

VICINITY MAP 1" = 1200'

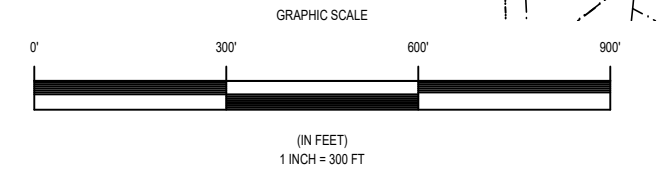
- All construction shall be in accordance with applicable municipality standards, specifications, and details. Work on this project shall also conform to these plans, the latest editions of the North Carolina Department of Transportation (NCDOT) Road and Bridge Specifications, the Road and Bridge Standards, the North Carolina Erosion and Sediment Control Handbook, the North Carolina Erosion and Sediment Control Regulations, the final geotechnical report, and General Design Standard. In the event of conflict between any of these standards, specifications, or plans, the most stringent shall apply.
- The contractor shall be solely responsible for trench safety during all phases of construction.
- The location and size of existing utilities as shown is approximate only. The contractor is responsible for horizontally and vertically locating and protecting all public or private utilities that lie in or adjacent to the construction site. At least 48 hours prior to any demolitions, grading, or construction activity, the contractor shall notify the North Carolina One-Call Utilities Location Service (1-800-632-4949) for proper identification of existing utilities within the site. The contractor shall salvage and protect all existing power poles, signs, manholes, telephone risers, water valves, etc. during all construction phases. The contractor shall repair, at his own expense, any existing utilities damaged during construction.
- Traffic control on public streets shall be in conformance with the traffic control plan, the 'Manual of Uniform Traffic Control Devices', and as further directed by City and State inspectors.
- Any discrepancies found between the drawings and specifications and site conditions or any inconsistencies or ambiguities in drawings or specifications shall be immediately reported to the engineer, in writing, who shall promptly address such inconsistencies or ambiguities. Work done by the Contractor after his discovery of such discrepancies, inconsistencies, or ambiguities shall be done at the contractor's risk.
- A pre-construction Conference shall be held prior to the start of construction. The contractor shall arrange the meeting with the Town of Zebulon Public Works and Planning Departments.
- Contractor is responsible for verifying all required permits and approvals prior to commencing construction.
- All areas shall be graded for positive drainage, and as shown on these plans. The contractor shall maintain adequate site drainage during all phases of construction. The contractor shall use silt fences (or other methods approved by the engineer and applicable municipality) as required to prevent silt and construction debris from flowing onto adjacent properties. Contractor shall comply with all applicable federal, state, or local erosion, conservation, and siltation ordinances.
- The Contractor shall clear and grub the site and place, compact, and moisture condition all fill per the project geotechnical engineer's specifications. The fill material to be used shall be approved by the Geotechnical Engineer prior to placement.
- Materials used to construct embankments for any purpose, backfill around drainage structures, or in utility trenches or any other depression requiring fill or backfill shall be compacted to 95% of maximum density as determined by the modified proctor test as set out in ASTM Standards D-2922. The contractor shall, prior to any operations involving filling or backfilling, submit the results of the proctor test together with a certification that the soil tested is representative of the materials. To be used on the project. Tests shall be conducted by a certified materials testing laboratory and the certifications made by a licensed professional engineer representing the laboratory.
- Proposed contours and gutter gradients are approximate. Proposed spot elevations and roadway profiles/super elevations are to be used in case of discrepancy.
- The contractor shall verify and coordinate all dimensions shown, including the horizontal and vertical location of curb inlets and grate inlets and all utilities crossing the storm sewer.
- All curb joints shall extend through the curb. Minimum length of offset joints at radius points is 1.5 feet. All joints shall be sealed with joint sealant.
- All handicap ramping, stringing, and pavement markings shall conform to ADA requirements and the 'North Carolina State Building Code, Vol. 1-C Accessibility Code'.
- Water and sewer main/services sizes to the property are to be verified by the contractor prior to the start of construction. The project engineer has attempted to verify sizes from relevant plans, however exact size/dimensions can only be determined from field exposure of the relevant line.
- Contractor shall verify all building dimensions with architectural plans prior to staking building.
- Contractor shall coordinate the sequence of construction with owner.
- Any blasting that may occur during construction shall conform to all local, state, and federal regulations.
- Contractor shall apply 6" minimum topsoil to entire area disturbed.
- All public improvements and materials are subject to a one-year performance warranty following completion.
- All easements and HOA lands will be maintained by the HOA.
- All dwellings will meet the requirements of Section 4.3.3.0 or 4.3.3.P of the Zebulon UDO.

NOTE: PARKING IMPROVEMENTS FOR THE AMENITY CENTER ARE SHOWN ON THESE PLANS AND ARE TO BE CONSTRUCTED CONCURRENTLY WITH PHASE 2 CLIFTON GROVE INFRASTRUCTURE IMPROVEMENTS. THE DETAILS, LANDSCAPING, AND SPECIFICATIONS FOR THE AMENITY CENTER IMPROVEMENTS AS DEPICTED & INCLUDED IN THE APPROVED 'CLIFTON GROVE AMENITY CENTER' (TOWN OF ZEBULON PROJECT ID 896115) SHALL SUPERCEDE THE DESIGN DATA WITHIN THESE INFRASTRUCTURE PLANS.

NOTE: As noted on the plans, the ultimate drainage patterns of the project and the resulting contributory areas to the SCMs will not be achieved until implementation of on-lot grading that will be conducted in accordance with Stage 3 Grading Plans to be submitted, reviewed and approved as the development/grading of individual lots or blocks of lots are proposed. The Stage 3 Grading Plans shall demonstrate achievement of drainage patterns to SCMs. Such on-lot grading shall be conducted subsequent to, and under separate land disturbance permit(s) from, the implementation of the grading and infrastructure installation activities included in the scope of work covered by permits issued for these Construction Plans. Accordingly, and depending upon the implementation schedule of the Stage 3 (on-lot) grading, full conversion and certification of some of the SCMs may occur after the date of completion of infrastructure elements and recordation of future lots within the contributory area of a given SCM. In such cases, appropriate financial guaranty for the costs of SCM conversion would be posted in conformity to the policies and procedures of the Town of Zebulon and Wake County prior to the recordation of lots contributory to the subject SCM.

Public Improvement Quantity Table					
Phase Number(s)	PHASE 1	PHASE 2	PHASE 3	PHASE 4	PHASE 5
Number of Lot (s)	68	24	44	47	54
Lot Number (s) by Phase	170-237	1-24	25-43,65-67, 91-106,151-156	107-119, 130-150, 157-169	44-64, 68-90, 120-129
Number of Units	68	24	44	47	54
Liveable Buildings	68	24	44	47	54
Open Space ?	YES 24.28 ac.	YES 21.04 ac.	YES 12.30 ac.	YES 3.77 ac.	YES 4.15 ac.
Number of Open Space Lots	1	2	2	1	1
Public Water (LF)	4940	3154	2077	2228	1947
Public Sewer (LF)	3780	2815	2010	2114	1595
Public Street (LF) - FULL	4543	2779	2020	2215	1937
Public Street (LF) - PARTIAL	271	693	0	0	348
Public Sidewalk (LF)	6200	5329	1842	2095	2240
Street Signs	15	6	11	11	4
Water Service Stubs	68	25	44	47	54
Sewer Service Stubs	68	25	44	47	54

NOTE: SEE SHEET CS-2 SHEET KEY FOR GRAPHICAL DEPICTION OF PHASING.



NOTE: THIS PROJECT IS SUBJECT TO THE PROVISIONS OF AN APPROVED ADMINISTRATIVE ADJUSTMENT (PROJECT ID 564053) DATED 06/14/21 AND AS AMENDED 09/01/2023.

Public Water Distribution / Extension System
 The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.
 City of Raleigh Public Utilities Department Permit # **W-3961**
 Authorization to Construct _____
 Date _____

Public Sewer Collection / Extension System
 The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.
 City of Raleigh Public Utilities Department Permit # **S-5098**
 Authorization to Construct _____
 Date _____

IMPERVIOUS CALCULATION SUMMARY	
PROPOSED LOTS:	874,132 SF
ROADWAY/PARKING:	442,774 SF
SIDEWALKS:	110,991 SF
MAIL WALKS:	40,511 SF
TOTAL:	1,468,408 SF

EROSION CONTROL, STORMWATER AND FLOODPLAIN MANAGEMENT

APPROVED

EROSION CONTROL SEC-105931-2023
 STORMWATER MGMT. SWF-105934-2023
 FLOOD STUDY S- _____
 DATE 10/24/2024

Con Mitchell 10/31/2024
 ENVIRONMENTAL CONSULTANT SIGNATURE

APPROVED
 Town of Zebulon - Planning
 Gate Farrell
 11/15/2024

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS AND NCDOT IF APPLICABLE.

PROJECT DATA

PROJECT NAME: Clifton Grove
 WAKE COUNTY PIN: 2706.06.4049 - 1015 Pearces Road
 & SITE ADDRESS: 2706.15.4262 - 921 Pearces Road
 1796.96.0562 - 9102 Pippin Road
 1796.96.4306 - 9136 Pippin Road
 2706.07.5465 - 0 Pippin Road

PREPARER'S INFO: William G. Daniel & Associates, PA
 1150 SE Maynard Road Suite 260
 Cary NC 27511
 Tele: 919.467.9708 / Fax: 919.460.7585
 bdaniel@wmgda.com

OWNER: D.R. Horton, Inc.
 7208 Falls of Neuse Road
 Raleigh NC 27615
 Tele: 919.497.2163 / Fax: -
 tmdavis1@drhorton.com

ANNEXATION #: 2023-30
 ZONING: R2
 CURRENT FUTURE LAND USE CLASSIFICATION: Suburban Residential
 PROPOSED FUTURE LAND USE CLASSIFICATION: Suburban Residential
 AREA OF TRACTS: 119.06 Acres
 PROPOSED LOTS: 237
 REQUIRED SETBACKS for single family units:
 FRONT: 20'
 CORNER: 5'
 SIDE: 5'
 REAR: 5'

REQUIRED BUFFERS
 ADJACENT TO PIPPIN RD: 15' STREETSCAPE
 ADJACENT TO PEARCES RD: 15' STREETSCAPE
 OTHER PERIMETER: 15' TYPE A
 REAR OF LOTS 166-169: 20' TYPE D

OPEN SPACE (CONSERVATION) REQUIRED: 59.48 Acres
 OPEN SPACE (CONSERVATION) PROVIDED: 60.57 Acres
 PRIMARY CONSERVATION AREA: 44.60 Acres
 SECONDARY CONSERVATION AREA: 15.97 Acres
 OPEN SPACE: 65.57 Acres
 ACTIVE: 3.41 Acres
 PASSIVE: 62.16 Acres

FEMA FLOODMAP #: 3720179600K July 19, 2022
 3720270600K July 19, 2022
 SITE CONTAINS 100 YEAR FLOODPLAIN

THIS CONSERVATION SUBDIVISION IS DEVELOPED IN ACCORDANCE WITH SECTION 6.2 OF THE TOWN OF ZEBULON UNIFIED DEVELOPMENT ORDINANCE. ALL APPLICABLE REGULATIONS OF THAT SECTION WILL BE ADHERED TO.

SHEET NO.	DESCRIPTION
CS - 1	COVER
CS - 2	SHEET KEY
CS - 3	OVERALL EXISTING CONDITIONS PLAN
CS - 3a	EXISTING CONDITIONS PLAN
CS - 3b	EXISTING CONDITIONS PLAN
CS - 4	OVERALL SUBDIVISION LAYOUT PLAN
CS - 4a	SUBDIVISION LAYOUT PLAN
CS - 4b	SUBDIVISION LAYOUT PLAN
CS - 4c	OVERALL SUBDIVISION & OPEN SPACE PLAN
CS - 5	OVERALL UTILITY PLAN
CS - 5a	UTILITY PLAN
CS - 5b	UTILITY PLAN
CS - 6	OVERALL GRADING / DRAINAGE PLAN
CS - 6a	GRADING / DRAINAGE PLAN
CS - 6b	GRADING / DRAINAGE PLAN
CS - 7	OVERALL EROSION CONTROL PLAN
CS - 7a	EROSION CONTROL PLAN STAGE 1
CS - 7b	EROSION CONTROL PLAN STAGE 1
CS - 7c	EROSION CONTROL PLAN STAGE 2
CS - 7d	EROSION CONTROL PLAN STAGE 2
CS - 7e	EROSION CONTROL PLAN SITE STABILIZATION AND CLOSE-OUT
CS - 7f	EROSION CONTROL PLAN SITE STABILIZATION AND CLOSE-OUT
CS - 8	CLIFTON GROVE AVE. PLAN/PROFILE
CS - 9	CLIFTON GROVE AVE. PLAN/PROFILE
CS - 10	CLIFTON GROVE AVE. PLAN/PROFILE
CS - 11	CLIFTON GROVE AVE. PLAN/PROFILE
CS - 12	STYLE CT. PLAN/PROFILE
CS - 13	WATSON FARM TRAIL PLAN/PROFILE
CS - 14	WATSON FARM TRAIL PLAN/PROFILE
CS - 15	COOPER POND DR. PLAN/PROFILE

CS - 16	COOPER POND DR. PLAN/PROFILE
CS - 17	PRESS CLUB DR. PLAN/PROFILE
CS - 18	DAPPER DR. PLAN/PROFILE
CS - 19	LITTLE RIDGE PL. PLAN/PROFILE
CS - 20	LITTLE RIDGE PL. PLAN/PROFILE
CS - 21	CHARMING LANE PLAN/PROFILE & OUTFALL F
CS - 22	INSIGHT WAY PLAN/PROFILE
CS - 23	JULIAN WAY PLAN/PROFILE
CS - 24	JULIAN WAY PLAN/PROFILE
CS - 25	DANIEL FIELD DR. PLAN/PROFILE
CS - 26	COPLIN VIEW LANE PLAN/PROFILE
CS - 27	PEARCES ROAD PLAN/PROFILE
CS - 28	PEARCES ROAD PLAN/PROFILE
CS - 29	PIPPIN ROAD PLAN/PROFILE
CS - 30	PIPPIN ROAD PLAN/PROFILE
CS - 31	STRIPING PLAN - PEARCES & PIPPIN
CS - 32	SANITARY SEWER OUTFALL A
CS - 33	SANITARY SEWER OUTFALL B
CS - 34	SANITARY SEWER OUTFALL C
CS - 35	SANITARY SEWER OUTFALL D & E
CS - 35a	SANITARY SEWER OUTFALL F & G
CS - 36	SCM #1 & SCM #3 DETAILS
CS - 37	SCM # 4 & SCM #5 DETAILS
CS - 38	SCM # 2 DETAILS
CS - 39	DETAILS
CS - 40	DETAILS
CS - 41	DETAILS
CS - 42	DETAILS
CS - 43	DETAILS
CS - 44	DETAILS
CS - 45	DETAILS
CS - 46	DETAILS
CS - 47	DETAILS
CS - 48	DETAILS
CS - 49	DETAILS
CS - 50	DETAILS
CS - 51	EROSION CONTROL - STOCKPILE & BORROW AREAS
L - 1	LANDSCAPE PLAN
C - 1	CONSERVATION & DEVELOPMENT AREAS MAP
1 of 1	SITE LIGHTING PLAN

Wm. G. Daniel & Assoc.
 Engineering Planning
 Site Design
 1150 SE MAYNARD ROAD
 SUITE 260
 CARY, NC 27511
 Ph:919-467-9708 Fx:919-460-7585
 C-0329

