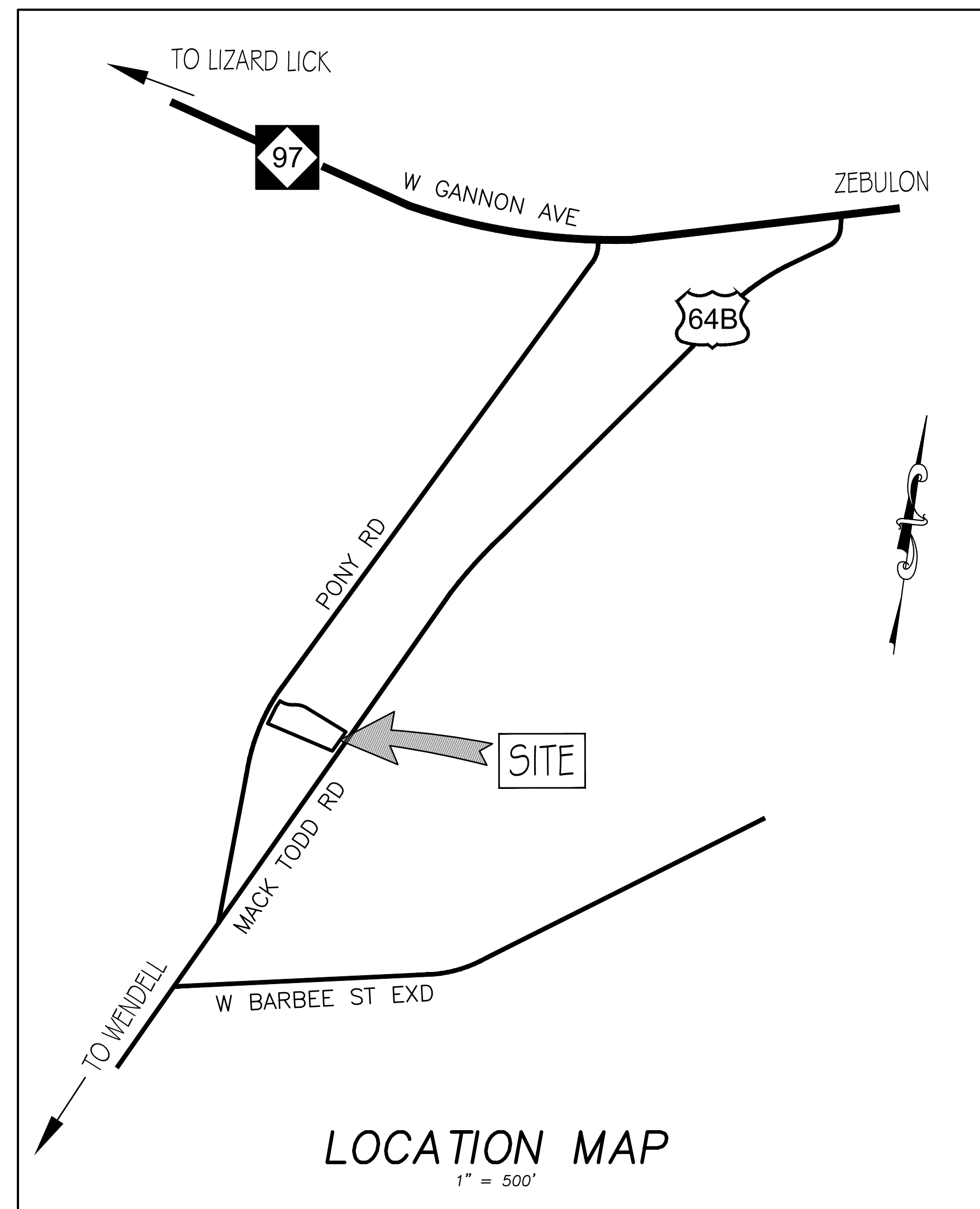


SITE PLAN DRAWINGS FOR FRANCO MASONRY & CONCRETE

PHASE 1 OF 2

970 MACK TODD ROAD
ZEBULON, NORTH CAROLINA, 27597



GENERAL NOTES:

1. THIS MAP IS NOT FOR CONVEYANCE, RECORDATION OR SALES.
2. BOUNDARY AND TOPOGRAPHIC SURVEYS WERE PERFORMED BY JAMES W. HIPPER LAND SURVEYING, DATED JANUARY 22, 2024.
3. STORMWATER DRAINS TO LITTLE RIVER (WS-V; NSW); RIVER BASIN: NEUSE; STREAM INDEX: 27-57-(8.3).
4. THERE ARE NO JURISDICTIONAL STREAM OR WETLANDS ON SITE.
5. THERE ARE NO DESIGNATED SPECIAL FLOOD HAZARD ZONE (100-YEAR FLOODPLAIN) ON THE PROPERTY (DFIRM 3720179500K, DATED 7/19/2022).

PROJECT DATA:

1. PROJECT ADDRESS: 970 MACK TODD RD
ZEBULON, NC 27597
2. PARCEL ID NO: 1795811688
3. REID NO: 0188800
4. CONSULTANT: CSD ENGINEERING
JOHN F. OGLESBY, PE
919-624-0997 JM
910-791-4441 JO
910-791-1501 JF
john@csd-engineering.com
5. PROPERTY OWNER: FRANCO & OLGA MARIBEL ROMERO
970 MACK TODD RD
ZEBULON, NC 27597
919-255-0331
francomasonrycon@gmail.com
6. PROJECT ZONING: HEAVY COMMERCIAL (HC)
7. FUTURE LAND USE CLASS: SUBURBAN COMMERCIAL
8. PROPOSED LAND USE: CONTRACTOR OFFICE & SERVICE YARD
9. PARCEL AREA: = 1.07 AC NET (46,609 SQ. FT.)
10. REQUIRED SETBACKS: = 30' STREET, 0 OR 5' SIDE
11. REQUIRED BUFFERS: = 15' MODIFIED TYPE C STREET SCAPE BUFFER
= 10' TYPE A LANDSCAPE BUFFER (SIDES)
12. MAX. LOT COVERAGE: = 80% (37,287 SQ. FT.)
13. ACTUAL LOT COVERAGE: = SEE LOT COVERAGE NOTE ON SHEET C3.0

INDEX TO DRAWINGS

SHEET No.	DESCRIPTION	DRAWING No.
1 OF 14	COVER SHEET & LOCATION MAP	C1.0
2 OF 14	EXISTING CONDITIONS & DEMOLITION PLAN	C2.0
3 OF 14	SITE PLAN	C3.0
4 OF 14	SITE PLAN DETAILS	C3.1
5 OF 15	SITE PLAN DETAILS - ROADWAY WIDENING EXHIBIT	C3.2
6 OF 15	OVERALL GRADING & DRAINAGE PLAN	C4.0
7 OF 15	OVERALL GRADING & DRAINAGE PLAN DETAILS	C4.1
8 OF 15	EROSION CONTROL PLAN	C5.0
9 OF 15	EROSION CONTROL DETAILS	C5.1
10 OF 15	UTILITY PLAN - WATER AND SEWER SERVICES	C6.0
11 OF 15	UTILITY DETAILS SH.1	C6.1
12 OF 15	UTILITY DETAILS SH.2	C6.2
13 OF 15	UTILITY DETAILS SH.3	C6.3
14 OF 15	LANDSCAPE PLAN	C7.0
15 OF 15	LANDSCAPE DETAILS	C7.1



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COVER SHEET
& LOCATION MAP

SITE PLAN DRAWINGS FOR
FRANCO MASONRY & CONCRETE - PHASE 1

LOCATED IN TOWN OF ZEBULON,
WARE COUNTY, NORTH CAROLINA

OWNER: FRANCO ROMERO
CONTACT: FRANCO ROMERO
970 MACK TODD RD
ZEBULON, NC 27597
(919) 255-0331



PLAN NOT RELEASED
FOR CONSTRUCTION

REV. NO.	REMARKS	BY	DATE

DATE: 10/18/2024

HORZ. SCALE: 1" = 500'
VERT. SCALE: N/A

DRAWN BY: RBS

CHECKED BY: JFO

PROJECT NO.: 24-0682

C1.0
Sheet No. 1 of 15

LEGEND

- EX. PROPERTY LINE
- EX. PUBLIC R/W LINE
- EX. ADJOINING PROPERTY LINE
- EX. PRIVATE R/W OR EASEMENT
- EX. PUBLIC EASEMENT LINE
- EX. CENTERLINE
- EX. TREE LINE
- EX. SIDEWALK
- EX. CURB & GUTTER
- ===== EX. STORM DRAIN PIPE
- DI □ CB EX. STORM DRAIN BOX
- SS --- SS EX. SANITARY SEWER PIPE
- EX. SANITARY SEWER MANHOLE
- W --- W EX. WATER LINE
- H --- H EX. HYDRANT & WATER VALVE
- EX. PAVEMENT MARKINGS
- E --- E EX. OVERHEAD POWER LINE & POLE

EXISTING CONDITON & DEMOLITION NOTES

1. SITE ADDRESS: 970 MACK TODD RD - ZEBULON, NC 27597
2. BOUNDARY SURVEY, DATED 1/22/2024, WAS PROVIDED BY JAMES W. HIPPER LAND SURVEYING (NC FIRM NO. L-3916) 5707 HILLTOP RD RALEIGH, NC 27603 919-917-7080
3. METES AND BOUNDS ARE BASED ON STATE PLANE COORDINATES.
4. EXISTING OFF-SITE TOPOGRAPHY IS FROM BARE EARTH LIDAR DATA DOWNLOAD FROM THE N.C. FLOOD RISK INFORMATION SYSTEM; WAKE COUNTY FIRM PANEL 1795.
5. THERE ARE NO FEMA SPECIAL FLOOD HAZARD ZONES (A & AE) LOCATED ON PROPERTY; DFIRM 3720179500K, DATED JULY 19, 2022.
6. THERE ARE NO JURISDICTIONAL STREAM AND WETLANDS LOCATED ON PROPERTY.
7. EXISTING SOILS ON-SITE CONSIST OF APPLYING SANDY LOAM (SERIES ApB2 AND ApC2); THERE ARE NOT FLOOD-PRONE SOILS ON PROPERTY.
8. GREAT CARE SHALL BE TAKEN TO PRESERVE EXISTING VEGETATION AND LANDSCAPE FEATURES WITHIN AREAS OF REQUIRED BUFFER YARDS.
9. PROPOSED OPEN SPACE AND PRESERVATION AREAS ARE DETERMINED BY MEANS OF LOCATING EXISTING TREES AND NATURAL FEATURES ON-SITE; THERE ARE NO 24" OR GREATER CALIPER HARDWOOD TREES LOCATED WITHIN REQUIRED BUFFER YARDS.
10. STREET YARD BUFFERS ARE BASED ON REQUIREMENTS OF ZEBULON UDO FOR MODIFIED TYPE C STREET YARD (15 FEET) AND TYPE A BUFFER YARD (10 FEET); UTILIZING EXISTING VEGETATION SHOULD MEET UDO REQUIREMENTS FOR STREET SCAPE BUFFERS AND WILL PRESERVE NATIVE VEGETATION AND HABITAT.
11. PRIOR TO CONSTRUCTION, ALL AREAS FOR GRADING WILL BE STRIPPED AND PREPARED FOR FINAL GRADING.
12. LIMITS OF DISTURBANCE TO TO THE LIMITS OF CONSTRUCTION; AREA = 0.45 ACRES (19,778 SQ. FT.).



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EXISTING CONDITIONS WITH DEMOLITION PLAN

SITE PLAN DRAWINGS FOR
FRANCO MASONRY & CONCRETE - PHASE 1
LOCATED IN TOWN OF ZEBULON,
WAKE COUNTY, NORTH CAROLINA
OWNER: FRANCO ROMERO
CONTACT: FRANCO ROMERO
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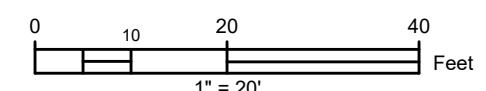
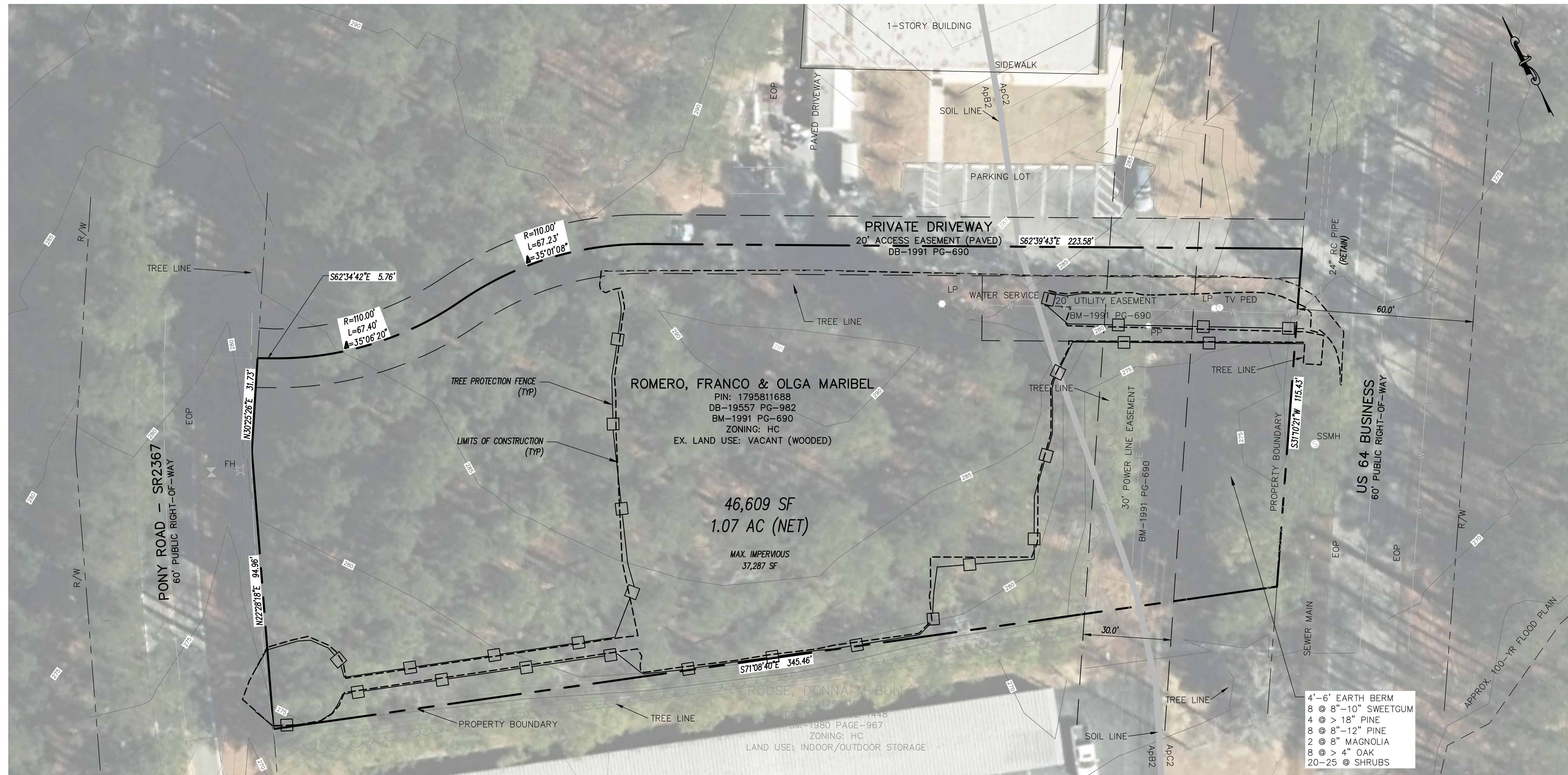


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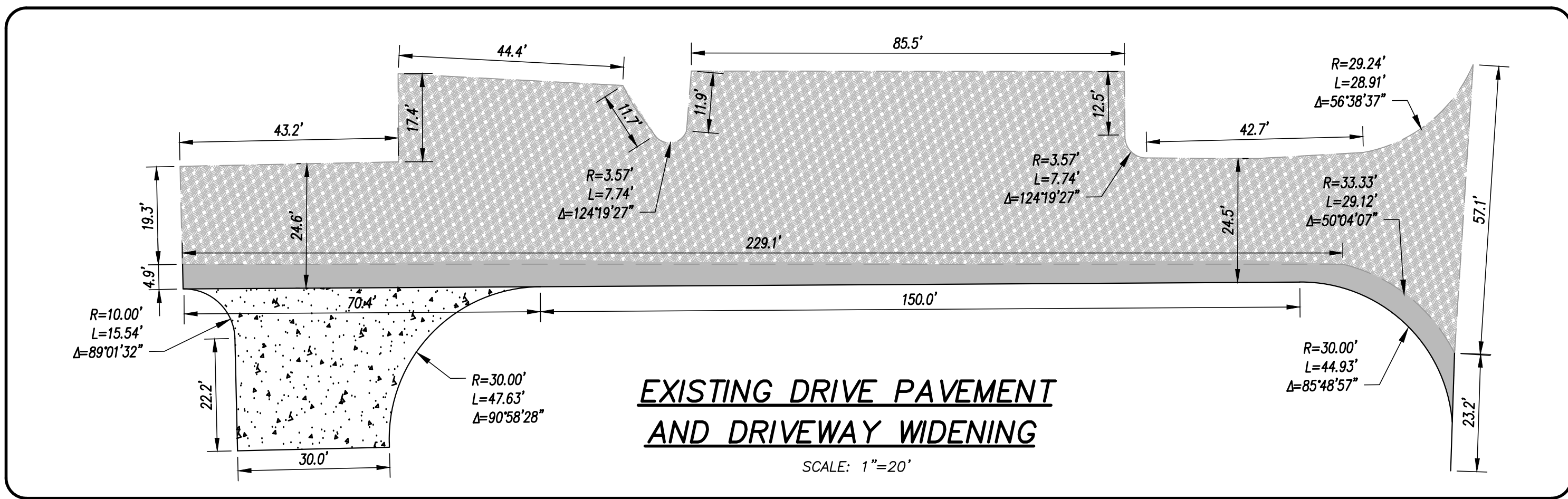
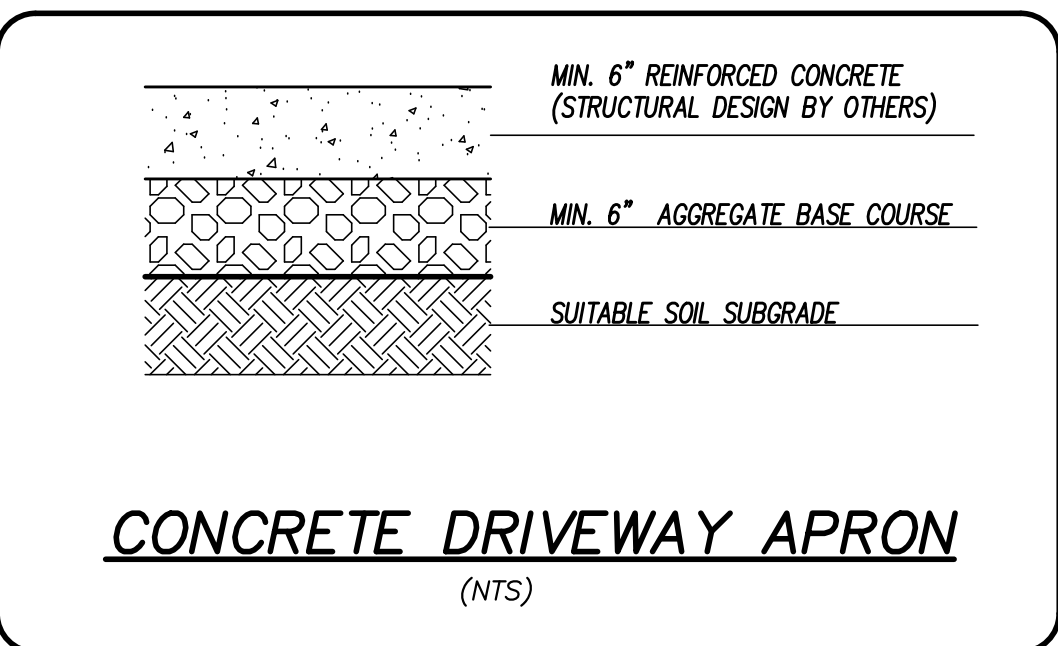
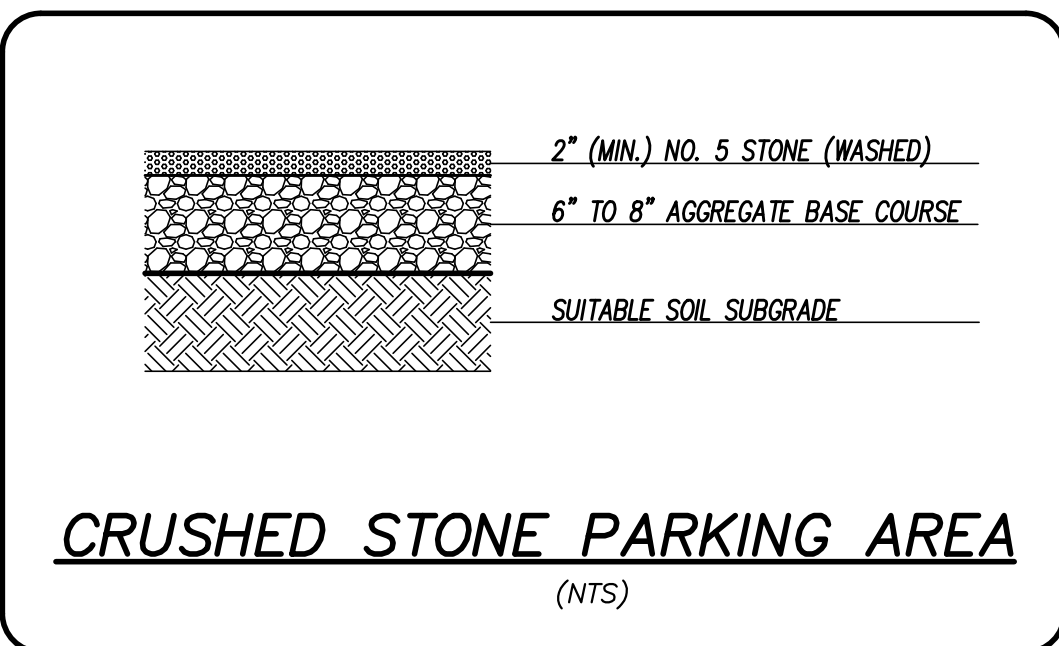
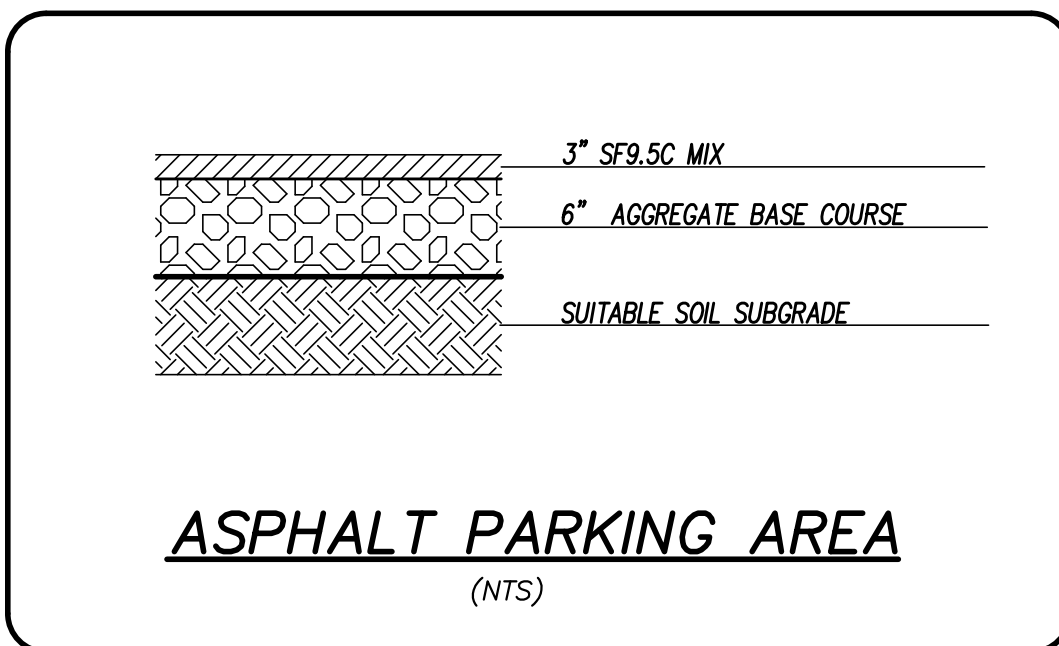
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VERT. SCALE: N/A
DRAWN BY: RBS
CHECKED BY: JFO
PROJECT NO.: 24-0682

