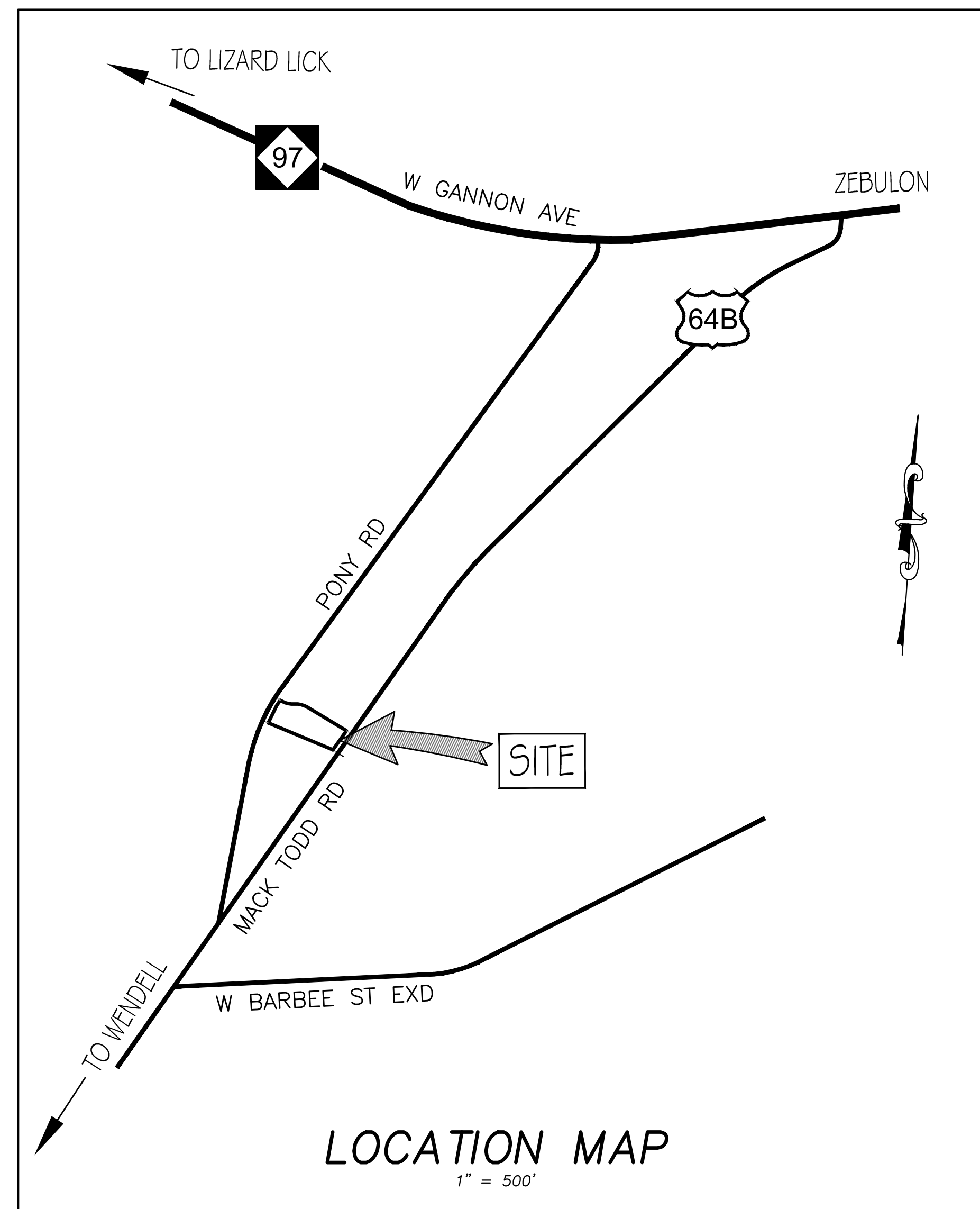


SITE PLAN DRAWINGS FOR FRANCO MASONRY & CONCRETE

970 MACK TODD ROAD
ZEBULON, NORTH CAROLINA, 27597



INDEX TO DRAWINGS		
SHEET No.	DESCRIPTION	DRAWING No.
1 OF 7	COVER SHEET & LOCATION MAP	C1.0
2 OF 7	EXISTING CONDITIONS WITH DEMOLITION PLAN	C2.0
3 OF 7	SITE PLAN - PARKING AREA	C3.0
4 OF 7	SITE PLAN - DETAIL DRAWINGS	C3.1
5 OF 7	GRADING PLAN	C4.0
6 OF 7	EROSION CONTROL PLAN	C5.0
7 OF 7	LANDSCAPE PLAN	C6.0

GENERAL NOTES:

- THIS MAP IS NOT FOR CONVEYANCE, RECORDATION OR SALES.
- BOUNDARY AND TOPOGRAPHIC SURVEYS WERE PERFORMED BY JAMES W. HUNTER LAND SURVEYING, DATED JANUARY 22, 2024.
- STORMWATER DRAINS TO LITTLE RIVER (WS-V; NSW); RIVER BASIN: NEUSE; STREAM INDEX: 27-57-(8.5).
- THERE ARE NO JURISDICTIONAL STREAM OR WETLANDS ON SITE.
- PROPOSED USE WILL UTILIZE PUBLIC WATER AND SEWER.
- THERE ARE NO DESIGNATED SPECIAL FLOOD HAZARD ZONE (100-YEAR FLOODPLAIN) ON THE PROPERTY (DFIRM 3720178500K, DATED 7/19/2022).

PROJECT DATA:

- PROJECT ADDRESS: 970 MACK TODD RD
ZEBULON, NC 27597
- PARCEL ID NO: 1795811888
- REID NO: 0188800
- CONSULTANT: CSD ENGINEERING
JOHN F. OGLESBY, PE
919-624-0997 M
910-791-1551 J
910-791-1501 JF
john@csd-engineering.com
- PROPERTY OWNER: FRANCO & OLGA MARIBEL ROMERO
970 MACK TODD RD
ZEBULON, NC 27597
919-255-0331
francomasonycon@gmail.com
- PROJECT ZONING: HEAVY COMMERCIAL (HC)
- LAND CLASSIFICATION: SUBURBAN COMMERCIAL
- PROPOSED LAND USE: CONTRACTOR OFFICE & SERVICE YARD
- PARCEL AREA = 1.07 AC NET (46,609 SQ. FT.)
- REQUIRED SETBACKS = 30' STREET, 0 OR 5' SIDE
- REQUIRED BUFFERS = 15' MODIFIED TYPE C STREET SCAPE BUFFER
= 10' TYPE A LANDSCAPE BUFFER (SIDES)
- MAX. LOT COVERAGE = 80% (37,287 SQ. FT.)
- ACTUAL LOT COVERAGE = SEE LOT COVERAGE NOTE ON SHEET C3.0



LICENSE # C-2710
ENGINEERING
LAND PLANNING
COMMERCIAL / RESIDENTIAL

P.O. BOX 1250
WENDELL, NC 27591
(910) 791-4441

COVER SHEET
& LOCATION MAP

SITE PLAN DRAWINGS FOR
FRANCO MASONRY & CONCRETE

LOCATED IN TOWN OF ZEBULON,
HARE COUNTY, NORTH CAROLINA
OWNER: FRANCO ROMERO
CONTACT: FRANCO ROMERO
ZEBULON, NC 27597
(919) 255-0331