PROFESSIONAL SEAL
 Wm. G. Daniel
 10/11/2024

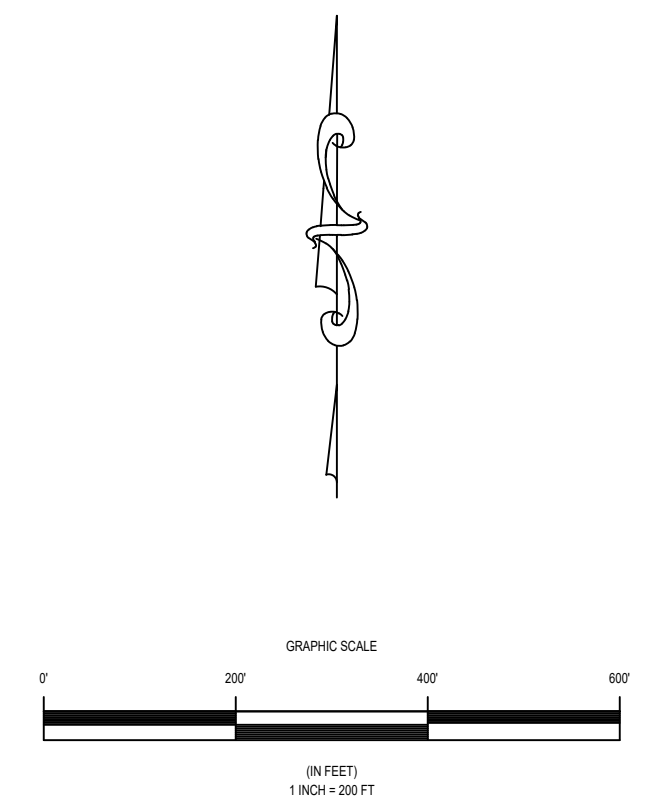
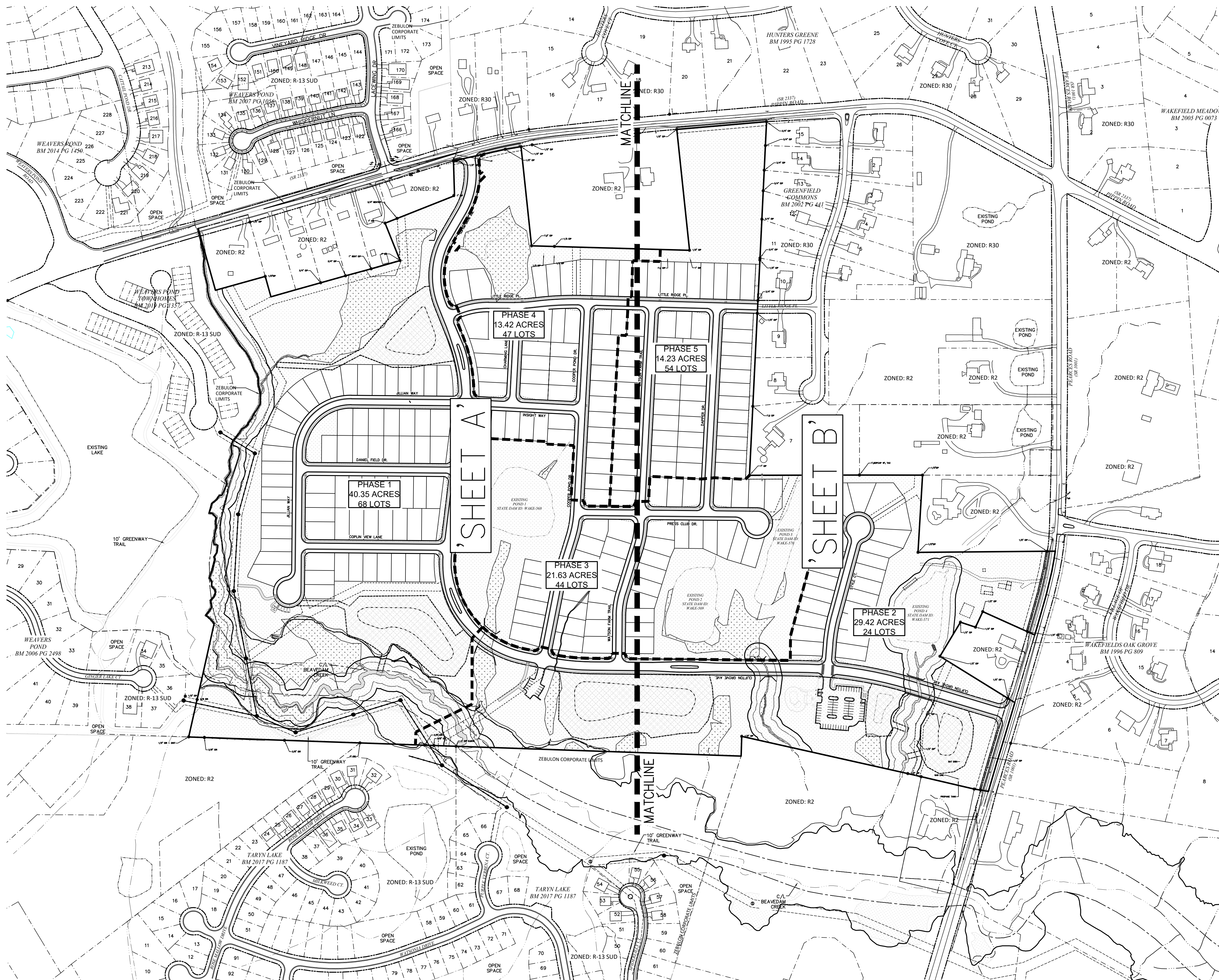
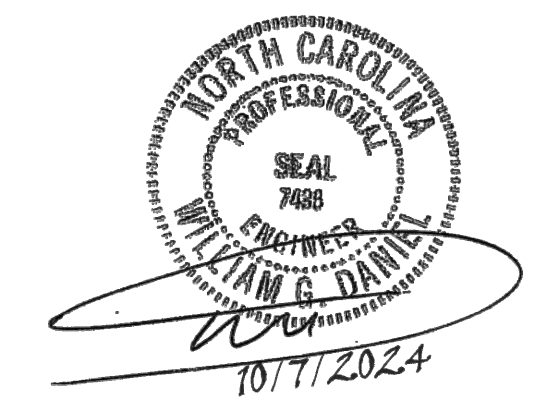
Revisions

07.13.22-06.12.23 Per City/Town 1st-5th review
 10.19.23 Per Wake Co review
 01.31.24 Per Wake Co review
 08.01.24 Per Wake Co review
 09.05.24 Per Wake Co review
 10.07.24 Per Wake Co review

Owner:
 D.R. Horton, Inc.
 7208 Falls of Neuse Road
 Raleigh NC 27615
 919.497.2163

Project
 Clifton Grove
 Cover
 Date
 February 15, 2022
 Scale
 1" = 300'
 Sheet

CS-1



Revisions
 07.13.22-06.12.23 Per City/Town 1st-5th review
 10.19.23 Per Wake Co review
 01.31.24 Per Wake Co review
 08.01.24 Per Wake Co review
 09.05.24 Per Wake Co review
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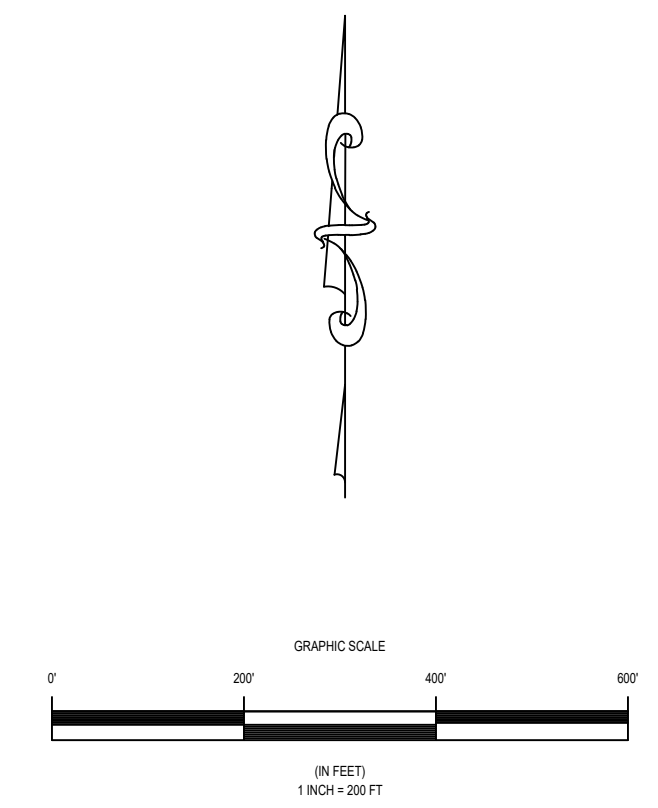
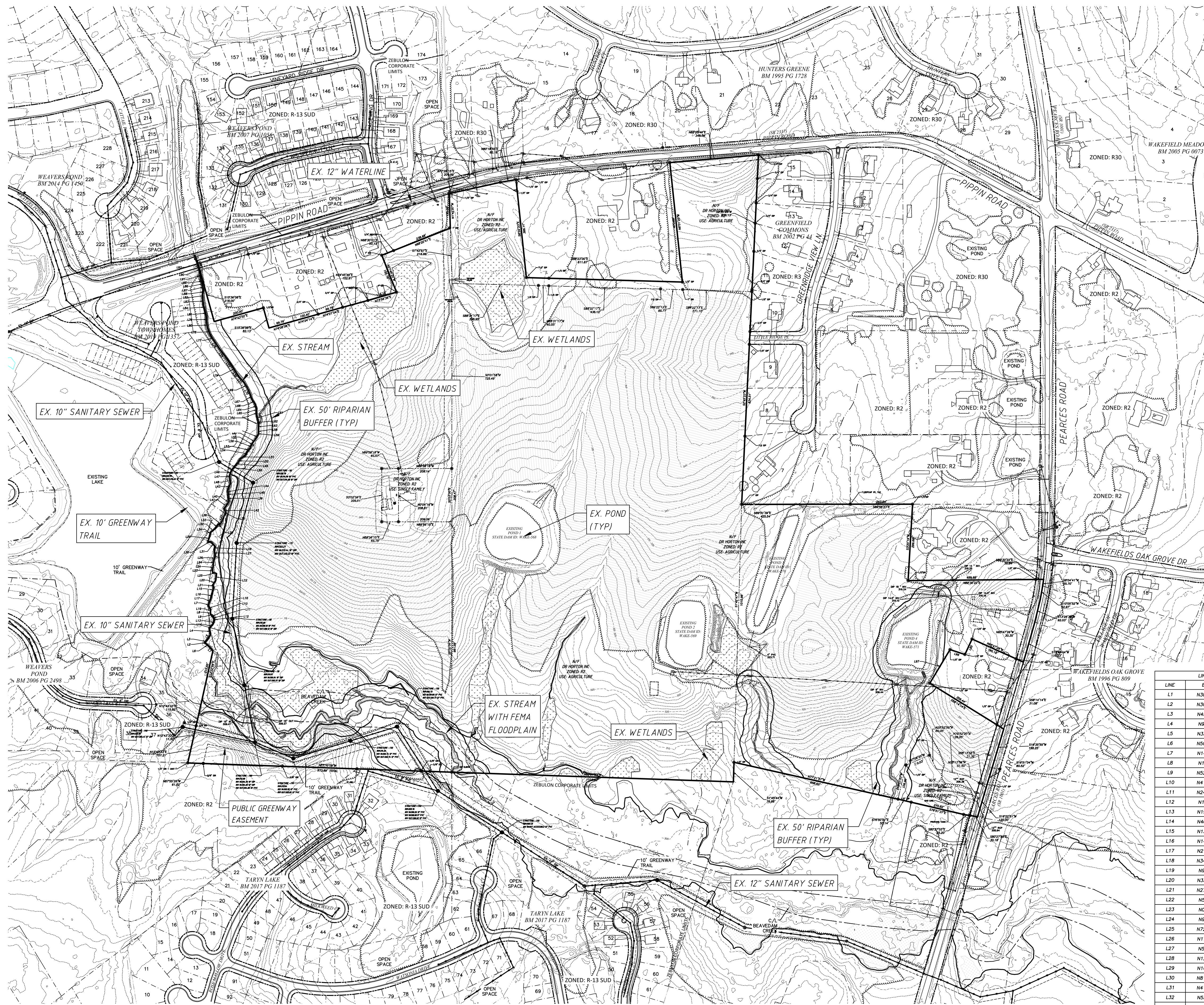
All Streets and Greenways within Clifton Grove subdivision shall be public and in accordance with the latest version of the Town of Zebulon Street and Storm drainage Standards and Specifications Manual.
 The dwellings in Clifton Grove will conform to Section 4.3.3.P. of the UDO.

- NOTES:**
- Landscape islands maintenance is the responsibility of the HOA.
 - The development requires the installation of decorative speed limit, street, stop and other warning signage.
 - Paving Schedule: Local Streets - 2" of 9.5C; then at 80% buildout of phase the 1" final overlay of 9.5B shall be installed. Developer warranty and bond to remain in place until final overlay is installed.
 - Paving Schedule: Collector Streets - 2.5" of 119; then at 80% build of phase the final overlay of 1.5" of 9.5C shall be installed. Developer warranty and bond to remain in place until the final overlay is installed.
 - Greenway Construction shall be consistent with Section 8 of the street and Storm Water Construction Manual.
 - Greenway amenities to include Benches, pet waste stations, trash cans, warning and rules and regulation signage.
 - All streets to be Public with Clifton Grove
 - The developer is responsible for providing a Letter of Credit or Bond for the final overlay, sidewalk construction, amenities, or other approved items not complete at final plot for each phase of construction.
 - Street Lighting - coordination with Duke Energy on layout subject to final approval by the Town of Zebulon. Developer is responsible for all development fees required for installation. Street lighting to be decorative Mitchell 50 Watt LED unless directed by the Town of Zebulon.
 - Solid Waste, Recycle, Yard-waste, Bulky Waste, and Leaf Collection services will be provided by the Town for all the homes within Clifton Grove.
 - Storm water System infrastructure shall be certified by a NC licensed engineer. Bonding/LOC shall be required for any items not completed or converted prior to final plot. SCM are not to be converted from Erosion Control Ponds to permanent storm water devices until the majority of homes are constructed for the drainage basin. SCM facilitates storm water for the 2 and 10 year events shall be stored on the SCM site entirely. No storm water storage will be allowed to be stored in Town of Zebulon Dedicated Infrastructure. All SCM to be owned and maintained by the Development HOA.
 - Pearce's and Phippen Roadway Construction shall be consistent with the Latest Version of the Town of Zebulon Transportation Plan (expected to be adopted @ August 2021 meeting).

STREET LIGHTING NOTE:
 The developer is responsible for coordination with Duke Energy on the lighting plan and the TOE will provide lighting plan approval. Developer is responsible for all Duke Energy Fees. Street lights will be LED unless otherwise specified and authorized by the Town of Zebulon Public Works Director. All street lights shall be spaced 125-140 feet apart with alternate spacing street or either side of street.

Project
 Clifton Grove
 Sheet Key - Overall Plan

Date
 February 15, 2022
 Scale
 1" = 200'
 Sheet
 CS-2



- UTILITY WARNING -
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

FEMA FLOODMAP #: 3720179600J May 2, 2006
 3720270600J May 2, 2006
 SITE CONTAINS 100 YEAR FLOODPLAIN

LEGEND

- EX. SANITARY SEWER
- EX. SANITARY SEWER MANHOLE
- EX. WATERLINE
- EX. FIRE HYDRANT
- EX. STORM DRAINAGE
- EX. STORM MANHOLE
- EX. CATCH BASIN
- EX. POWER POLE
- OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC
- EX. TELEPHONE PEDESTAL
- UNDERGROUND TELEPHONE
- UNDERGROUND GAS
- EX. MANHOLE

NOTE:
 FLOODPLAIN AND FLOODWAY DEPICTED ON THIS PLAN IS BASED ON INTERPOLATION OF PUBLISHED FEMA MAPPING AND ADAPTATION OF THE BASE FLOOD LIMITS & ASSOCIATED FLOODWAY TO CONFORM TO FIELD SURVEYED TOPOGRAPHIC MAPPING & STREAM LOCATION.