Sheet **C2.0**
Sheet No. **2** OF **15**



LEGEND

- EX. PROPERTY LINE
- - - EX. PUBLIC R/W LINE
- - - EX. ADJOINING PROPERTY LINE
- - - EX. PRIVATE R/W OR EASEMENT
- - - EX. PUBLIC EASEMENT LINE
- - - EX. CENTERLINE
- - - EX. TREE LINE
- EX. SIDEWALK
- ===== EX. CURB & GUTTER
- EX. STORM DRAIN PIPE
- EX. STORM DRAIN BOX
- EX. SANITARY SEWER PIPE
- EX. SANITARY SEWER MANHOLE
- EX. WATER LINE
- EX. HYDRANT & WATER VALVE
- EX. PAVEMENT MARKINGS
- EX. OVERHEAD POWER LINE & POLE
- PROPOSED CENTERLINE
- PROPOSED EASEMENT LINE
- PROPOSED LOT LINE
- PROPOSED PUBLIC R/W LINE
- PROPOSED BUILDING SETBACK/BUFFER
- PROPOSED BUILDING FOOTPRINT
- PROPOSED TREE LINE
- PROPOSED SIDEWALK
- PROPOSED CURB & GUTTER
- PROPOSED DRAINAGE/SHORELINE
- PROPOSED STORM DRAINAGE PIPE
- PROPOSED STORM CATCH BASIN
- PROPOSED STORM DROP INLET
- PROPOSED STORM MANHOLE
- PROPOSED SEWER PIPE
- PROPOSED SEWER MANHOLE
- PROPOSED SEWER CLEANOUT
- PROPOSED WATER LINE / VALVE
- PROPOSED OPAQUE FENCE



PARKING CALCULATIONS:

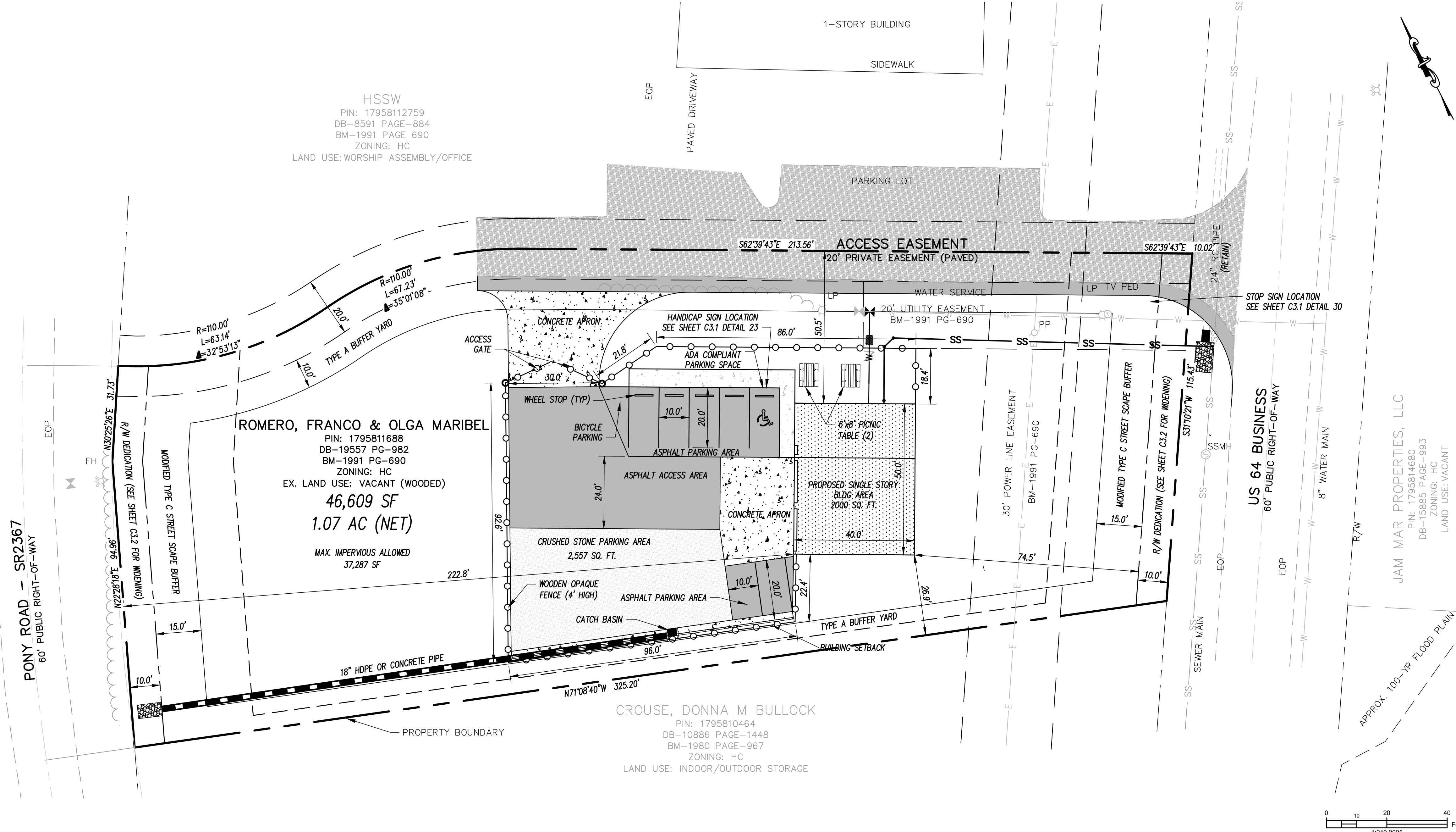
COMMERCIAL - OFFICE/SERVICE USES

AUTO PARKING SPACES:	1 SPACE PER 300 SQ. FT.
PROPOSED BUILDING SQUARE FOOTAGE:	2000 SQ. FT.
REQUIRED PARKING CALCULATION:	2000 / 300 = 6.7 (SAY 7 SPACES)
PROPOSED NEW PARKING SPACES:	7 SPACES (INCLUDING 1 ADA CAR/VAN SPACE)
MIN. PARKING SPACES REQUIRED:	7 SPACES
TOTAL PARKING SPACES PROVIDED:	7 SPACES
PROPOSED BICYCLE PARKING:	
NUMBER OF AUTO PARKING SPACES:	7 SPACES
REQUIRED BICYCLE PARKING:	1 SPACE PER 20 AUTO SPACES
BICYCLE PARKING PROVIDED:	1 SPACES

LOT COVERAGE:

PARCEL AREA	= 46,609 SQ. FT.
PROPOSED ON-SITE IMPERVIOUS	
BUILDING ADDITION	= 2,000 SQ. FT.
EX. PAVEMENT	= 2,370 SQ. FT.
NEW PAVEMENT	= 7,306 SQ. FT.
NEW GRAVEL	= 2,557 SQ. FT.
NEW SIDEWALK	= 445 SQ. FT.
TOTAL	= 14,233 SQ. FT.
COVERAGE	= 30.5 %

MERITAGE HOMES OF THE CAROLINAS, INC.
PIN: 1795616501
DB-19366 PAGE-1120
LAND USE: FUTURE RESIDENTIAL



HSSW
PIN: 17958112759
DB-8591 PAGE-884
BM-1991 PAGE 690
ZONING: HC
LAND USE: WORSHIP ASSEMBLY/OFFICE

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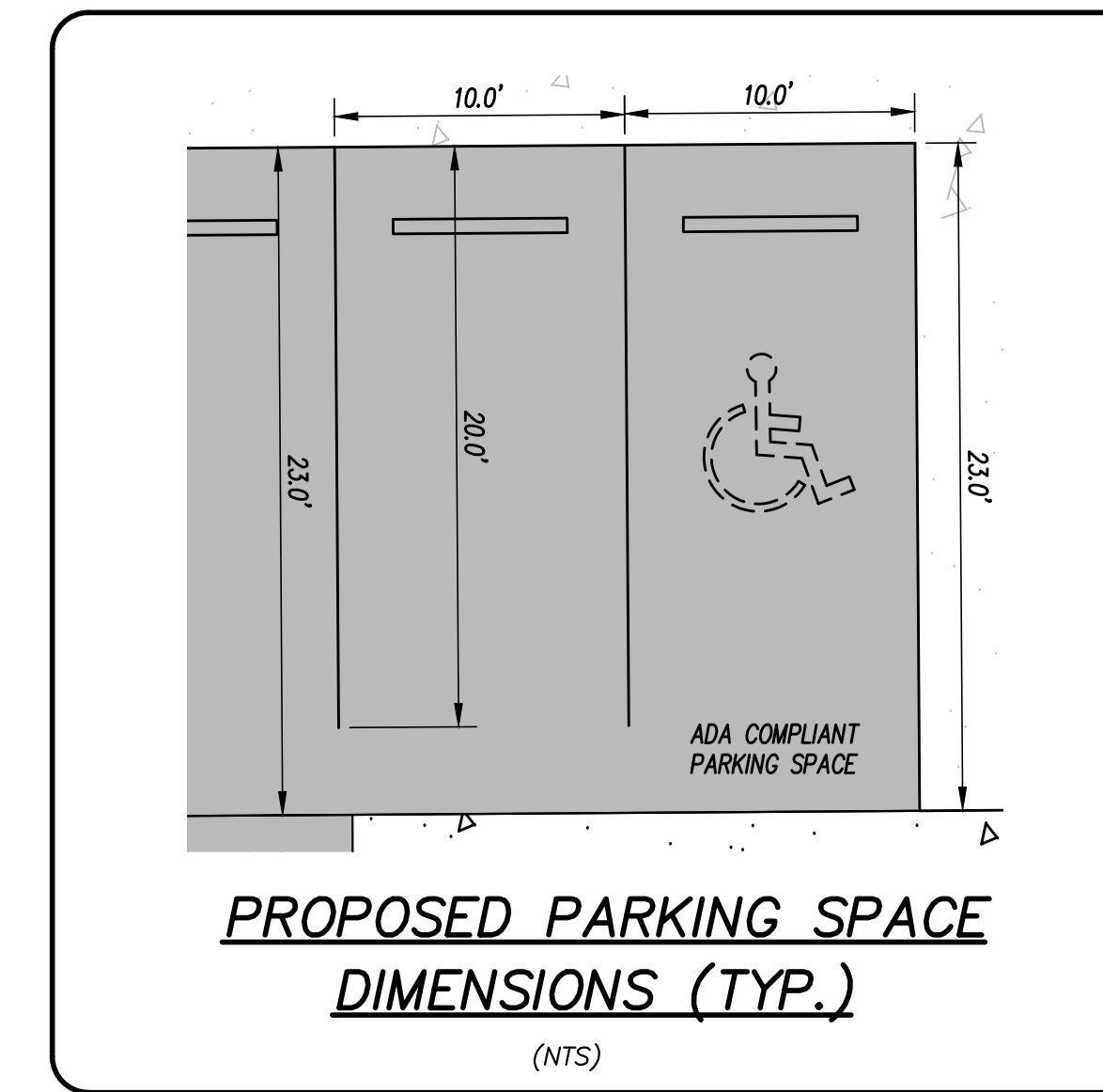
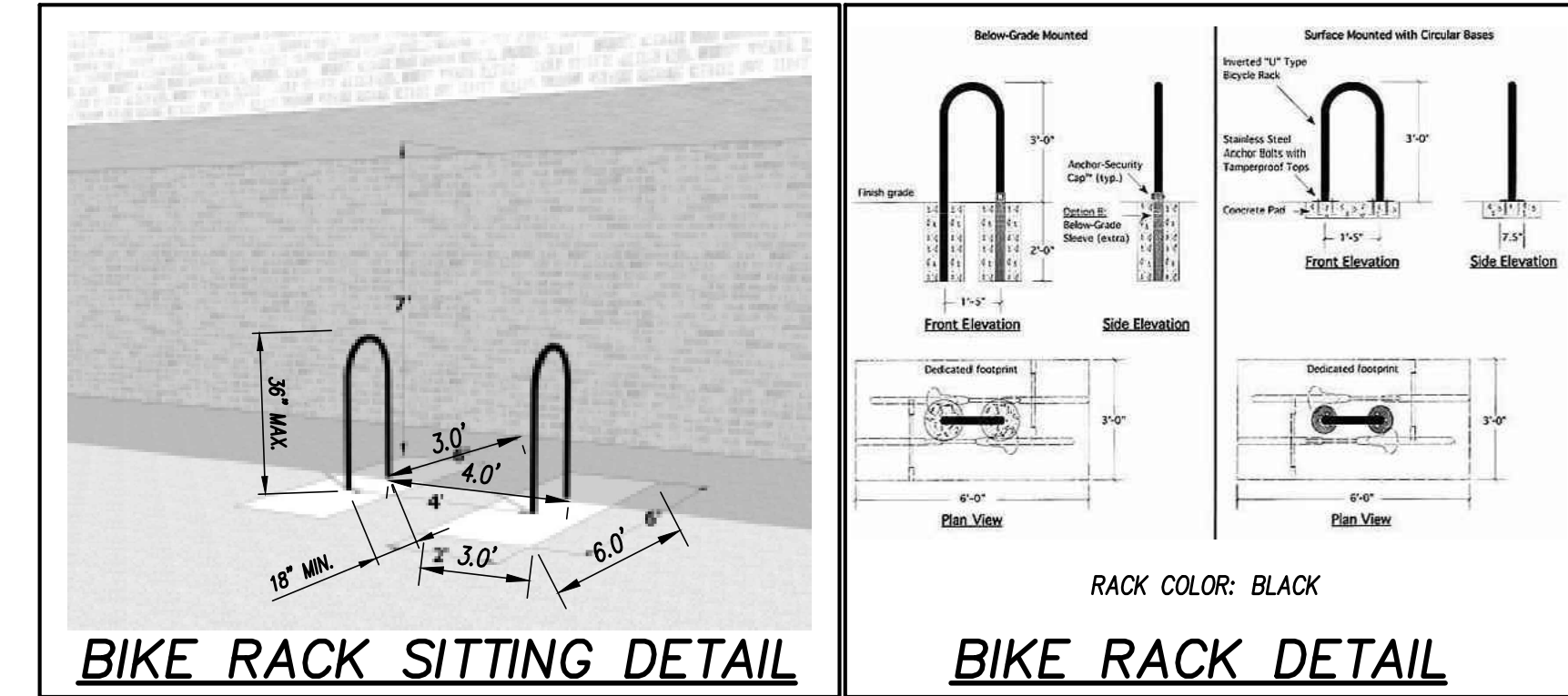
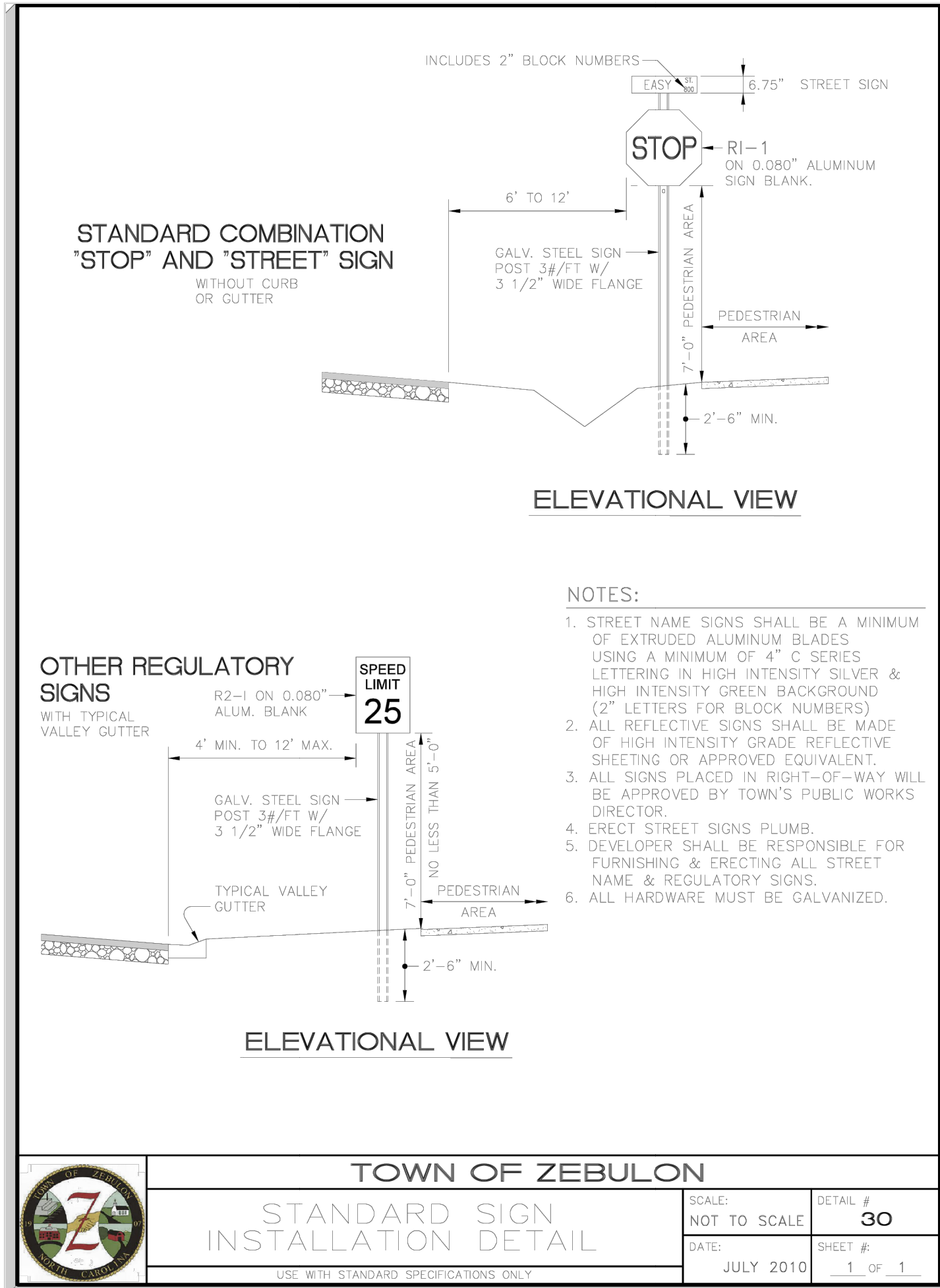
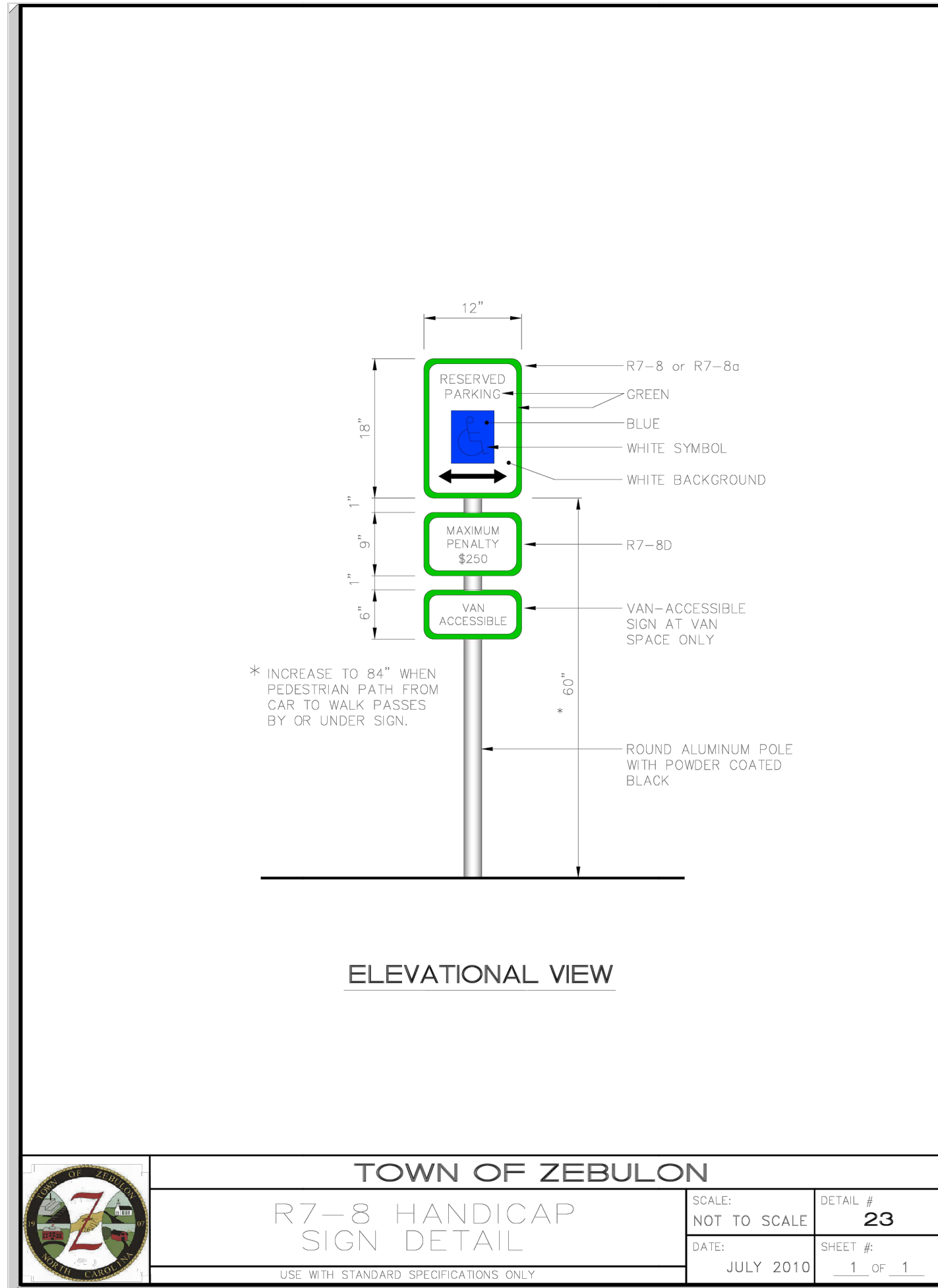
SITE PLAN PARKING AREA