PLAN NOT RELEASED
FOR CONSTRUCTION

REV. NO.	DATE	BY	REMARKS

DATE: 4/11/2024

HORZ. SCALE: 1" = 500'
VERT. SCALE: N/A

DRAWN BY: RBS

CHECKED BY: JFO

PROJECT NO.: 24-0682

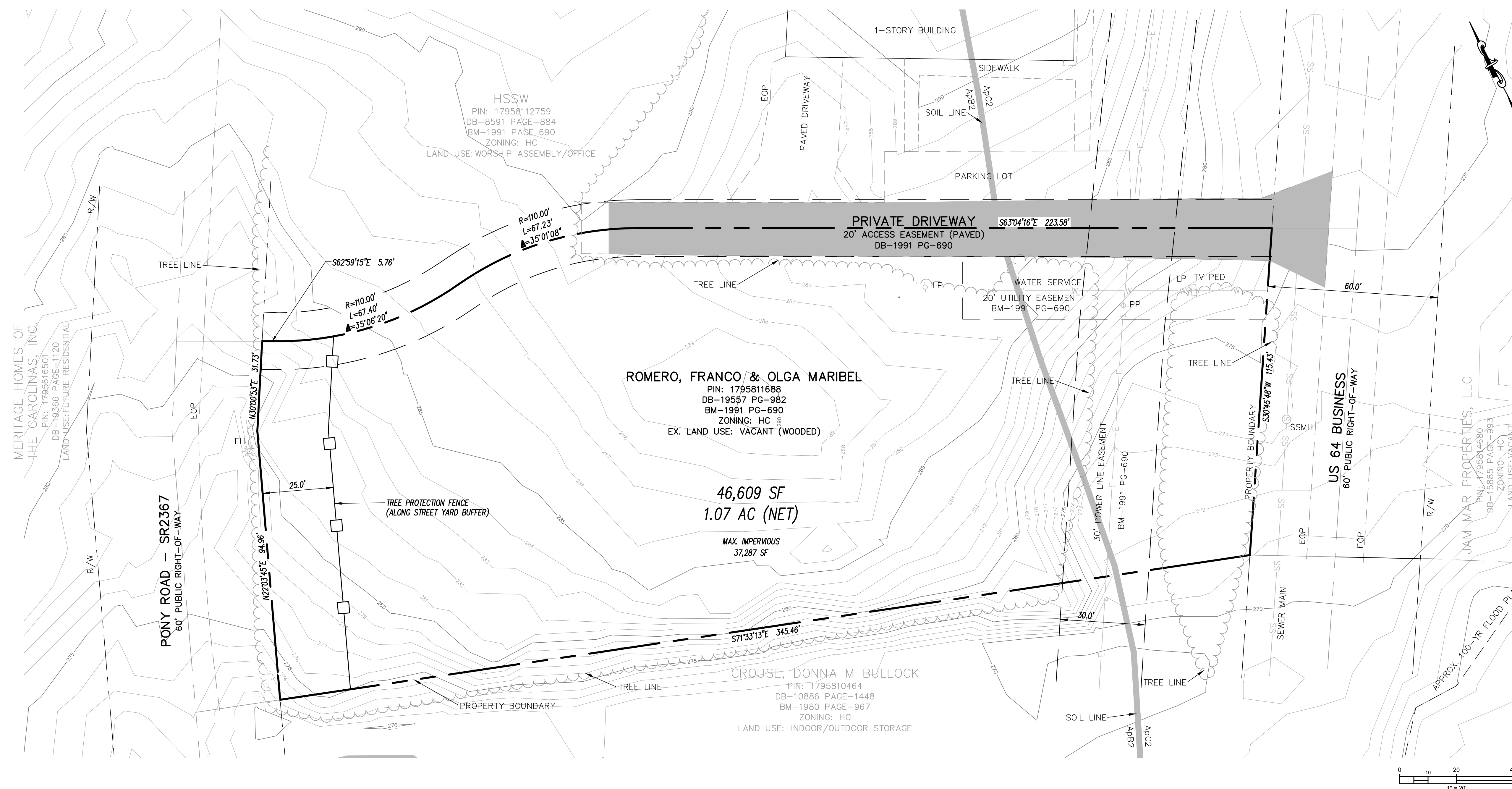
C1.0
Sheet No. 1 of 7

LEGEND

- EX. PROPERTY LINE
- EX. PUBLIC R/W LINE
- EX. ADJOINING PROPERTY LINE
- EX. PRIVATE R/W OR EASEMENT
- EX. PUBLIC EASEMENT LINE
- EX. CENTERLINE
- EX. TREE LINE
- EX. SIDEWALK
- EX. CURB & GUTTER
- EX. STORM DRAIN PIPE
- EX. STORM DRAIN BOX
- SS --- EX. SANITARY SEWER PIPE
- SS --- EX. SANITARY SEWER MANHOLE
- W --- EX. WATER LINE
- W --- EX. HYDRANT & WATER VALVE
- EX. PAVEMENT MARKINGS
- E --- EX. OVERHEAD POWER LINE & POLE

EXISTING CONDITON & DEMOLITION NOTES

1. SITE ADDRESS: 970 MACK TODD RD - ZEBULON, NC 27597
2. BOUNDARY SURVEY, DATED 1/22/2024, WAS PROVIDED BY JAMES W. HIPPER LAND SURVEYING (NC FIRM NO. L-3916) 5707 HILLTOP RD RALEIGH, NC 27603 919-917-7080
3. METES AND BOUNDS ARE BASED ON STATE PLANE COORDINATES.
4. EXISTING OFF-SITE TOPOGRAPHY IS FROM BARE EARTH LIDAR DATA DOWNLOAD FROM THE N.C. FLOOD RISK INFORMATION SYSTEM; WAKE COUNTY FIRM PANEL 1795.
5. THERE ARE NO FEMA SPECIAL FLOOD HAZARD ZONES (A & AE) LOCATED ON PROPERTY; DFIRM 3720179500K, DATED JULY 19, 2022.
6. THERE ARE NO JURISDICTIONAL STREAM AND WETLANDS LOCATED ON PROPERTY.
7. EXISTING SOILS ON-SITE CONSIST OF APPLING SANDY LOAM (SERIES ApB2 AND ApC2); THERE ARE NOT FLOOD-PRONE SOILS ON PROPERTY.
8. GREAT CARE SHALL BE TAKEN TO PRESERVE EXISTING VEGETATION AND LANDSCAPE FEATURES WITHIN AREAS OF REQUIRED BUFFER YARDS.
9. PROPOSED OPEN SPACE AND PRESERVATION AREAS ARE DETERMINED BY MEANS OF LOCATING EXISTING TREES AND NATURAL FEATURES ON-SITE; THERE ARE NO 18" OR GREATER CALIPER HARDWOOD TREES LOCATED WITHIN REQUIRED BUFFER YARDS.
10. STREET YARD BUFFERS ARE BASED ON REQUIREMENTS OF ZEBULON UDO FOR MODIFIED TYPE C STREET YARD (15 FEET) AND TYPE A BUFFER YARD (10 FEET).
11. PRIOR TO CONSTRUCTION, ALL AREAS FOR GRADING WILL BE STRIPPED AND PREPARED FOR FINAL GRADING.



LICENSE # C-2710
 ENGINEERING
 LAND PLANNING
 COMMERCIAL / RESIDENTIAL
 P.O. BOX 1250
 WENDELL, NC 27591
 (910) 791-4441

EXISTING CONDITIONS WITH DEMOLITION PLAN

SITE PLAN DRAWINGS FOR
FRANCO MASONRY & CONCRETE
 LOCATED IN TOWN OF ZEBULON
 WAKE COUNTY, NORTH CAROLINA
 OWNER: FRANCO ROMERO
 CONTACT: FRANCO ROMERO
 ZEBULON, NC 27597
 (919) 252-0331



PLAN NOT RELEASED FOR CONSTRUCTION

REV. NO.	REMARKS	BY	DATE

DATE: 4/11/2024
 HORZ SCALE: 1" = 20'
 VERT SCALE: N/A
 DRAWN BY: RBS
 CHECKED BY: JFO
 PROJECT NO.: 24-0682

Sheet **C2.0**
 Sheet No. 2 of 7

LEGEND

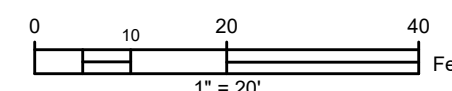
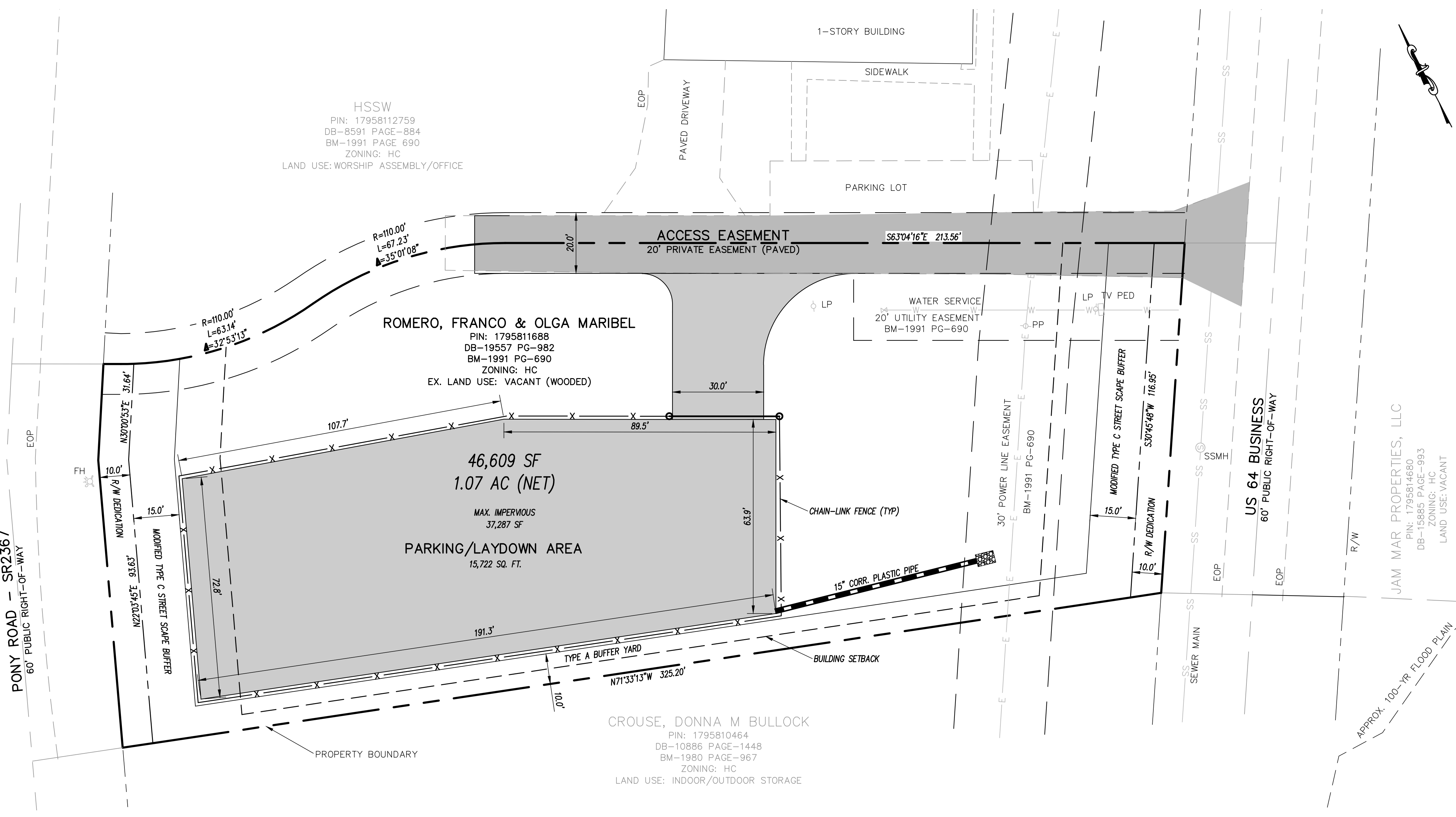
- EX. PROPERTY LINE
- EX. PUBLIC R/W LINE
- EX. ADJOINING PROPERTY LINE
- EX. PRIVATE R/W OR EASEMENT
- EX. PUBLIC EASEMENT LINE
- EX. CENTERLINE
- EX. TREE LINE
- EX. SIDEWALK
- EX. CURB & GUTTER
- EX. STORM DRAIN PIPE
- EX. STORM DRAIN BOX
- SS --- SS EX. SANITARY SEWER PIPE
- W --- W EX. WATER LINE
- EX. HYDRANT & WATER VALVE
- EX. PAVEMENT MARKINGS
- E --- E EX. OVERHEAD POWER LINE & POLE
- PROPOSED CENTERLINE
- PROPOSED EASEMENT LINE
- PROPOSED LOT LINE
- PROPOSED PUBLIC R/W LINE
- PROPOSED BUILDING SETBACK/BUFFER
- PROPOSED BUILDING FOOTPRINT
- PROPOSED TREE LINE
- PROPOSED SIDEWALK
- PROPOSED CURB & GUTTER
- PROPOSED DRAINAGE/ShORELINE
- PROPOSED STORM DRAINAGE PIPE
- PROPOSED STORM CATCH BASIN
- PROPOSED STORM DROP INLET
- PROPOSED STORM MANHOLE
- PROPOSED SEWER PIPE
- PROPOSED SEWER MANHOLE
- PROPOSED SEWER CLEANOUT
- PROPOSED WATER LINE / VALVE