LINE TABLE		LINE TABLE		LINE TABLE				
LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE			
L1	N38°59'02"W	19.71'	L36	N27°40'08"E	0.62'	L71	N42°43'49"W	33.91'
L2	N30°24'01"W	3.81'	L37	N32°25'40"W	44.49'	L72	N32°25'07"W	23.83'
L3	N45°44'05"E	10.75'	L38	N49°34'48"E	4.92'	L73	N34°18'48"W	33.00'
L4	N9°04'46"W	25.99'	L39	N10°39'05"W	20.83'	L74	N31°28'41"W	18.76'
L5	N33°47'08"E	26.64'	L40	N26°41'42"E	12.19'	L75	N36°35'37"W	63.21'
L6	N50°24'12"W	23.40'	L41	N36°53'28"E	22.34'	L76	N33°07'06"W	27.79'
L7	N14°28'30"E	9.41'	L42	N15°21'19"W	19.51'	L77	N34°43'47"W	26.15'
L8	N11°13'41"W	9.56'	L43	N21°20'34"E	28.89'	L78	N21°17'54"W	31.84'
L9	N52°44'31"W	5.97'	L44	N8°09'51"W	11.86'	L79	N0°34'52"W	20.68'
L10	N41°24'18"W	9.29'	L45	N35°14'4"E	9.89'	L80	N11°19'05"W	23.75'
L11	N24°46'34"W	8.46'	L46	N22°54'37"E	18.79'	L81	N13°20'58"W	29.26'
L12	N14°21'57"W	5.16'	L47	N4°50'41"E	11.01'	L82	N1°29'19"W	12.92'
L13	N19°55'29"E	16.04'	L48	N8°13'38"W	22.55'	L83	N5°04'13"W	28.90'
L14	N40°54'04"E	20.67'	L49	N41°36'52"E	9.80'	L84	N15°20'46"W	19.25'
L15	N13°48'52"E	22.93'	L50	N37°31'01"E	27.11'	L85	N18°50'10"W	15.64'
L16	N14°30'39"E	24.54'	L51	N54°09'28"E	26.49'	L86	N9°11'51"W	5.99'
L17	N21°09'01"E	20.63'	L52	N31°55'19"E	18.89'	L87	N12°02'10"W	19.74'
L18	N34°30'46"W	17.68'	L53	N37°02'35"E	23.07'	L88	N9°00'55"E	17.94'
L19	N9°43'21"E	8.72'	L54	N23°14'09"E	10.90'	L89	S15°36'08"E	30.00'
L20	N33°51'51"E	21.33'	L55	N29°59'54"E	11.54'	L90	N10°42'30"W	20.12'
L21	N27°18'34"W	8.92'	L56	N22°08'05"E	9.31'	L91	N8°13'40"W	28.88'
L22	N53°34'30"E	27.48'	L57	N53°37'59"E	16.98'	L92	N74°23'52"E	1.26'
L23	N07°30'42"E	12.35'	L58	N10°37'33"E	15.93'	L93	N16°45'28"W	26.19'
L24	N9°55'28"E	13.91'	L59	N11°23'53"W	1.24'	L94	N9°23'37"E	23.38'
L25	N22°29'22"W	15.79'	L60	N29°28'31"E	25.06'	L95	S24°47'55"W	66.53'
L26	N17°10'13"E	14.74'	L61	N15°22'52"W	21.06'	L96	N71°43'16"W	61.37'
L27	N5°25'59"W	25.58'	L62	N8°03'40"W	14.39'	L97	S31°01'11"W	153.99'
L28	N12°26'31"E	13.66'	L63	N1°38'35"E	20.63'			
L29	N16°37'57"E	26.88'	L64	N18°56'14"W	18.67'			
L30	N81°46'39"W	13.54'	L65	N2°22'48"E	8.83'			
L31	N41°47'48"W	21.79'	L66	N21°45'55"W	18.04'			
L32	N53°17'33"E	22.07'	L67	N18°09'29"W	23.08'			
L33	N34°14'54"E	20.63'	L68	N33°02'11"W	21.22'			
L34	N14°09'46"E	11.32'	L69	N29°26'40"W	27.24'			
L35	N85°59'34"E	7.63'	L70	N24°36'03"W	22.95'			

Revisions
 07.13.22-06.12.23 Per City/Town
 1st-5th review
 10.19.23 Per Wake Co review
 01.31.24 Per Wake Co review
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Owner:
 D.R. Horton, Inc.
 7208 Falls of Neuse Road
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 919.497.2163

Project
 Clifton Grove

Overall Existing
 Conditions Plan

Date
 February 15, 2022

Scale
 1" = 200'

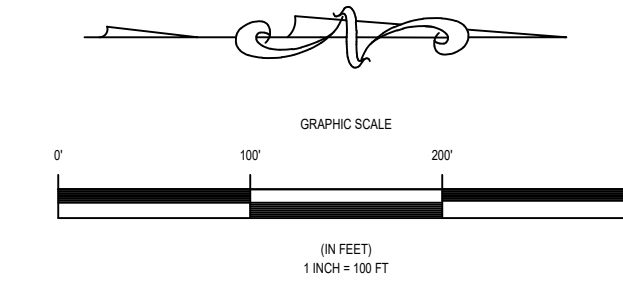
Sheet

CS-3

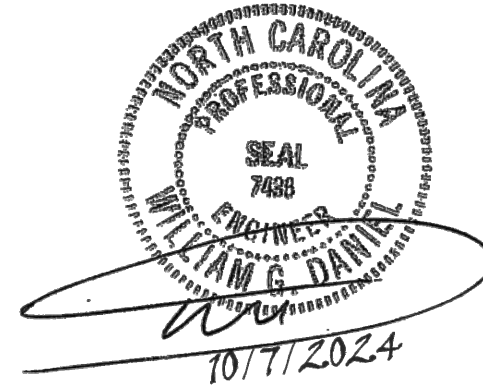
FEMA FLOODMAP #: 3720179600J May 2, 2006
3720270600J May 2, 2006
SITE CONTAINS 100 YEAR FLOODPLAIN

NOTE:
FLOODPLAIN AND FLOODWAY DEPICTED ON THIS PLAN IS
BASED ON INTERPOLATION OF PUBLISHED FEMA MAPPING AND
ADAPTION OF THE BASE FLOOD LIMITS & ASSOCIATED
FLOODWAY TO CONFORM TO FIELD SURVEYED TOPOGRAPHIC
MAPPING & STREAM LOCATION.

LEGEND	
EX. SANITARY SEWER	⊕
EX. SANITARY SEWER MANHOLE	⊙
EX. WATERLINE	—
EX. FIRE HYDRANT	⊕
EX. STORM DRAINAGE	=====
EX. STORM MANHOLE	⊙
EX. CATCH BASIN	⊕
EX. POWER POLE	⊕
OVERHEAD ELECTRIC	—E—E—
UNDERGROUND ELECTRIC	—E—E—
EX. TELEPHONE PEDESTAL	⊕
UNDERGROUND TELEPHONE	—T—T—
UNDERGROUND GAS	—G—G—
EX. MAILBOX	⊕



Wm. G. Daniel & Assoc.
Engineering Planning
Site Design
1150 SE MAYNARD ROAD
SUITE 260
CARY, NC 27511
Ph:919-467-9708 Fx:919-460-7585
C-0329



Revisions
07.13.22-06.12.23 Per City/Town
1st-5th review
10.19.23 Per Wake Co review
01.31.24 Per Wake Co review
08.01.24 Per Wake Co review
09.05.24 Per Wake Co review
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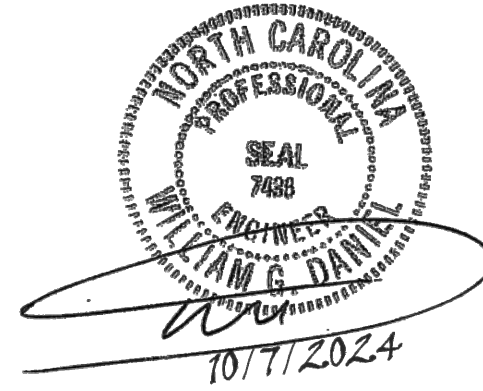
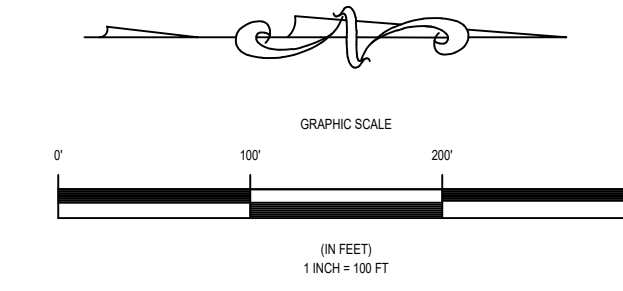
Owner:
D.R. Horton, Inc.
7208 Falls of Neuse Road
Raleigh NC 27615
919.497.2163

Project
Clifton Grove
Existing Conditions Plan

Date
February 15, 2022
Scale
1" = 100'
Sheet
CS-3a

LEGEND	
EX. SANITARY SEWER	
EX. SANITARY SEWER MANHOLE	
EX. WATERLINE	
EX. FIRE HYDRANT	
EX. STORM DRAINAGE	
EX. STORM MANHOLE	
EX. CATCH BASIN	
EX. POWER POLE	
OVERHEAD ELECTRIC	
UNDERGROUND ELECTRIC	
EX. TELEPHONE PEDESTAL	
UNDERGROUND TELEPHONE	
UNDERGROUND GAS	
EX. MAILBOX	

NOTE:
FLOODPLAIN AND FLOODWAY DEPICTED ON THIS PLAN IS
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FLOODWAY TO CONFORM TO FIELD SURVEYED TOPOGRAPHIC
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- Revisions
- 07.13.22-06.12.23 Per City/Town 1st-5th review
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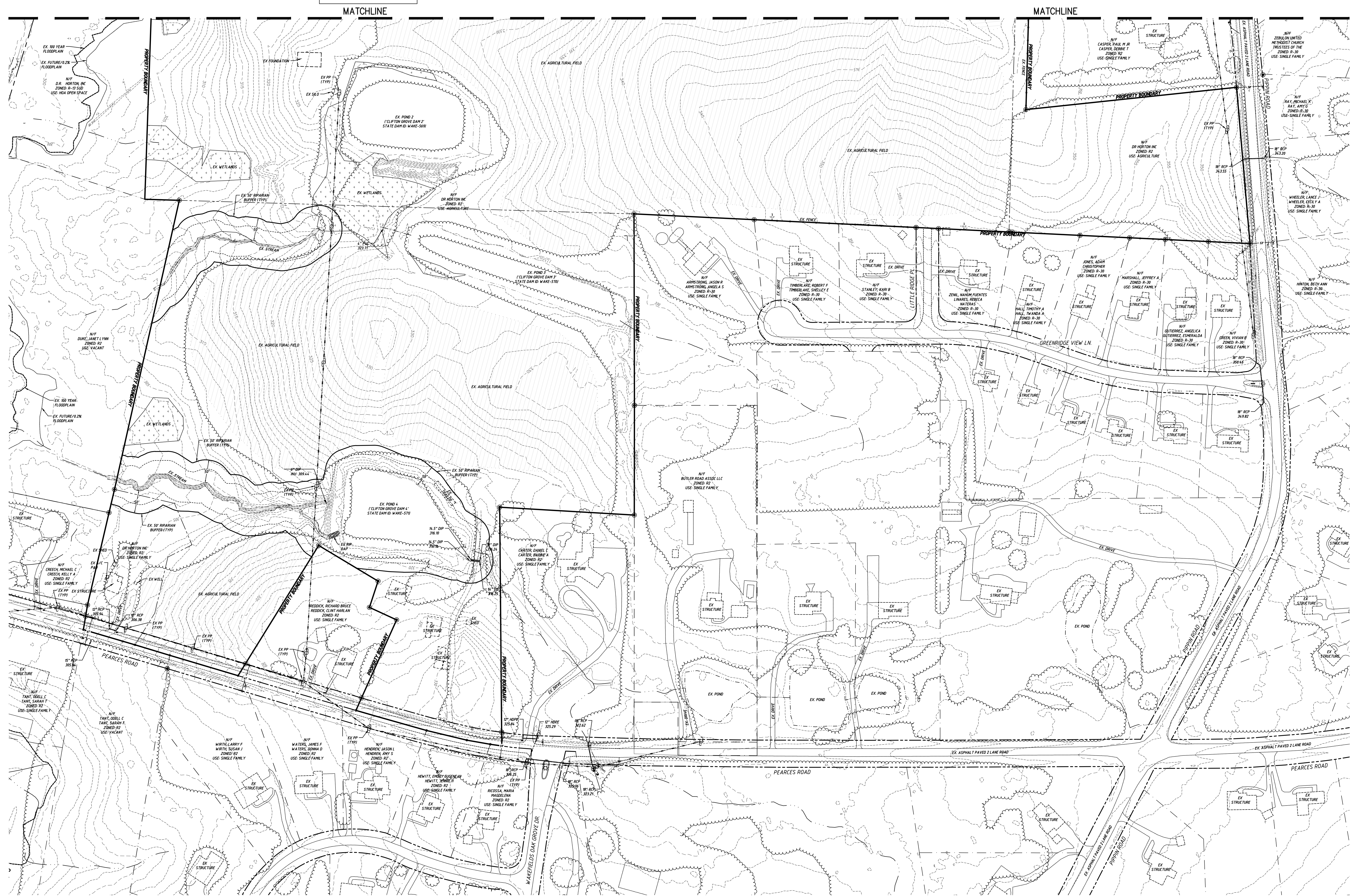
Project
Clifton Grove