SITE PLAN DRAWINGS FOR
FRANCO MASONRY & CONCRETE - PHASE 1
LOCATED IN TOWN OF ZEBULON, NORTH CAROLINA
OWNER: FRANCO ROMERO
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(919) 255-0331

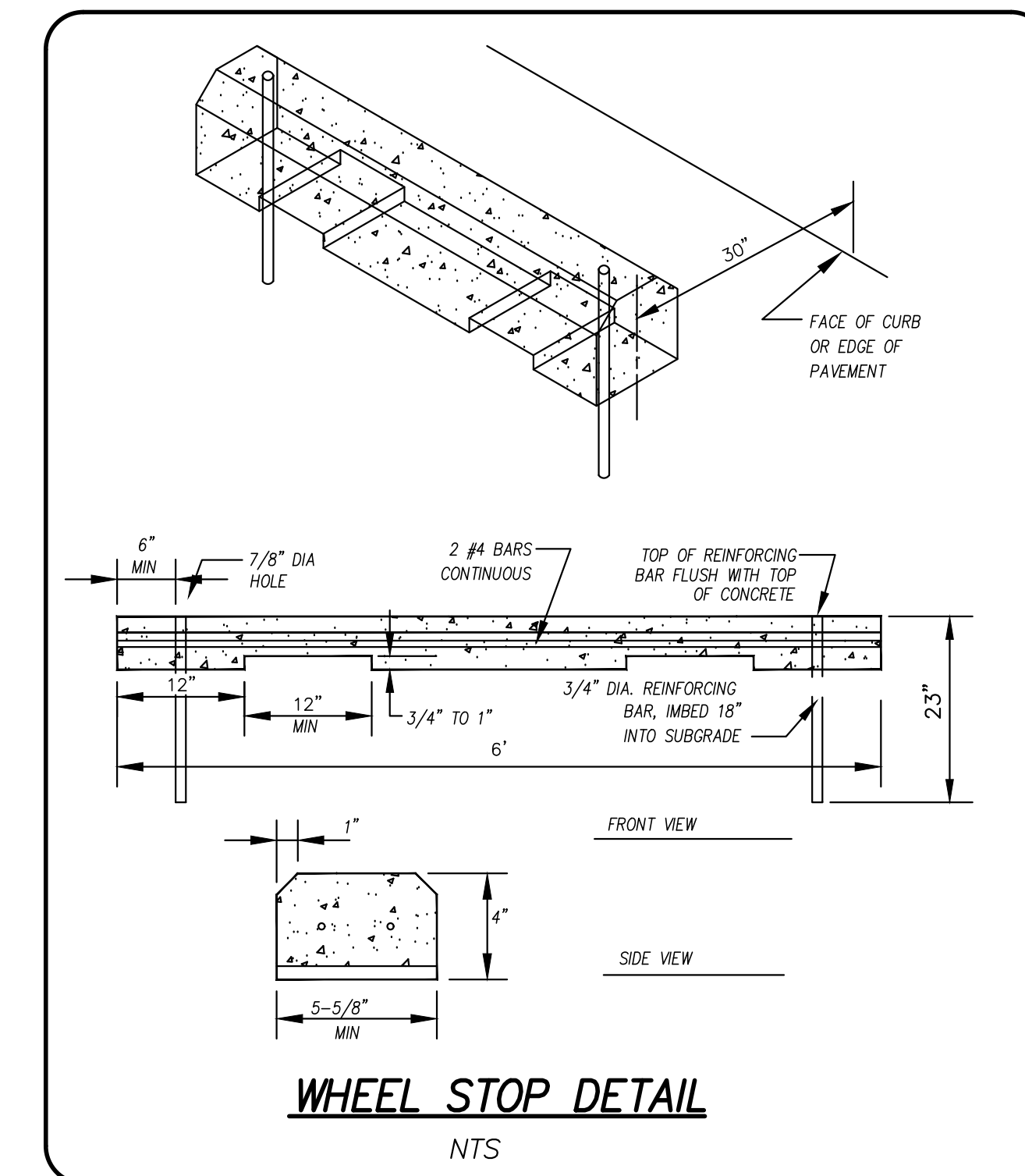
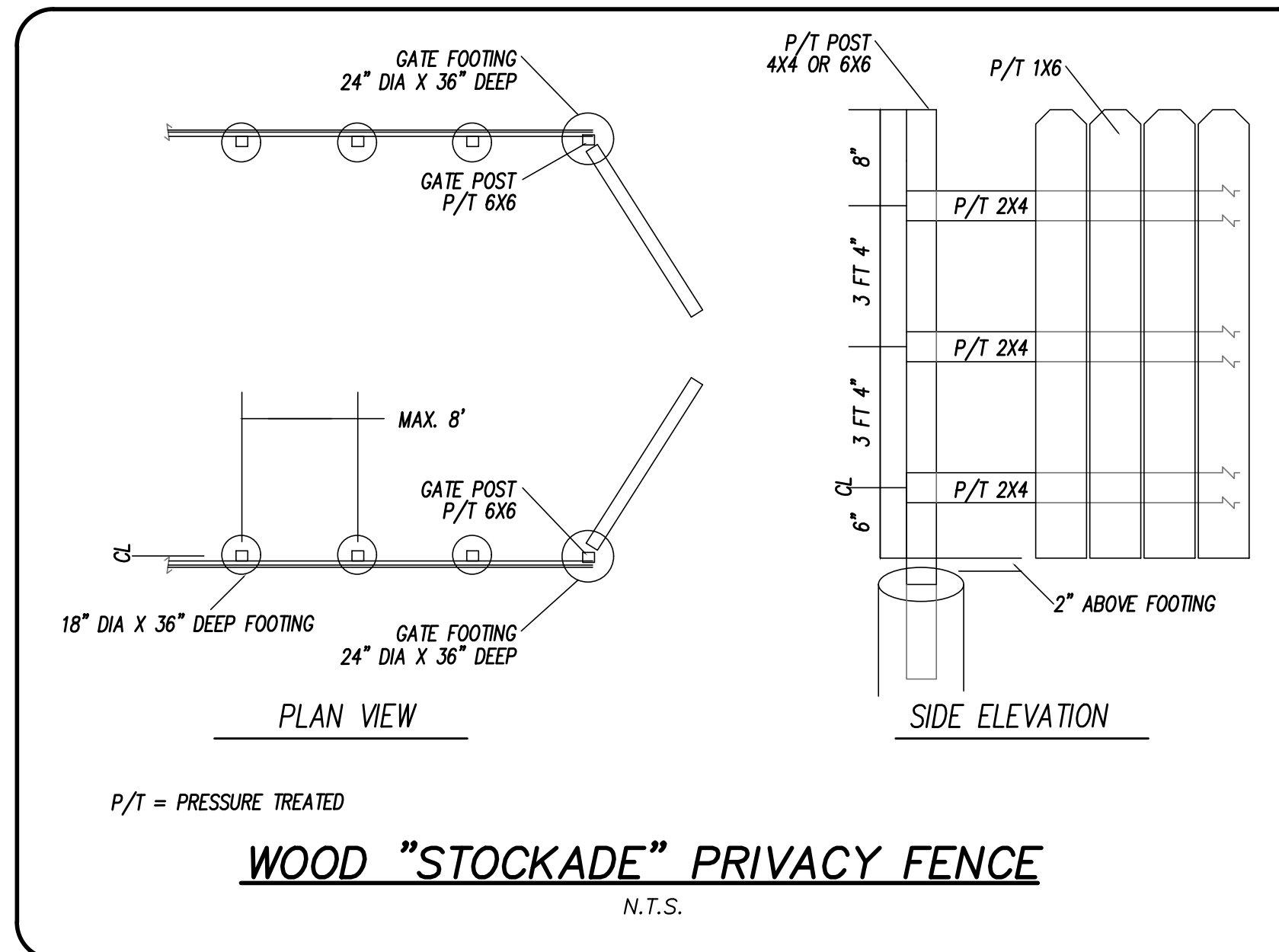
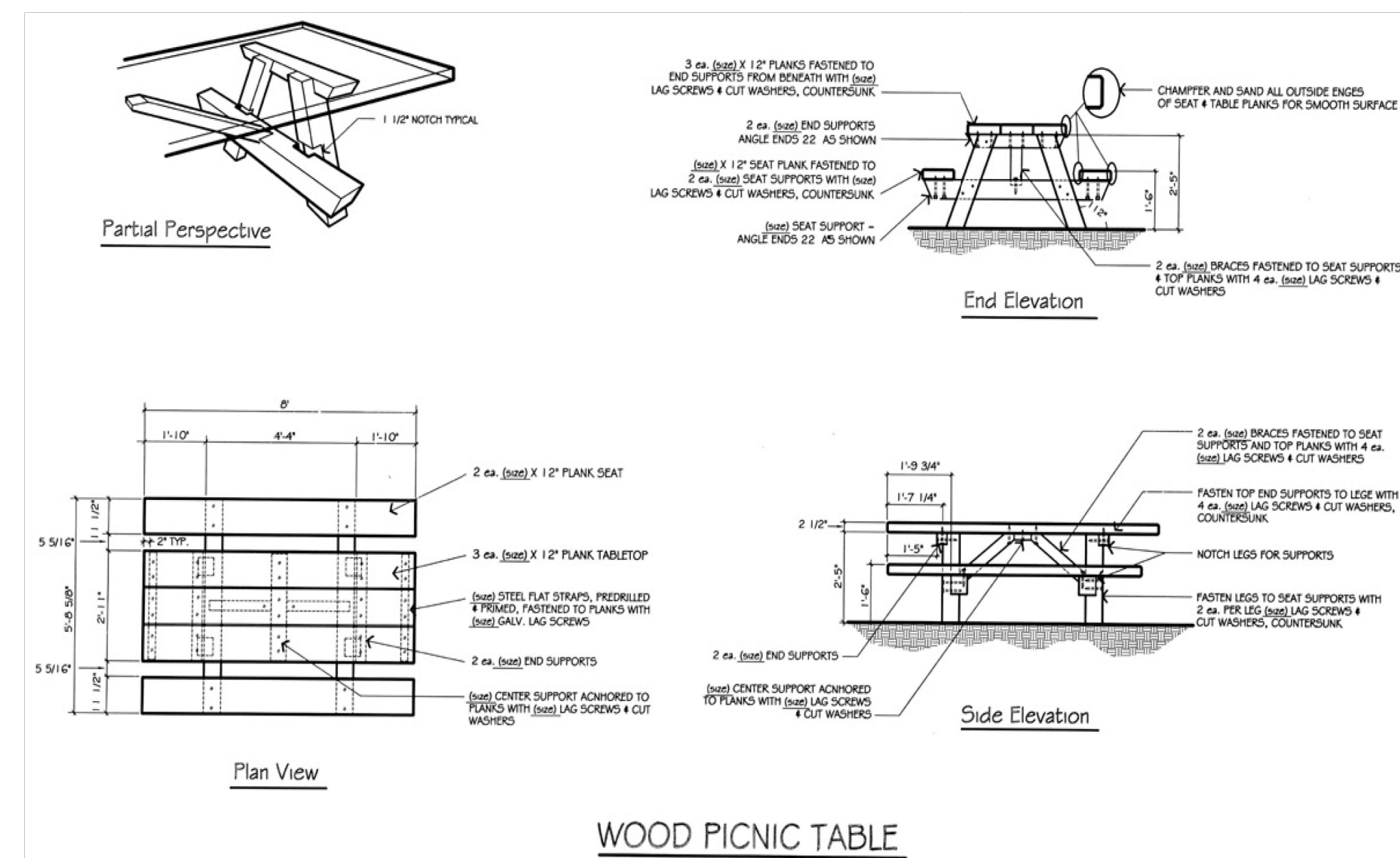
PLAN NOT RELEASED FOR CONSTRUCTION

REV.	NO.	REMARKS	BY	DATE

DATE: 10/18/2024
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VERT. SCALE: N/A
DRAWN BY: RBS
CHECKED BY: JFO
PROJECT NO.: 24-0682
C3.0
Sheet No. 3 of 15



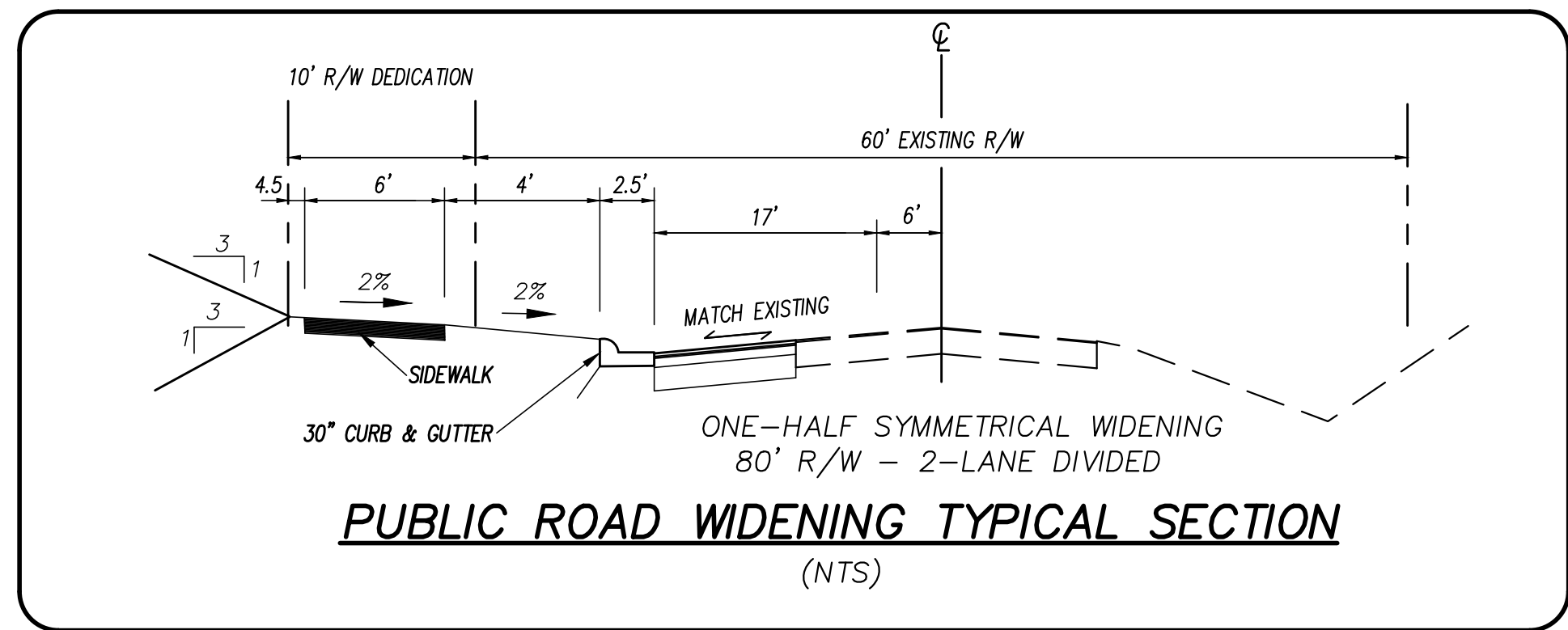
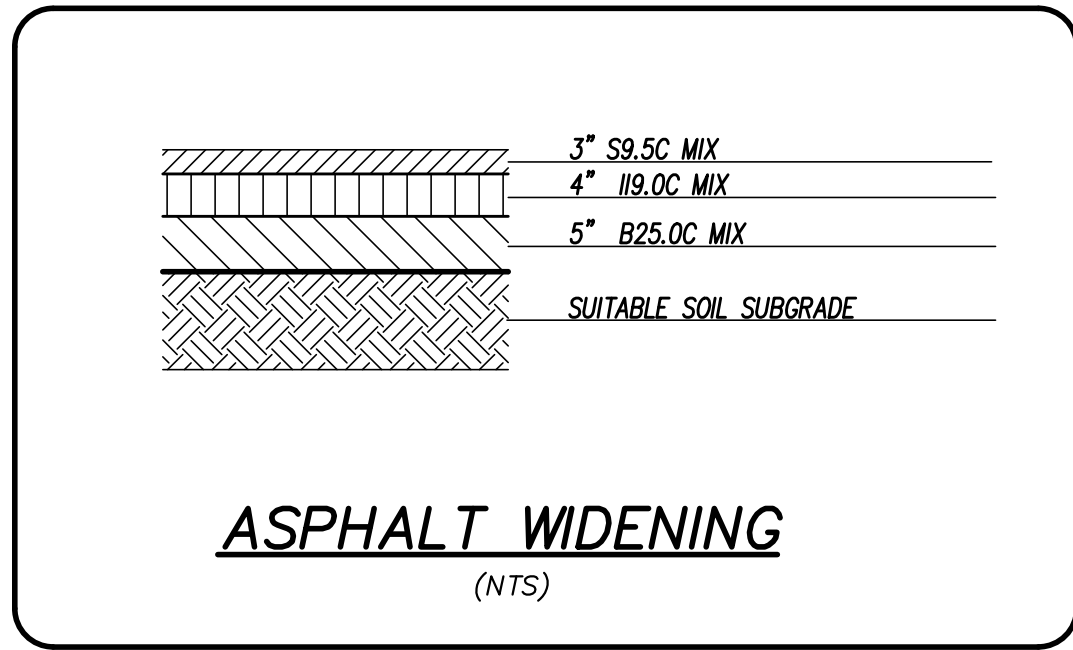
Accessible Recreation Facilities—Picnic Tables



REV.	NO.	BY	DATE	REMARKS

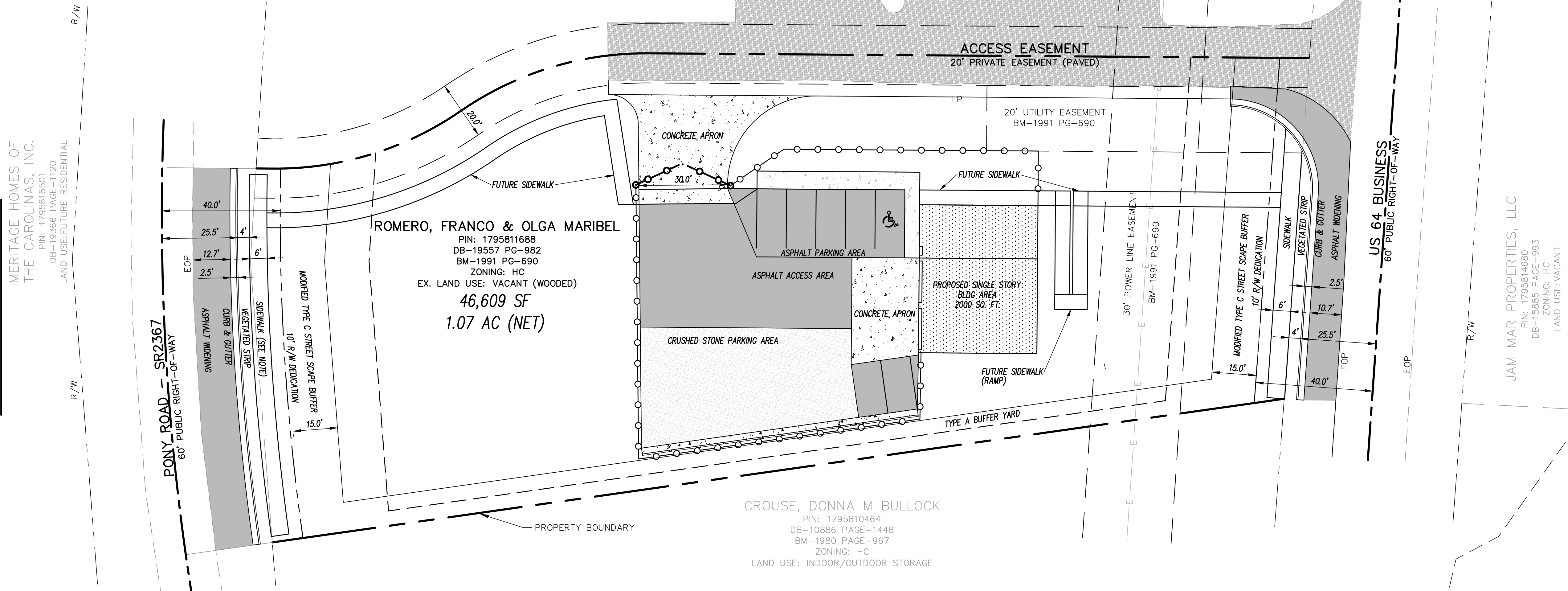
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- PROPOSED SEWER MANHOLE
- PROPOSED SEWER CLEANOUT
- PROPOSED WATER LINE / VALVE
- PROPOSED OPAQUE FENCE



SIDEWALK NOTE: OWNER IS PROPOSING TO BUILD SIDEWALKS WITHIN DEDICATED R/W IN PHASE 2 OF PROJECT.