LOT COVERAGE:

PARCEL AREA	= 46,609 SQ. FT.
PROPOSED ON-SITE IMPERVIOUS	= 0 SQ. FT.
EX. ROOF TOP	= 0 SQ. FT.
BUILDING ADDITION	= 0 SQ. FT.
EX. PAVEMENT	= 2,618 SQ. FT.
NEW PARKING	= 15,722 SQ. FT.
TOTAL	= 18,340 SQ. FT.
COVERAGE	= 39.3 %

MERITAGE HOMES OF THE CAROLINAS, INC.
 PIN: 1795616501
 DB-19366 PAGE-1120
 LAND USE: FUTURE RESIDENTIAL

PONY ROAD - SR2367
 60' PUBLIC RIGHT-OF-WAY



LICENSE # C-2710
 ENGINEERING
 LAND PLANNING
 COMMERCIAL / RESIDENTIAL

P.O. BOX 1250
 WENDELL, NC 27591
 (910) 791-4441

SITE PLAN
PARKING AREA

SITE PLAN DRAWINGS FOR
FRANCO MASONRY & CONCRETE
 LOCATED IN TOWN OF ZEPHULON
 HARE COUNTY, NORTH CAROLINA

OWNER: FRANCO ROMERO
 CONTACT: FRANCO ROMERO
 ZEPHULON, NC 27591
 (919) 255-0331

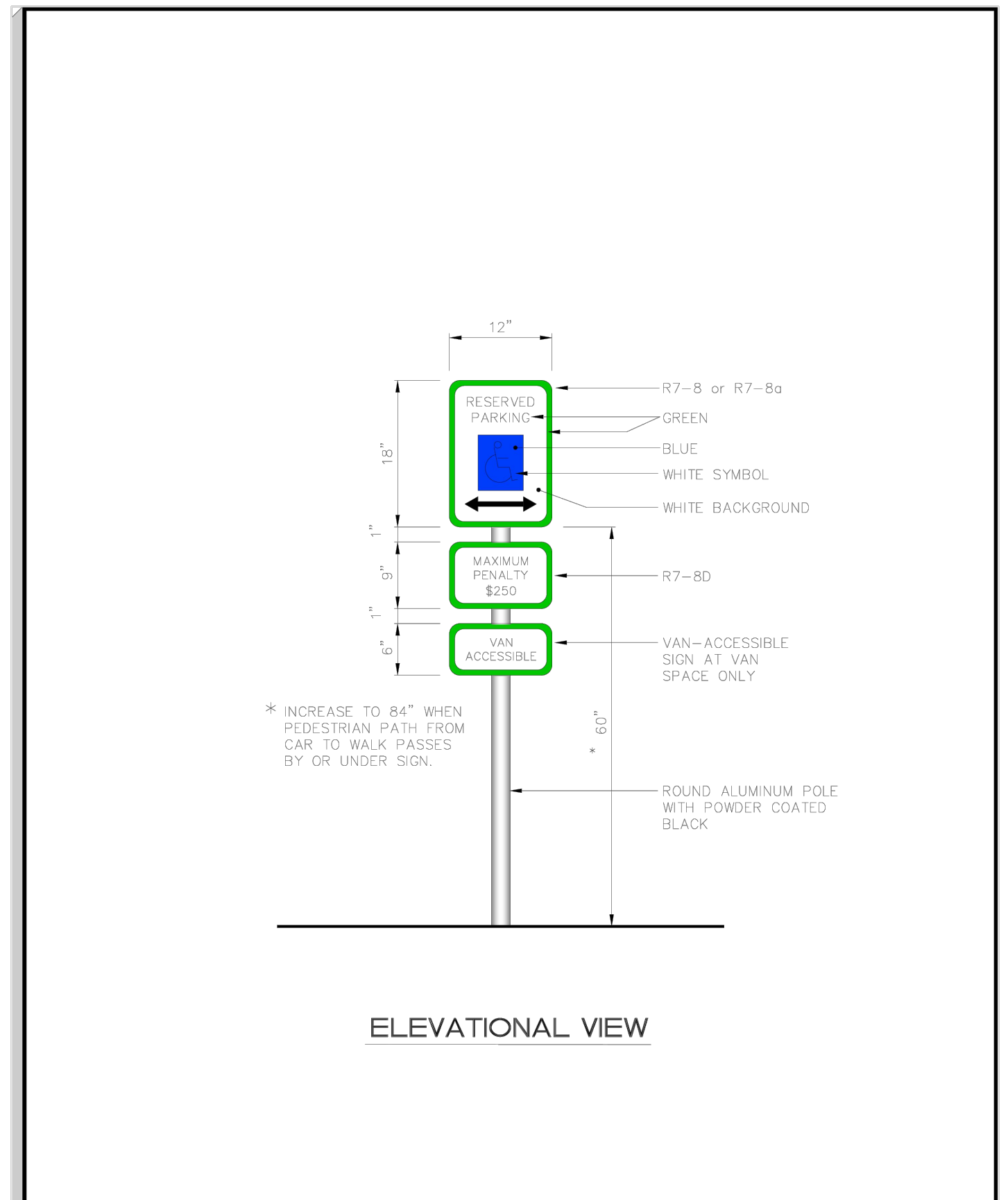


PLAN NOT RELEASED FOR CONSTRUCTION

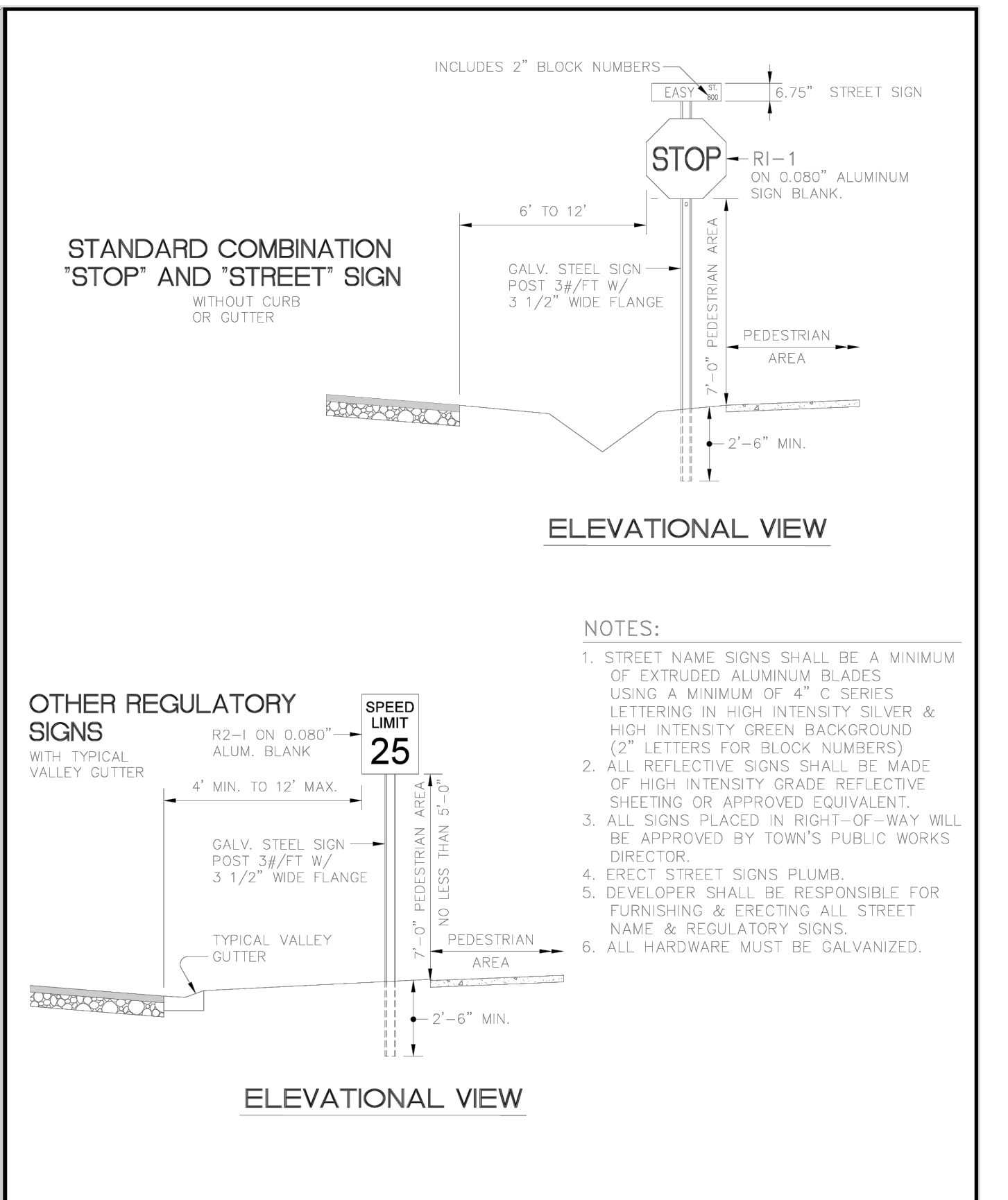
REV. NO.	REMARKS	BY	DATE

DATE: 4/11/2024
 HORZ. SCALE: 1" = 20'
 VERT. SCALE: N/A
 DRAWN BY: RBS
 CHECKED BY: JFO
 PROJECT NO.: 24-0682

C3.0
 Sheet No. 3 of 7



	TOWN OF ZEBULON	
	R7-8 HANDICAP SIGN DETAIL	SCALE: NOT TO SCALE DATE: JULY 2010
	DETAIL # 23	SHEET # 1 OF 1



	TOWN OF ZEBULON	
	STANDARD SIGN INSTALLATION DETAIL	SCALE: NOT TO SCALE DATE: JULY 2010
	DETAIL # 30	SHEET # 1 OF 1

CSD
ENGINEERING

LICENSE # C-2710
ENGINEERING
LAND PLANNING
COMMERCIAL / RESIDENTIAL

P.O. BOX 1250
WENDELL, NC 27591
(910) 791-4441

**SITE PLAN
DETAIL DRAWINGS**

SITE PLAN DRAWINGS FOR
FRANCO MASONRY & CONCRETE
LOCATED IN TOWN OF ZEBULON
WARE COUNTY, NORTH CAROLINA

