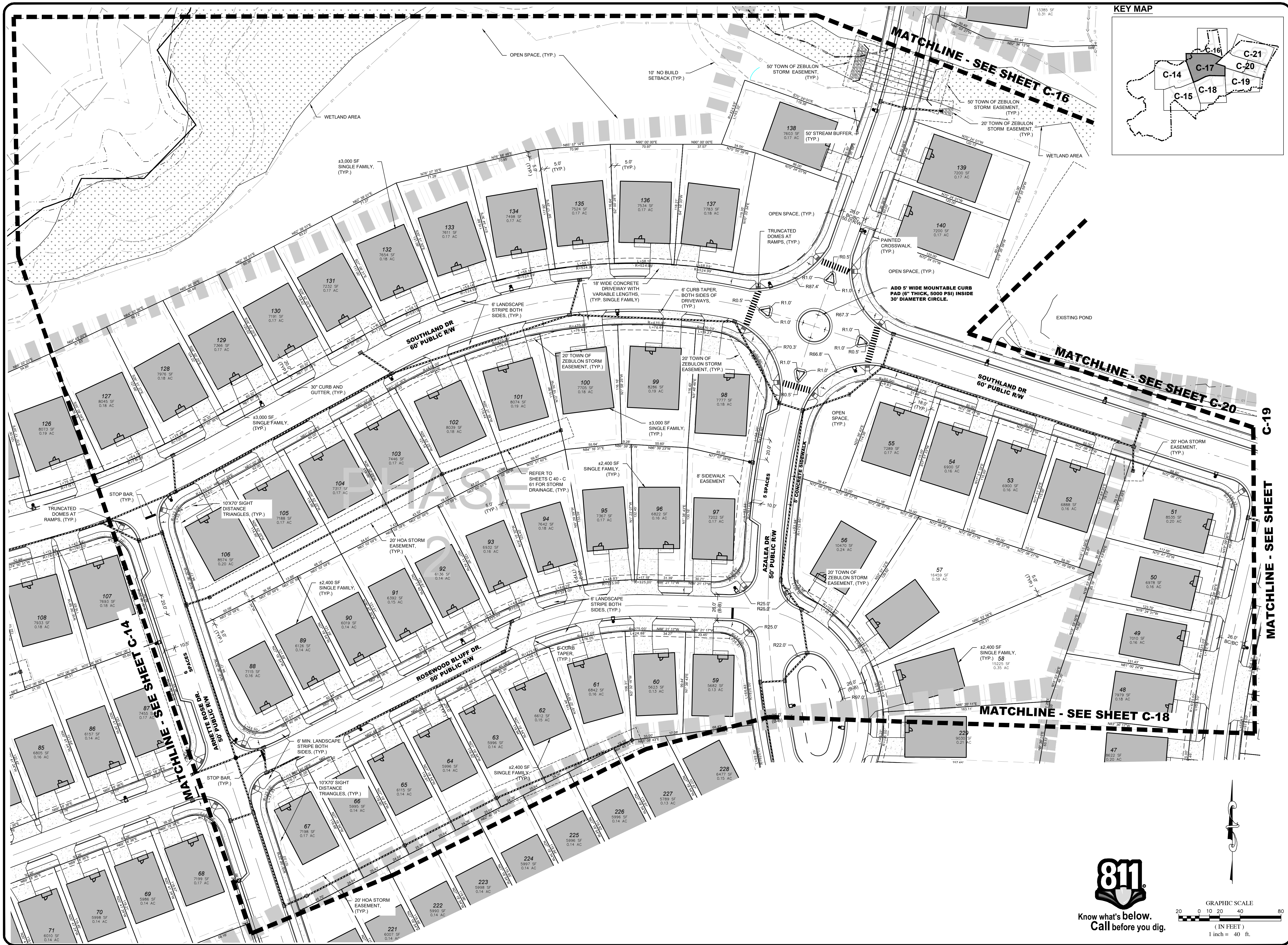
PROJECT ENGINEER/ARCHITECT
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PROJECT MANAGER
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JAWIMWASHLET@SUMMITDE.NET
FIRST ISSUE DATE
10/01/2021



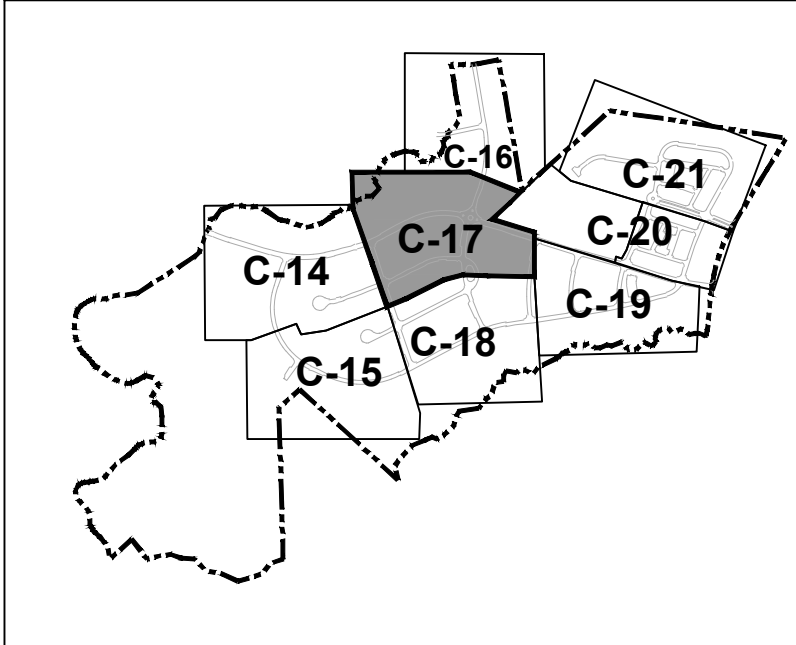
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CONSTRUCTION DRAWINGS FOR
CADENCE MEADOWS
915 PONY ROAD
ZEBULON, NC
SITE PLAN

PROJECT NO.
19-0103
DRAWING NAME:
19-0103_s.dwg
SHEET NO.
C-16



KEY MAP



NO.	DATE	REVISIONS
7	05/01/2022	FINAL SET
6	05/01/2022	REVISED PER MAKE COUNTY REVIEW COMMENTS 05/24/2022
5	05/01/2022	REVISED PER MAKE COUNTY REVIEW COMMENTS 04/21/2022
4	04/09/2022	REVISED PER CITY OF RALPHAH REVIEW COMMENTS 03/24/2022
3	04/09/2022	REVISED PER MAKE COUNTY REVIEW COMMENTS 03/24/2022
2	03/25/2022	REVISED PER MAKE COUNTY REVIEW COMMENTS 01/11/2022
1	01/07/2022	REVISED PER TOWN OF ZEBULON REVIEW COMMENTS 11/12/2021