HSSW
 PIN: 17958112759
 DB-8591 PAGE-884
 BM-1991 PAGE 690
 ZONING: HC
 LAND USE: WORSHIP ASSEMBLY/OFFICE



MERITAGE HOMES OF THE CAROLINAS, INC.
 PIN: 1795616501
 DB-19366 PAGE-1120
 LAND USE: FUTURE RESIDENTIAL

ROMERO, FRANCO & OLGA MARIBEL
 PIN: 1795811688
 DB-19557 PG-982
 BM-1991 PG-690
 ZONING: HC
 EX. LAND USE: VACANT (WOODED)
 46,609 SF
 1.07 AC (NET)

CROUSE, DONNA M BULLOCK
 PIN: 1795810464
 DB-10888 PAGE-1448
 BM-1980 PAGE-967
 ZONING: HC
 LAND USE: INDOOR/OUTDOOR STORAGE

JAM MAR PROPERTIES, LLC
 PIN: 1795814680
 DB-15886 PAGE-993
 ZONING: HC
 LAND USE: VACANT

CSD ENGINEERING
 LICENSE # C-2710
 ENGINEERING
 LAND PLANNING
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SITE PLAN ROADWAY WIDENING EXHIBIT

SITE PLAN DRAWINGS FOR
FRANCO MASONRY & CONCRETE - PHASE 1
 LOCATED IN TOWN OF ZEPHURUS,
 WAKE COUNTY, NORTH CAROLINA
 OWNER: FRANCO ROMERO
 CONTACT: FRANCO ROMERO
 ZEPHURUS, NC 27597
 (919) 255-0331

PLANNING DEPARTMENT
 NORTH CAROLINA
 ZONING PERMITS SECTION
 032721
 PLAN NOT RELEASED FOR CONSTRUCTION

REV. NO.	REMARKS	BY	DATE

DATE: 10/18/2024
 HORZ. SCALE: 1" = 20'
 VERT. SCALE: N/A
 DRAWN BY: RBS
 CHECKED BY: JFO
 PROJECT NO.: 24-0682

C3.2
 Sheet No. 5 of 15

LEGEND

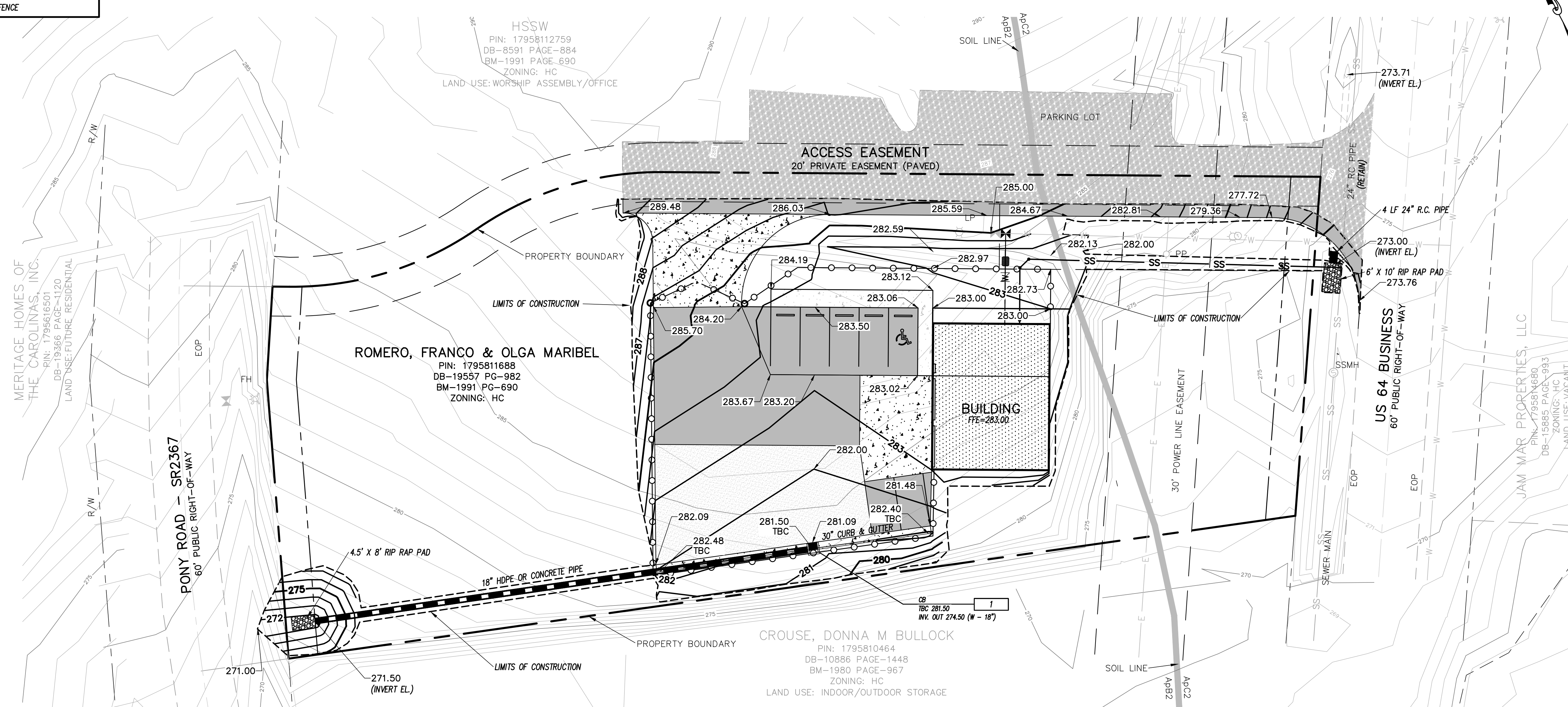
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- PROPOSED SEWER CLEANOUT
- PROPOSED WATER LINE / VALVE
- PROPOSED OPAQUE FENCE

GRADING & DRAINAGE NOTES:

1. FINISHED GRADE IS REPRESENTED BY 1-FOOT CONTOURS.
2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENTATION CONTROL PRACTICES AND MEASURES IN ACCORDANCE WITH THE EROSION & SEDIMENT CONTROL PLAN AND CONSTRUCTION SCHEDULE.
3. REMOVE GOOD TOPSOIL FROM AREAS TO BE GRADED AND FILLED, AND PRESERVE IT FOR USE IN FINISHING THE GRADING OF ALL CRITICAL AREAS.
4. UNDERLYING SOILS CONSIST OF SOILS WITHIN THE APPLING SANDY LOAM SERIES (REF. WAKE COUNTY SOIL REPORT DATED 1970).
5. SCARIFY AREAS TO BE COVERED WITH TOPSOIL TO A MINIMUM DEPTH OF 2 INCHES BEFORE PLACING TOPSOIL.
6. CLEAR AND GRUB AREAS TO BE FILLED TO REMOVE TREES, VEGETATION, ROOTS, OR OTHER OBJECTIONABLE MATERIAL THAT WOULD AFFECT THE PLANNED STABILITY OF THE FILL. ENSURE THAT FILL MATERIAL IS FREE OF BRUSH, RUBBISH, ROCKS, LOGS, STUMPS, BUILDING DEBRIS, AND OTHER MATERIALS INAPPROPRIATE FOR CONSTRUCTING STABLE FILLS.
7. PLACE ALL FILL IN LAYERS NOT TO EXCEED 8 INCHES IN THICKNESS, AND COMPACT THE LAYERS AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, OR OTHER RELATED PROBLEMS.
8. SLOPES STEEPER THAN 3:1 WILL BE STABILIZED WITH PERMANENT SOIL REINFORCING MATTING, NAG P300 SPECIFICATION OR EQUIVALENT.
9. PLACEMENT OF FILL MATERIAL MUST BE CONDUCTED UNDER THE OBSERVATION OF A QUALIFIED LICENSED GEOTECHNICAL ENGINEER.
10. DO NOT INCORPORATE FROZEN MATERIAL OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS INTO FILL SLOPES.
11. DO NOT PLACE FILL ON A FROZEN FOUNDATION, DUE TO POSSIBLE SUBSIDENCE AND SLIPPAGE.
12. KEEP DIVERSIONS AND OTHER WATER CONVEYANCE MEASURES FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
13. HANDLE SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION IN ACCORDANCE WITH APPROVED NCOEQ-LAND QUALITY METHODS (PRACTICE 6.81, SUBSURFACE DRAIN).
14. PERMANENTLY STABILIZE ALL GRADED AREAS IMMEDIATELY AFTER FINAL GRADING IS COMPLETED ON EACH AREA IN THE GRADING PLAN. APPLY TEMPORARY STABILIZATION MEASURES ON ALL GRADED AREAS WHEN WORK IS TO BE INTERRUPTED OR DELAYED FOR 14 WORKING DAYS OR LONGER.
15. ENSURE THAT TOPSOIL STOCKPILES, BORROW AREAS, AND SPOIL AREAS ARE ADEQUATELY PROTECTED FROM EROSION WITH TEMPORARY AND FINAL STABILIZATION MEASURES, INCLUDING SEDIMENT FENCING AND TEMPORARY SEEDING AS NECESSARY.
16. MAINTENANCE: PERIODICALLY CHECK ALL GRADED AREAS AND THE SUPPORTING EROSION AND SEDIMENTATION CONTROL PRACTICES, ESPECIALLY AFTER HEAVY RAINFALLS.
17. PROMPTLY REMOVE ALL SEDIMENT FROM DIVERSIONS AND OTHER WATER-DISPOSAL PRACTICES. IF WASHOUTS OR BREAKS OCCUR, REPAIR THEM IMMEDIATELY.
18. PROMPT MAINTENANCE OF SMALL ERODED AREAS BEFORE THEY BECOME SIGNIFICANT GULLIES IS AN ESSENTIAL PART OF AN EFFECTIVE EROSION & SEDIMENT CONTROL PLAN.
19. UPON COMPLETION OF EARTHWORK ACTIVITIES, THE RECORD ENGINEER MUST BE PROVIDED A FINAL GRADING REPORT THAT INCLUDES CORRESPONDING COMPACTION TEST RESULTS AND CERTIFICATIONS OF THE TYPES OF FILL MATERIAL AND ITS PROPER PLACEMENT.

GRADING CALCULATIONS

PARCEL SIZE:	46,609 SQ. FT.
TOTAL AREA GRADED/DISTURBED:	19,778 SQ. FT. (0.45 ACRES)
PERCENT OF LOT TO BE GRADED:	42.4 %
PRE-DEVELOPMENT DRAINAGE AREA:	43,996 SQ. FT. (1.01 ACRES)
PERCENT CHANGE IN DRAINAGE AREA:	24,186 SQ. FT. (ON-SITE)
PERCENT CHANGE IN ON-SITE DRAINAGE AREA:	44.9 %
ESTIMATED CUT/EXCAVATION:	81.8 %
	2,000 CUBIC YARDS



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GRADING PLAN
PARKING AREA

SITE PLAN DRAWINGS FOR
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CONTACT: FRANCO ROMERO
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(919) 255-0331

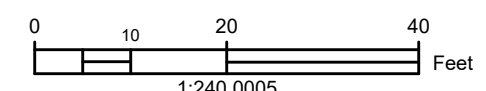


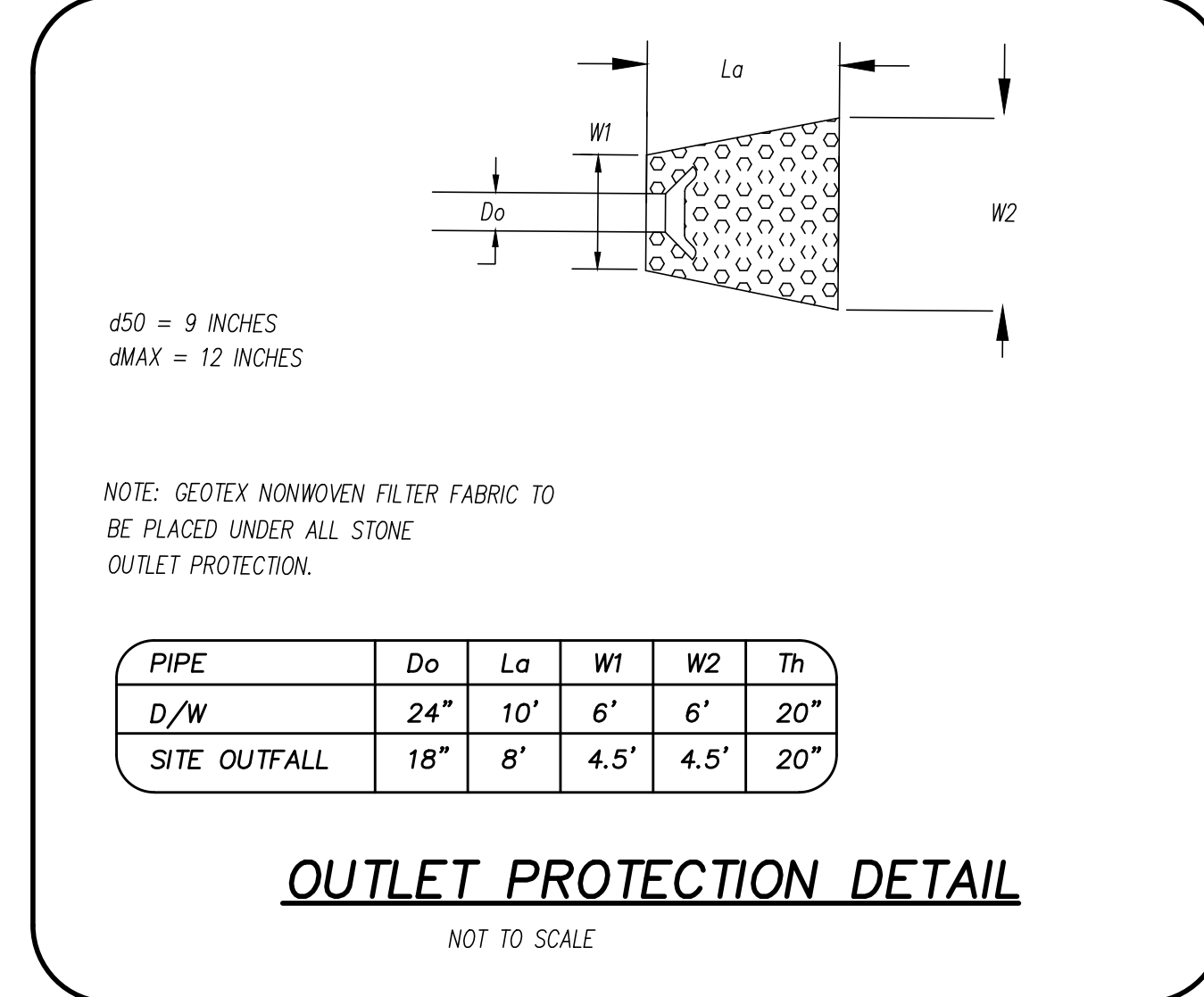
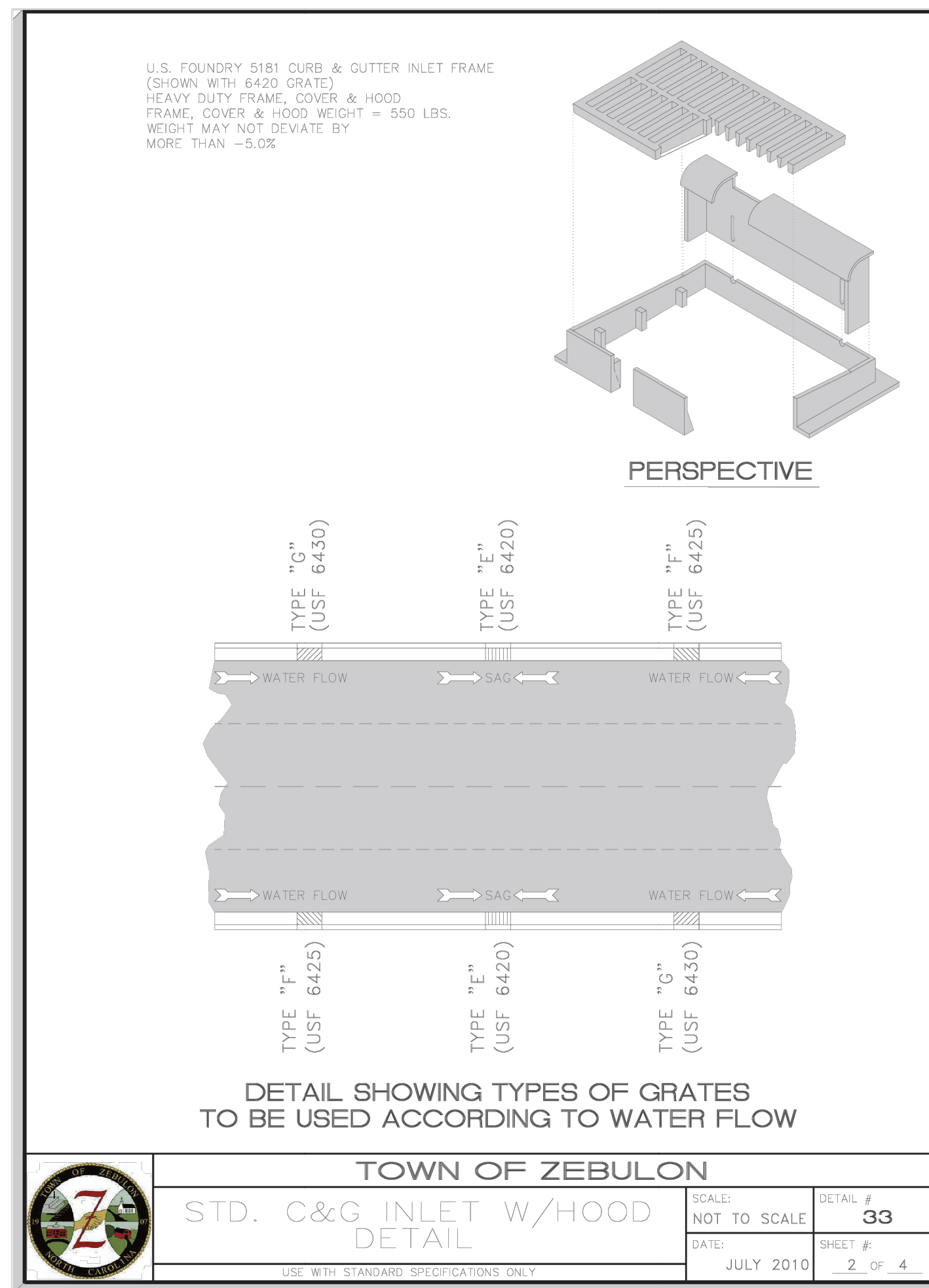
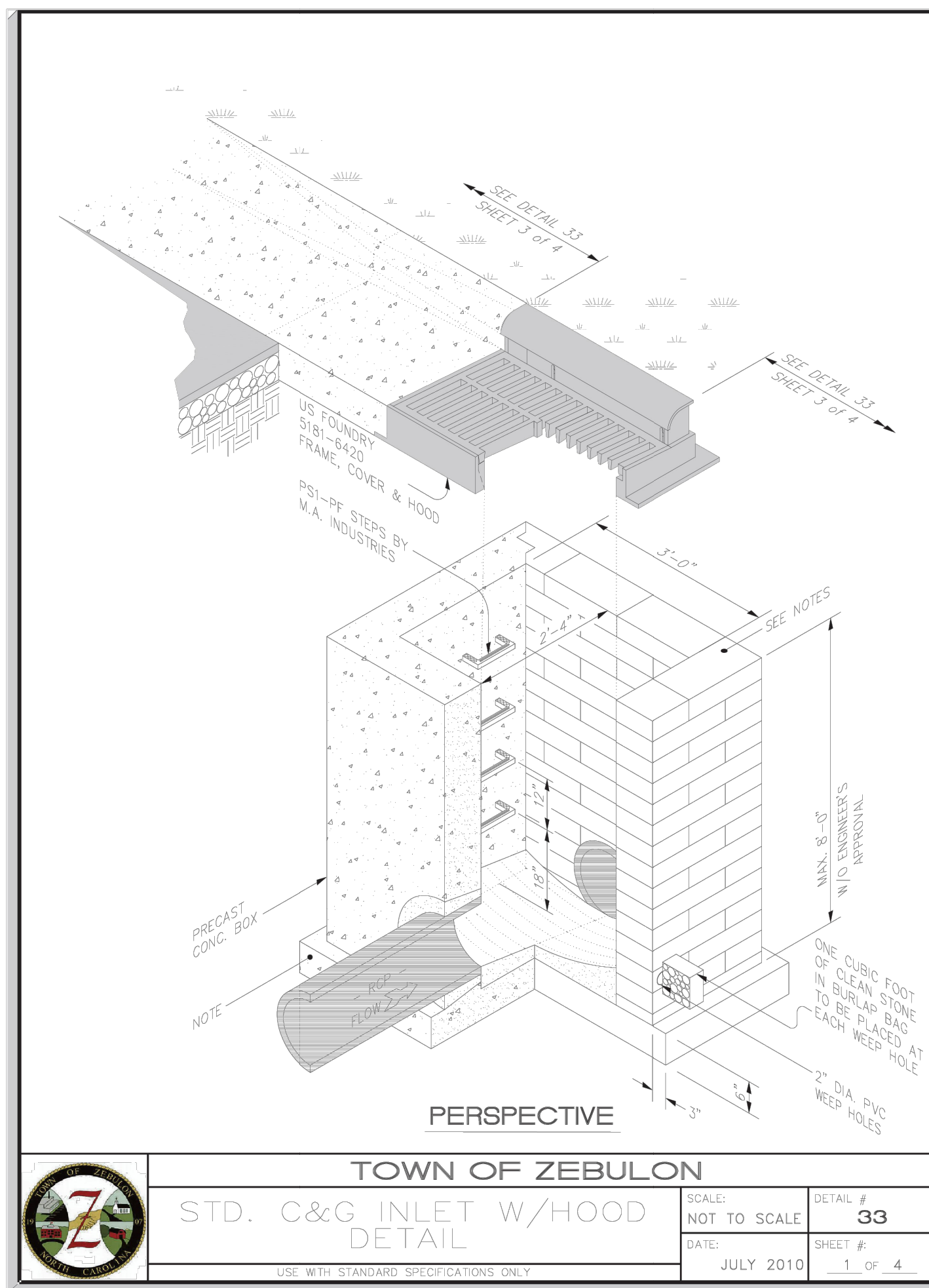
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REV. NO.	REMARKS	BY	DATE