OWNER: FRANCO ROMERO
CONTACT: FRANCO ROMERO
ZEBULON, NC 27591
(919) 255-0331



PLAN NOT RELEASED FOR CONSTRUCTION

REV. NO.	BY	DATE	REMARKS

DATE: 4/11/2024
 HORZ. SCALE: 1" = 20'
 VERT. SCALE: N/A
 DRAWN BY: RBS
 CHECKED BY: JFO
 PROJECT NO.: 24-0682

LEGEND

	EX. PROPERTY LINE
	EX. PUBLIC R/W LINE
	EX. ADJOINING PROPERTY LINE
	EX. PRIVATE R/W OR EASEMENT
	EX. PUBLIC EASEMENT LINE
	EX. CENTERLINE
	EX. TREE LINE
	EX. SIDEWALK
	EX. CURB & GUTTER
	EX. STORM DRAIN PIPE
	EX. STORM DRAIN BOX
	EX. SANITARY SEWER PIPE
	EX. SANITARY SEWER MANHOLE
	EX. WATER LINE
	EX. HYDRANT & WATER VALVE
	EX. PAVEMENT MARKINGS
	EX. OVERHEAD POWER LINE & POLE
	PROPOSED CENTERLINE
	PROPOSED EASEMENT LINE
	PROPOSED LOT LINE
	PROPOSED PUBLIC R/W LINE
	PROPOSED BUILDING SETBACK/BUFFER
	PROPOSED BUILDING FOOTPRINT
	PROPOSED TREE LINE
	PROPOSED SIDEWALK
	PROPOSED CURB & GUTTER
	PROPOSED DRAINAGE/ShORELINE
	PROPOSED STORM DRAINAGE PIPE
	PROPOSED STORM CATCH BASIN
	PROPOSED STORM DROP INLET
	PROPOSED STORM MANHOLE
	PROPOSED SEWER PIPE
	PROPOSED SEWER MANHOLE
	PROPOSED SEWER CLEANOUT
	PROPOSED WATER LINE / VALVE

Storm Sewer Tabulation

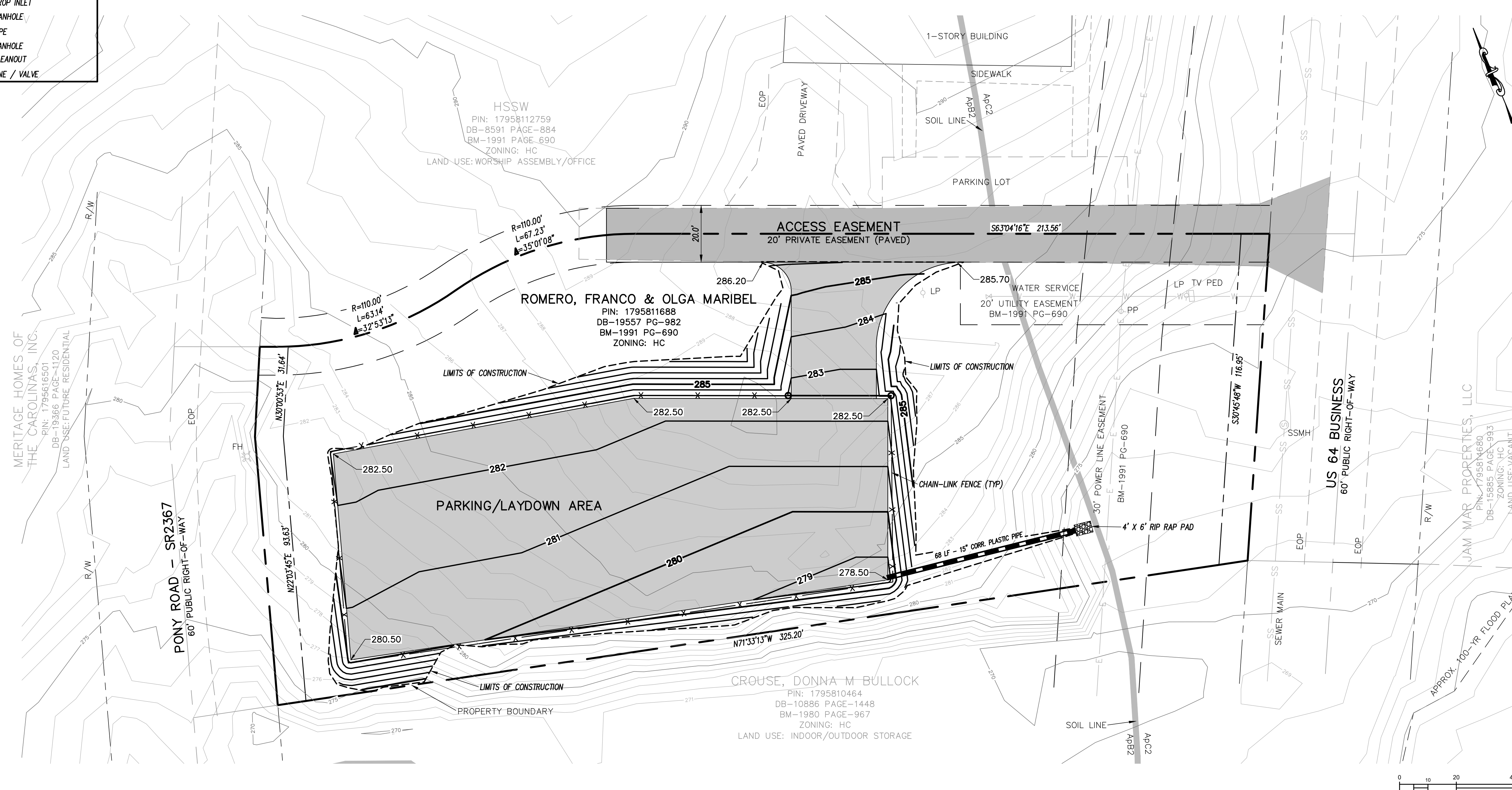
Station	Len	Dmg Area	Rnoff	Area x C	Tc	Rain (I)	Total	Cap	Vel	Pipe	Invert Elev	HGL Elev	Grnd / Rim Elev	Line ID							
Line	To	(ft)	Incr (ac)	Total (ac)	Incr	Total	Inlet (min)	Syst (min)	(in/hr)	(cfs)	(cfs)	(ft/s)	(ft)	(ft)	(ft)	Up	Up				
1	End	68.000	0.43	0.43	0.90	0.39	0.39	5.0	7.2	2.80	9.95	4.18	15	8.09	273.00	278.50	273.67	279.17	274.00	284.00	1