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 DRAWN BY
 JAWIMYASHLEY@SUMMITDE.NET
 FIRST ISSUE DATE
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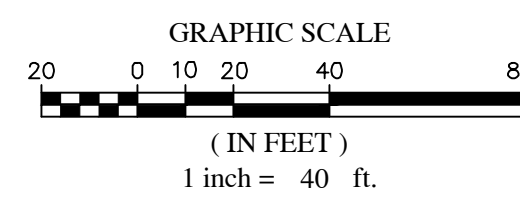
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 JAWIMYASHLEY@SUMMITDE.NET
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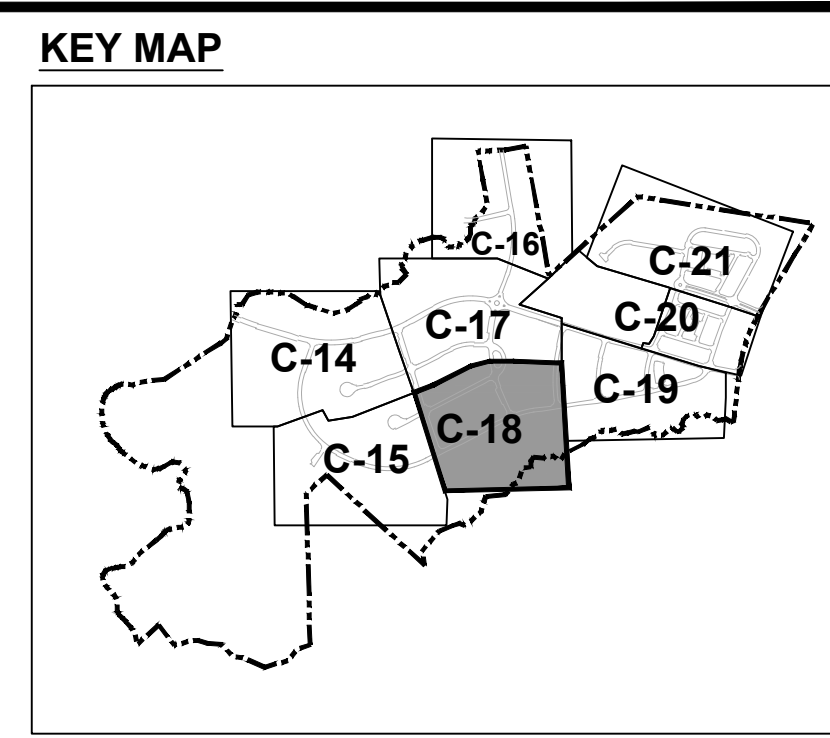
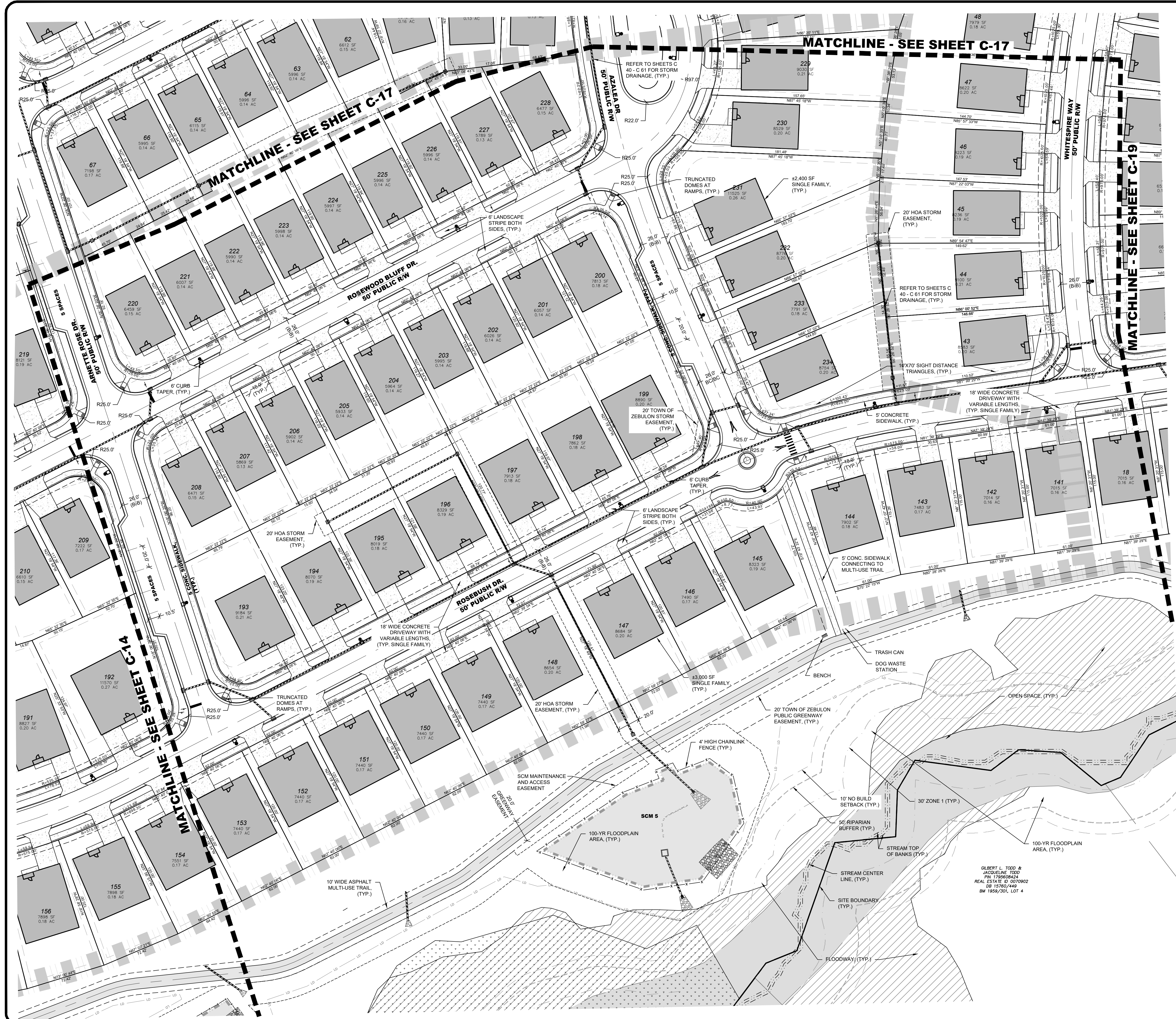


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CONSTRUCTION DRAWINGS FOR
CADENCE MEADOWS
 915 PONY ROAD
 ZEBULON, NC
SITE PLAN

PROJECT NO.
19-0103
 DRAWING NO.
19-0103_s.dwg
 SHEET NO.
C-17





NO.	REVISIONS	DATE	BY
7	FINAL SET	09/01/2022	DAS
6	REVISED PER MAKE COUNTY REVIEW COMMENTS 08/24/2022	08/24/2022	DAS
5	REVISED PER MAKE COUNTY REVIEW COMMENTS 08/24/2022	08/24/2022	DAS
4	REVISED PER CITY OF RALEIGH REVIEW COMMENTS 03/24/2022	03/24/2022	DAS
3	REVISED PER MAKE COUNTY REVIEW COMMENTS 03/24/2022	03/24/2022	DAS
2	REVISED PER MAKE COUNTY REVIEW COMMENTS 03/24/2022	03/24/2022	DAS
1	REVISED PER TOWN OF ZEBULON REVIEW COMMENTS 11/22/2021	11/22/2021	DAS

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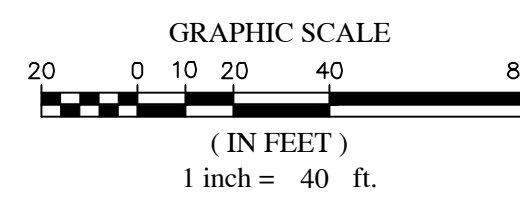
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CONSTRUCTION DRAWINGS FOR
CADENCE MEADOWS
 915 PONY ROAD
 ZEBULON, NC