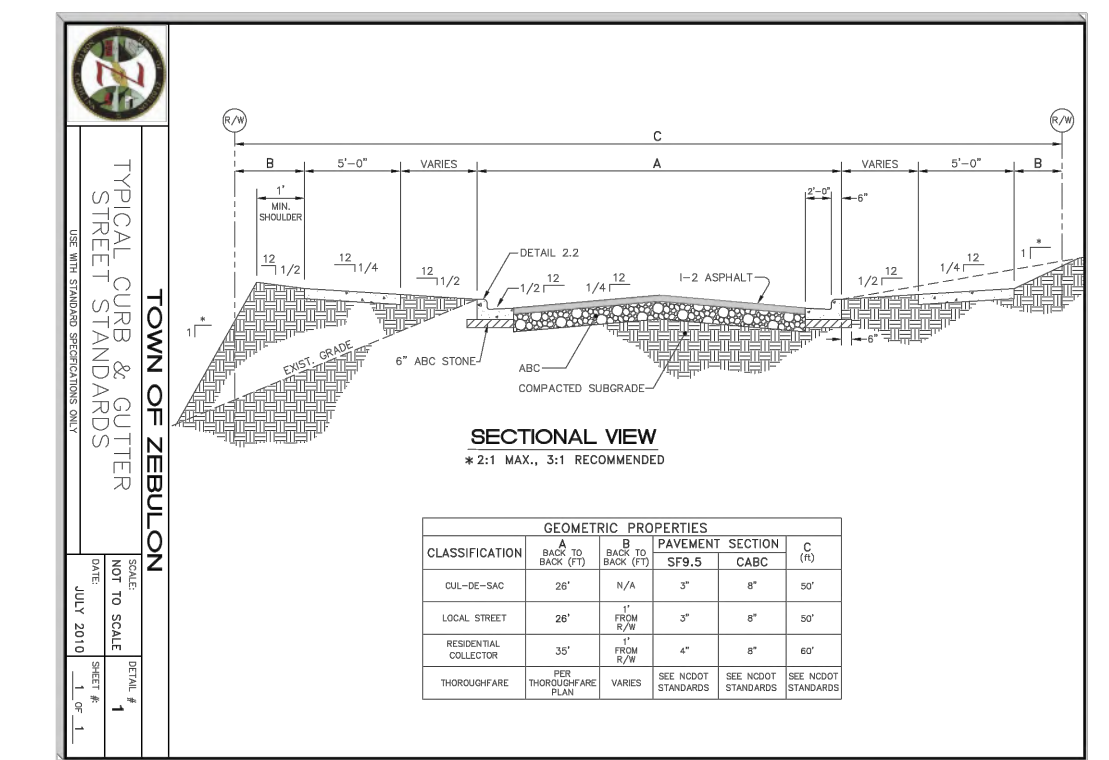
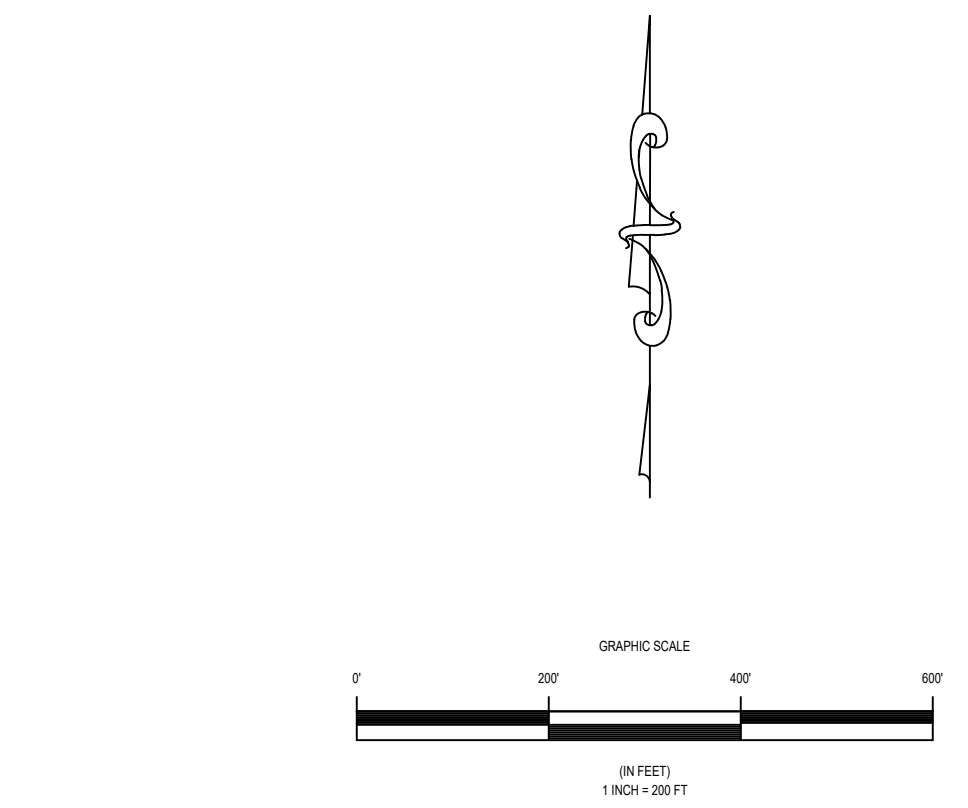
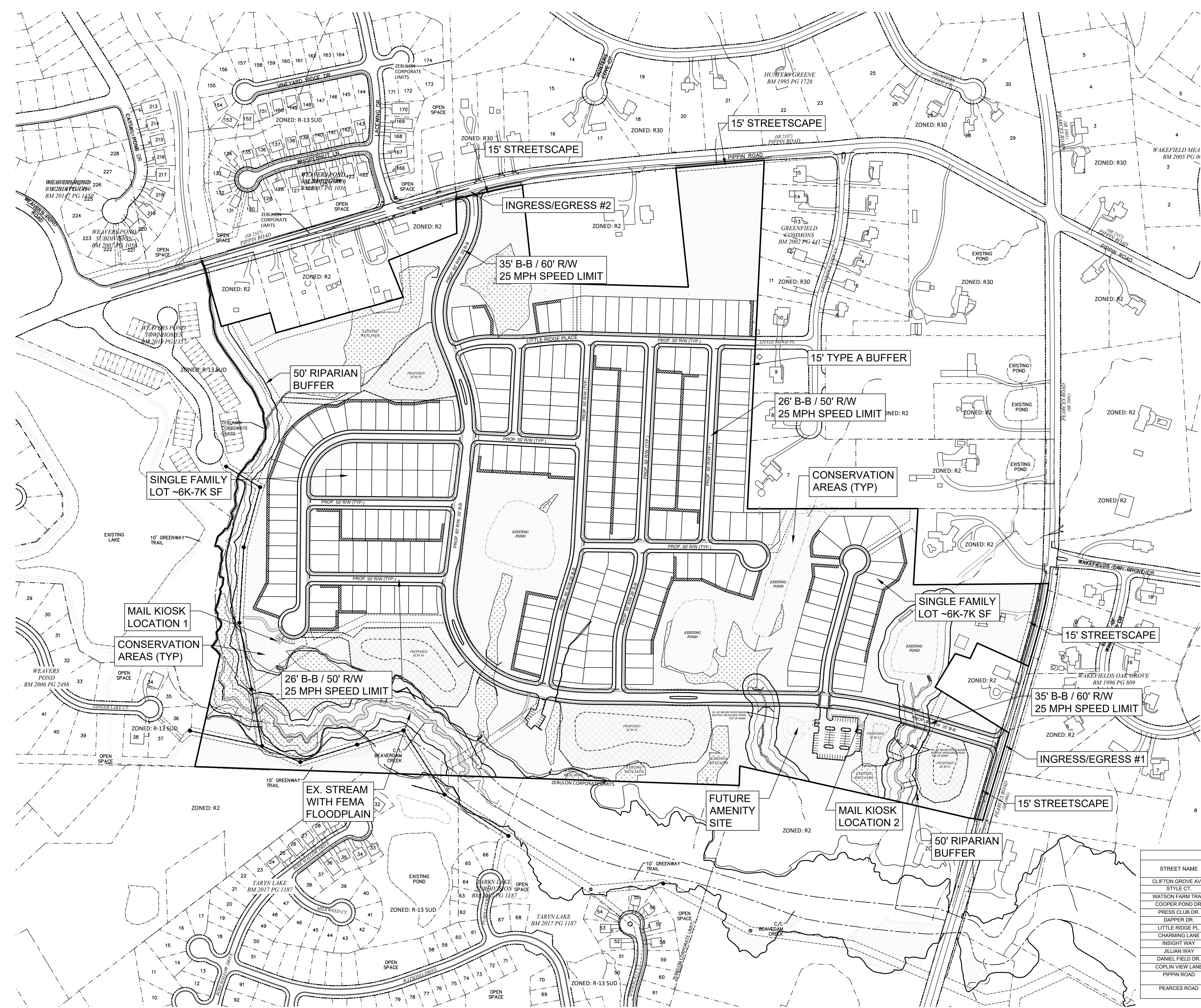
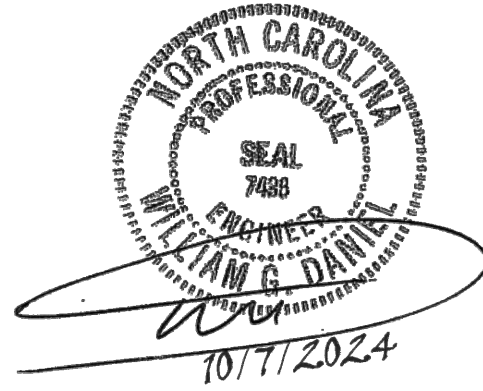
Existing Conditions Plan

Date
February 15, 2022

Scale
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Sheet
CS-3b





- NOTES:**
1. ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH ALL TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS AND MCDOT IF APPLICABLE.
 2. BOUNDARY WAS PROVIDED BY M-III SURVEYING.
 3. CONTOURS ARE PROVIDED BY M-III SURVEYING.
 4. WETLAND LOCATIONS EXIST ON SITE AND HAVE BEEN FIELD LOCATED AND DELINEATED BY SOIL & ENVIRONMENTAL CONSULTANTS.
 5. THIS SITE IS FEMA MAPPED. (MAP # 3720179600J & 3720270600J)
 6. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING UTILITIES.
 7. ALL DISTANCES ARE TO BACK OF CURB OR RIGHT-OF-WAY UNLESS OTHERWISE SPECIFIED.
 8. MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY AND NO DRIVEWAY OR PARKING SPACES SHALL ENCRUCH ON THIS MINIMUM CORNER CLEARANCE.
 9. RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 100 FEET OF ALL STREET INTERSECTIONS.
 10. NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERM, PARKED VEHICLES, SIGN OR OTHER OBJECTS BETWEEN THE HEIGHTS OF TWO (2) FEET AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION, OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE.
 11. WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH RALEIGH ENGINEERING STANDARD DRAWING STD #20.11. WHERE SIDEWALK IS NOT REQUIRED ALONG THE PUBLIC ROW, CURB IS TO BE DEPRESSED AT ALL RAMP LOCATIONS SHOWN ON STD #20.11.

ROADWAY DATA TABLE				
STREET NAME	CLASSIFICATION	DESIGN/POSTED SPEED	PUBLIC OR PRIVATE	LENGTH OF NEW ROAD
CLIFTON GROVE AVE.	RESIDENTIAL COLLECTOR	30 / 25	PUBLIC	4072.58'
STILE CT.	LOCAL STREET	30 / 25	PUBLIC	563.90'
WATSON FARM TRAIL	LOCAL STREET	30 / 25	PUBLIC	1415.69'
COOPER POND DR.	LOCAL STREET	30 / 25	PUBLIC	1404.16'
PRESS CLUB DR.	LOCAL STREET	30 / 25	PUBLIC	697.63'
DAPPER DR.	LOCAL STREET	30 / 25	PUBLIC	806.19'
LITTLE RIDGE PL.	LOCAL STREET	30 / 25	PUBLIC	1215.24'
CHARMING LANE	LOCAL STREET	30 / 25	PUBLIC	385.09'
INSIGHT WAY	LOCAL STREET	30 / 25	PUBLIC	451.02'
JILLIAN WAY	LOCAL STREET	30 / 25	PUBLIC	1295.54'
DANIEL FIELD DR.	LOCAL STREET	30 / 25	PUBLIC	613.78'
COPLIN VIEW LANE	LOCAL STREET	30 / 25	PUBLIC	579.46'
PIPPIN ROAD	MINOR THOROUGHFARE (WIDENING)	50 / 45	PUBLIC	
PEARCES ROAD	MINOR THOROUGHFARE (WIDENING)	50 / 45	PUBLIC	

- Revisions**
- 07.13.22-06.12.23 Per City/Town 1st-5th review
 - 10.19.23 Per Wake Co review
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Owner:
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 Raleigh NC 27615
 919.497.2163

Project
 Clifton Grove

Overall Subdivision
 Layout Plan

Date
 February 15, 2022

Scale
 1" = 200'

Sheet

CS-4

NOTES:
 **RETAINING WALL EASEMENT NOTE:
 WIDTH OF WALL EASEMENTS ARE SHOWN AS
 10'. THIS IS ANTICIPATED TO BE THE MAXIMUM
 WIDTH NEEDED. ACTUAL WALL EASEMENT
 WIDTHS WILL BE DETERMINED AT TIME OF
 STAGE 3 LAND DISTURBING PERMIT REVIEW.

CR - DENOTES CURB RAMP

FOR TRACT METES AND BOUNDS DESCRIPTION
 OF TRACT BOUNDARY PLEASE SEE CS-3A & 3B

1. ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH ALL TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS AND NCDOT IF APPLICABLE.
 2. BOUNDARY WAS PROVIDED BY M.I.I. SURVEYING.
 3. CONTIGUOUS ARE PROVIDED BY M.I.I. SURVEYING.
 4. WETLAND LOCATIONS EXIST ON SITE AND HAVE BEEN FIELD LOCATED AND DELINEATED BY SOIL & ENVIRONMENTAL CONSULTANTS.
 5. THIS SITE IS FEMA MAPPED. (MAP # 3720179600J & 3720270600J)
 6. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING UTILITIES.
 7. ALL DISTANCES ARE TO BACK OF CURB OR RIGHT-OF-WAY UNLESS OTHERWISE SPECIFIED.
 8. MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY AND NO DRIVEWAY OR PARKING SPACES SHALL ENCRUSH ON THIS MINIMUM CORNER CLEARANCE.
 9. RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 100 FEET OF ALL STREET INTERSECTIONS.
 10. NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERM, PARKED VEHICLES, SIGN OR OTHER OBJECTS BETWEEN THE HEIGHTS OF TWO (2) FEET AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION, OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE.
 11. WALK ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH RAILROAD ENGINEERING STANDARD DRAWING STD 820.11. WHERE SIDEWALK IS NOT PROVIDED ALONG THE PUBLIC ROW, CURB IS TO BE DEPRESSED AT ALL RAMP LOCATIONS SHOWN ON STD 820.11.

Wm. G. Daniel & Assoc.
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 Site Design
 1150 SE MAYNARD ROAD
 SUITE 280
 CARY, NC 27511
 Ph:919-467-9708 Fx:919-460-7585
 C-0329



Revisions
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Owner:
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 919.497.2163

Project
 Clifton Grove

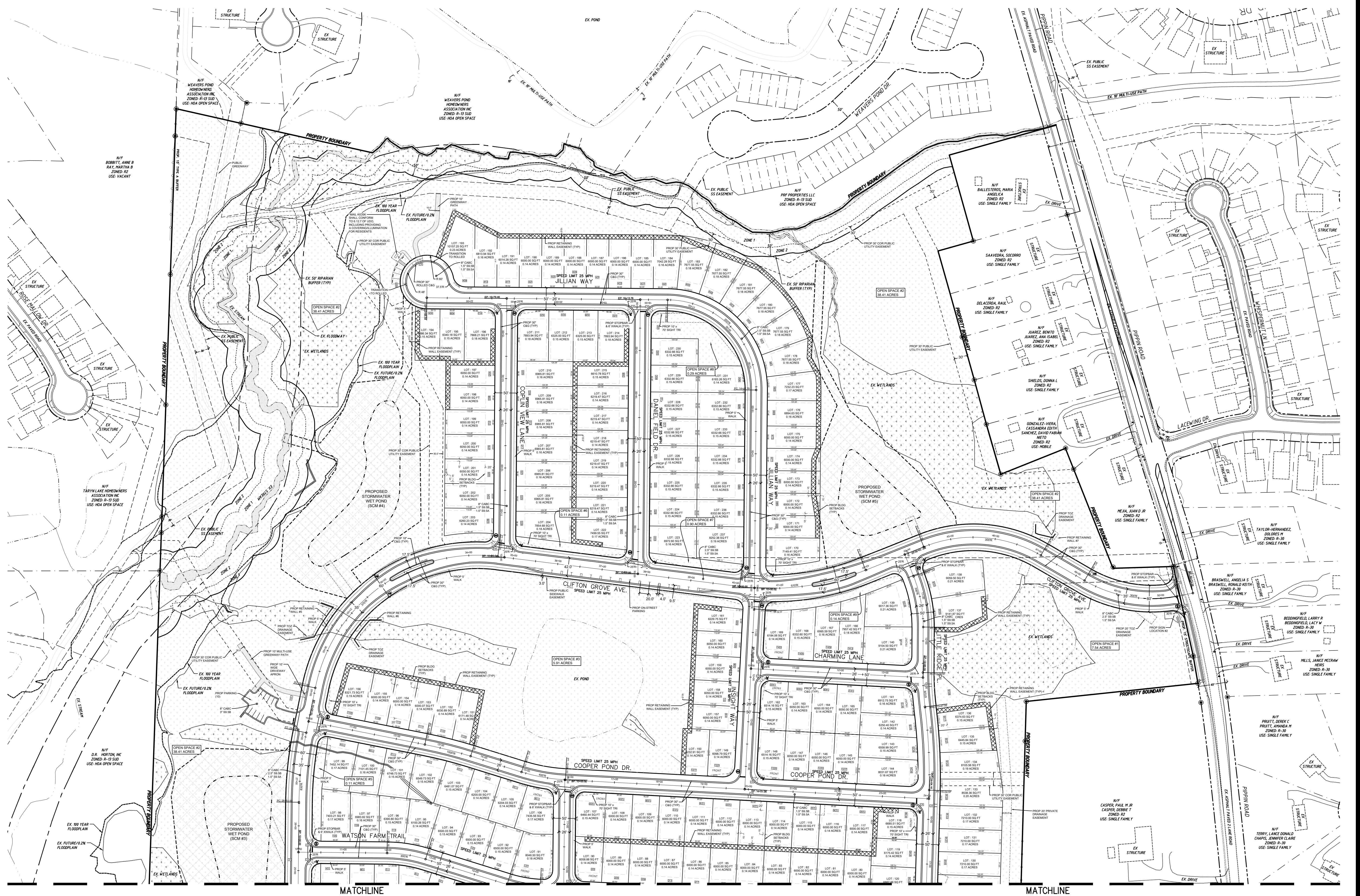
Subdivision Layout Plan

Date
 February 15, 2022

Scale
 1" = 100'