GRADING & DRAINAGE NOTES:

- FINISHED GRADE IS REPRESENTED BY 1-FOOT CONTOURS.
- CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENTATION CONTROL PRACTICES AND MEASURES IN ACCORDANCE WITH THE EROSION & SEDIMENT CONTROL PLAN AND CONSTRUCTION SCHEDULE.
- REMOVE GOOD TOPSOIL FROM AREAS TO BE GRADED AND FILLED, AND PRESERVE IT FOR USE IN FINISHING THE GRADING OF ALL CRITICAL AREAS.
- UNDERLYING SOILS CONSIST OF SOILS WITHIN THE APPLYING SANDY LOAM SERIES (REF. WAKE COUNTY SOIL REPORT DATED 1970).
- SCARIFY AREAS TO BE COVERED WITH TOPSOIL TO A MINIMUM DEPTH OF 2 INCHES BEFORE PLACING TOPSOIL.
- CLEAR AND GRUB AREAS TO BE FILLED TO REMOVE TREES, VEGETATION, ROOTS, OR OTHER OBJECTIONABLE MATERIAL THAT WOULD AFFECT THE PLANNED STABILITY OF THE FILL. ENSURE THAT FILL MATERIAL IS FREE OF BRUSH, RUBBISH, ROCKS, LOGS, STUMPS, BUILDING DEBRIS, AND OTHER MATERIALS INAPPROPRIATE FOR CONSTRUCTING STABLE FILLS.
- PLACE ALL FILL IN LAYERS NOT TO EXCEED 8 INCHES IN THICKNESS, AND COMPACT THE LAYERS AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, OR OTHER RELATED PROBLEMS.
- SLOPES STEEPER THAN 3:1 WILL BE STABILIZED WITH PERMANENT SOIL REINFORCING MATTING, NAG P300 SPECIFICATION OR EQUIVALENT.
- PLACEMENT OF FILL MATERIAL MUST BE CONDUCTED UNDER THE OBSERVATION OF A QUALIFIED LICENSED GEOTECHNICAL ENGINEER.
- DO NOT INCORPORATE FROZEN MATERIAL OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS INTO FILL SLOPES.
- DO NOT PLACE FILL ON A FROZEN FOUNDATION, DUE TO POSSIBLE SUBSIDENCE AND SLIPPAGE.
- KEEP DIVERSIONS AND OTHER WATER CONVEYANCE MEASURES FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
- HANDLE SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION IN ACCORDANCE WITH APPROVED NCEQ-LAND QUALITY METHODS (PRACTICE 6.81, SUBSURFACE DRAIN).
- PERMANENTLY STABILIZE ALL GRADED AREAS IMMEDIATELY AFTER FINAL GRADING IS COMPLETED ON EACH AREA IN THE GRADING PLAN. APPLY TEMPORARY STABILIZATION MEASURES ON ALL GRADED AREAS WHEN WORK IS TO BE INTERRUPTED OR DELAYED FOR 14 WORKING DAYS OR LONGER.
- ENSURE THAT TOPSOIL STOCKPILES, BORROW AREAS, AND SPOIL AREAS ARE ADEQUATELY PROTECTED FROM EROSION WITH TEMPORARY AND FINAL STABILIZATION MEASURES, INCLUDING SEDIMENT FENCING AND TEMPORARY SEEDING AS NECESSARY.
- MAINTENANCE: PERIODICALLY CHECK ALL GRADED AREAS AND THE SUPPORTING EROSION AND SEDIMENTATION CONTROL PRACTICES, ESPECIALLY AFTER HEAVY RAINFALLS.
- PROMPTLY REMOVE ALL SEDIMENT FROM DIVERSIONS AND OTHER WATER-DISPOSAL PRACTICES. IF WASHOUTS OR BREAKS OCCUR, REPAIR THEM IMMEDIATELY.
- PROMPT MAINTENANCE OF SMALL ERODED AREAS BEFORE THEY BECOME SIGNIFICANT GULLIES IS AN ESSENTIAL PART OF AN EFFECTIVE EROSION & SEDIMENT CONTROL PLAN.
- UPON COMPLETION OF EARTHWORK ACTIVITIES, THE RECORD ENGINEER MUST BE PROVIDED A FINAL GRADING REPORT THAT INCLUDES CORRESPONDING COMPACTION TEST RESULTS AND CERTIFICATIONS OF THE TYPES OF FILL MATERIAL AND ITS PROPER PLACEMENT.

GRADING CALCULATIONS

PARCEL SIZE:	46,609 SQ. FT.
TOTAL AREA GRADED/DISTURBED:	19,672 SQ. FT. (0.45 ACRES)
PERCENT OF LOT TO BE GRADED:	42.2 %
PRE-DEVELOPMENT DRAINAGE AREA:	43,996 SQ. FT. (1.01 ACRES)
PERCENT CHANGE IN DRAINAGE AREA:	44.7 %
PERCENT CHANGE IN ON-SITE DRAINAGE AREA:	81.3 %
ESTIMATED CUT/EXCAVATION:	2,400 CUBIC YARDS



CSD ENGINEERING

LICENSE # C-2710
ENGINEERING
LAND PLANNING
COMMERCIAL / RESIDENTIAL

P.O. BOX 1250
WENDELL, NC 27591
(910) 791-4441

**GRADING PLAN
PARKING AREA**

SITE PLAN DRAWINGS FOR
FRANCO MASONRY & CONCRETE

LOCATED IN TOWN OF ZEBULON
WARE COUNTY, NORTH CAROLINA

OWNER: FRANCO ROMERO
CONTACT: FRANCO ROMERO
ZEBULON, NC 27597
(919) 255-0331

**NORTH CAROLINA
PROFESSIONAL SEAL
032721
FRANCO ROMERO
REGISTERED PROFESSIONAL ENGINEER
PLAN NOT RELEASED FOR CONSTRUCTION**