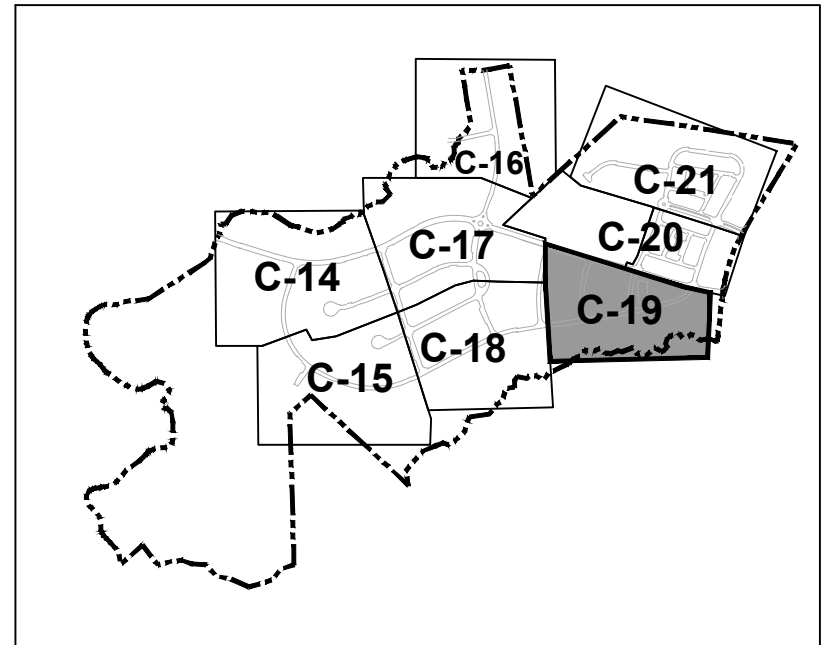
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 Know what's below.
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SITE PLAN

PROJECT NO.
19-0103
 DRAWING NAME:
 19-0103_s.dwg
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C-18

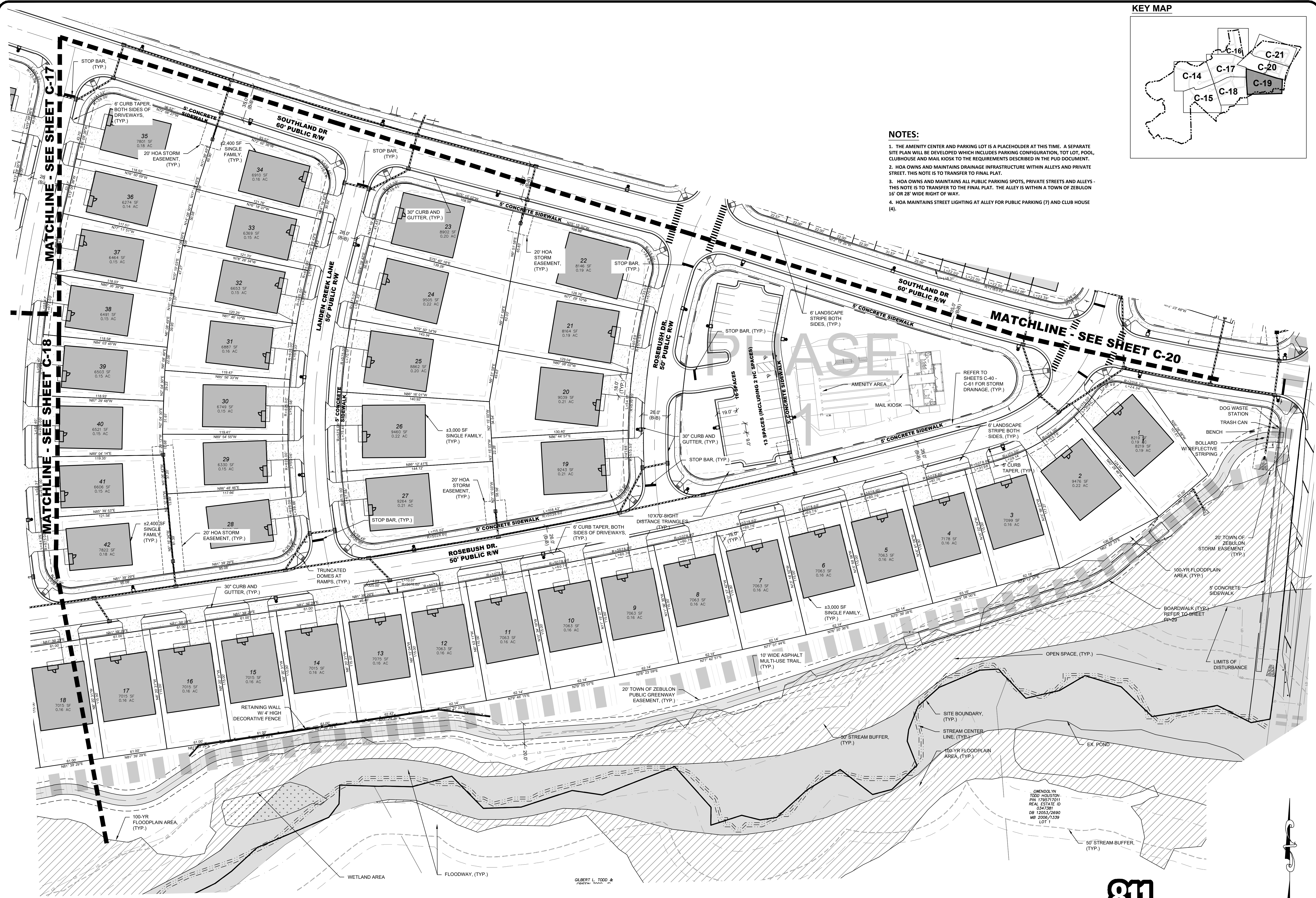


KEY MAP

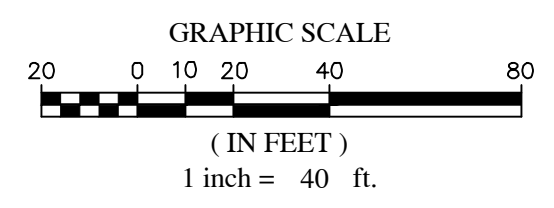


NOTES:

1. THE AMENITY CENTER AND PARKING LOT IS A PLACEHOLDER AT THIS TIME. A SEPARATE SITE PLAN WILL BE DEVELOPED WHICH INCLUDES PARKING CONFIGURATION, TOT LOT, POOL, CLUBHOUSE AND MAIL KIOSK TO THE REQUIREMENTS DESCRIBED IN THE PUD DOCUMENT.
2. HOA OWNS AND MAINTAINS DRAINAGE INFRASTRUCTURE WITHIN ALLEYS AND PRIVATE STREET. THIS NOTE IS TO TRANSFER TO FINAL PLAT.
3. HOA OWNS AND MAINTAINS ALL PUBLIC PARKING SPOTS, PRIVATE STREETS AND ALLEYS - THIS NOTE IS TO TRANSFER TO THE FINAL PLAT. THE ALLEY IS WITHIN A TOWN OF ZEBULON 15' OR 28' WIDE RIGHT OF WAY.
4. HOA MAINTAINS STREET LIGHTING AT ALLEY FOR PUBLIC PARKING (7) AND CLUB HOUSE (4).



NOTE: RETAINING WALLS GREATER THAN 3' REQUIRE 4' SAFETY FENCE. RETAINING WALLS GREATER THAN 4' SHALL REQUIRE ENGINEERED DESIGN DRAWINGS. RETAINING WALLS WILL BE A SEPARATE SUBMITTAL FOR APPROVAL.