DATE: 10/18/2024
HORZ. SCALE: 1" = 20'
VERT. SCALE: N/A
DRAWN BY: RBS
CHECKED BY: JFO
PROJECT NO.: 24-0682

C4.0
Sheet No. 6 of 15





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ENGINEERING
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WENDELL, NC 27591
(910) 791-4441

**GRADING PLAN
DETAIL SHEET**

SITE PLAN DRAWINGS FOR
FRANCO MASONRY & CONCRETE - PHASE 1
LOCATED IN TOWN OF ZEBULON,
WARE COUNTY, NORTH CAROLINA

OWNER: FRANCO ROMERO
CONTACT: FRANCO ROMERO
ZEBULON, NC 27591
(919) 252-0331



PLAN NOT RELEASED
FOR CONSTRUCTION

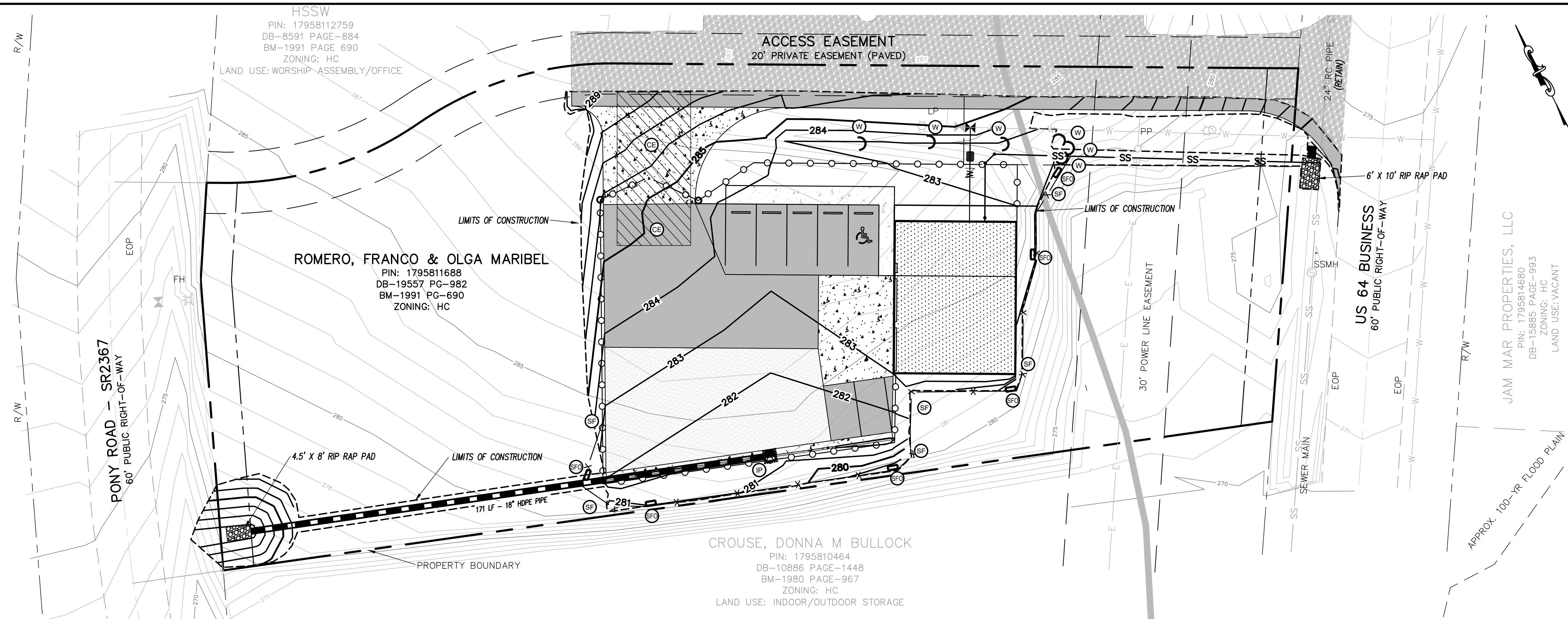
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DATE: 8/2/2024
HORZ. SCALE: 1" = 20'
VERT. SCALE: N/A
DRAWN BY: RBS
CHECKED BY: JFO
PROJECT NO.: 24-0682

ESC PLAN LEGEND

- EXISTING BOUNDARY
- LIMITS OF CONSTRUCTION/DISTURBANCE
- EXISTING CULVERT
- CONSTRUCTION ENTRANCE
- SILT FENCE/SILT FENCE OUTLET
- PROPOSED CULVERT
- WATTLE
- TEMP. STD. ROCK CHECK DAM
- PERMANENT ROCK CHECK DAM
- SEDIMENT BASIN SKIMMER
- ROCK INLET PROTECTION
- ROCK PIPE INLET PROTECTION
- TEMP. PIPE
- TREE PROTECTION FENCE
- TEMP. DIVERSION
- TEMP. EC MATING
- PERMANENT SOIL REINFORCEMENT MATING

MERITAGE HOMES OF THE CAROLINAS, INC.
 PIN: 1795616501
 DB-19366 PAGE-1120
 LAND USE: FUTURE RESIDENTIAL



TOTAL LIMITS OF DISTURBANCE= 0.46 ACRES (19,935 SQ. FT.)

JAM MAR PROPERTIES, LLC
 PIN: 1795814880
 DB-15885 PAGE-993
 ZONING: HC
 LAND USE: VACANT

LEGEND

- EX. PROPERTY LINE
- EX. PUBLIC R/W LINE
- EX. ADJOINING PROPERTY LINE
- EX. PRIVATE R/W OR EASEMENT
- EX. PUBLIC EASEMENT LINE
- EX. CENTERLINE
- EX. TREE LINE
- EX. SIDEWALK
- EX. CURB & GUTTER
- EX. STORM DRAIN PIPE
- EX. STORM DRAIN BOX
- EX. SANITARY SEWER PIPE
- EX. SANITARY SEWER MANHOLE
- EX. WATER LINE
- EX. HYDRANT & WATER VALVE
- EX. PAVEMENT MARKINGS
- EX. OVERHEAD POWER LINE & POLE
- PROPOSED CENTERLINE
- PROPOSED EASEMENT LINE
- PROPOSED LOT LINE
- PROPOSED PUBLIC R/W LINE
- PROPOSED BUILDING SETBACK/BUFFER
- PROPOSED BUILDING FOOTPRINT
- PROPOSED TREE LINE
- PROPOSED SIDEWALK
- PROPOSED CURB & GUTTER
- PROPOSED DRAINAGE/ShORELINE
- PROPOSED STORM DRAINAGE PIPE
- PROPOSED STORM CATCH BASIN
- PROPOSED STORM DROP INLET
- PROPOSED STORM MANHOLE
- PROPOSED SEWER PIPE
- PROPOSED SEWER MANHOLE
- PROPOSED SEWER CLEANOUT
- PROPOSED WATER LINE / VALVE
- PROPOSED OPAQUE FENCE



LICENSE # C-2710
 ENGINEERING
 LAND PLANNING
 COMMERCIAL / RESIDENTIAL

EROSION CONTROL PLAN
 STAGE 1 & FINAL

SITE PLAN DRAWINGS FOR

FRANCO MASONRY & CONCRETE - PHASE 1

LOCATED IN TOWN OF ZEBULON, NORTH CAROLINA
 OWNER: FRANCO ROMERO
 CONTACT: FRANCO ROMERO
 ZEBULON, NC 27597
 (919) 255-0331



PLAN NOT RELEASED FOR CONSTRUCTION

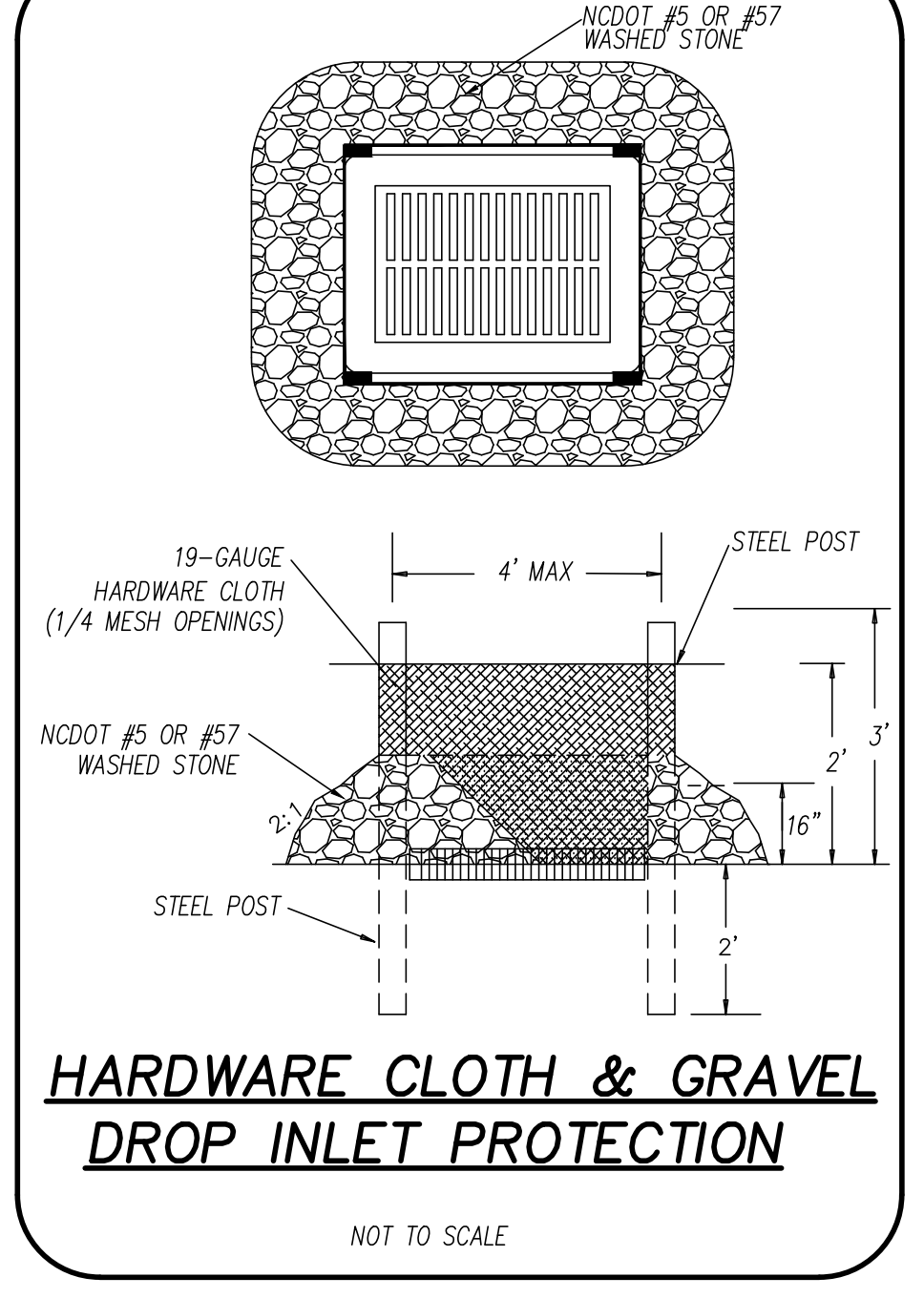
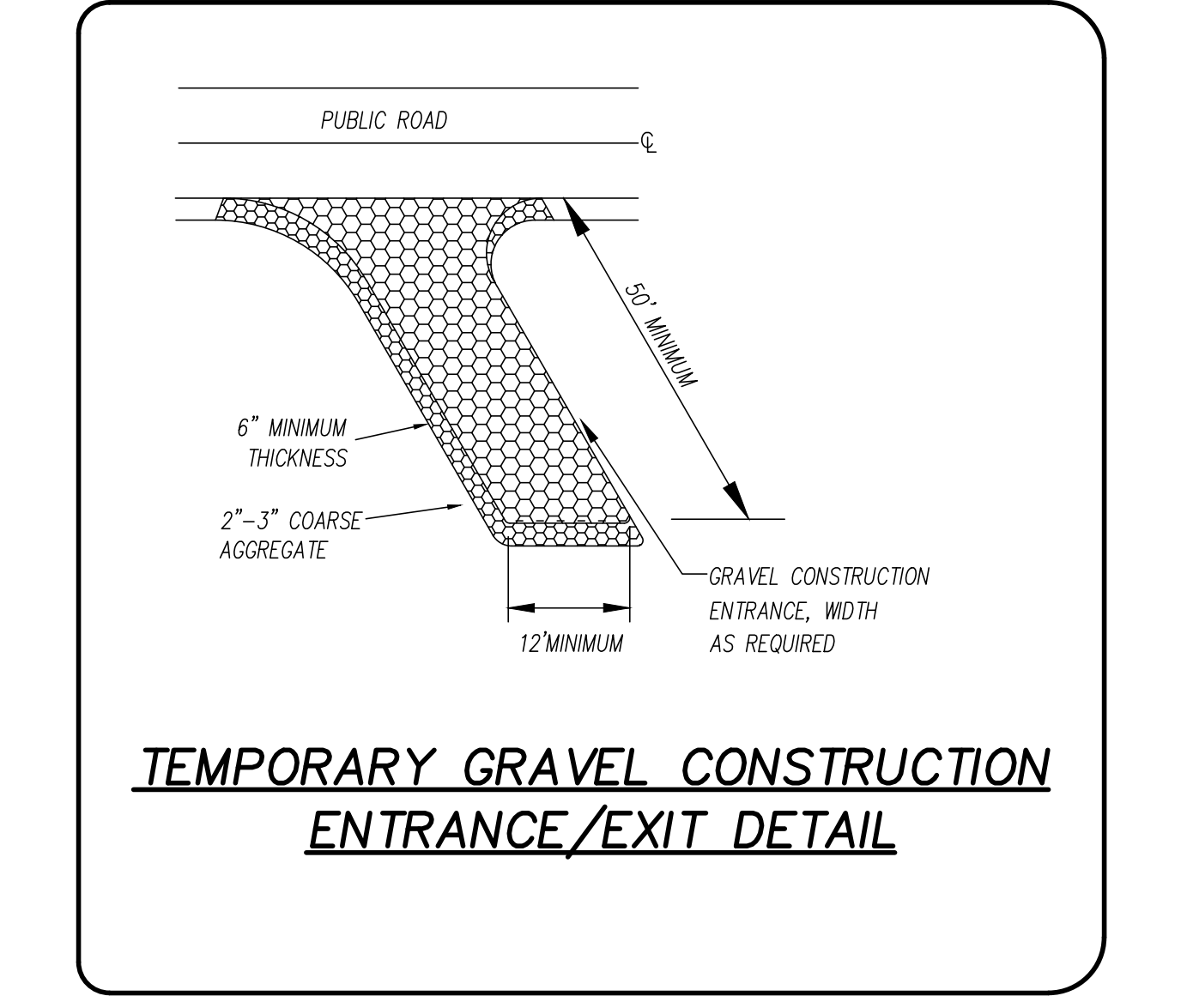
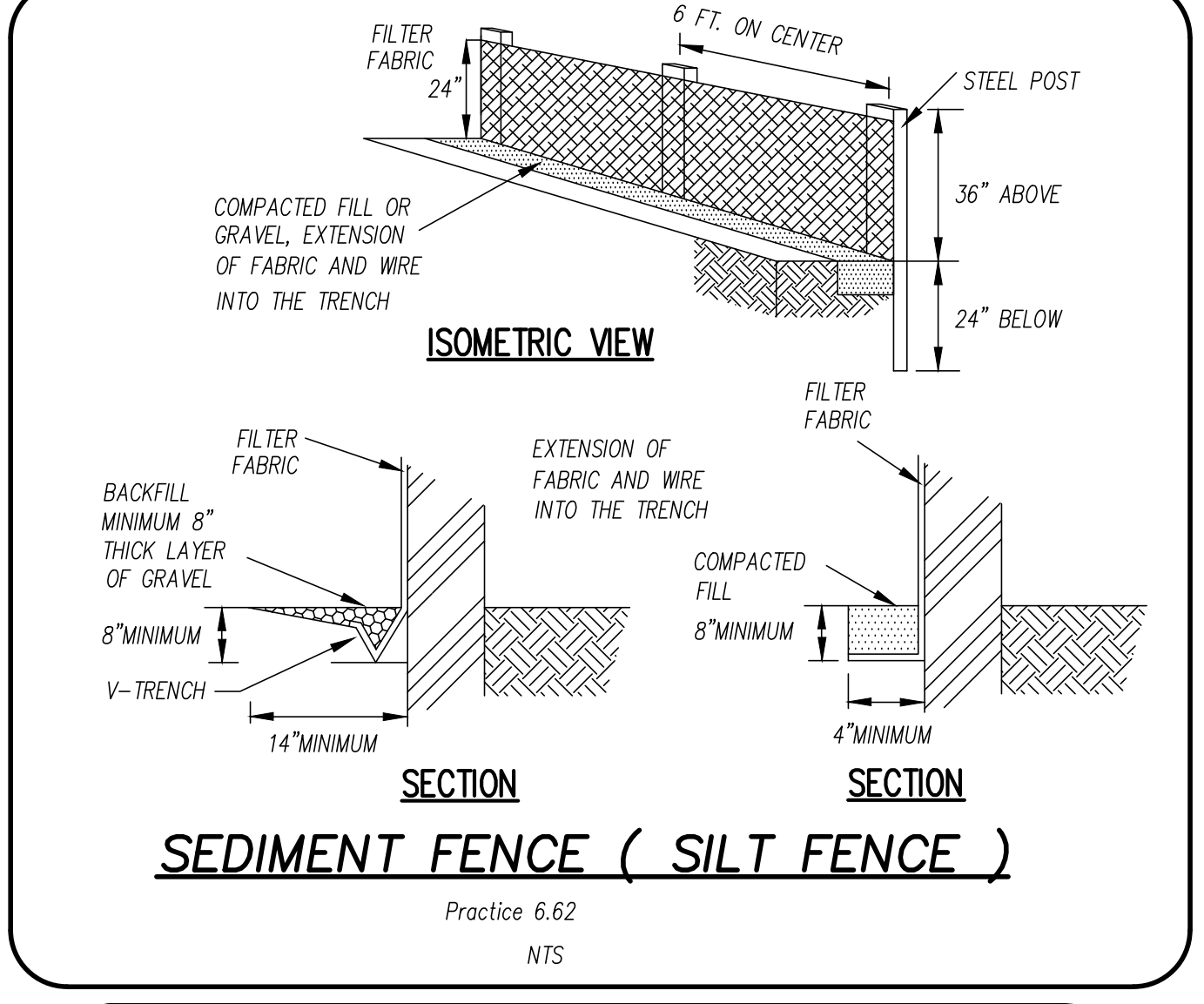
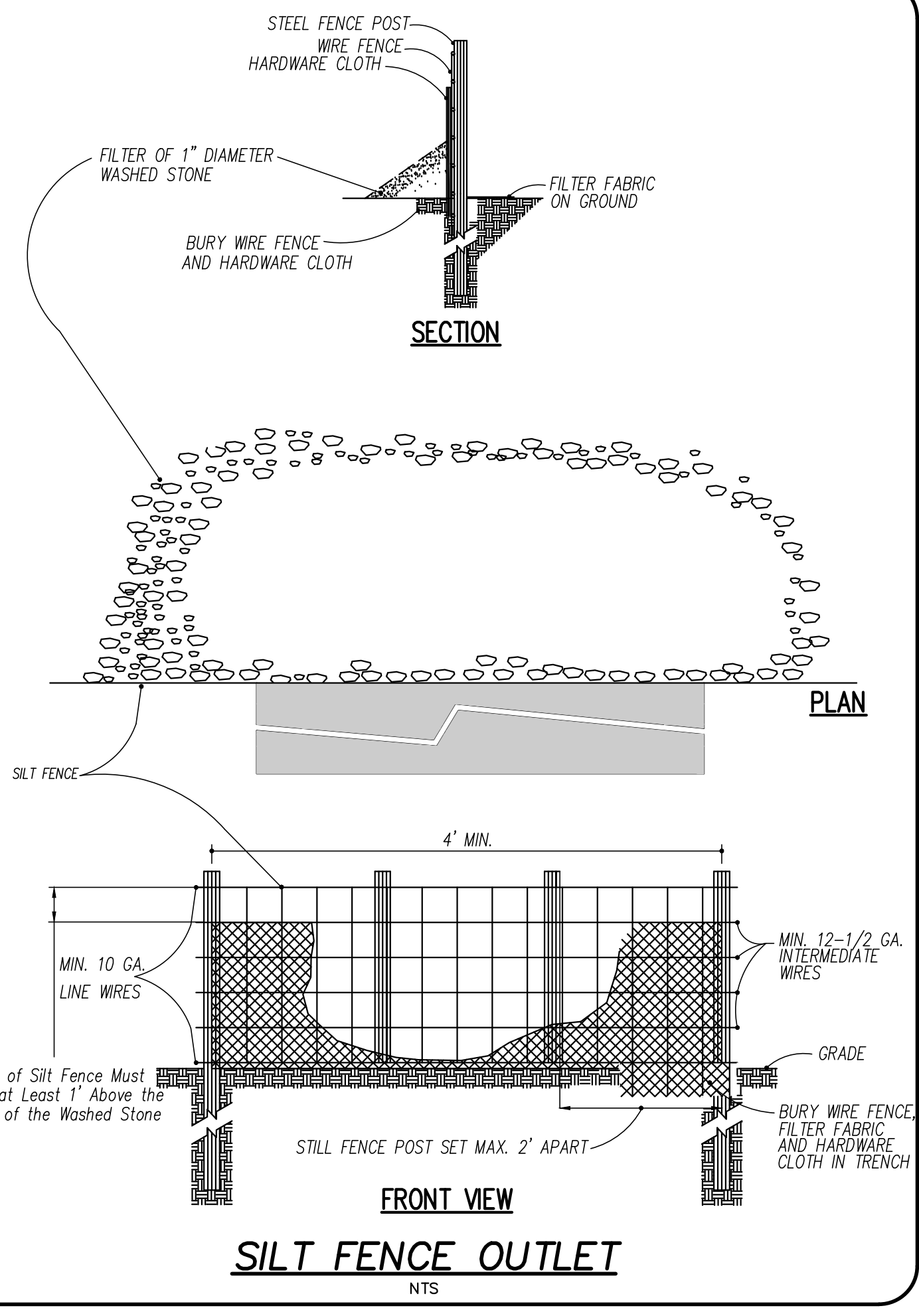
CONSTRUCTION SEQUENCE:

1. OBTAIN PLAN APPROVAL.
2. INSTALL SILT FENCE, SILT FENCE OUTLETS, CLEARING ONLY WHAT IS NEEDED TO INSTALL THESE MEASURES.
3. CLEAR AREA FOR CONSTRUCTION ENTRANCE AND INSTALL ROCK.
4. COMPLETE CLEARING AS SHOWN ON PLANS.
5. GRADE AREAS TO ELEVATIONS SHOWN ON GRADING PLAN; INSTALL STORM DRAINAGE PIPE WITH INLET AND OUTLET PROTECTION.
6. ENSURE SUBGRADE SOILS ARE COMPACTED AND SUITABLE FOR INSTALLATION OF PARKING SURFACE TREATMENT AND BUILDING.
7. PERMANENTLY STABILIZE DENUEDED AREAS WITH SEED AND STRAW MULCH, AMENDING SOIL AS NECESSARY FOR HEALTHY VEGETATIVE GROWTH.
8. INSTALL FENCE AND REQUIRED LANDSCAPING.
9. REMOVE SILT FENCE, GRAVEL, AND RIP RAP; IMMEDIATELY STABILIZING AREAS DENUEDED FOR REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES.