Sheet

CS-4a

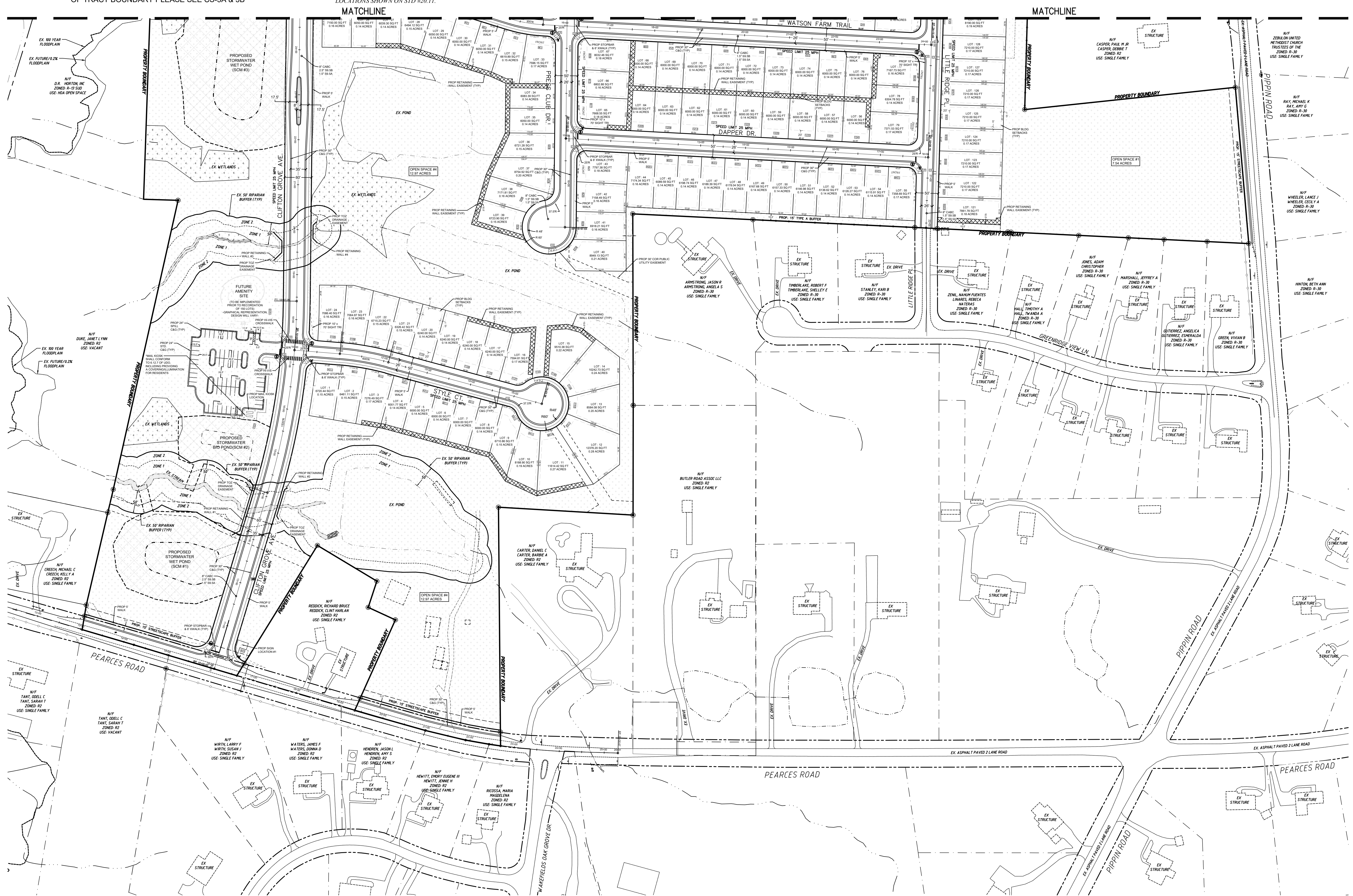
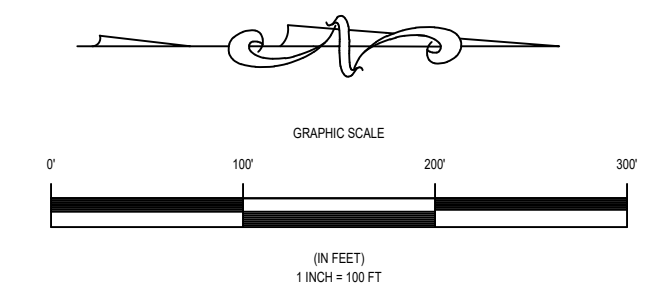


RETAINING WALL EASEMENT NOTE: WIDTH OF WALL EASEMENTS ARE SHOWN AS 10'. THIS IS ANTICIPATED TO BE THE MAXIMUM WIDTH NEEDED. ACTUAL WALL EASEMENT WIDTHS WILL BE DETERMINED AT TIME OF STAGE 3 LAND DISTURBING PERMIT REVIEW.

CR - DENOTES CURB RAMP

FOR TRACT METES AND BOUNDS DESCRIPTION OF TRACT BOUNDARY PLEASE SEE CS-3A & 3B

- NOTES: 1. ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH ALL TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS AND NCDOT IF APPLICABLE. 2. BOUNDARY WAS PROVIDED BY MHS SURVEYING. 3. CONTROLS ARE PROVIDED BY M-H SURVEYING. 4. WETLAND LOCATIONS EXIST ON SITE AND HAVE BEEN FIELD LOCATED AND DELINEATED BY SOIL & ENVIRONMENTAL CONSULTANTS. 5. THIS SITE IS FEMA MAPPED. (MAP # 3720179600J & 3720270600J). 6. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING UTILITIES. 7. ALL DISTANCES ARE TO BACK OF CURB OR RIGHT-OF-WAY UNLESS OTHERWISE SPECIFIED. 8. MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY AND NO DRIVEWAY OR PARKING SPACES SHALL ENCRUCH ON THIS MINIMUM CORNER CLEARANCE. 9. RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 100 FEET OF ALL STREET INTERSECTIONS. 10. NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERM, PARKED VEHICLES, SIGN OR OTHER OBJECTS BETWEEN THE HEIGHTS OF TWO (2) FEET AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION, OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE. 11. WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH RALEIGH ENGINEERING STANDARD DRAWING STD #20.11. WHERE SIDEWALK IS NOT REQUIRED ALONG THE PUBLIC ROAD, CURB IS TO BE DEPRESSED AT ALL RAMP LOCATIONS SHOWN ON STD #20.11.



Wm. G. Daniel & Assoc. Engineering Planning Site Design 1150 SE MAYNARD ROAD SUITE 260 CARY, NC 27511 Ph:919-467-9708 Fx:919-460-7585 C-0329



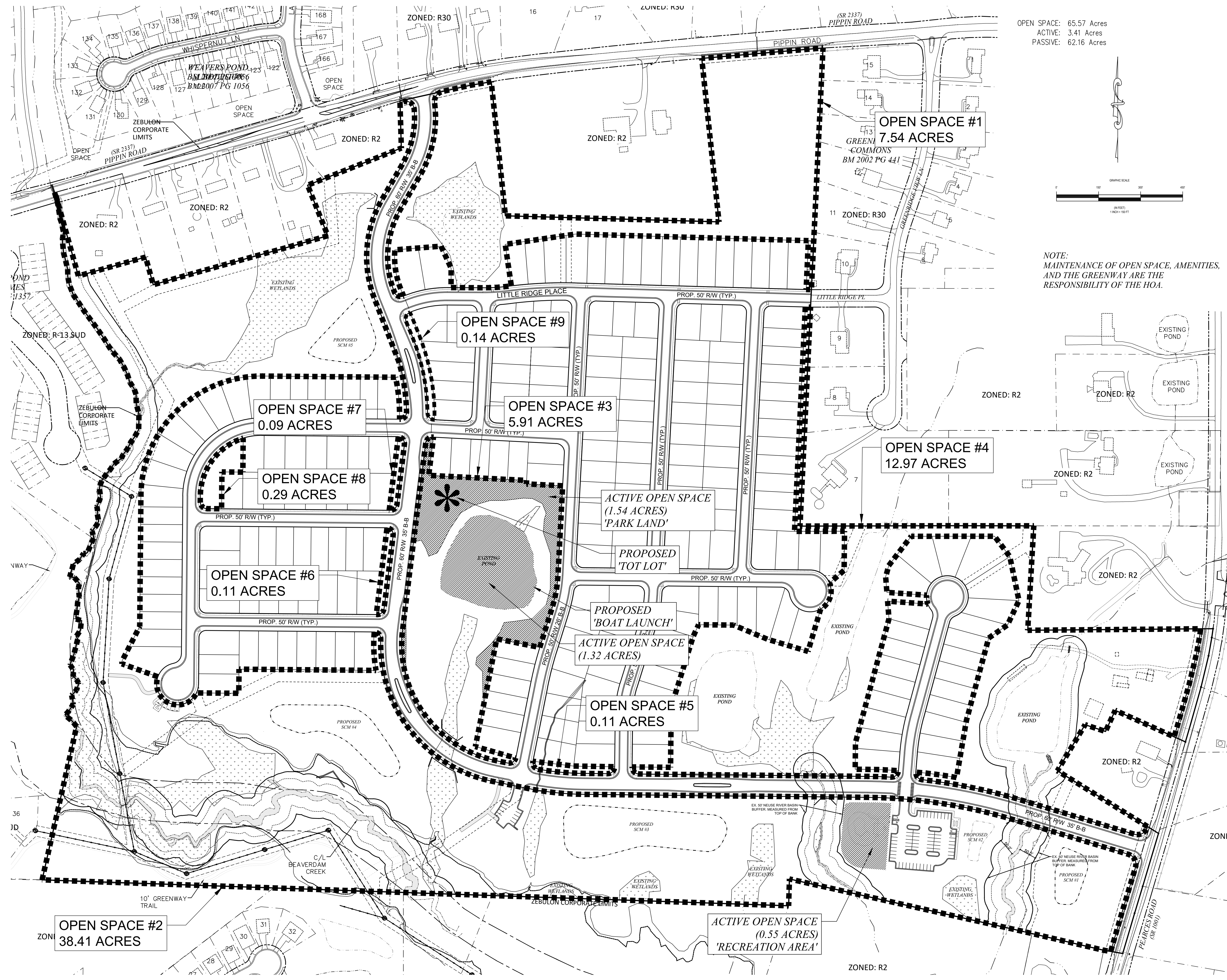
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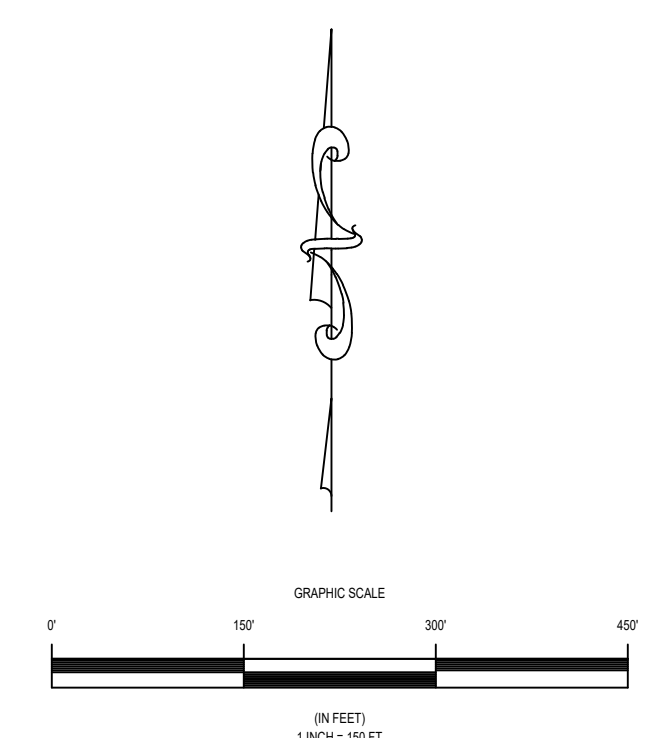
Project Clifton Grove Subdivision Layout Plan

Date February 15, 2022 Scale 1" = 100' Sheet

CS-4b

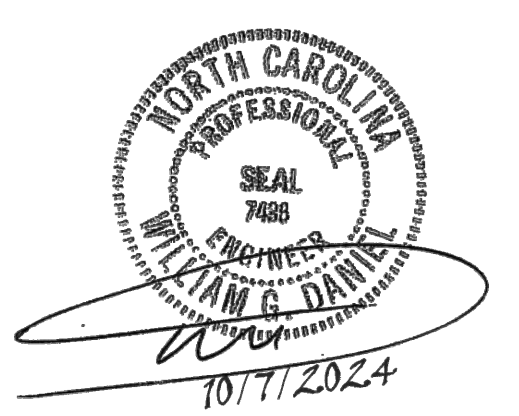


OPEN SPACE: 65.57 Acres
 ACTIVE: 3.41 Acres
 PASSIVE: 62.16 Acres



NOTE: MAINTENANCE OF OPEN SPACE, AMENITIES, AND THE GREENWAY ARE THE RESPONSIBILITY OF THE HOA.

Wm. G. Daniel & Assoc.
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Project
 Clifton Grove