REV.	NO.	REMARKS	BY	DATE

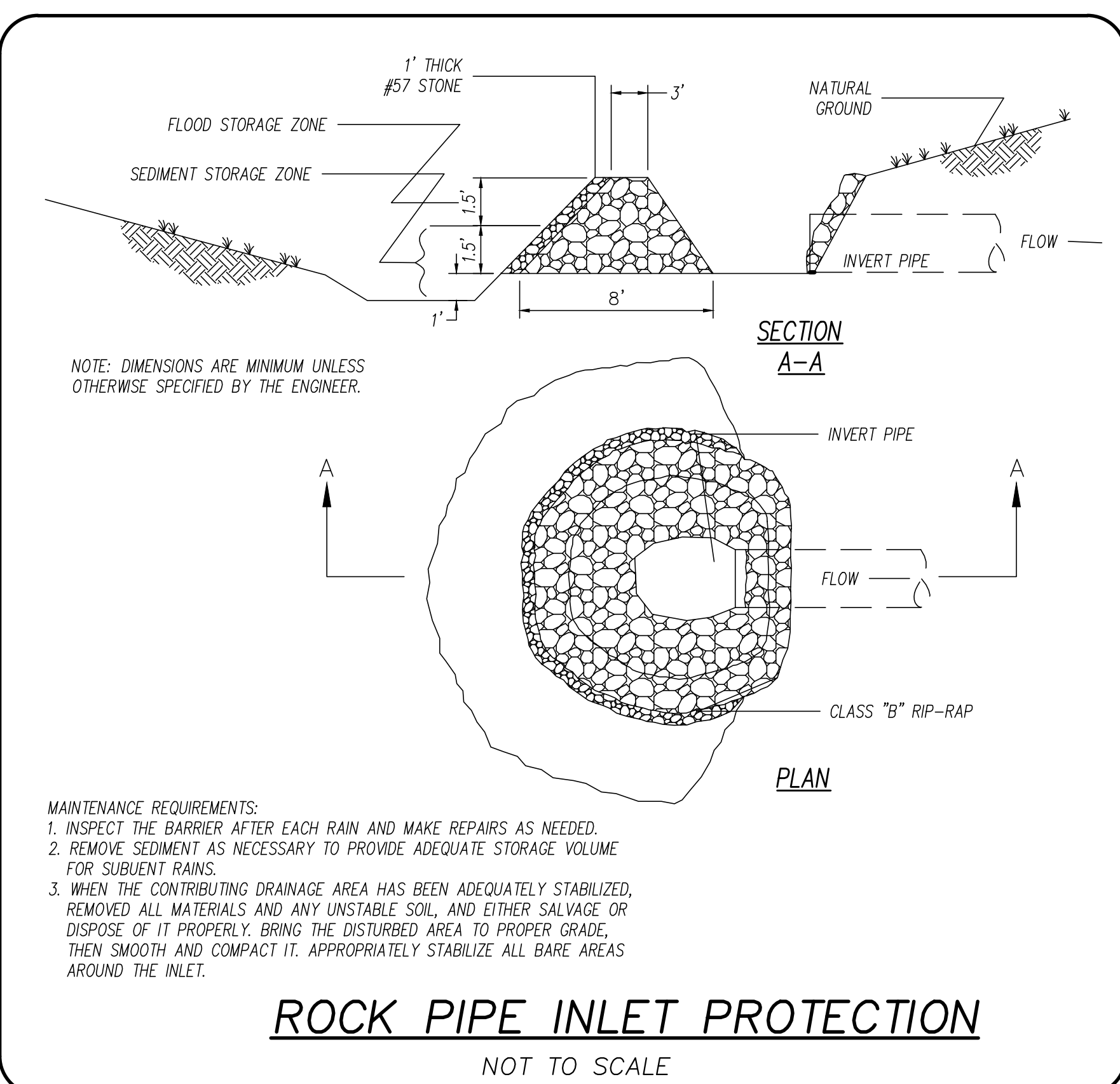
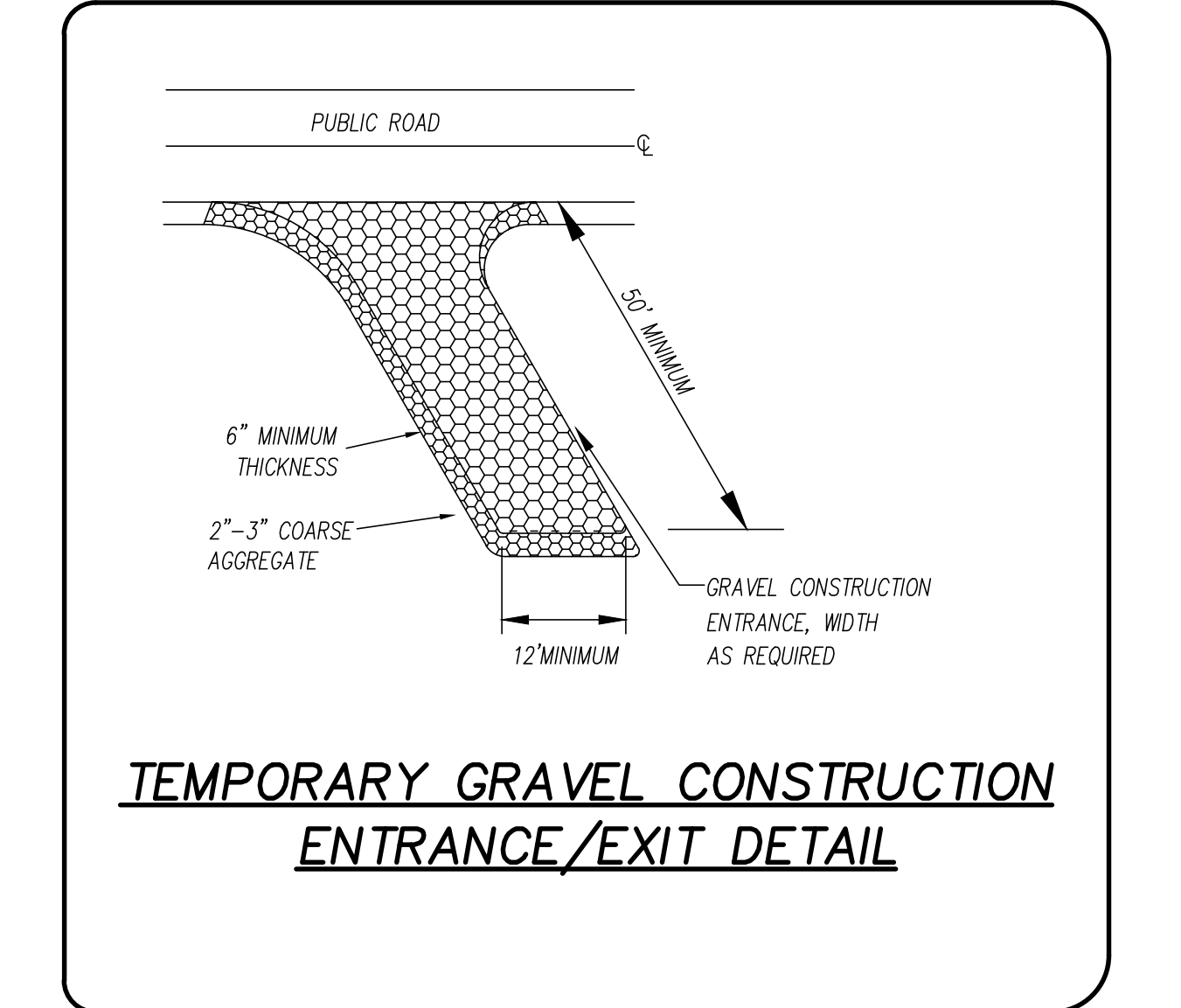
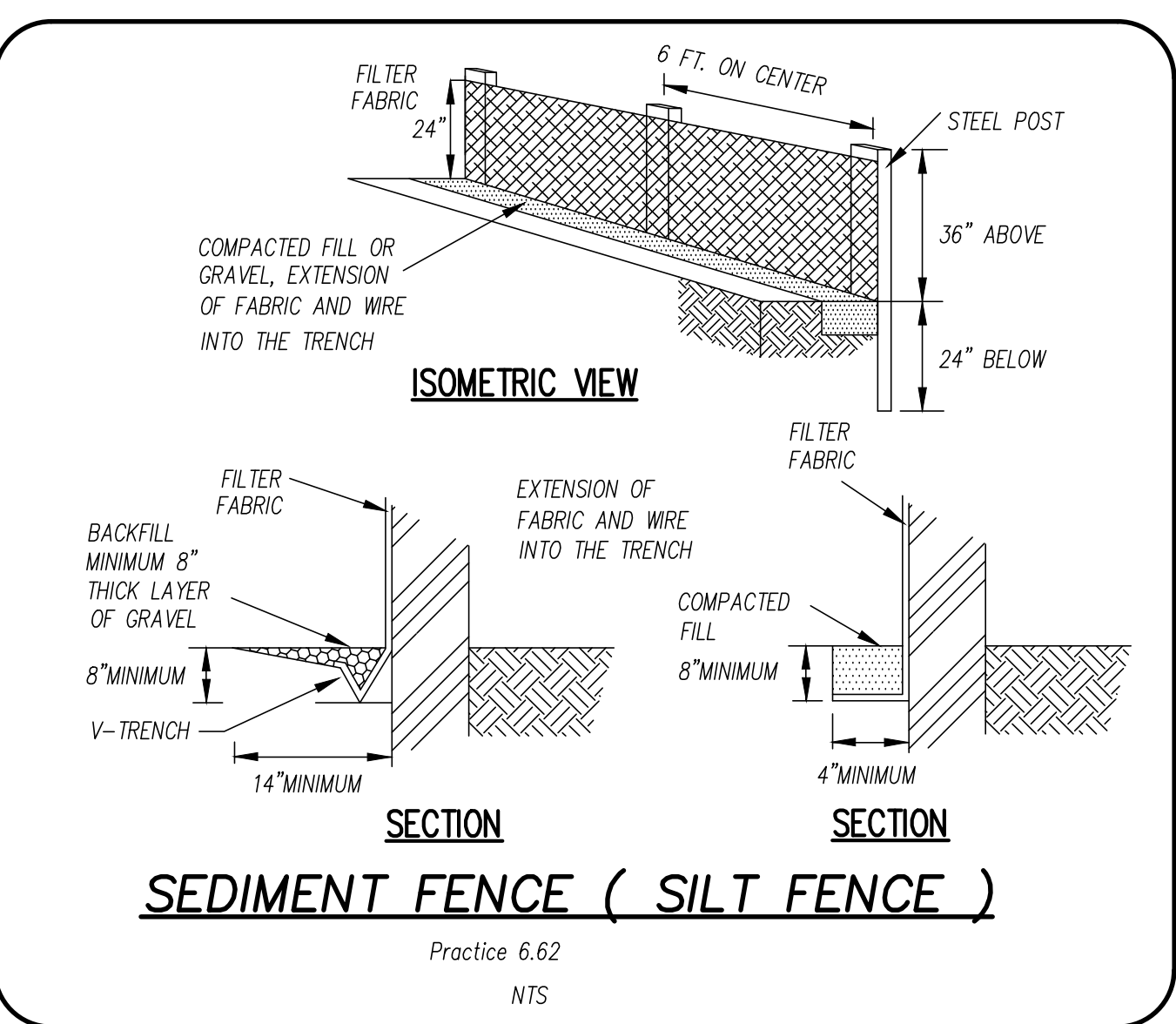
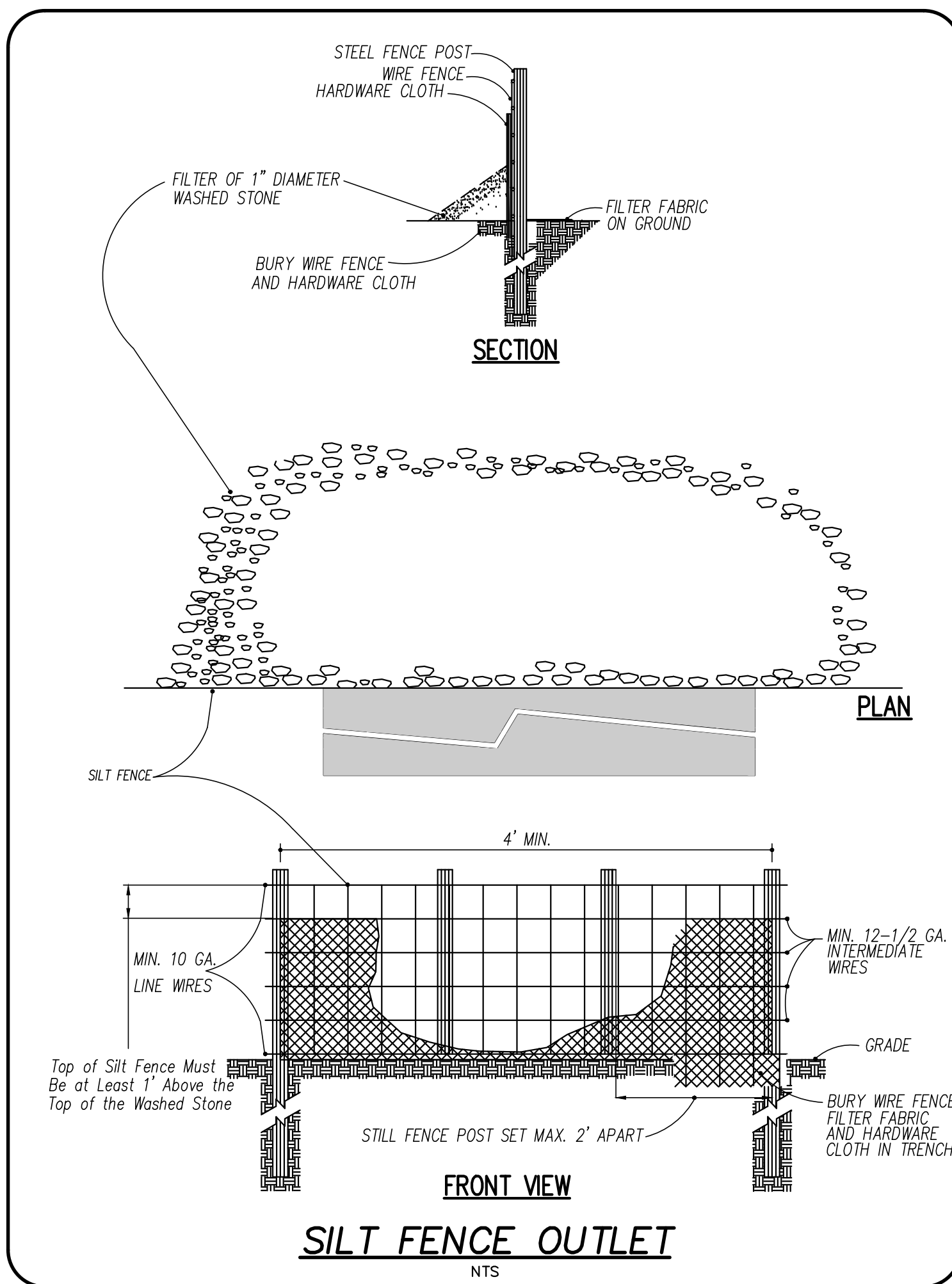
DATE: 4/11/2024
HORZ SCALE: 1" = 20'
VERT SCALE: N/A
DRAWN BY: RBS
CHECKED BY: JFO
PROJECT NO.: 24-0682