REV. NO.	BY	DATE

DATE: 10/18/2024
 HORZ. SCALE: 1" = 20'
 VERT. SCALE: N/A
 DRAWN BY: RBS
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 PROJECT NO.: 24-0682

C5.0
 Sheet No. 8 of 15



SOIL STABILIZATION GUIDELINES

SEEDBED PREPARATION

- CHISEL COMPACTED AREAS AND SPREAD TOPSOIL THREE INCHES DEEP OVER ADVERSE SOIL CONDITIONS.
- RIP THE ENTIRE AREA FOUR (4) TO SIX (6) INCHES DEEP.
- REMOVE ALL LOOSE ROCK, ROOTS AND OTHER OBSTRUCTIONS, LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
- APPLY AGRICULTURAL LIME, FERTILIZER AND SUPER-PHOSPHATE UNIFORMLY AND MIX WITH SOIL (SEE MIXTURE BELOW).
- CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED FOUR TO SIX INCHES DEEP.
- SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULT-PACK AFTER SEEDING.
- MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
- INSPECT ALL SEEDBED AREAS AND MAKE NECESSARY REPAIRS OR RE-SEEDING WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND SHOULD BE MORE THAN 60% DAMAGED, RE-ESTABLISH FOLLOWING THE ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
- CONSULT N.C. STATE COOPERATIVE EXTENSION SERVICE ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.
- CONSULT N.C. STATE COOPERATIVE EXTENSION SERVICE FOR ADDITIONAL INFORMATION CONCERNING OTHER ALTERNATIVES FOR VEGETATION OF DENuded AREAS. THE VEGETATION RATES OUTLINED BELOW ARE THOSE THAT DO WELL UNDER LOCAL CONDITIONS; OTHER SEEDING RATE COMBINATIONS ARE POSSIBLE.

MIXTURE

AGRICULTURAL LIMESTONE	2 TONS/ACRE (3 TONS/ACRE IN CLAY SOILS)
FERTILIZER	1,000 LBS/ACRE - 10-10-10
SUPER-PHOSPHATE	500 LBS/ACRE - 20% ANALYSIS
MULCH	2 TONS/ACRE - SMALL GRAIN STRAW
ANCHOR	ASPHALT EMULSION AT 300 GALS/ACRE

SEEDING SCHEDULE

FOR SHOULDERS, SLOPES (3:1 MAX):

DATE	TYPE	PLANTING RATE
AUG 15-MAR 1	NON-HULLED BERMUDAGRASS AND ABRUZZI RYE	25 LBS/ACRE

FOR SHOULDERS, SLOPES (3:1 MAX):

DATE	TYPE	PLANTING RATE
MAR 1-JUN 30	WEEPING LOVE GRASS	8 LBS/ACRE
MAR 1-JUN 30	ADD HULLED COMMON BERMUDAGRASS	25 LBS/ACRE
NOV 1-MAR 1	NON-HULLED BERMUDAGRASS AND ABRUZZI RYE	25 LBS/ACRE

***TEMPORARY: RESEED ACCORDING TO OPTIMUM SEASON FOR DESIRED PERMANENT VEGETATION. DO NOT ALLOW TEMPORARY COVER TO GROW MORE THAN 12" IN HEIGHT BEFORE MOWING.

FOR WELL-KEPT HIGH-VISIBILITY AREAS (INCLUDING BUT NOT LIMITED TO WATER QUALITY SWALES, BERMS, LAWNS, AND/OR SIDEWALK BERMS):

DATE	TYPE	PLANTING RATE
AUG 15-NOV 1	CENTIPEDEGRASS	10-20 LBS/ACRE
APR 15-JUN 30	HULLED COMMON BERMUDAGRASS	25 LBS/ACRE

**BERMUDAGRASS SOD IS RECOMMENDED FOR WATERQUALITY SWALES

SOD

REMOVE LITTER AND OTHER DEBRIS; MOW AND SATISFACTORILY DISPOSE OF WEEDS AND UNACCEPTABLE GROWTH ON AREAS TO BE SODDED. BRING AREA TO A UNIFORM SURFACE; SCARIFY OR OTHERWISE LOOSEN SOIL TO A DEPTH OF 4 TO 5 INCHES. BREAK CLODS AND WORK TOP 2 TO 3 INCHES OF SOIL INTO ACCEPTABLE SOIL BED BY USING PULVERIZERS, DRAGS OR HARROWS.

PLACE LIMESTONE AND FERTILIZER BEFORE PLACING SOD. DISTRIBUTE UNIFORMLY OVER THE AREA THOROUGHLY MIX IN THE TOP 4 INCHES OF THE SOIL BY DISKING, HARROWING, OR OTHER APPROVED METHOD.

CONTACT STATE COOPERATIVE EXTENSION FOR SEASONAL LIMITATION FOR SOD AND THE KIND OF SOD TO USE. INSTALL THE SOD WITHIN 48 HOURS AFTER BE CUT AND WATER IMMEDIATELY AFTER INSTALLATION. PLACE SOD FIRMLY AND CAREFULLY BY HAND; PACK EACH PIECE OF SOD TIGHTLY AGAINST THE THE EDGE OF ADJACENT PIECES SO THAT FEWEST POSSIBLE GAPS WILL BE LEFT BETWEEN PIECES.

PLUGS

FOLLOW SEEDBED PREPARATION TO PREPARE SOIL FOR PLANTING OF PLUGS. WATER THE GROUND BEFORE PLANTING GRASS PLUGS. PLANT PLUGS IN HOLE THAT IS THE SAME SIZE AS PLUG (2.5" TO 4") TO OBTAIN GOOD SOIL CONTACT. DO NOT PLANT TOO DEEP OR ALLOW PLUG TO STICK OUT ABOVE GROUND LEVEL. COVERING THE ENTIRE ROOT BALL WITH SOIL (DO NOT COVER GRASS PLUG TOPS WITH SOIL). PLANT PLUGS 2 FEET APART IN THE ROW. DO NOT MULCH. FERTILIZE VERY WITH 20 LBS/ACRE NITROGEN IN SPRING WITH NO PHOSPHORUS. WATER AFTER PLANTING AND EVERY DAY FOR 2 TO 3 WEEKS.

EROSION CONTROL MATTING

1. TEMPORARY: NAG S75 OR EXCELSIOR SINGLE NET MATTING (OR EQUIVALENT) OR NAG S150 FOR HIGHER VELOCITIES (ROADSIDE CHANNEL)

2. PERMANENT: NAG SC250 (OR EQUIVALENT)

MAINTENANCE PLAN

- ALL MEASURES ARE TO BE INSPECTED WEEKLY AND AFTER ANY RAINFALL; REPAIRS MADE IMMEDIATELY IF NECESSARY.
- SEDIMENT IS TO BE REMOVED FROM SWALES AND DIVERSIONS WHEN THEY ARE APPROX. 50% FILLED OR WHEN SEDIMENT LEVEL IS WITHIN 1.0' OF TOP OF BANK.
- SEDIMENT IS TO BE REMOVED FROM SILT FENCE MEASURES WHEN 0.5' DEEP; FABRIC AND STONE TO BE REPAIRED AS NEEDED TO MAINTAIN A SEDIMENT BARRIER.
- SEEDBED AREAS SHALL BE FERTILIZED, MULCHED, AND RE-SEEDING AS NECESSARY, ACCORDING TO THE SPECIFICATIONS PROVIDED, TO MAINTAIN A SUITABLE VEGETATIVE COVER.
- THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN SUCH A MANNER AS TO PREVENT MUD OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE; TOP DRESSING WITH 2-INCH STONE MAY BE REQUIRED.
- IMMEDIATELY REMOVE SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC ROADWAYS.
- INSPECT CHECK DAMS AND WATTLES AS DIRECTED AND CLEAR STONE OR NETTING OF DEBRIS AND ACCUMULATED SEDIMENT; TAKE CARE NOT TO DAMAGE OR UNDERCUT THE MEASURES DURING SEDIMENT REMOVAL; REPLACE SEDIMENT STONE OR WATTLE AS NEEDED.
- REFER TO MAINTENANCE SPECIFICATIONS AND REQUIREMENTS IN THE NORTH CAROLINA "EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL."

SOIL STABILIZATION NOTES

- SOIL STABILIZATION TIMEFRAMES:

SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS
PERIMETER DICES, SWALES	7 DAYS	NONE
DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY ZONES (HOW)	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10 FT OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50 FT IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE, EXCEPT FOR PERIMETER AND HOW ZONES

- DENuded AREAS MUST BE STABILIZED WITHIN FIFTEEN (15) WORKING DAYS OF CEASE OF ANY PHASE OF ACTIVITY. ALL SLOPES MUST BE STABILIZED WITHIN TWENTY-ONE (21) CALENDAR DAYS OF CEASE OF ANY PHASE OF ACTIVITY. THIS INCLUDES SLOPES, SWALES, CHANNELS AND STOCKPILES.
- ALL FINISHED SLOPES SHALL BE 3:1 OR FLATTER.
- NO WETLANDS EXIST WITHIN LIMITS OF DISTURBANCE.
- SEE STABILIZATION GUIDELINES ON SUBSEQUENT SHEETS.

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EROSION CONTROL PLAN
DETAIL SHEET

STATE PLAN DRAWINGS FOR:
FRANCO MASONRY & CONCRETE - PHASE 1
LOCATED IN: YONAH, N.C. ZEBULON, N.C.
WAKE COUNTY, NORTH CAROLINA

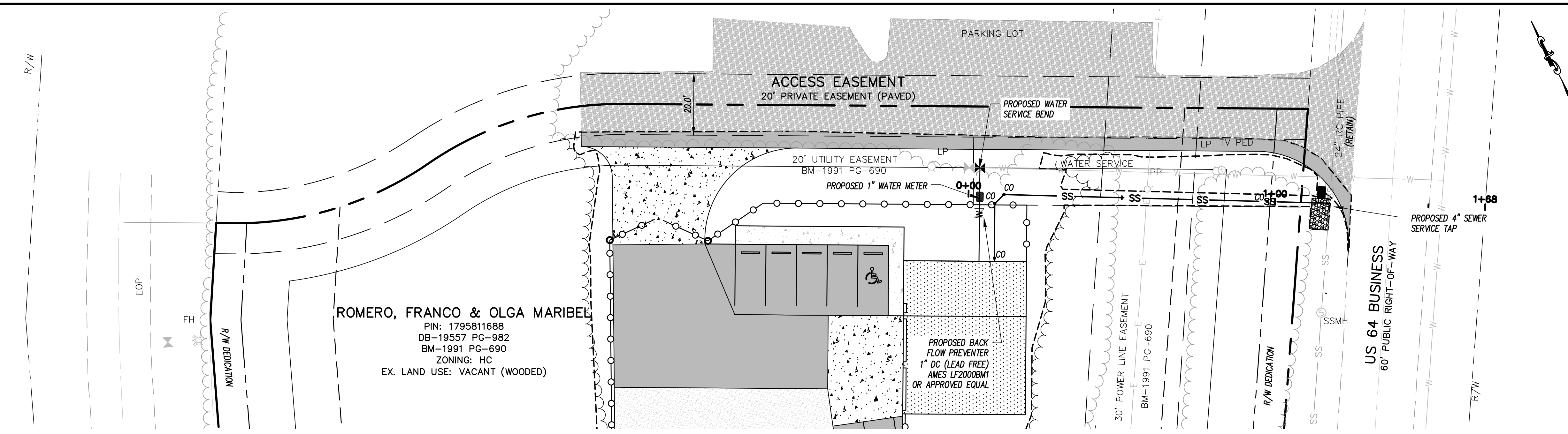
OWNER: FRANCO ROMERO
CONTACT: FRANCO ROMERO
ZEBULON, NC 27591
(919) 255-0331

PLAN NOT RELEASED FOR CONSTRUCTION

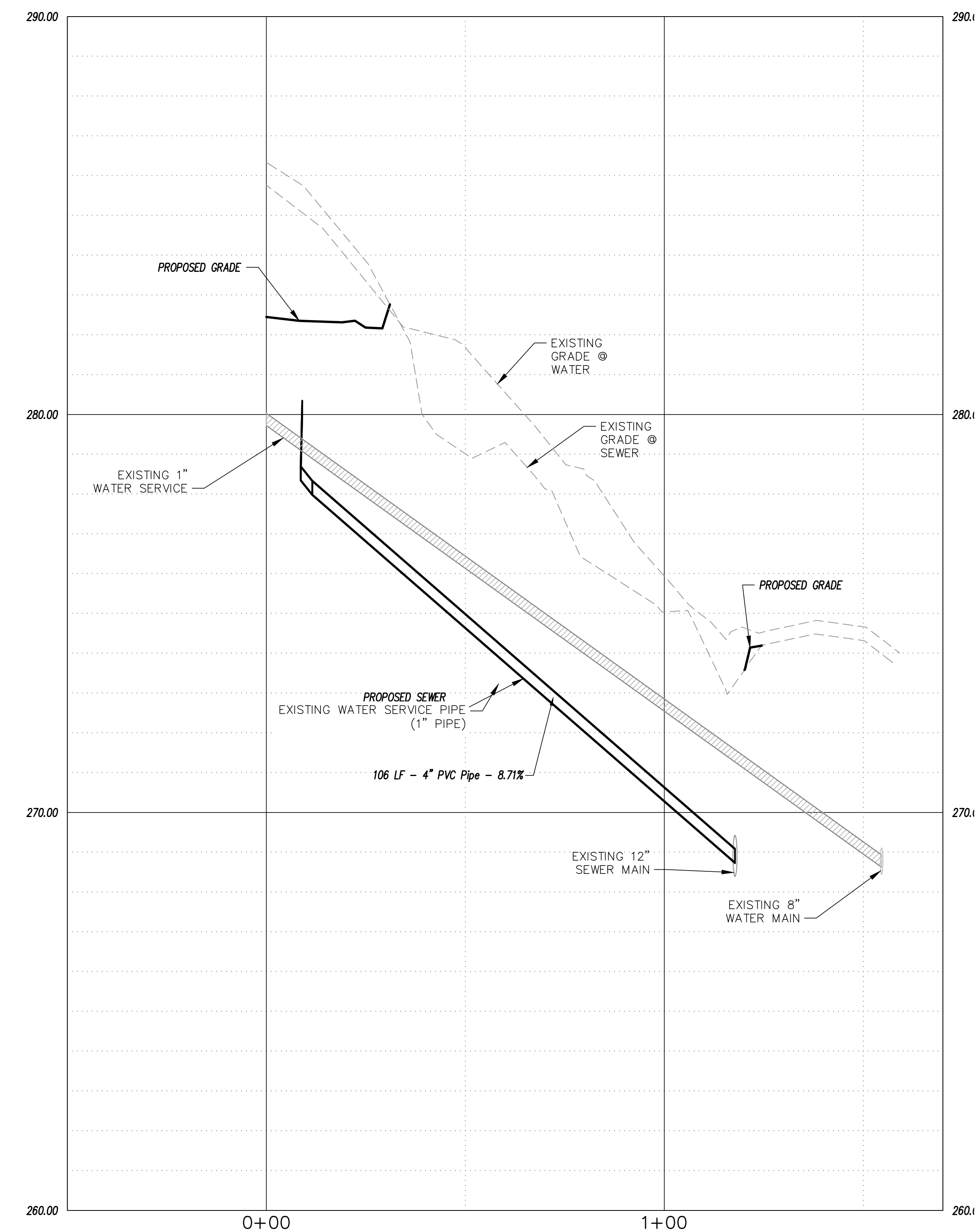
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DATE: 10/18/2024
HORZ. SCALE: 1" = 20'
VERT. SCALE: N/A
DRAWN BY: RBS
CHECKED BY: JFO
PROJECT NO.: 24-0682

C5.1
Sheet No. 8 of 15



SANITARY SEWER AND WATER LINE SERVICE PLAN & PROFILE



LEGEND

	EX. PROPERTY LINE
	EX. PUBLIC R/W LINE
	EX. ADJOINING PROPERTY LINE
	EX. PRIVATE R/W OR EASEMENT
	EX. PUBLIC EASEMENT LINE
	EX. CENTERLINE
	EX. TREE LINE
	EX. SIDEWALK
	EX. CURB & GUTTER
	EX. STORM DRAIN PIPE
	EX. STORM DRAIN BOX
	EX. SANITARY SEWER PIPE
	EX. SANITARY SEWER MANHOLE
	EX. WATER LINE
	EX. HYDRANT & WATER VALVE
	EX. PAVEMENT MARKINGS
	EX. OVERHEAD POWER LINE & POLE
	PROPOSED CENTERLINE
	PROPOSED EASEMENT LINE
	PROPOSED LOT LINE
	PROPOSED PUBLIC R/W LINE
	PROPOSED BUILDING SETBACK/BUFFER
	PROPOSED BUILDING FOOTPRINT
	PROPOSED TREE LINE
	PROPOSED SIDEWALK
	PROPOSED CURB & GUTTER
	PROPOSED DRAINAGE/SHORELINE
	PROPOSED STORM DRAINAGE PIPE
	PROPOSED STORM CATCH BASIN
	PROPOSED STORM DROP INLET
	PROPOSED STORM MANHOLE
	PROPOSED SEWER PIPE
	PROPOSED SEWER MANHOLE
	PROPOSED SEWER CLEANOUT
	PROPOSED WATER LINE / VALVE
	PROPOSED OPAQUE FENCE