NO.	REVISIONS	DATE	BY
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6	REVISED PER MAKE COUNTY REVIEW COMMENTS 08/24/2022	08/24/2022	DAS
5	REVISED PER MAKE COUNTY REVIEW COMMENTS 04/21/2022	04/21/2022	DAS
4	REVISED PER CITY OF ZEBULON REVIEW COMMENTS 03/24/2022	03/24/2022	DAS
3	REVISED PER MAKE COUNTY REVIEW COMMENTS 03/24/2022	03/24/2022	DAS
2	REVISED PER MAKE COUNTY REVIEW COMMENTS 02/14/2022	02/14/2022	DAS
1	REVISED PER TOWN OF ZEBULON REVIEW COMMENTS 11/12/2021	11/12/2021	DAS

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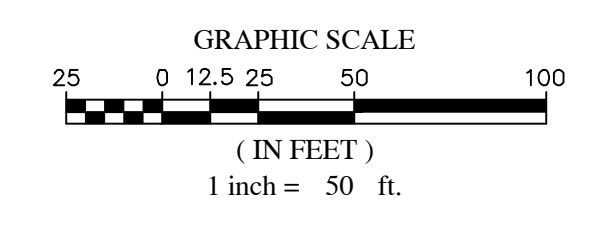
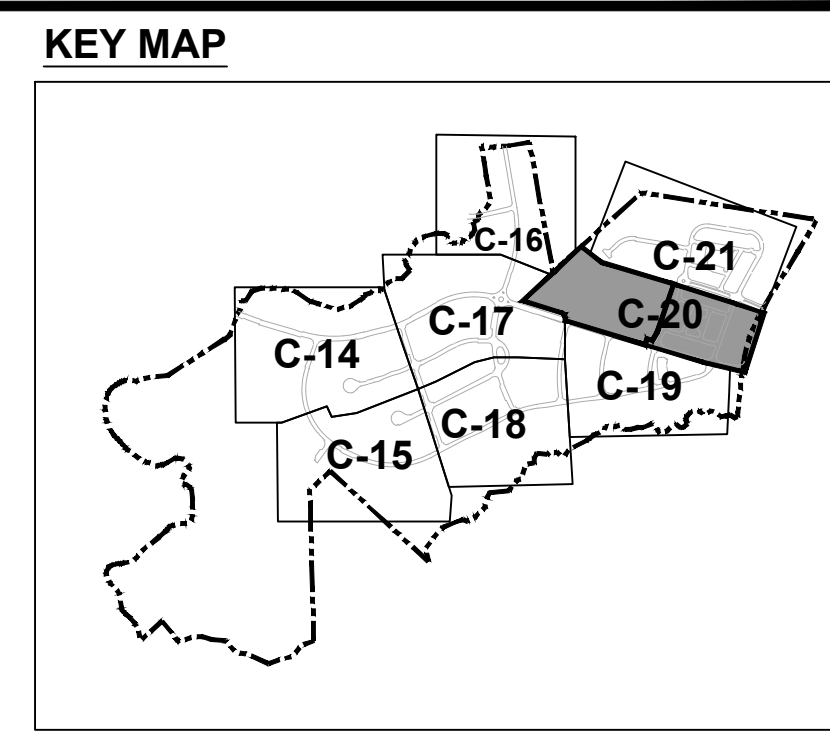
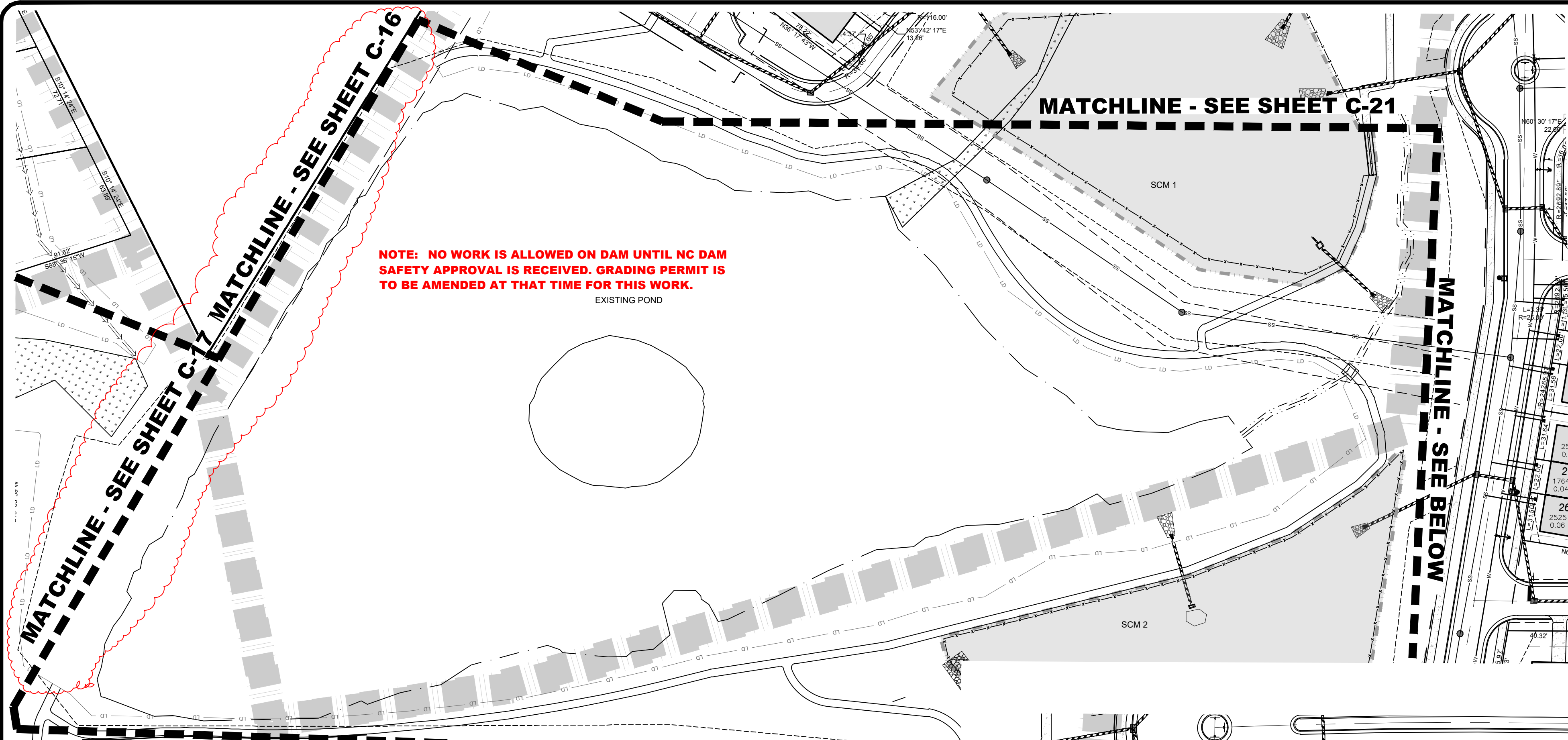
PROJECT ENGINEER/ARCHITECT
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 PROJECT MANAGER
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 DRAWN BY
 JAWIMY ASHLEY@SUMMITDE.NET
 FIRST ISSUE DATE
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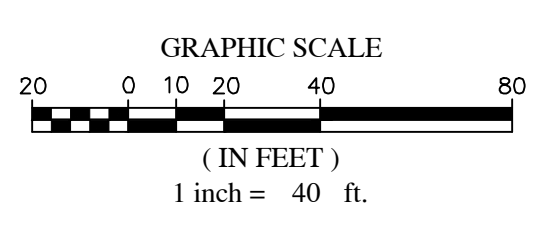
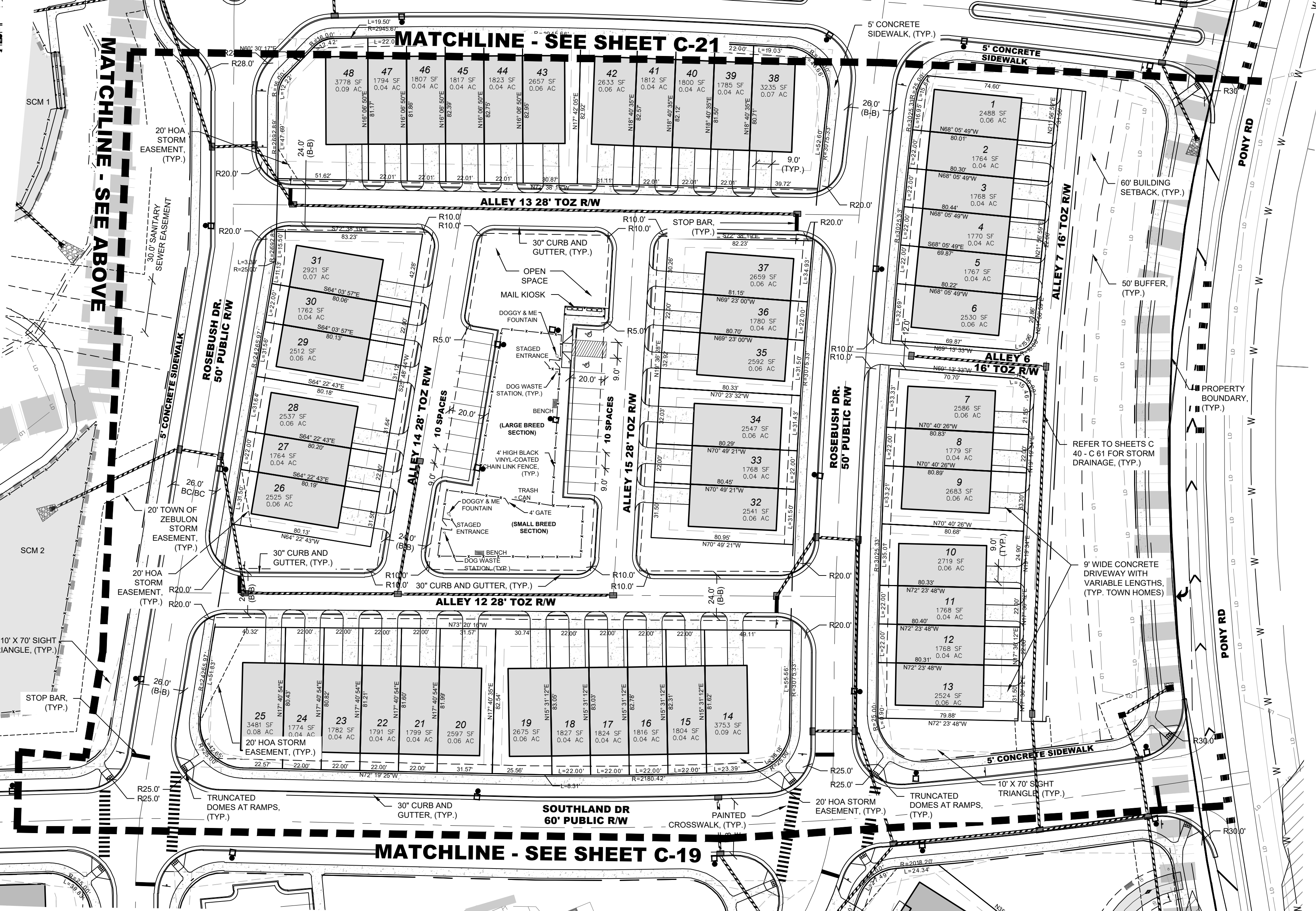
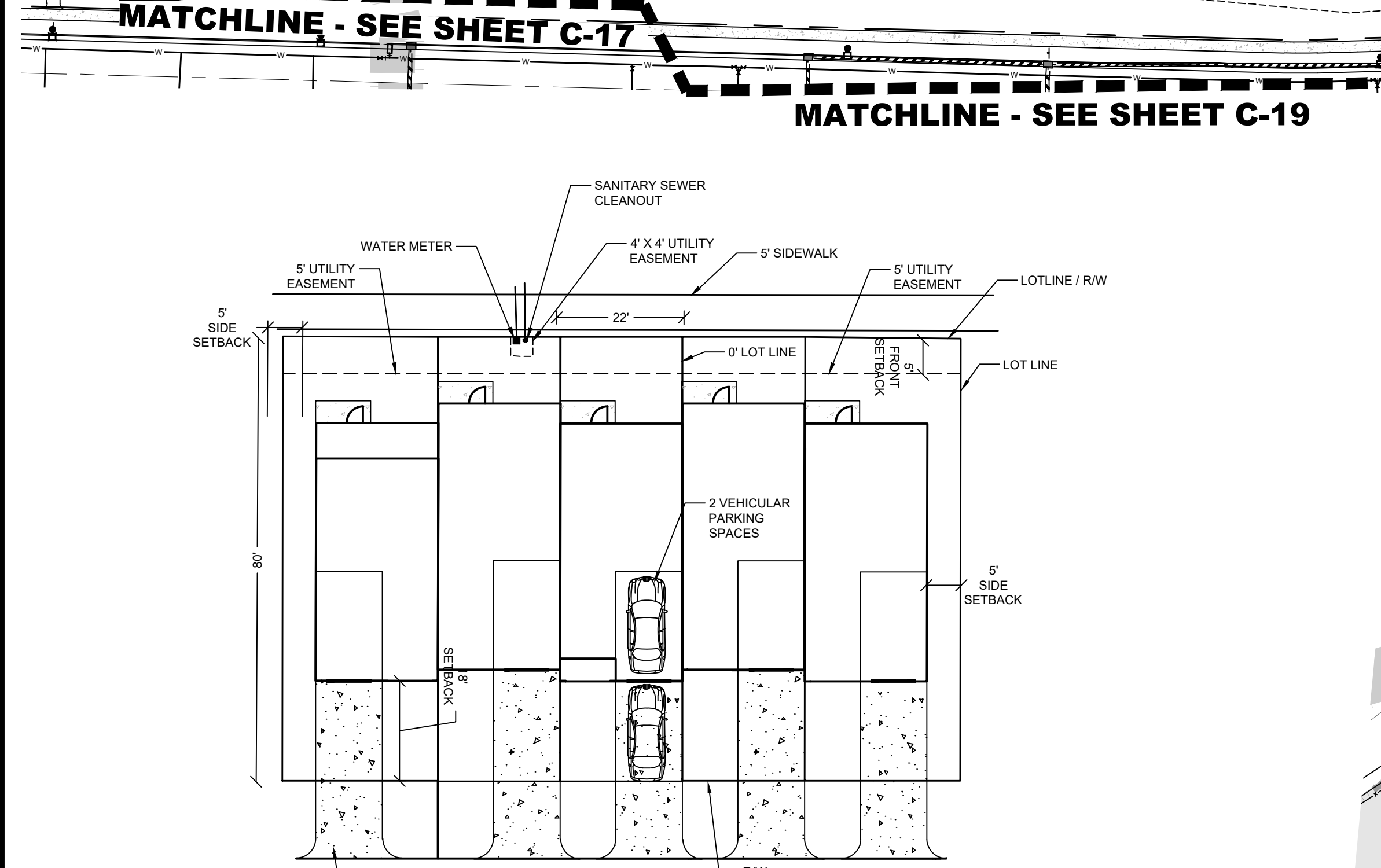
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CONSTRUCTION DRAWINGS FOR
CADENCE MEADOWS
 915 PONY ROAD
 ZEBULON, NC
SITE PLAN