C4.0

Sheet No. 5 of 7

LEGEND

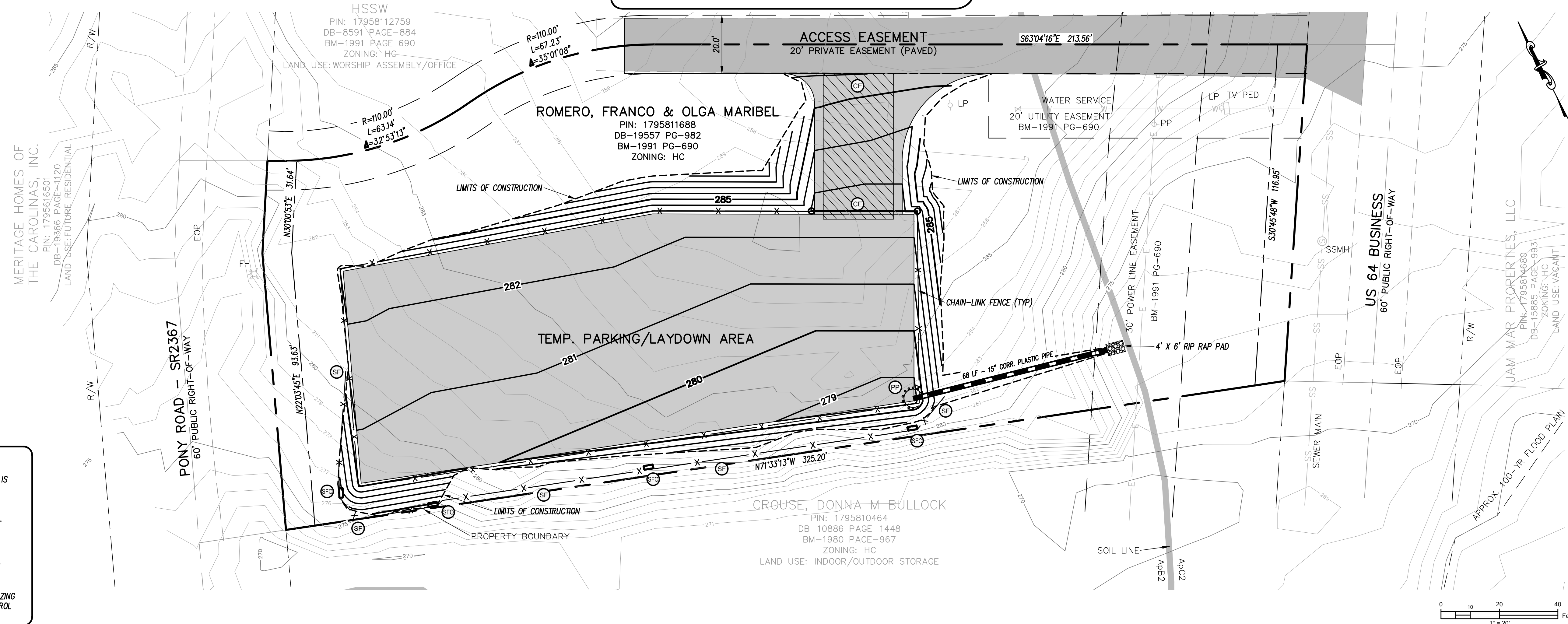
	EX. PROPERTY LINE
	EX. PUBLIC R/W LINE
	EX. ADJOINING PROPERTY LINE
	EX. PRIVATE R/W OR EASEMENT
	EX. PUBLIC EASEMENT LINE
	EX. CENTERLINE
	EX. TREE LINE
	EX. SIDEWALK
	EX. CURB & GUTTER
	EX. STORM DRAIN PIPE
	EX. STORM DRAIN BOX
	EX. SANITARY SEWER PIPE
	EX. SANITARY SEWER MANHOLE
	EX. WATER LINE
	EX. HYDRANT & WATER VALVE
	EX. PAVEMENT MARKINGS
	EX. OVERHEAD POWER LINE & POLE
	PROPOSED CENTERLINE
	PROPOSED EASEMENT LINE
	PROPOSED LOT LINE
	PROPOSED PUBLIC R/W LINE
	PROPOSED BUILDING SETBACK/BUFFER
	PROPOSED BUILDING FOOTPRINT
	PROPOSED TREE LINE
	PROPOSED SIDEWALK
	PROPOSED CURB & GUTTER
	PROPOSED DRAINAGE/ShORELINE
	PROPOSED STORM DRAINAGE PIPE
	PROPOSED STORM CATCH BASIN
	PROPOSED STORM DROP INLET
	PROPOSED STORM MANHOLE
	PROPOSED SEWER PIPE
	PROPOSED SEWER MANHOLE
	PROPOSED SEWER CLEANOUT
	PROPOSED WATER LINE / VALVE



ESC PLAN LEGEND

	EXISTING BOUNDARY
	LIMITS OF CONSTRUCTION/DISTURBANCE
	EXISTING CULVERT
	CONSTRUCTION ENTRANCE
	SILT FENCE/SILT FENCE OUTLET
	PROPOSED CULVERT
	WATLE
	TEMP. STD. ROCK CHECK DAM
	PERMANENT ROCK CHECK DAM
	SEDIMENT BASIN SKIMMER
	ROCK INLET PROTECTION
	ROCK PIPE INLET PROTECTION
	TEMP. PIPE
	TREE PROTECTION FENCE
	TEMP. DIVERSION
	TEMP. EC MATTING
	PERMANENT SOIL REINFORCEMENT MATTING

- CONSTRUCTION SEQUENCE:**
- OBTAIN PLAN APPROVAL.
 - INSTALL SILT FENCE, SILT FENCE OUTLETS, CLEARING ONLY WHAT IS NEED TO INSTALL THESE MEASURES.
 - CLEAR AREA FOR CONSTRUCTION ENTRANCE AND INSTALL ROCK.
 - COMPLETE CLEARING AS SHOWN ON PLANS.
 - GRADE AREAS TO ELEVATIONS SHOWN ON GRADING PLAN; INSTALL STORM DRAINAGE PIPE WITH INLET AND OUTLET PROTECTION.
 - ENSURE SUBGRADE SOILS ARE COMPACTED AND SUITABLE FOR INSTALLATION OF PARKING SURFACE TREATMENT.
 - PERMANENTLY STABILIZE DENUDE AREAS WITH SEED AND STRAW MULCH, AMENDING SOIL AS NECESSARY FOR HEALTHY VEGETATIVE GROWTH.
 - INSTALL FENCE AND REQUIRED LANDSCAPING.
 - REMOVE SILT FENCE, GRAVEL, AND RIP RAP; IMMEDIATELY STABILIZING AREAS DENUDE FOR REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES.