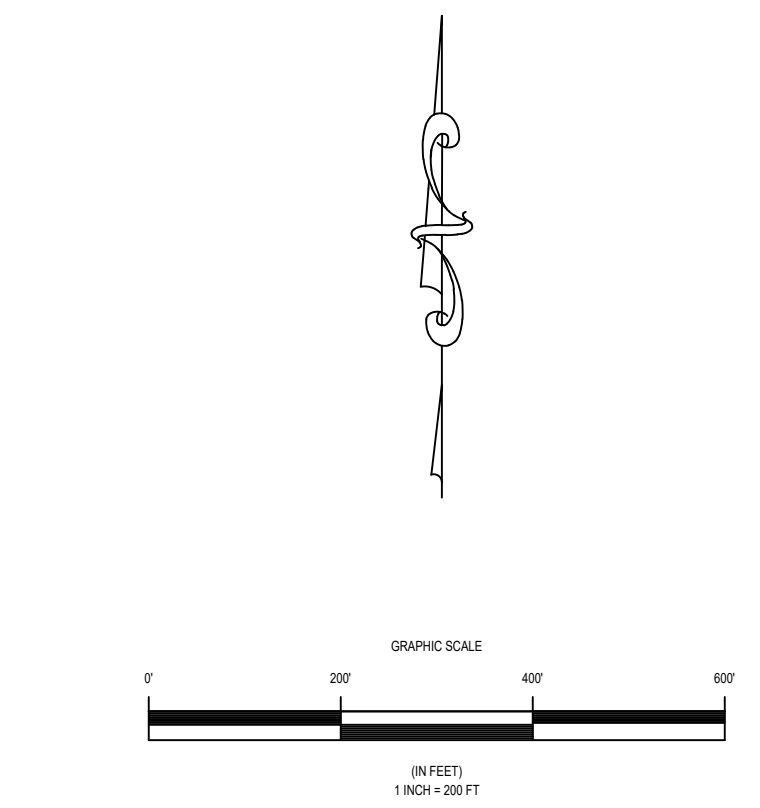
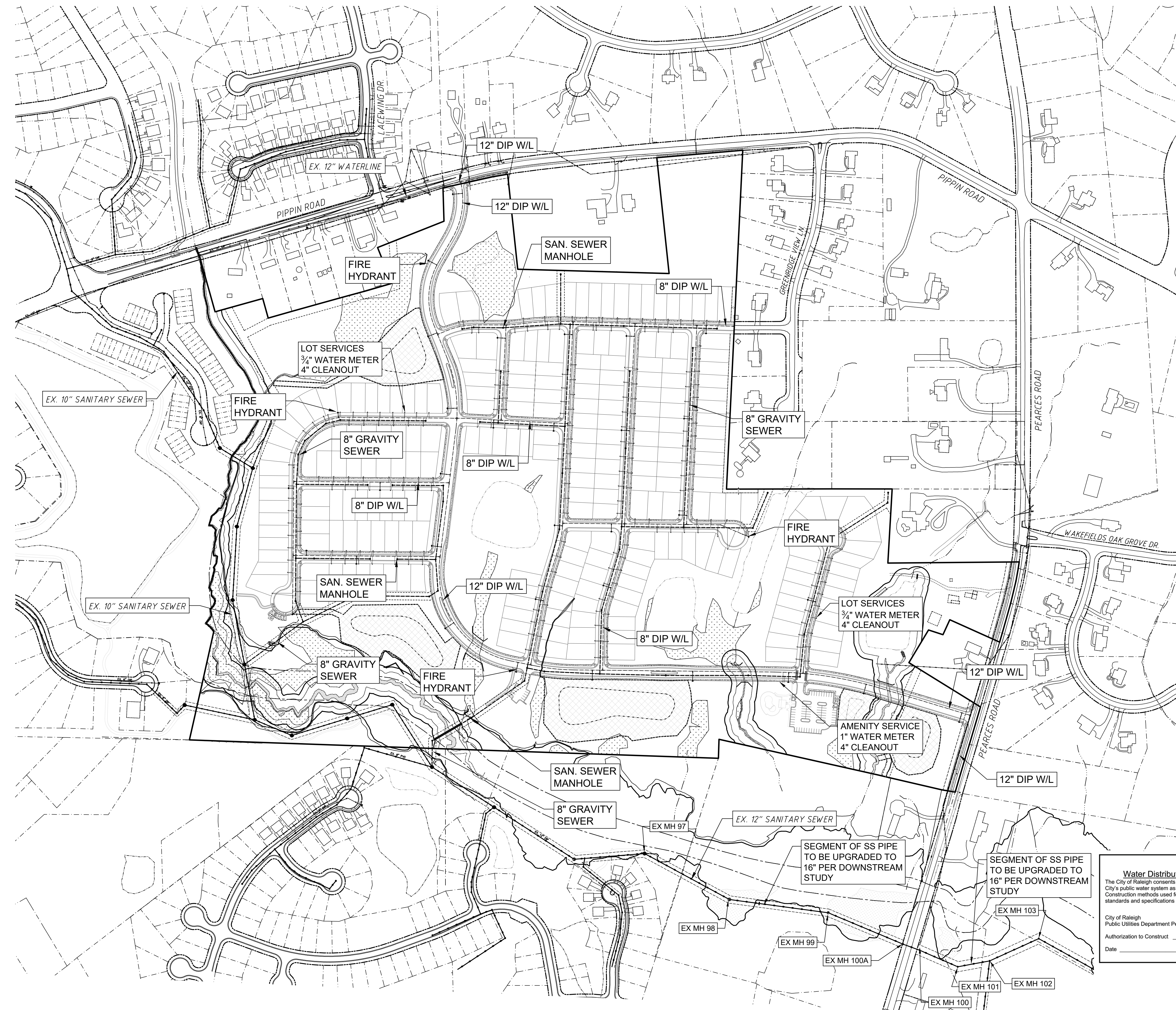
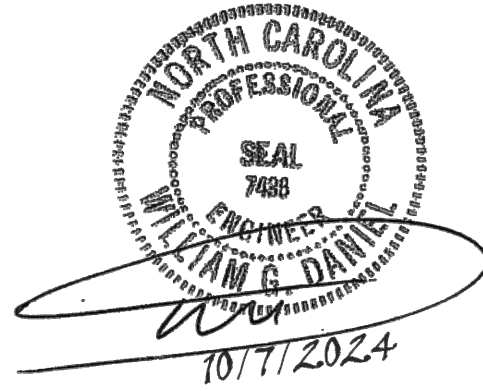
Overall Subdivision
 Open Space Plan

Date
 February 15, 2022

Scale
 1" = 150'

Sheet

CS-4c



ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH CURRENT CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

ANY METER OR HYDRANT THAT IS OUTSIDE OF THE RIGHT OF WAY WILL BE PLACED INSIDE A CITY OF RALEIGH WATERLINE EASEMENT.

- STANDARD UTILITY NOTES (as applicable):**
- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition)
 - Utility separation requirements:
 - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to watertight specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well
 - When installing water & sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter
 - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to watertight specifications
 - 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer
 - Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 24" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49)
 - All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required
 - Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction
 - Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department
 - 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all reuse mains
 - It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure
 - Install 1" "sop" water services with meters located at ROW or within a 2x2' Waterline Easement immediately adjacent. *NOTE: it is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure*
 - Install 6" PVC sewer services @ 1.0' minimum grade with cleanouts located at ROW or easement line & spaced every 75' linear feet maximum
 - Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole
 - All environmental permits applicable to the project must be obtained from NCDWQ, USACE & or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction
 - NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction
 - Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact Tim Beasley at (919) 996-2334 or timothy.beasley@raleighnc.gov for more information
 - Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact Joanie Hartley at (919) 996-5923 or joanie.hartley@raleighnc.gov for more information.

- Revisions**
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Owner:
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 7208 Falls of Neuse Road
 Raleigh NC 27615
 919.497.2163

Project
 Clifton Grove

Overall Utility Plan

Public Water Distribution / Extension System
 The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
 Public Utilities Department Permit # **W-3961**

Authorization to Construct _____
 Date _____

Public Sewer Collection / Extension System
 The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
 Public Utilities Department Permit # **S-5098**

Authorization to Construct _____
 Date _____

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All construction must be in accordance with all Local, State and Federal Rules and Regulations. This approval of this electronic document is only valid if the document has not been modified and the digital signature below is valid.

City of Raleigh Development Approval _____

Date
 February 15, 2022

Scale
 1" = 200'

Sheet
CS-5

Fire hydrant to be 5" storz/ 2 1/2" NST per City of Raleigh detail W-4 and W-5.

ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH CURRENT CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

ANY METER OR HYDRANT THAT IS OUTSIDE OF THE RIGHT OF WAY WILL BE PLACED INSIDE A CITY OF RALEIGH WATERLINE EASEMENT.

*SEE CS-45 FOR SANITARY SEWER SCHEDULE

Public
Water Distribution / Extension System
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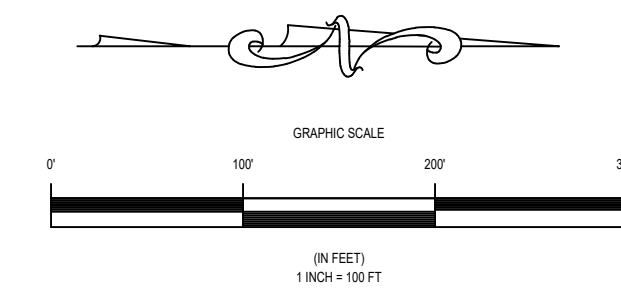
City of Raleigh
 Public Utilities Department Permit # **W-3961**

Authorization to Construct _____
 Date _____

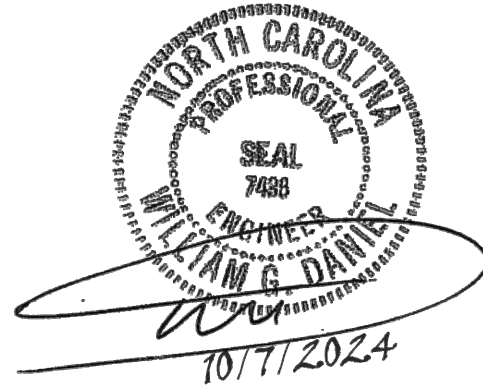
Public
Sewer Collection / Extension System
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City of Raleigh
 Public Utilities Department Permit # **S-5098**

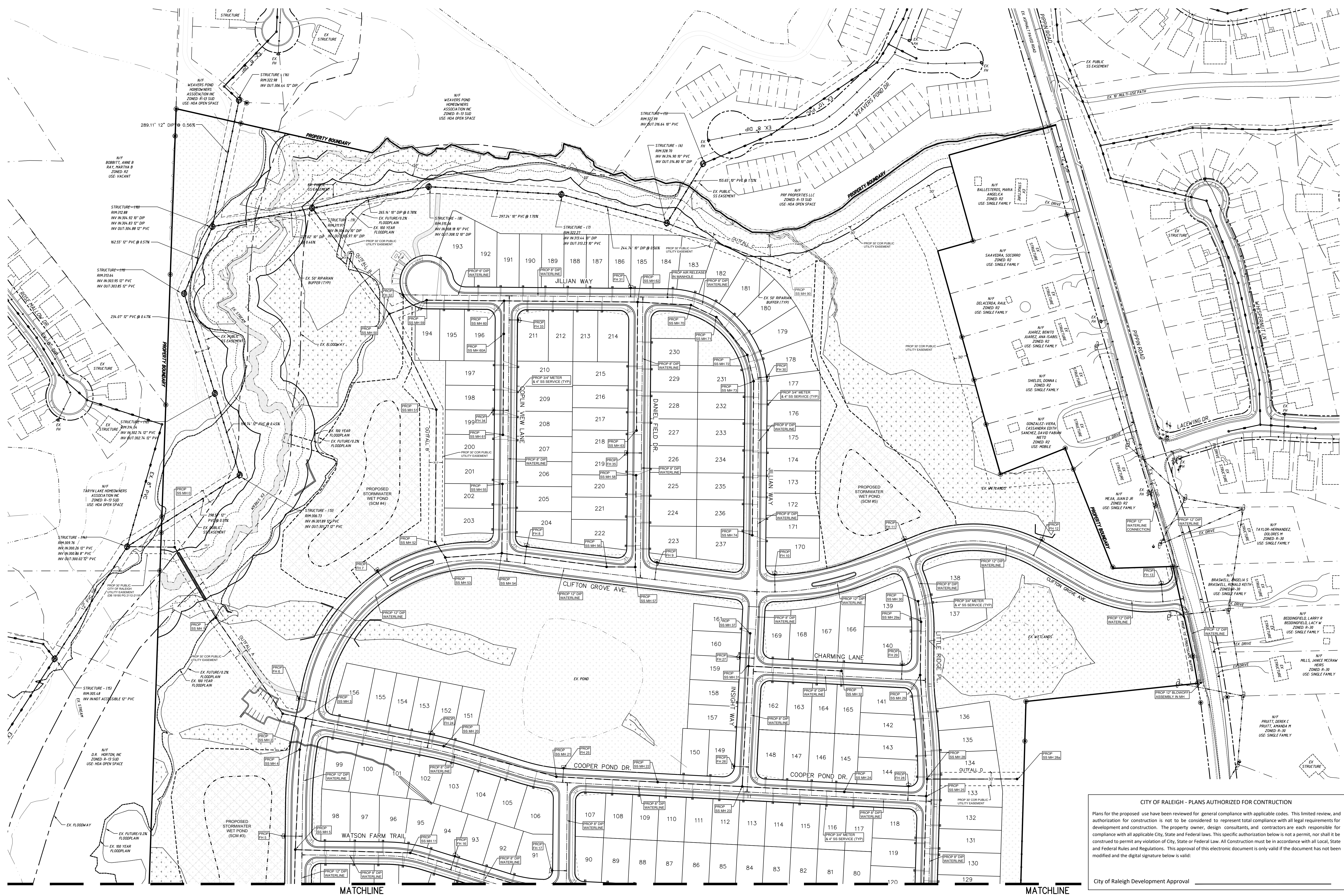
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Project
 Clifton Grove

Utility Plan

Date
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Scale
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Sheet
CS-5a

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City of Raleigh Development Approval _____

Fire hydrant to be 5" storz/ 2 1/2" NST per City of Raleigh detail W-4 and W-5.

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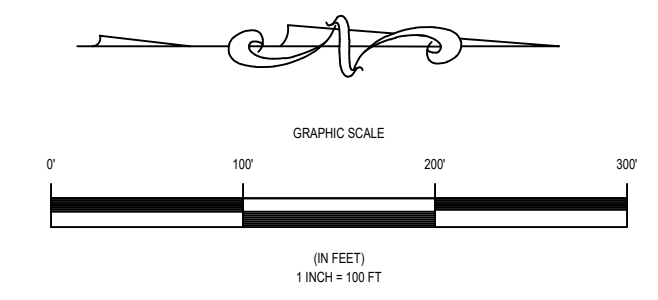
*SEE CS-45 FOR SANITARY SEWER SCHEDULE

Public Water Distribution / Extension System
 The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
 Public Utilities Department Permit # **W-3961**
 Authorization to Construct _____
 Date _____

Public Sewer Collection / Extension System
 The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
 Public Utilities Department Permit # **S-5098**
 Authorization to Construct _____
 Date _____



Wm. G. Daniel & Assoc.
 Engineering Planning
 Site Design
 1150 SE MAYNARD ROAD
 SUITE 260
 CARY, NC 27511
 Ph:919-467-9708 Fx:919-460-7585
 C-0329



- Revisions**
- 07.13.22-06.12.23 Per City/Town 1st-5th review
 - 10.19.23 Per Wake Co review
 - 01.31.24 Per Wake Co review
 - 08.01.24 Per Wake Co review
 - 09.05.24 Per Wake Co review
 - 10.07.24 Per Wake Co review

Owner:
 D.R. Horton, Inc.
 7208 Falls of Neuse Road
 Raleigh NC 27615
 919.497.2163

Project
 Clifton Grove

Utility Plan

Date
 February 15, 2022

Scale
 1" = 100'