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UTILITY PLAN
WATER & SEWER SERVICE CONNECTIONS

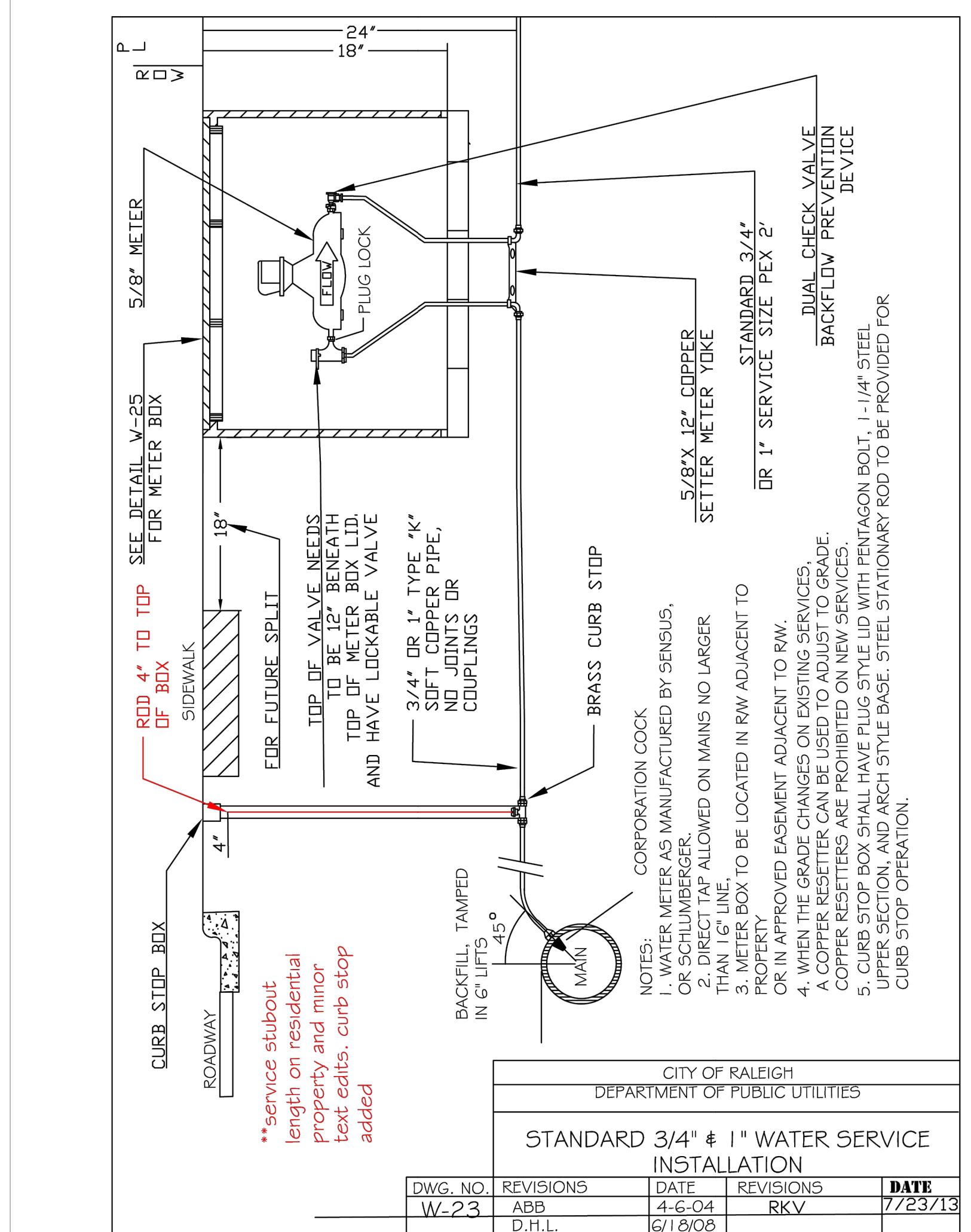
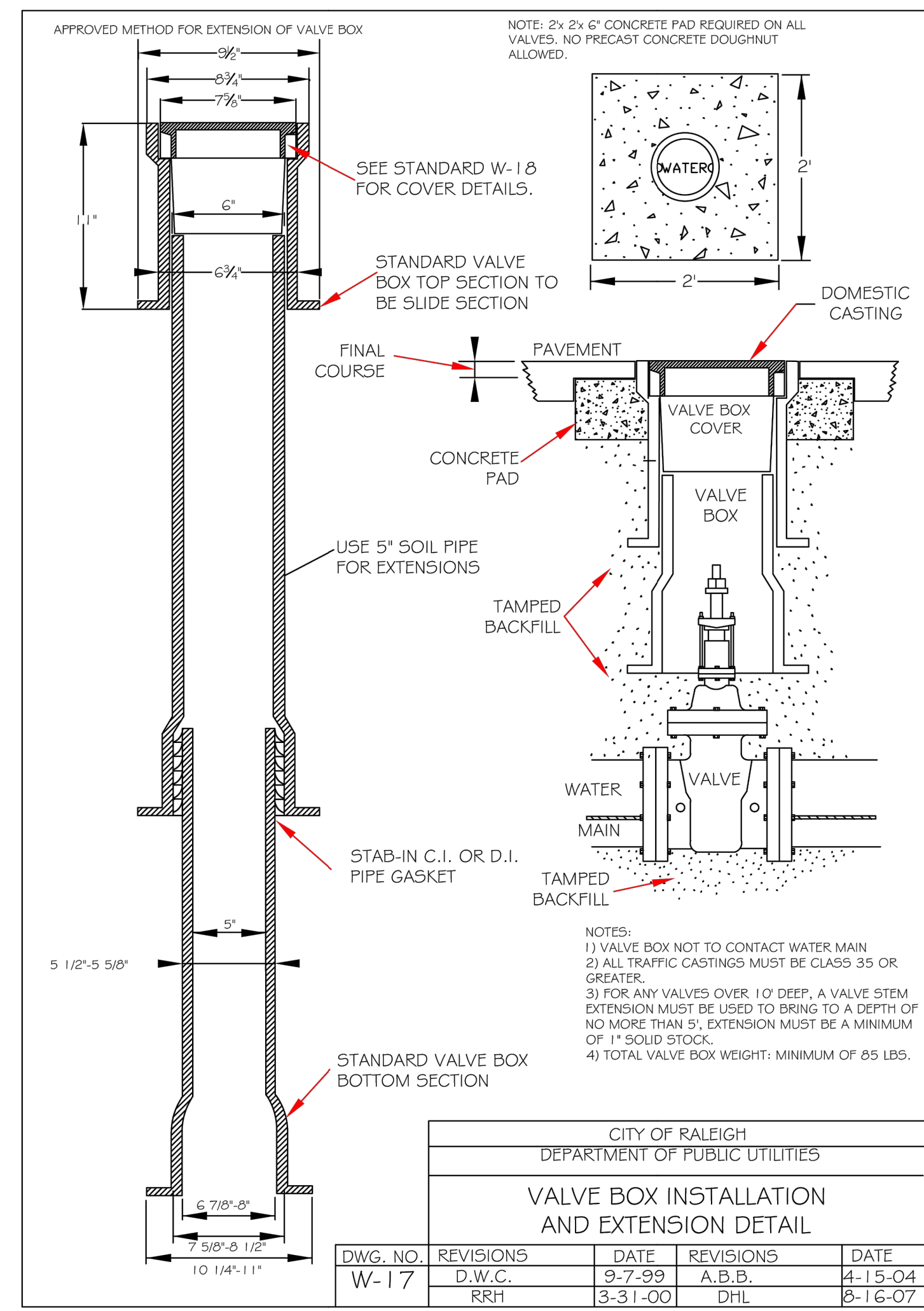
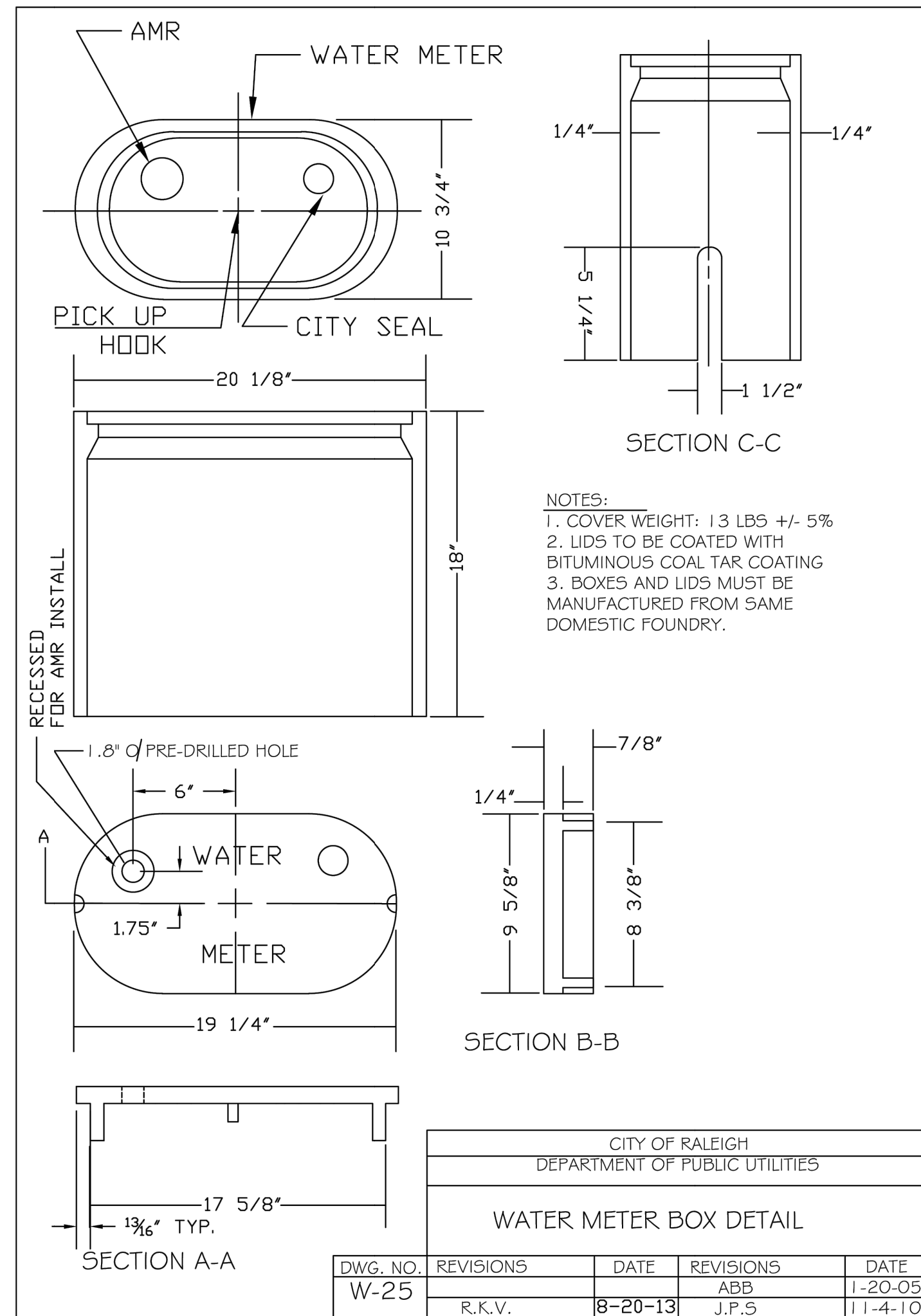
SITE PLAN DRAWINGS FOR
FRANCO MASONRY & CONCRETE - PHASE 1
 LOCATED IN TOWN OF ZEPHURUS,
 WAKE COUNTY, NORTH CAROLINA
 OWNER: FRANCO ROMERO
 CONTACT: FRANCO ROMERO
 ZEPHURUS, NC 27597
 (919) 252-0331

PLAN NOT RELEASED FOR CONSTRUCTION

REV. NO.	DATE	BY	REMARKS

DATE: 10/18/2024
 HORZ. SCALE: 1" = 20'
 VERT. SCALE: 1" = 2"
 DRAWN BY: LMB
 CHECKED BY: JFO
 PROJECT NO.: 24-0682

C6.0
 Sheet No. 9 of 15

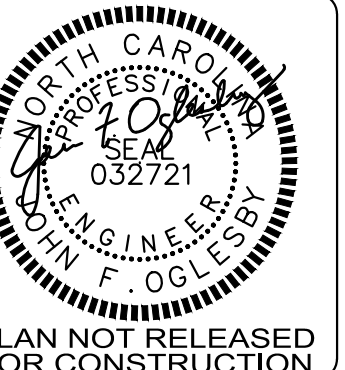


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UTILITY DETAILS - CITY OF RALEIGH
WATER STANDARD DETAILS

SITE PLAN DRAWINGS FOR
FRANCO MASONRY & CONCRETE - PHASE 1
LOCATED IN TOWN OF ZEBULON,
VALE CEMETERY, NORTH CAROLINA
OWNER: FRANCO ROMERO
CONTACT: FRANCO ROMERO
ZEBULON, NC 27591
(919) 252-0331

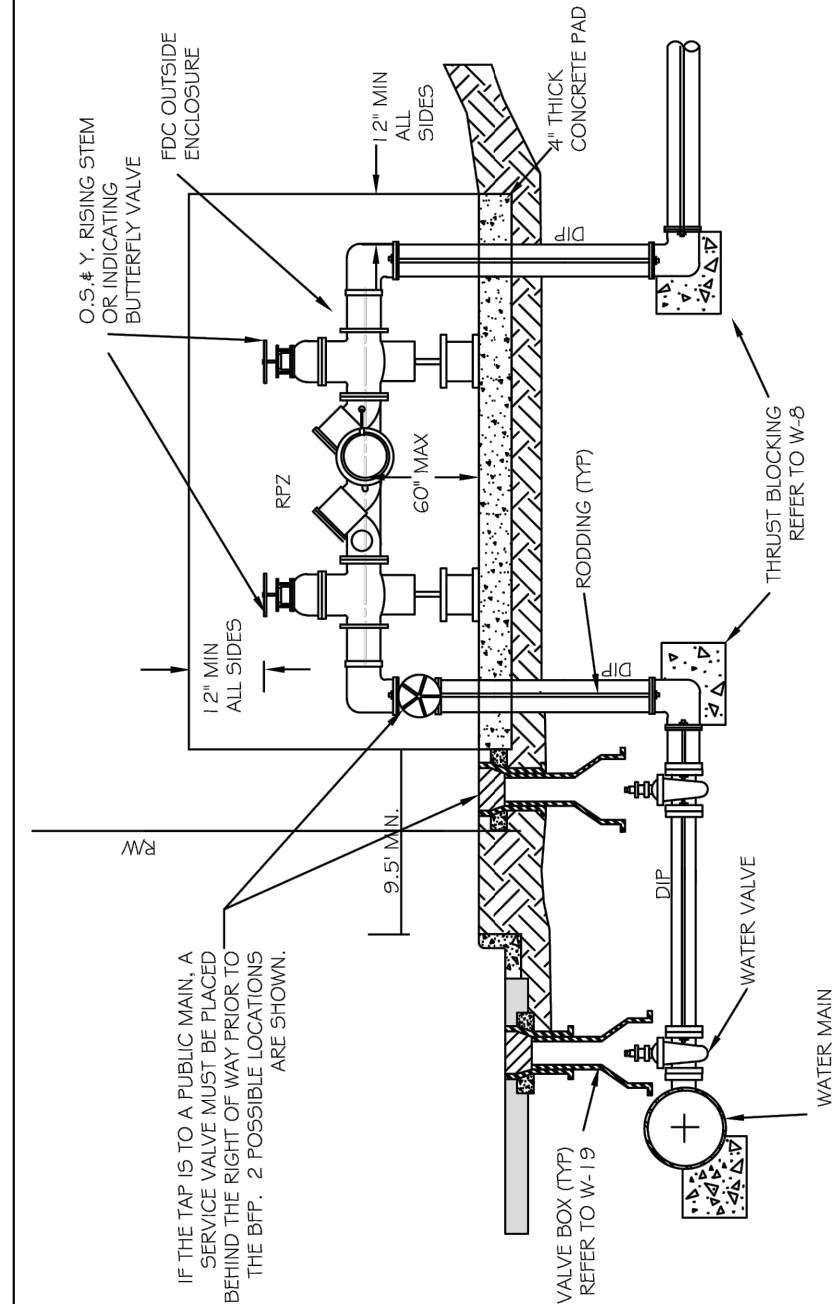


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Sheet **C6.1**
Sheet No. 10 of 15



1. ALL ABOVE GROUND ENCLOSURES MUST HAVE ADEQUATE DRAINAGE (TWICE THE DIAMETER OF THE SUPPLY PIPE) TO DAYLIGHT ABOVE GRADE.
2. REDUCED PRESSURE BACKFLOW PREVENTERS MAY BE LOCATED IN A BUILDING PROVIDED THERE ARE NO OTHER UNPROTECTED TAPS BETWEEN THE MAIN AND THE BUILDING. DRAINAGE IN A BUILDING MUST BE TWICE THE DIAMETER OF THE SUPPLY PIPE.
3. ABOVE GROUND INSULATED VAULTS MUST BE ASSESS TO GO APPROVED ABOVE GROUND ENCLOSURES. SEE CROSS CONNECTION MANUAL FOR ENCLOSURE FREEZE PROTECTION AND CERTIFICATION REQUIREMENTS.
4. REDUCED PRESSURE ZONE VALVES MUST BE CAPPED OFF ALL ABOVE GROUND ASSEMBLIES, EXCEPT IN THE WINTER MONTHS IRIGATION ASSEMBLIES, MUST BE PROTECTED FROM FREEZING.
5. RESIDENTIAL LAWN IRRIGATION ASSEMBLIES, MUST BE PROTECTED FROM FREEZING.
6. FOR ENCLOSURE DIMENSIONS SEE DETAIL W-34.
7. STEEL RODS AND BOLTS SHALL BE 3/4" HOT DIPPED GALVANIZED.
8. ALL ASSEMBLIES MUST BE ON THE CURRENT APPROVAL LIST.

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
TYPICAL REDUCED PRESSURE ZONE BACKFLOW PREVENTER ASSEMBLY				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-36	Y.C.A.	12-31-91	A.B.B.	7-10-04
	D.W.C.	11-8-99	D.H.L.	6/18/08



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UTILITY DETAILS - CITY OF RALEIGH
WATER STANDARD DETAILS

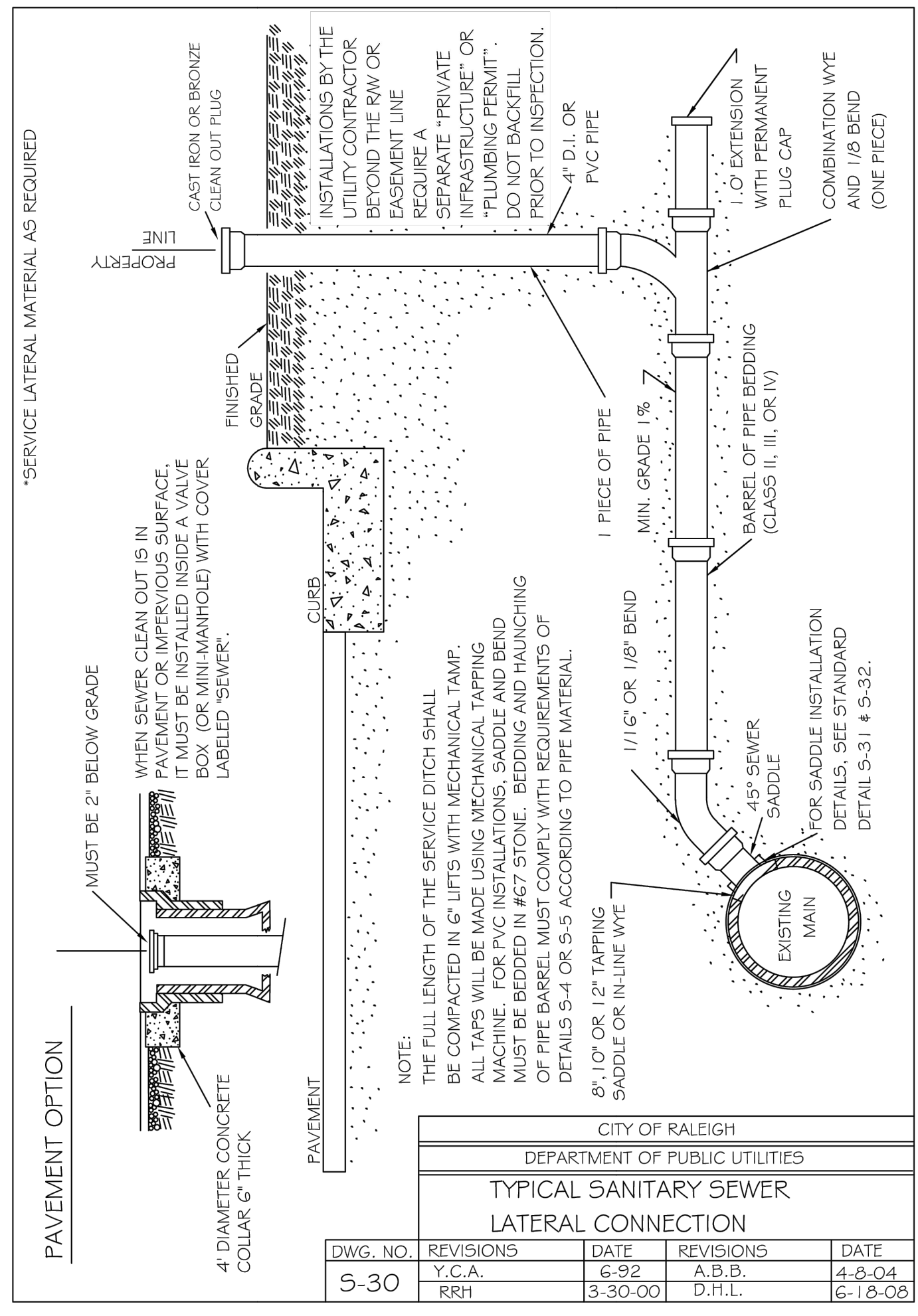
SITE PLAN DRAWINGS FOR
FRANCO MASONRY & CONCRETE - PHASE 1
LOCATED IN TOWN OF ZEBULON,
VALE COUNTRY, NORTH CAROLINA
OWNER: FRANCO ROMERO
CONTACT: FRANCO ROMERO
ZEBULON, NC 27591
(919) 252-0331



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UTILITY DETAILS - CITY OF RALEIGH
SANITARY SEWER STANDARD DETAILS

Part of the engineering services provided by CSD Engineering, Inc. are subject to the terms and conditions of the contract. The user of these drawings shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The user shall indemnify and hold CSD Engineering, Inc. harmless from all claims, damages, and expenses, including the cost of defense and attorneys' fees, arising out of or from the use of these drawings.

SITE PLAN DRAWINGS FOR
FRANCO MASONRY & CONCRETE - PHASE 1
LOCATED IN TOWN OF ZEBULON,
WARE COUNTY, NORTH CAROLINA

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LANDSCAPE PLAN
PARKING AREA

SITE PLAN DRAWINGS FOR
FRANCO MASONRY & CONCRETE - PHASE 1
LOCATED IN TOWN OF ZEBULON,
VALE COUNTY, NORTH CAROLINA

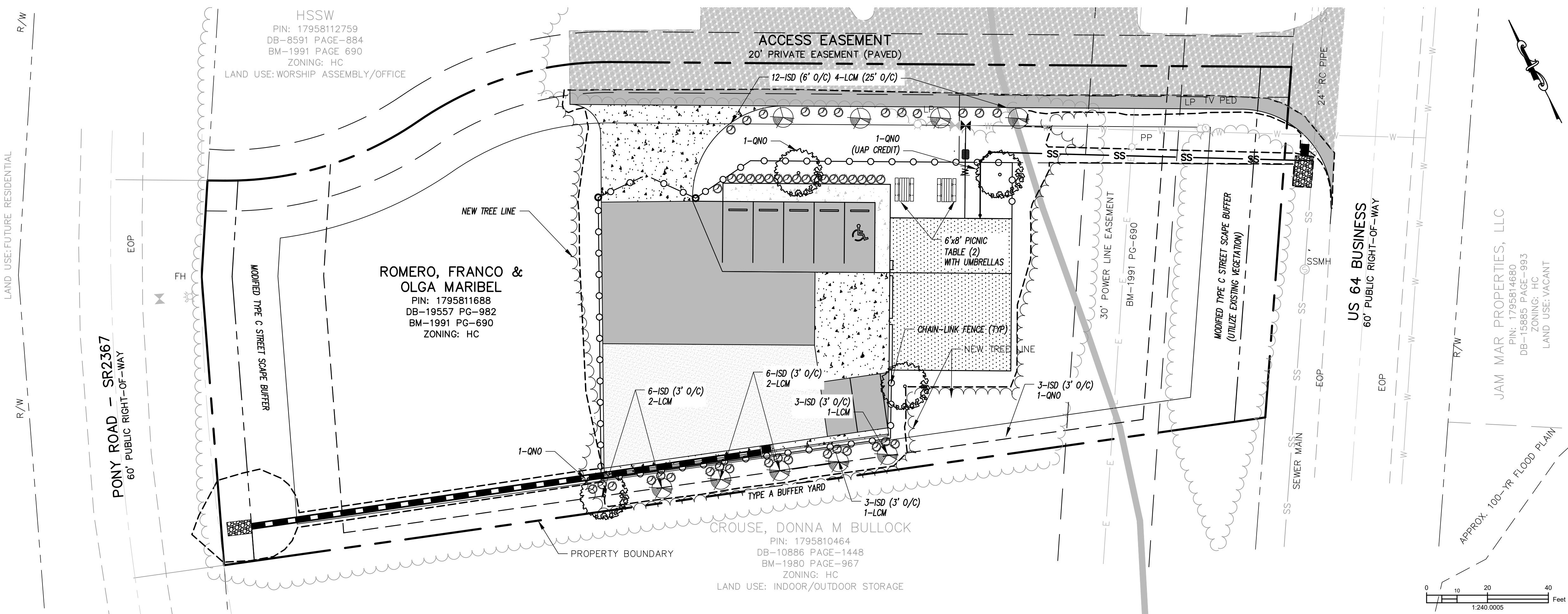
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REV. NO.	REMARKS	BY	DATE