PROJECT NO.
 19-0103
 DRAWING NAME:
 19-0103_s.dwg
 SHEET NO.
 C-19



- NOTES:**
1. THE AMENITY CENTER AND PARKING LOT IS A PLACEHOLDER AT THIS TIME. A SEPARATE SITE PLAN WILL BE DEVELOPED WHICH INCLUDES PARKING CONFIGURATION, TOT LOT, POOL, CLUBHOUSE AND MAIL KIOSK TO THE REQUIREMENTS DESCRIBED IN THE PUD DOCUMENT.
 2. HOA OWNS AND MAINTAINS DRAINAGE INFRASTRUCTURE WITHIN ALLEYS AND PRIVATE STREET. THIS NOTE IS TO TRANSFER TO FINAL PLAN.
 3. HOA OWNS AND MAINTAINS ALL PUBLIC PARKING SPOTS, PRIVATE STREETS AND ALLEYS - THIS NOTE IS TO TRANSFER TO THE FINAL PLAN. THE ALLEY IS WITHIN A TOWN OF ZEBULON 16' OR 28' WIDE RIGHT OF WAY.
 4. HOA MAINTAINS STREET LIGHTING AT ALLEY FOR PUBLIC PARKING (7) AND CLUB HOUSE (4).



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NO.	DATE	DESCRIPTION
7	01/07/2022	FINAL SET
6	06/07/2022	REVISED PER WAKE COUNTY REVIEW COMMENTS 05/24/2022
5	06/03/2022	REVISED PER WAKE COUNTY REVIEW COMMENTS 04/27/2022
4	04/06/2022	REVISED PER CITY OF WAKE COUNTY REVIEW COMMENTS 03/24/2022
3	04/06/2022	REVISED PER WAKE COUNTY REVIEW COMMENTS 03/24/2022
2	02/25/2022	REVISED PER WAKE COUNTY REVIEW COMMENTS 12/14/2021
1	01/07/2022	REVISED PER TOWN OF ZEBULON REVIEW COMMENTS 11/12/2021

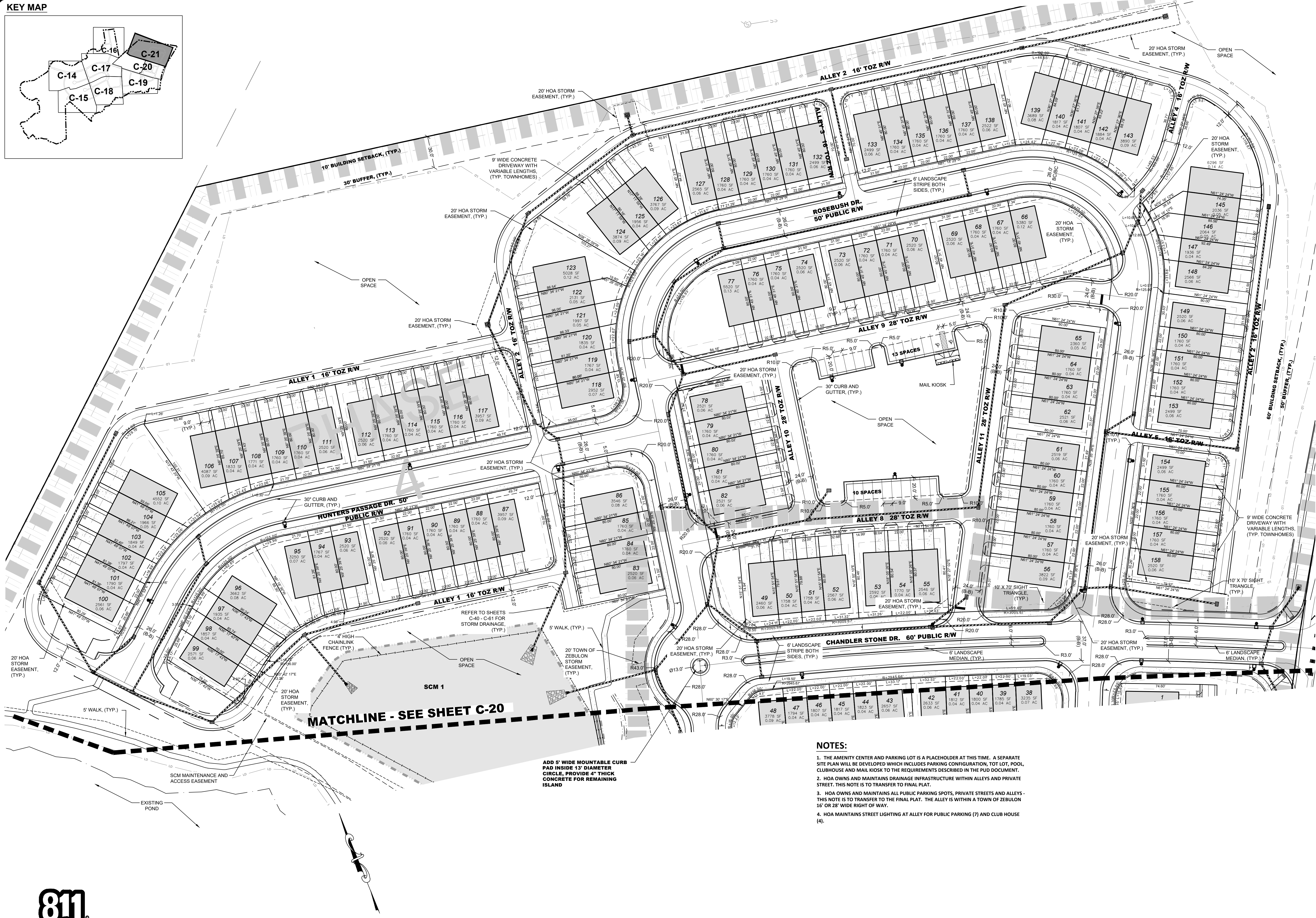
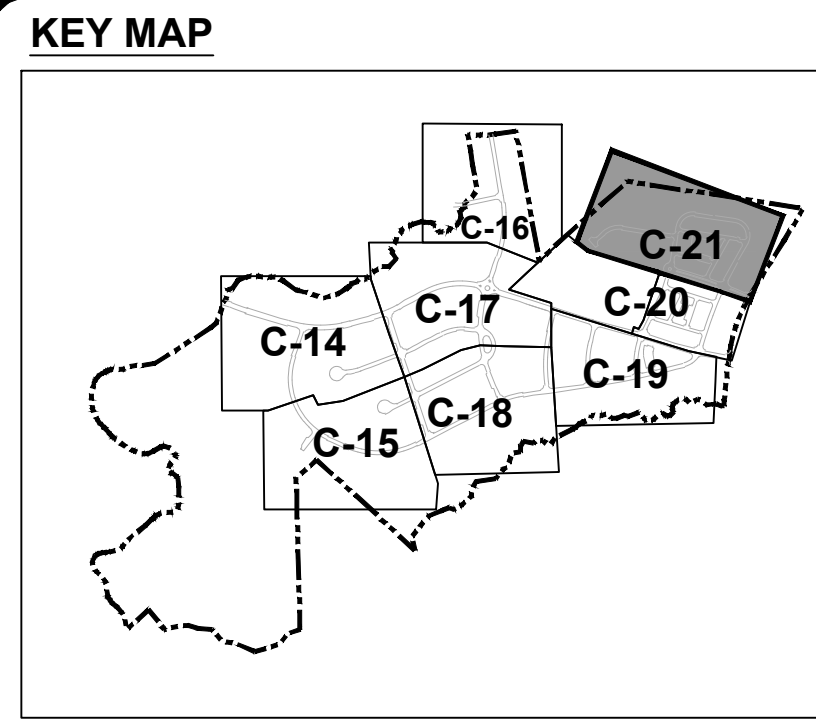
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CONSTRUCTION DRAWINGS FOR
CADENCE MEADOWS
915 PONY ROAD
ZEBULON, NC
SITE PLAN

PROJECT NO.
19-0103
DRAWING NAME:
19-0103_s.dwg
SHEET NO.
C-20

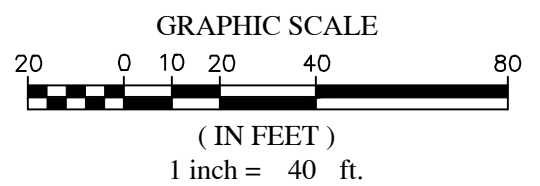


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4. HOA MAINTAINS STREET LIGHTING AT ALLEY FOR PUBLIC PARKING (7) AND CLUB HOUSE (4).