Sheet

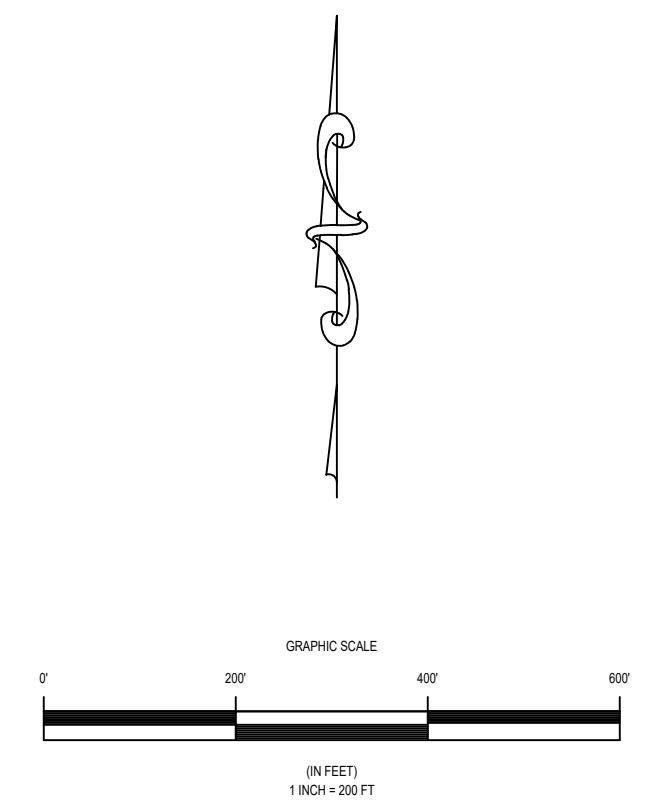
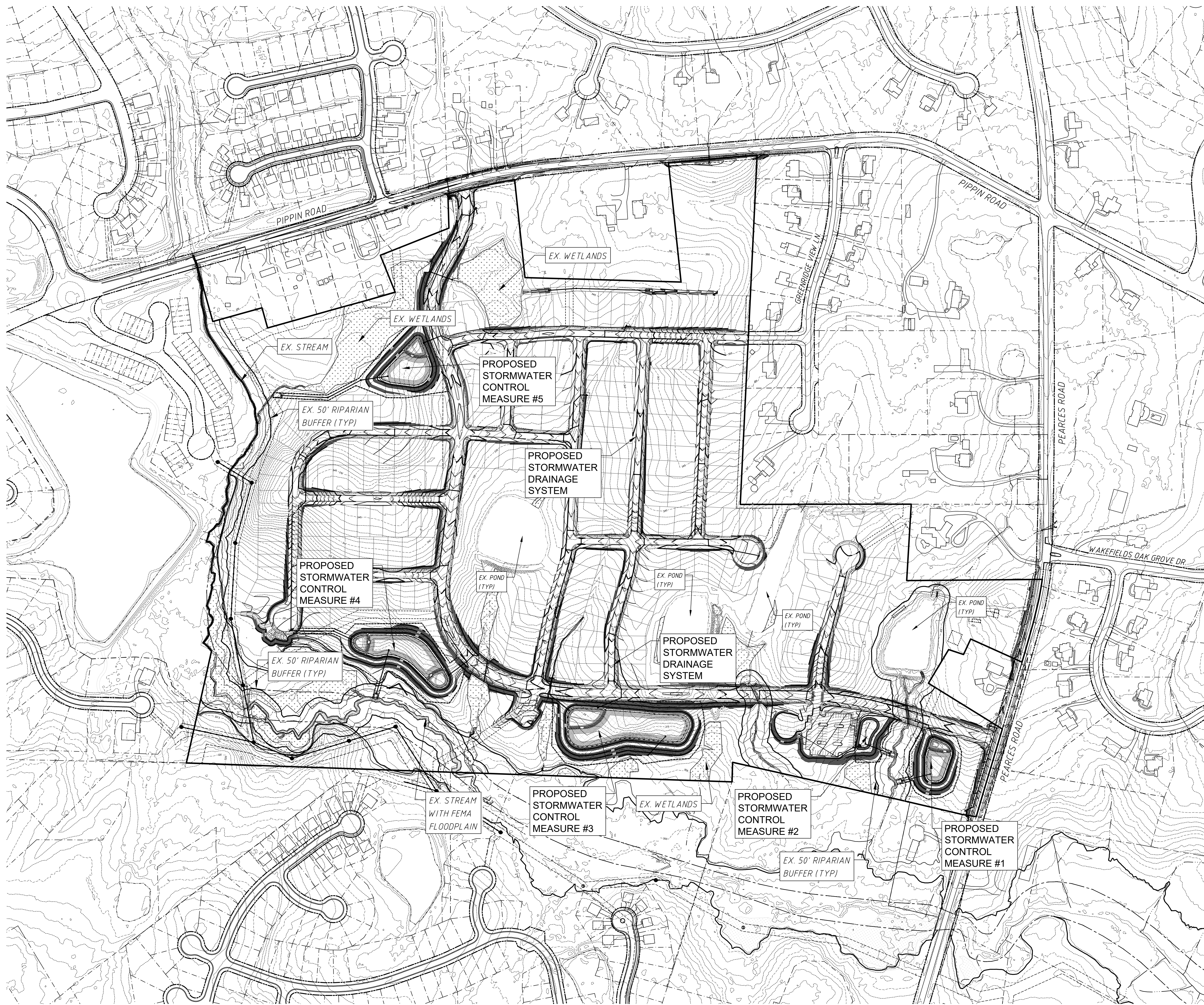
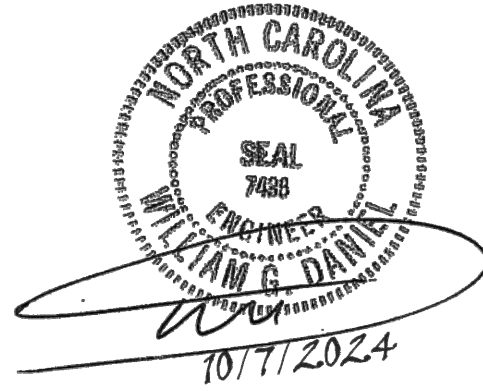
CS-5b



CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State and Federal Rules and Regulations. This approval of this electronic document is only valid if the document has not been modified and the digital signature below is valid:

City of Raleigh Development Approval _____



DENUDED AREA
56.00 Acres

Erosion Basin Note:
Wake County must grant permission to convert the sediment basins over to stormwater use prior to completing any related work.

*ALL STORM DRAINAGE EASEMENTS ARE PUBLIC UNLESS OTHERWISE NOTED.

- Revisions**
- 07.13.22-06.12.23 Per City/Town 1st-5th review
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Owner:
D.R. Horton, Inc.
7208 Falls of Neuse Road
Raleigh NC 27615
919.497.2163

Project
Clifton Grove

Overall Grading /
Drainage Plan

Date
February 15, 2022

Scale
1" = 200'

Sheet

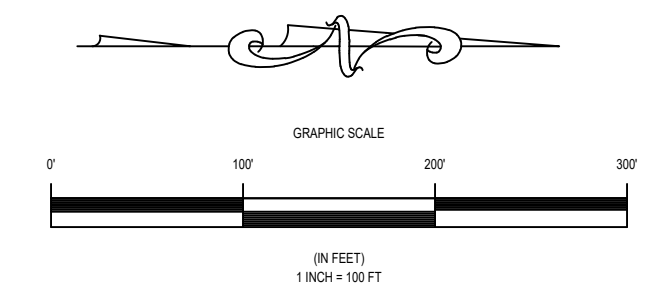
CS-6

Note:
Limits of disturbance shall be isolated to spaces necessary for the construction of the infrastructure and no lot disturbance will occur until a building permit is issued for each individual property in accordance with Section 6.2.5.1 of the Town of Zebulon UDO.

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DENUDED AREA
56.00 Acres



- Revisions
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 - 10.07.24 Per Wake Co review

Owner:
D.R. Horton, Inc.
7208 Falls of Neuse Road
Raleigh NC 27615
919.497.2163

Project
Clifton Grove
Grading / Drainage Plan

Date
February 15, 2022
Scale
1" = 100'
Sheet
CS-6a

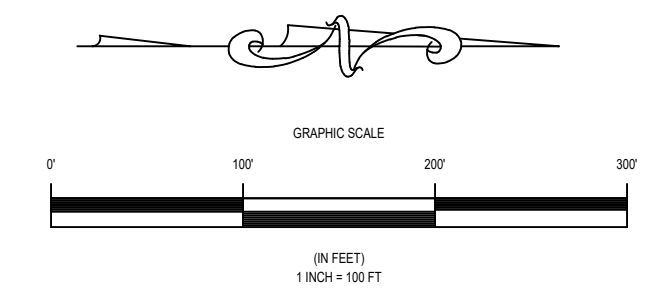


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DENUDED AREA
56.00 Acres



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Owner:
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7208 Falls of Neuse Road
Raleigh NC 27615
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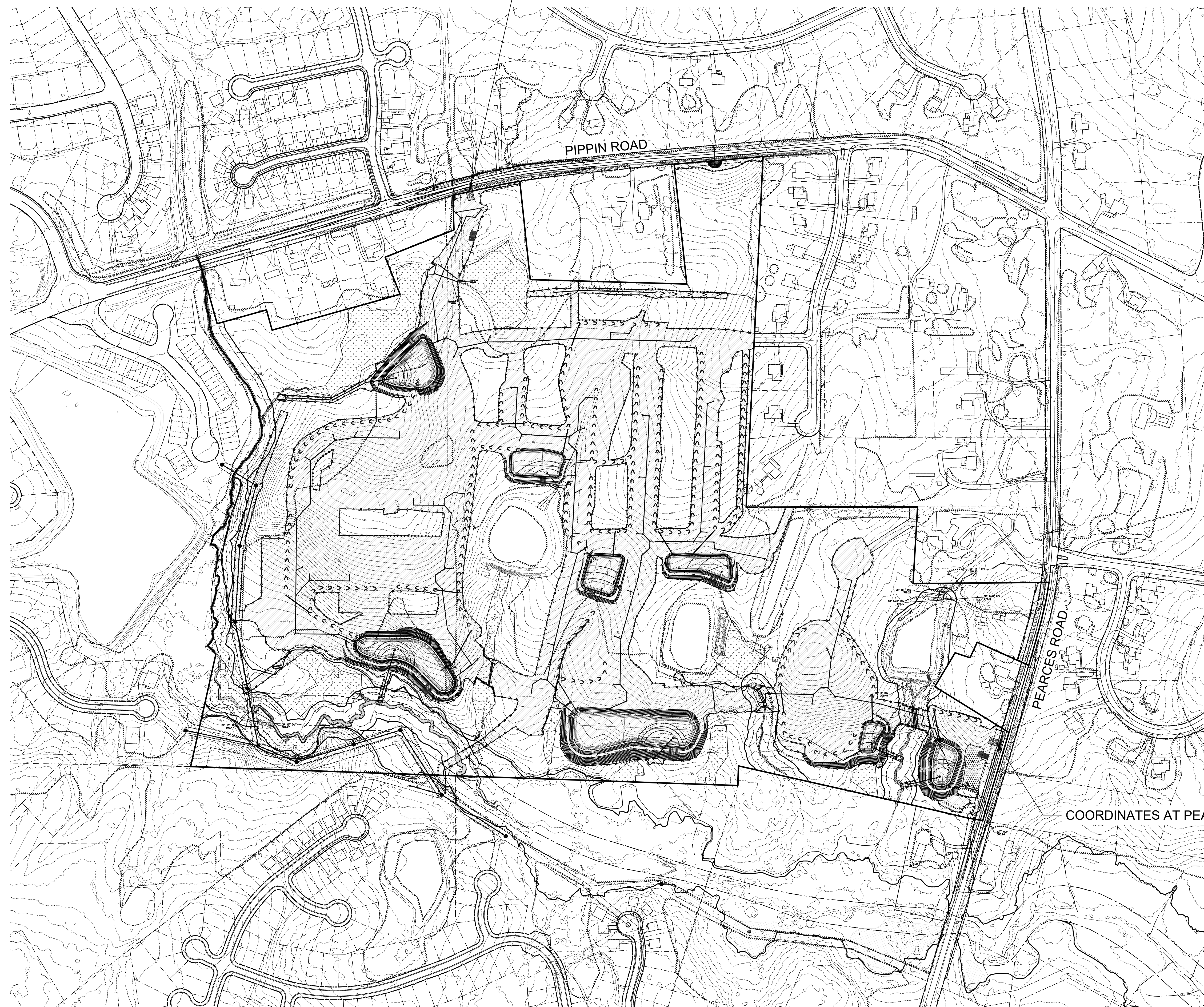
Project
Clifton Grove
Grading / Drainage Plan

Date
February 15, 2022
Scale
1" = 100'

Sheet
CS-6b



COORDINATES AT PIPPIN ENTRANCE LAT 35.857193 LONG -78.326106

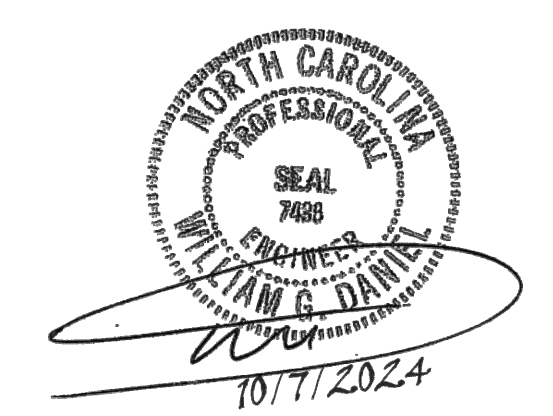


COORDINATES AT PEARCES ENTRANCE LAT 35.851329 LONG -78.319474

DENUDED AREA
56.00 Acres

- PROP TREE PROTECTION FENCE
- PROP COMBINATION SILT TREE FENCE
- PROP SUPER SILT FENCE
- PROP STORM DRAINAGE
- PROP JUNCTION BOX
- PROP CATCH BASIN
- PROP FLARED END SECTION
- PROP INLET PROTECTION
- PROP DIVERSION DITCH
- PROP TEMPORARY CONSTRUCTION ENTRANCE
- PROP RISER/SKIMMER BASIN
- PROP CHECK DAM
- PROP SLOPE DRAIN
- DENUDED AREA (TYP)
- SILT OUTLET (TYP)
- STOCKPILE AREAS
- CLEAN WATER SWALE

Note:
Limits of disturbance shall be isolated to spaces necessary for the construction of the infrastructure and no lot disturbance will occur until a building permit is issued for each individual property in accordance with Section 6.2.5.1 of the Town of Zebulon UDO.



- Revisions
- 07.13.22-06.12.23 Per City/Town 1st-5th review
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Owner:
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7208 Falls of Neuse Road
Raleigh NC 27615
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Project
Clifton Grove

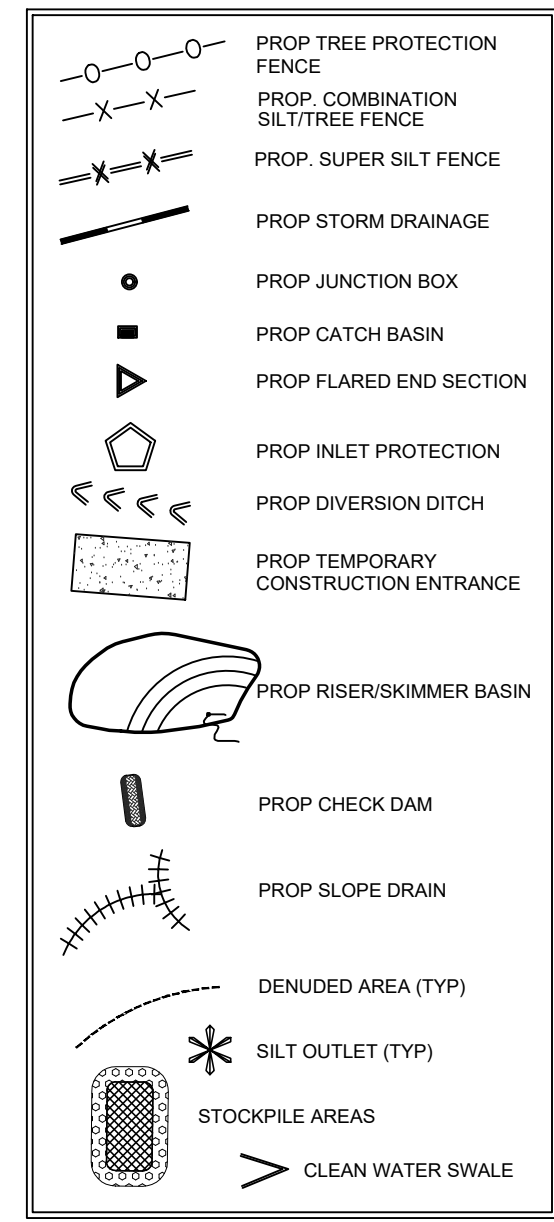
Overall Erosion Control
Plan

Date
February 15, 2022

Scale
1" = 200'