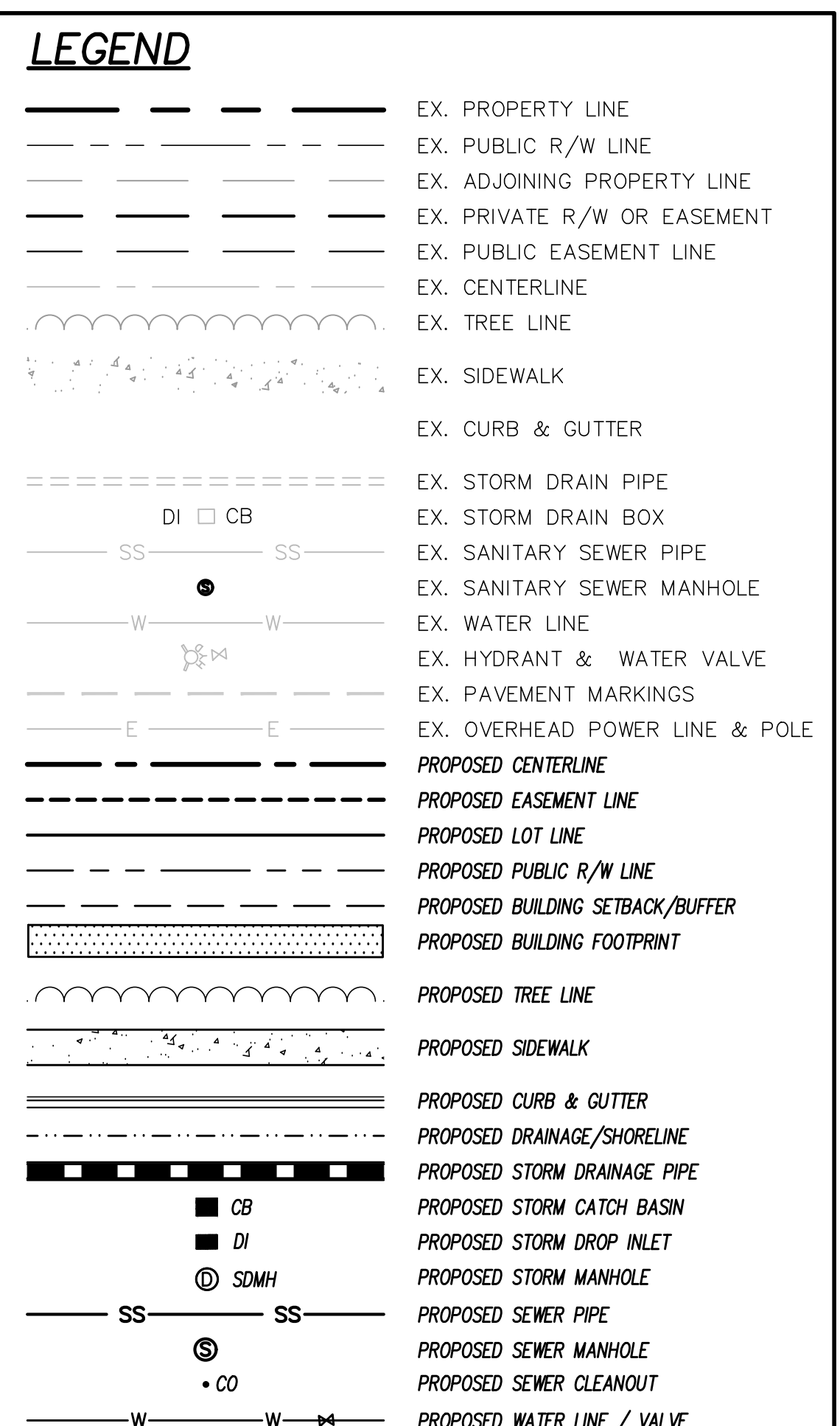
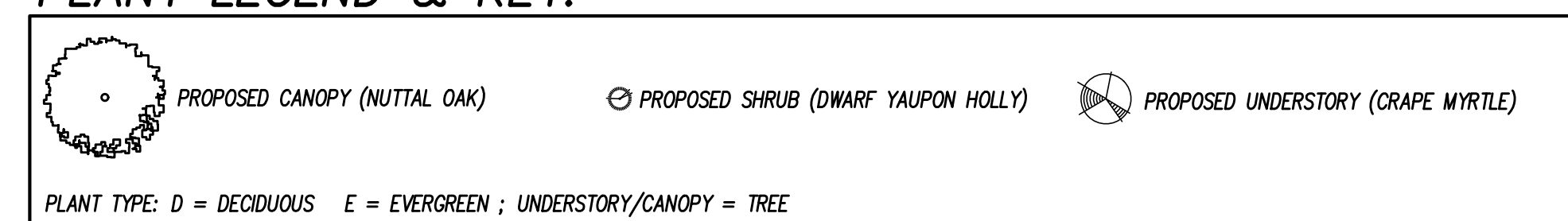
DATE: 10/18/2024
HORZ. SCALE: 1" = 20'
VERT. SCALE: N/A
DRAWN BY: RBS
CHECKED BY: JFO
PROJECT NO.: 24-0682
C7.0
Sheet No. 14 of 15



PLANT SCHEDULE:

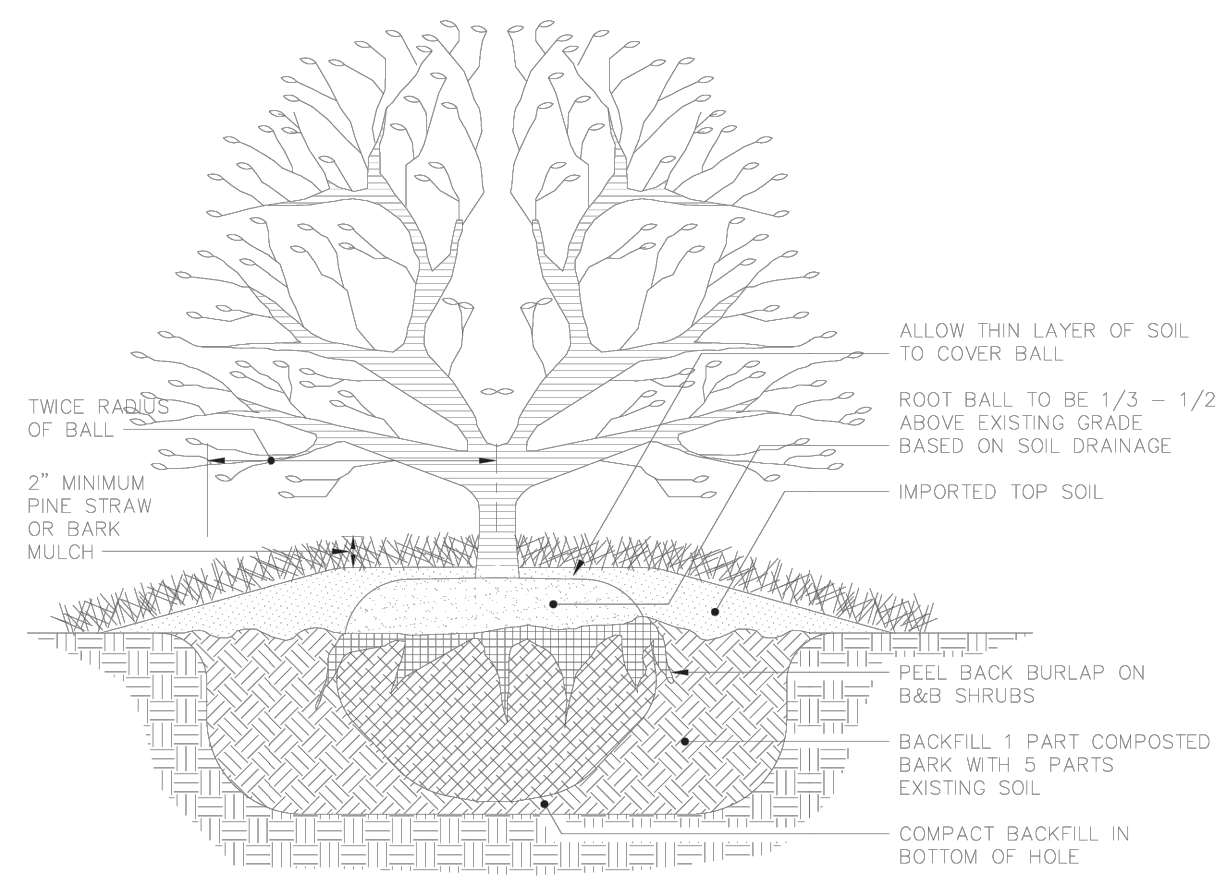
LOCATION	TYPE	QUANTITY	KEY	BOTANICAL NAME	COMMON NAME	PLANTING HT.	PLANTING SIZE	ROOT	MATURE HT.
BUFFER	E-SHRUB	49	1SD	ILEX VOMITORIA 'STOKES DWARF'	DWARF YAUPON HOLLY	18"	3 GALLON	CONTAINER	3'
	D-CANOPY	5	QNO	QUERCUS TEXANA	NUTTALL OAK	6' MIN.	1.5" CALIPER	BALLED & BURLAPPED	40' - 80'
	D-UNDERSTORY	10	LCM	LAGERSTROEMIA INDICA	CRAPE MYRTLE	5' MIN.	1.5" CALIPER	BALLED & BURLAPPED	20' - 30'

PLANT LEGEND & KEY:

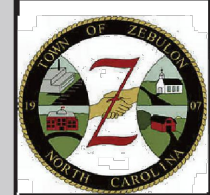


LANDSCAPING NOTES

- THIS MAP IS NOT FOR CONVEYANCE, RECORDATION, OR SALES.
- THIS PLAN IS FOR PHASE 1 LANDSCAPING ONLY; AREAS THAT ARE NOT DISTURBED WILL TEMPORARILY UTILIZE EXISTING VEGETATION FOR SCREENING PURPOSES.
- FULL BUFFER PLANTINGS WILL BE PROVIDED TO SUPPLEMENT OR REPLACE EXISTING VEGETATION DURING PHASE 2 WHEN MOST OF THE SITE WILL BE CLEARED.



SECTIONAL VIEW

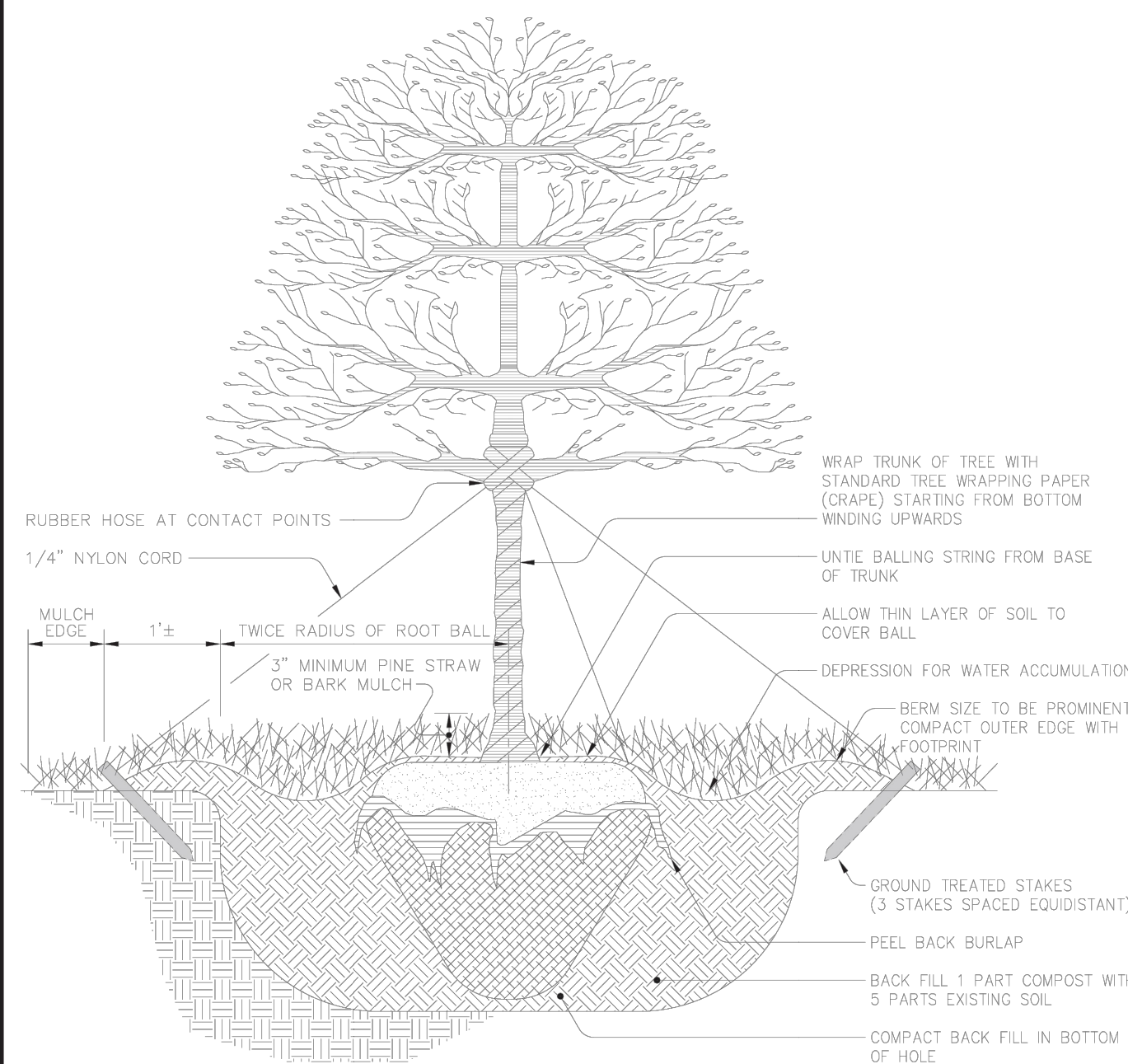


TOWN OF ZEBULON

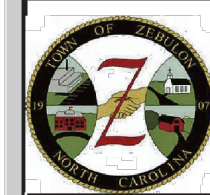
TYPICAL SHRUB PLANTING DETAIL

SCALE: NOT TO SCALE
DATE: JULY 2010
DETAIL # 43
SHEET # 1 OF 1

USE WITH STANDARD SPECIFICATIONS ONLY



SECTIONAL VIEW



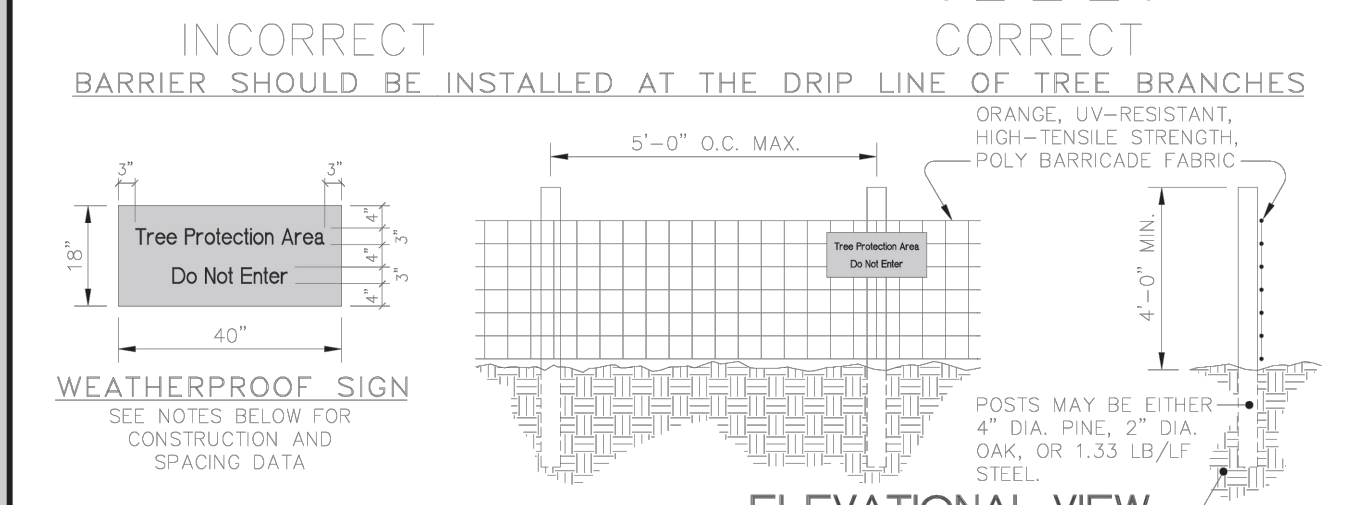
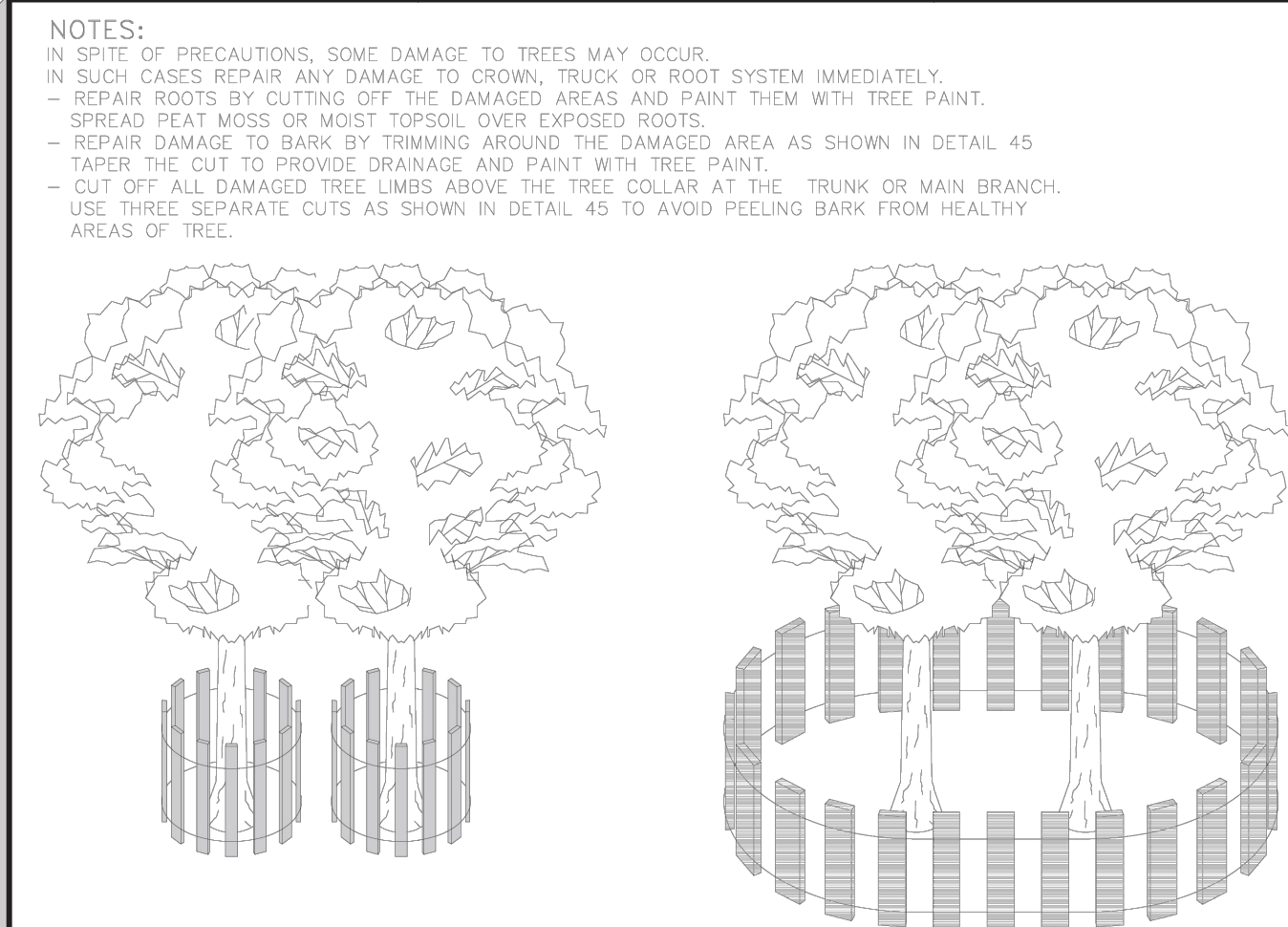
TOWN OF ZEBULON

TYPICAL TREE STAKING and PLANTING DETAIL

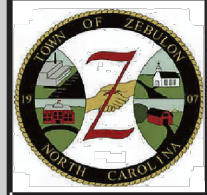
SCALE: NOT TO SCALE
DATE: JULY 2010
DETAIL # 44
SHEET # 1 OF 1

USE WITH STANDARD SPECIFICATIONS ONLY

NOTE:
PRUNE LOWER BRANCHES OF TREE BACK TO MAIN TRUNK SO THAT REMAINING HEAD IS APPROX. 1/2 OF TOTAL TREE HEIGHT



- NOTES:
1. INSTALL TREE PROTECTION FENCE AND SIGNAGE PRIOR TO CALLING FOR THE INITIAL ON SITE INSPECTION BY THE TOWN OF ZEBULON CONSTRUCTION INSPECTOR.
 2. WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL.
 3. LETTERS ARE TO BE 3" HIGH MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAILED.
 4. SIGNS ARE TO BE PLACED NO GREATER THAN 200' ON CENTER.
 5. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AREAS AND 200' ON CENTER THEREAFTER.
 6. FOR TREE PROTECTION AREAS LESS THAN 200' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTED AREA.
 7. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC.
 8. MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT.
 9. ADDITIONAL SIGNS MAY BE REQUIRED BY TOWN OF ZEBULON PUBLIC WORKS DEPT. BASED ON ACTUAL FIELD CONDITIONS.



TOWN OF ZEBULON

STANDARD TREE PROTECTION DETAIL

SCALE: NOT TO SCALE
DATE: JULY 2010
DETAIL # 46
SHEET # 1 OF 1

USE WITH STANDARD SPECIFICATIONS ONLY

CSD ENGINEERING
LICENSE # C-2710
ENGINEERING
LAND PLANNING
COMMERCIAL / RESIDENTIAL
P.O. BOX 1250
WENDELL, NC 27591
(910) 791-4441

LANDSCAPE PLAN
DETAIL SHEET

SITE PLAN DRAWINGS FOR
FRANCO MASONRY & CONCRETE - PHASE 1
LOCATED IN TOWN OF ZEBULON,
WARE HOBBY, JACINTO CAROLINA
OWNER: FRANCO ROMERO
CONTACT: FRANCO ROMERO
ZEBULON, NC 27591
(919) 252-0331

PLAN NOT RELEASED FOR CONSTRUCTION

REV. NO.	REMARKS	BY	DATE

DATE: 10/18/2024
HORZ. SCALE: 1" = 20'
VERT. SCALE: N/A
DRAWN BY: RBS
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PROJECT NO.: 24-0682