ADD 5' WIDE MOUNTABLE CURB PAD INSIDE 13' DIAMETER CIRCLE. PROVIDE 4" THICK CONCRETE FOR REMAINING ISLAND

MATCHLINE - SEE SHEET C-20



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6	06/07/2022	DAS	REVISED PER WAKE COUNTY REVIEW COMMENTS 05/24/2022
5	05/03/2022	DAS	REVISED PER WAKE COUNTY REVIEW COMMENTS 04/27/2022
4	04/06/2022	DAS	REVISED PER CITY OF RALEIGH REVIEW COMMENTS 03/24/2022
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1	01/07/2022	DAS	REVISED PER TOWN OF ZEBULON REVIEW COMMENTS 11/12/2021

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 PROJECT MANAGER: DAS@SUMMITDE.NE.T
 DESIGNER: DAS@SUMMITDE.NE.T
 DRAWING ALTERNATE: JALUMMY@SUMMITDE.NE.T
 FIRST ISSUE DATE: 11/01/2021

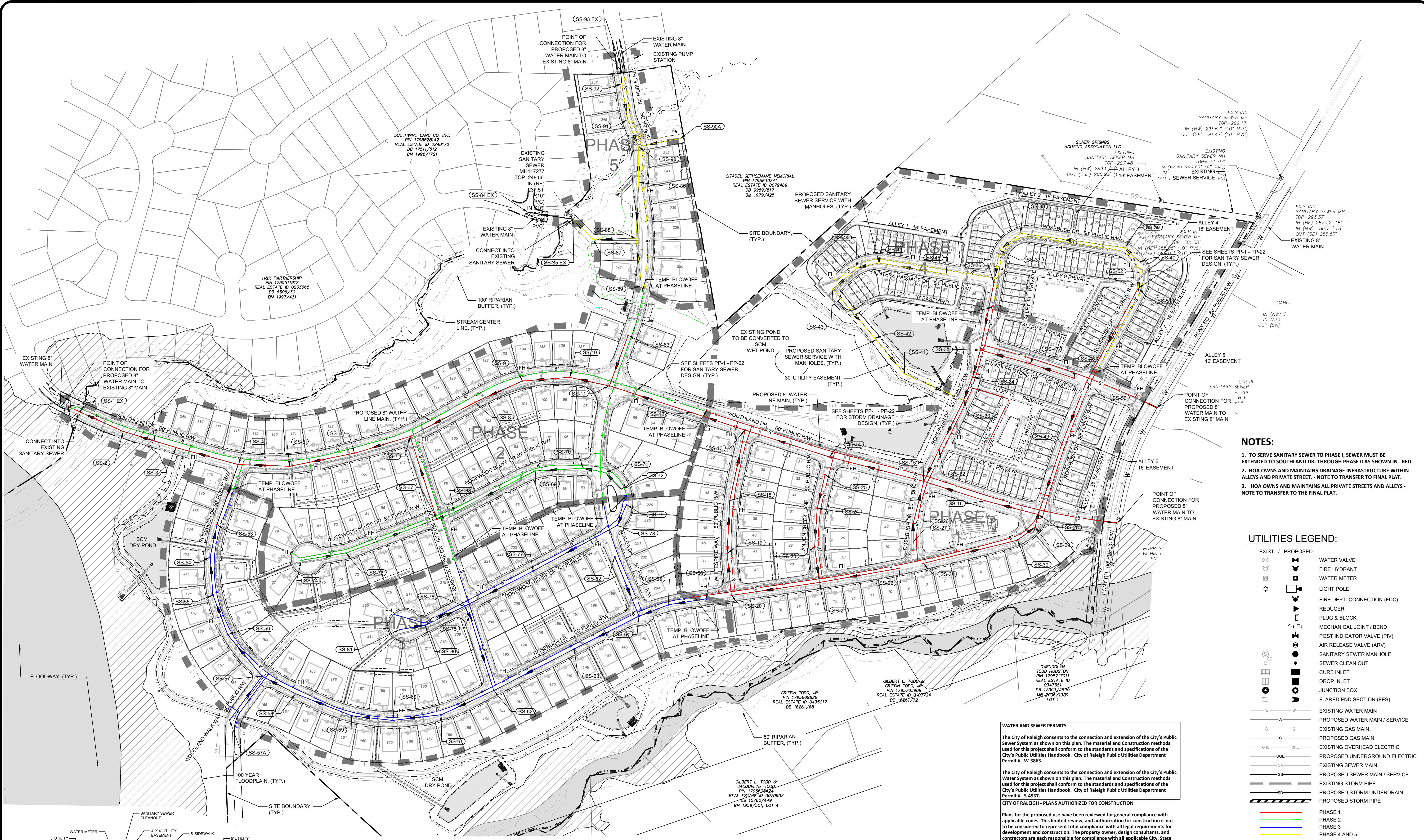
PROFESSIONAL SEAL
 24627
 ENGINEER
 09/01/2022

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 24627
 ENGINEER
 09/01/2022

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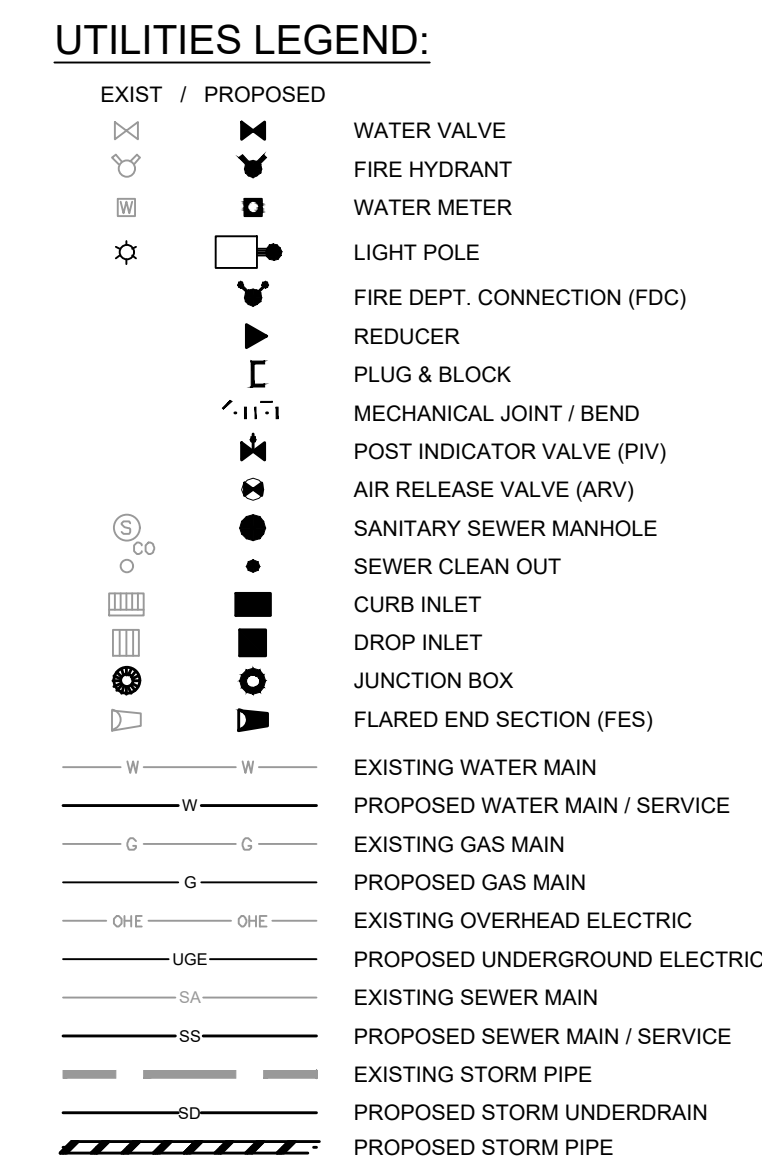
CONSTRUCTION DRAWINGS FOR
CADENCE MEADOWS
 915 PONY ROAD
 ZEBULON, NC
SITE PLAN

PROJECT NO.
19-0103
 DRAWING NAME:
 19-0103_s.dwg
 SHEET NO.
C-21



NOTES:

1. TO SERVE SANITARY SEWER TO PHASE II, SEWER MUST BE EXTENDED TO SOUTHLAND DR. THROUGH PHASE II AS SHOWN IN RED.
2. HOA OWNS AND MAINTAINS DRAINAGE INFRASTRUCTURE WITHIN ALLEYS AND PRIVATE STREET. - NOTE TO TRANSFER TO FINAL PLAT.
3. HOA OWNS AND MAINTAINS ALL PRIVATE STREETS AND ALLEYS - NOTE TO TRANSFER TO THE FINAL PLAT.