CSD ENGINEERING

LICENSE # C-2710
ENGINEERING
LAND PLANNING
COMMERCIAL / RESIDENTIAL

P.O. BOX 1250
WENDELL, NC 27591
(910) 791-4441

EROSION CONTROL PLAN
STAGE 1 & FINAL

SITE PLAN DRAWINGS FOR
FRANCO MASONRY & CONCRETE
LOCATED IN TOWN OF ZEBULON
WARE COUNTY, NORTH CAROLINA

OWNER: FRANCO ROMERO
CONTACT: FRANCO ROMERO
ZEBULON, NC 27597
(919) 255-0331

PLAN NOT RELEASED FOR CONSTRUCTION

REV. NO.	REMARKS	BY	DATE

DATE: 4/11/2024
HORZ. SCALE: 1" = 20'
VERT. SCALE: N/A
DRAWN BY: RBS
CHECKED BY: JFO
PROJECT NO.: 24-0682

C5.0
Sheet No. 6 of 7

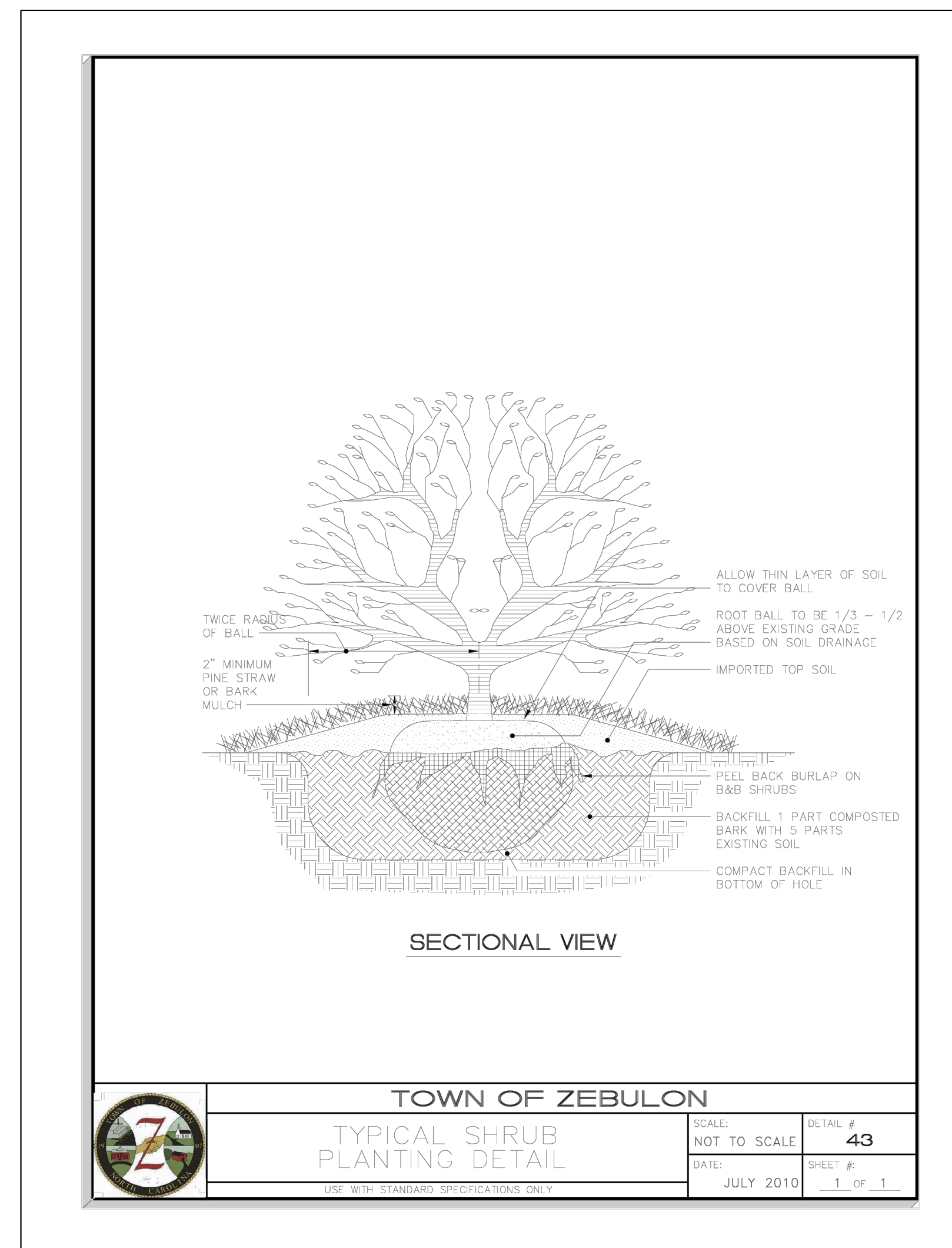
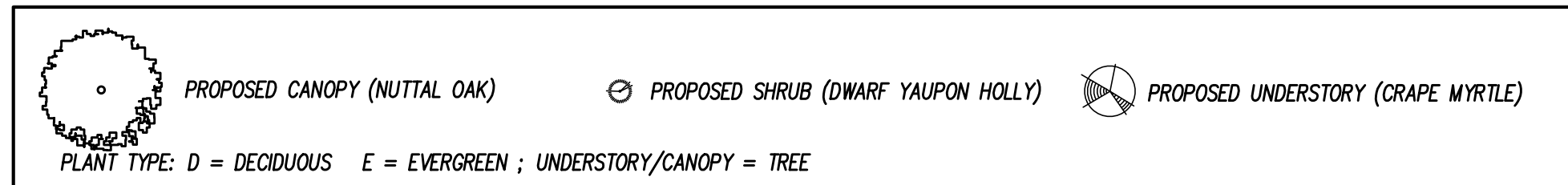
LEGEND

	EX. PROPERTY LINE
	EX. PUBLIC R/W LINE
	EX. ADJOINING PROPERTY LINE
	EX. PRIVATE R/W OR EASEMENT
	EX. PUBLIC EASEMENT LINE
	EX. CENTERLINE
	EX. TREE LINE
	EX. SIDEWALK
	EX. CURB & GUTTER
	EX. STORM DRAIN PIPE
	EX. STORM DRAIN BOX
	EX. SANITARY SEWER PIPE
	EX. SANITARY SEWER MANHOLE
	EX. WATER LINE
	EX. HYDRANT & WATER VALVE
	EX. PAVEMENT MARKINGS
	EX. OVERHEAD POWER LINE & POLE
	PROPOSED CENTERLINE
	PROPOSED EASEMENT LINE
	PROPOSED LOT LINE
	PROPOSED PUBLIC R/W LINE
	PROPOSED BUILDING SETBACK/BUFFER
	PROPOSED BUILDING FOOTPRINT
	PROPOSED TREE LINE
	PROPOSED SIDEWALK
	PROPOSED CURB & GUTTER
	PROPOSED DRAINAGE/ShORELINE
	PROPOSED STORM DRAINAGE PIPE
	PROPOSED STORM CATCH BASIN
	PROPOSED STORM DROP INLET
	PROPOSED STORM MANHOLE
	PROPOSED SEWER PIPE
	PROPOSED SEWER MANHOLE
	PROPOSED SEWER CLEANOUT
	PROPOSED WATER LINE / VALVE

PLANT SCHEDULE:

LOCATION	TYPE	QUANTITY	KEY	BOTANICAL NAME	COMMON NAME	PLANTING HT.	PLANTING SIZE	ROOT	MATURE HT.
BUFFER	E-SHRUB	33	ISD	ILEX VOMITORIA 'STOKES DWARF'	DWARF YAUPON HOLLY	18"	3 GALLON	CONTAINER	3'
	D-CANOPY	2	QNO	QUERCUS TEXANA	NUTTALL OAK	6' MIN.	1.5" CALIPER	BALLED & BURLAPPED	40' - 80'
	D-UNDERSTORY	9	LCM	LAGERSTROEMIA INDICA	GRAPE MYRTLE	5' MIN.	1.5" CALIPER	BALLED & BURLAPPED	20' - 30'

PLANT LEGEND & KEY:



LICENSE # C-2710
ENGINEERING
LAND PLANNING
COMMERCIAL / RESIDENTIAL
P.O. BOX 1250
WENDELL, NC 27591
(910) 791-4441

LANDSCAPE PLAN
PARKING AREA

SITE PLAN DRAWINGS FOR
FRANCO MASONRY & CONCRETE
LOCATED IN TOWN OF ZEBULON
WARE COUNTY, NORTH CAROLINA
OWNER: FRANCO ROMERO
CONTACT: FRANCO ROMERO
ZEBULON, NC 27597
(919) 255-0331



PLAN NOT RELEASED FOR CONSTRUCTION

REV. NO.	REMARKS	BY	DATE

DATE: 4/11/2024
HORZ SCALE: 1" = 20'
VERT SCALE: N/A
DRAWN BY: RBS
CHECKED BY: JFO
PROJECT NO.: 24-0682

Sheet **C6.0**
Sheet No. 7 of 7

LOT COVERAGE:

PARCEL AREA	= 46,609 SQ. FT.
PROPOSED ON-SITE IMPERVIOUS	= 0 SQ. FT.
EX. ROOF TOP	= 0 SQ. FT.
BUILDING ADDITION	= 0 SQ. FT.
EX. PAVEMENT	= 2,618 SQ. FT.
NEW PARKING	= 15,722 SQ. FT.
TOTAL	= 18,340 SQ. FT.
COVERAGE	= 39.3 %