WATER AND SEWER PERMITS

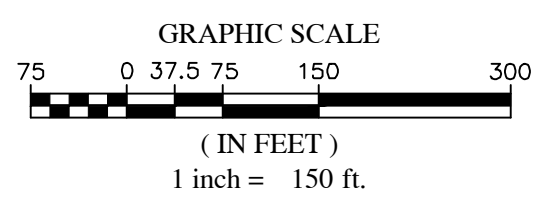
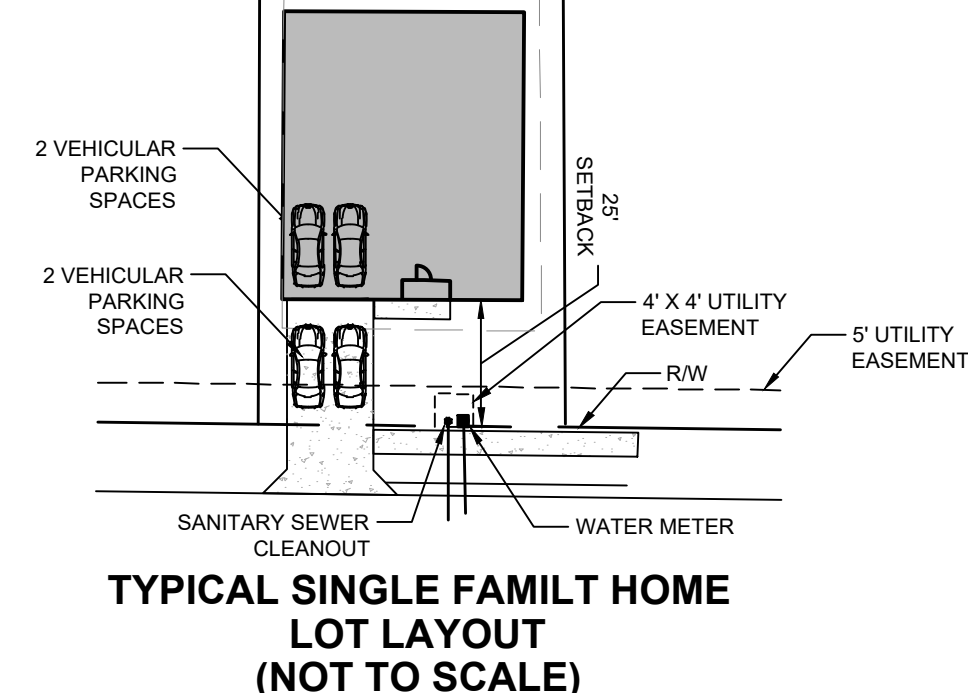
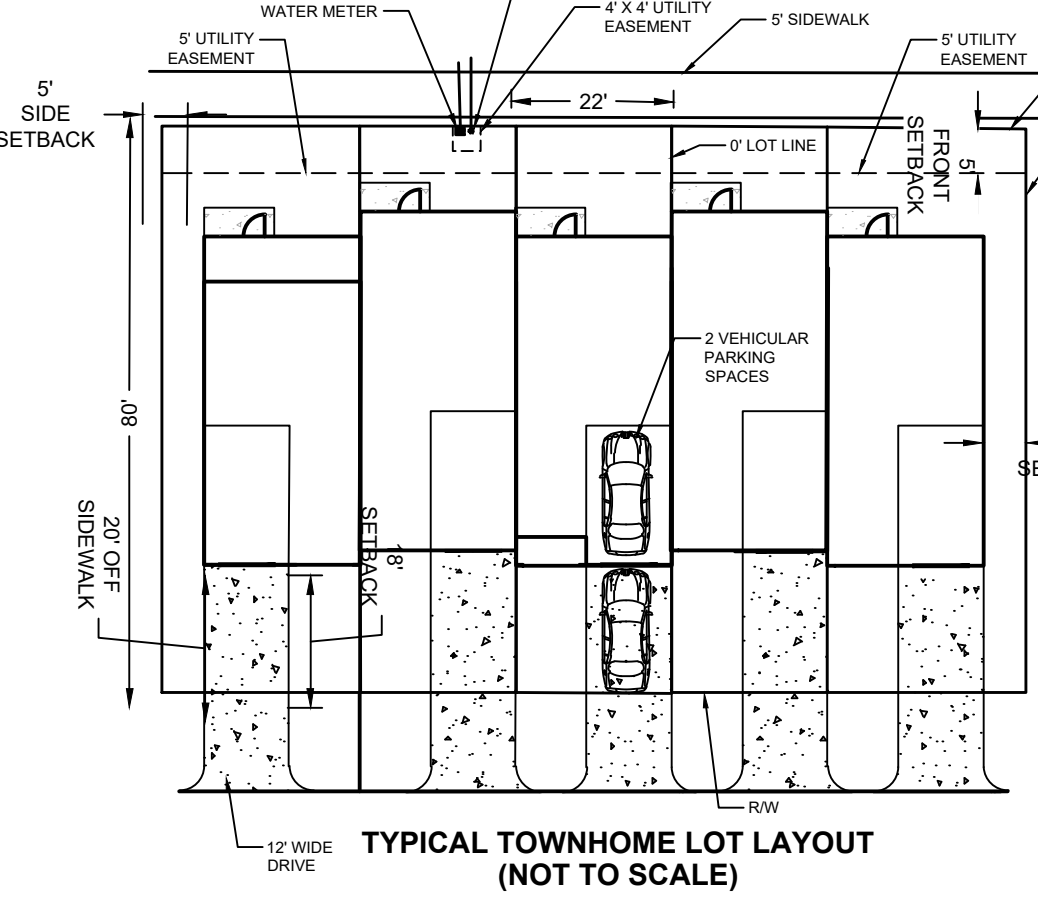
The City of Raleigh consents to the connection and extension of the City's Public Sewer System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # W-3863.

The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # S-4937.

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All construction must be in accordance with all Local, State, and Federal Rules and Regulations. Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.

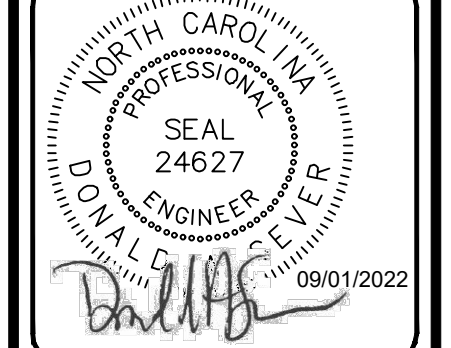
City of Raleigh Development Approval _____
 City of Raleigh Review Officer _____



NO.	DATE	BY	REVISIONS
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6	06/07/2022	DAS	REVISED PER WAKE COUNTY REVIEW COMMENTS 05/24/2022
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DESIGN MANAGER
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CONSTRUCTION DRAWINGS FOR CADENCE MEADOWS
 915 PONY ROAD
 ZEBULON, NC

OVERALL UTILITY PLAN

PROJECT NO.
 19-0103
 DRAWING NAME:
 19-0103_u.dwg
 SHEET NO.
 C-22