Sheet

CS-7



DENUDED AREA
56.00 Acres

Note:
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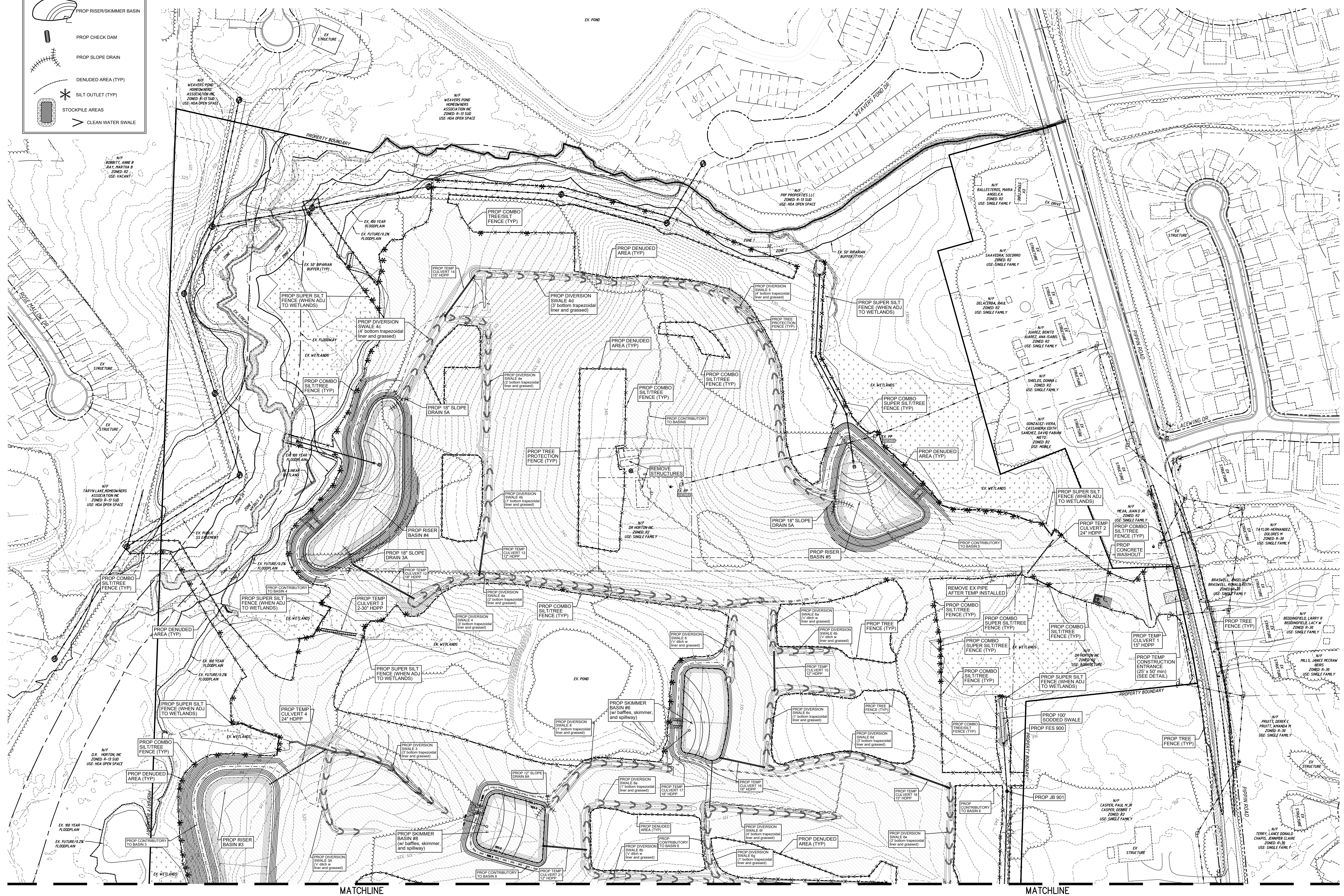
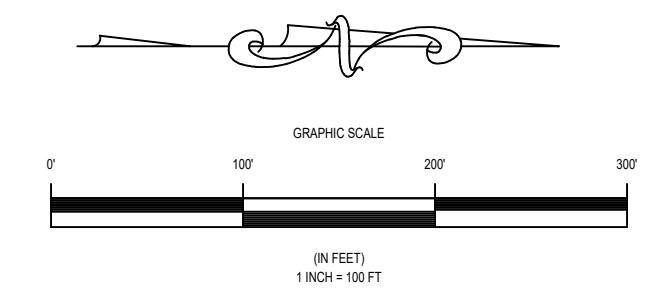
Erosion Basin Note:
Wake County must grant permission to convert the sediment basins over to stormwater use prior to completing any related work.

Maintenance Requirements for Stockpiles
a. Seeding or covering stockpiles with tarps or mulch is required and will reduce erosion problems. Tarps should be keyed in at the top of the slope to keep water from running underneath the plastic.
b. If a stockpile is to remain for future use after the project is complete (builders, etc.), the financial responsible party must notify Wake County of a new responsible party for that stockpile.
c. The approved plan shall provide for the use of staged seeding and mulching on a continual basis while the stockpile is in use.
d. Establish and maintain a vegetative buffer at the toe of the slope (where practical)

Erosion Control Construction Sequence

- Schedule a preconstruction conference with the Wake County and Town of Zebulon. Obtain a land-disturbing permit.
- Implementation of the erosion control plan shall be conducted in three sequential phases as described below:
 - Installation of Initial Measures**
 - Install measures as shown on the approved plan (silt fence, construction entrances, diversion ditches, riser basins, bypass pipes). Clear only as necessary to install these devices.
 - Seed temporary diversions, berms and basins immediately after installation.
 - Call Engineering Construction Inspector for a compliance inspection.

See CS-7c and 7d for next phase of erosion control. See CS-46 for full sequence.



Wm. G. Daniel & Assoc.
Engineering Planning
Site Design
1150 SE MAYNARD ROAD
SUITE 280
CARY, NC 27511
Ph:919-467-9708 Fx:919-460-7585
C-0329



- Revisions**
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Owner:
D.R. Horton, Inc.
7208 Falls of Neuse Road
Raleigh NC 27615
919.497.2163

Project
Clifton Grove

Erosion Control Plan
Stage 1

Date
February 15, 2022

Scale
1" = 100'

Sheet

CS-7a



Revisions
 07.13.22-06.12.23 Per City/Town 1st-5th review
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Owner:
 D.R. Horton, Inc.
 7208 Falls of Neuse Road
 Raleigh NC 27615
 919.497.2163

Project
 Clifton Grove

Erosion Control Plan
 Stage 1

Date
 February 15, 2022

Scale
 1" = 100'

Sheet

CS-7b

Erosion Control Construction Sequence

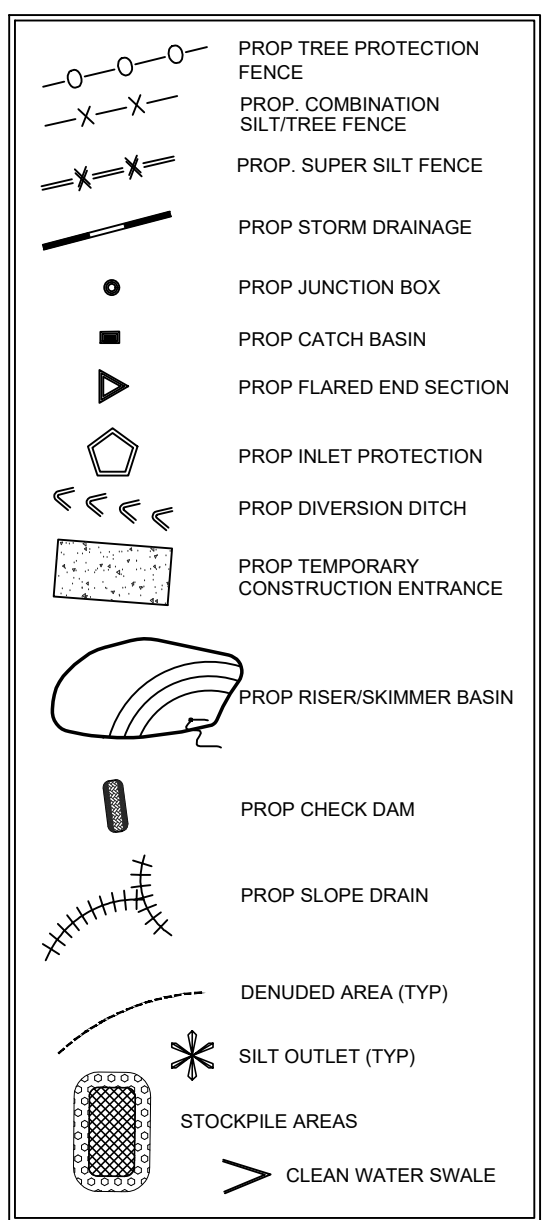
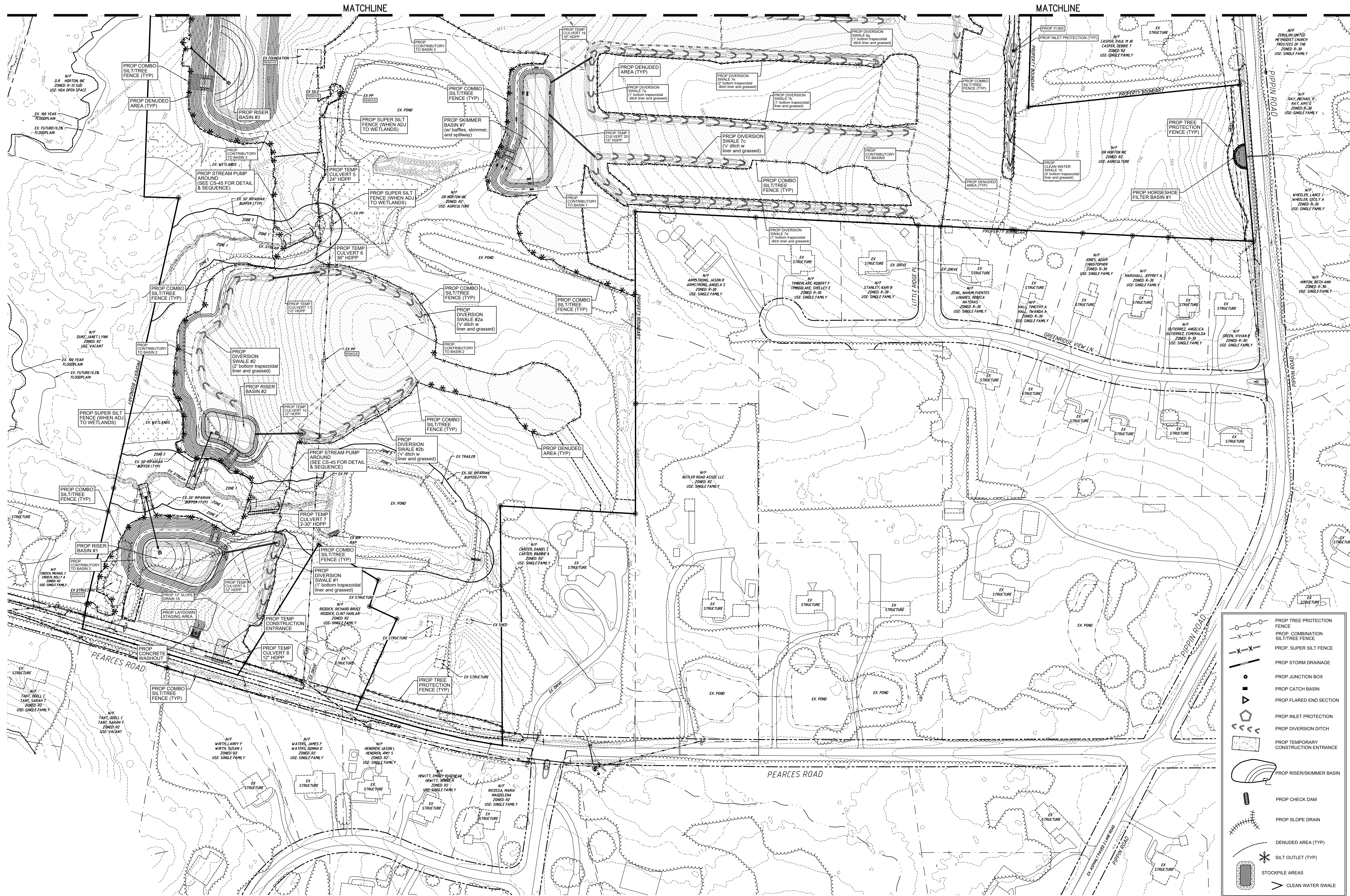
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 - Seed temporary diversions, berms and basins immediately after installation.
 - Call Engineering Construction Inspector for a compliance inspection.
- See CS-7c and 7d for next phase of erosion control. See CS-46 for full sequence.

Note:
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Maintenance Requirements for Stockpiles
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 c. The approved plan shall provide for the use of staged seeding and mulching on a continual basis while the stockpile is in use.
 d. Establish and maintain a vegetative buffer at the toe of the slope (where practical)

Erosion Basin Note:
 Wake County must grant permission to convert the sediment basins over to stormwater use prior to completing any related work.

DENUDED AREA
 56.00 Acres





Revisions
07.13.22-06.12.23 Per City/Town
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Owner:
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7208 Falls of Neuse Road
Raleigh NC 27615
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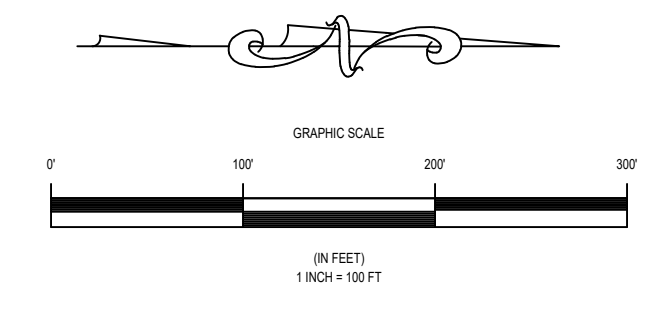
Project
Clifton Grove

Erosion Control Plan
Stage 2

Date
February 15, 2022

Scale
1" = 100'

Sheet
CS-7c



Erosion Control Construction Sequence

- B. Conduct grading and install infrastructure elements**
 - 1. Conduct grading operations and installation of temporary culverts as necessary to attain proposed subgrade elevation-taking care at all times to maintain and adjust, if necessary, erosion/sediment control measures to ensure there is no export of sediment from the site
 - 2. Upon attainment of subgrade elevations, install storm drainage piping including velocity dissipaters, structures, and utilities in strict conformity to the inspection procedures of the Town of Zebulon and the City of Raleigh.
 - 3. Prepare street subgrade for inspection by the Town or NCDOT -- as applicable. Upon receipt of subgrade approval, install curbs, and fine grade street subgrade to conform to template on the approved plans.
 - 4. Upon receipt of approval of subgrade, place and compact street base course, and install walks.
 - 5. Prepare stone base for structural and template inspection and contact Town for inspection.
 - 6. Upon receipt of inspection approval of street base for paving, place 1st lift of asphalt.
 - 7. Seed and mulch to vegetatively stabilize all disturbed areas outside of the surface infrastructure elements.
- See CS-7e and 7f for next phase of erosion control. See CS-46 for full sequence.

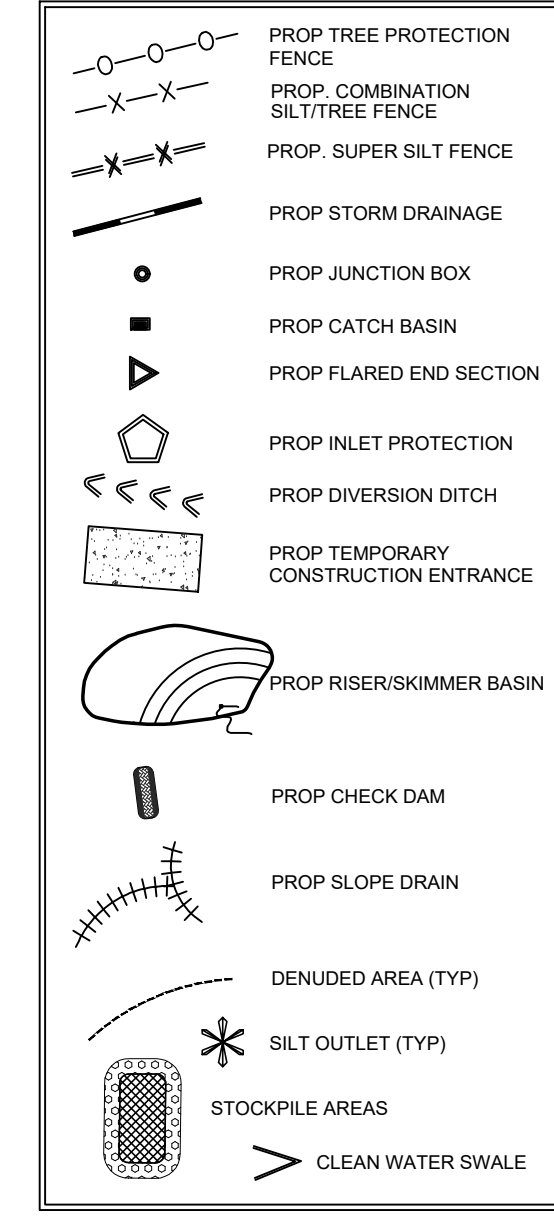
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Erosion Basin Note:
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STOCKPILE LOCATIONS NOTE:
ALL STOCKPILE AREAS ARE TO FOLLOW WAKE COUNTY RULES AND PROCEDURES. NO DIVERSION DITCHES SHALL ENCRONCH UPON THE 25' EASEMENT AROUND THE STOCKPILE AREAS.

DENUDED AREA
56.00 Acres



MATCHLINE

MATCHLINE

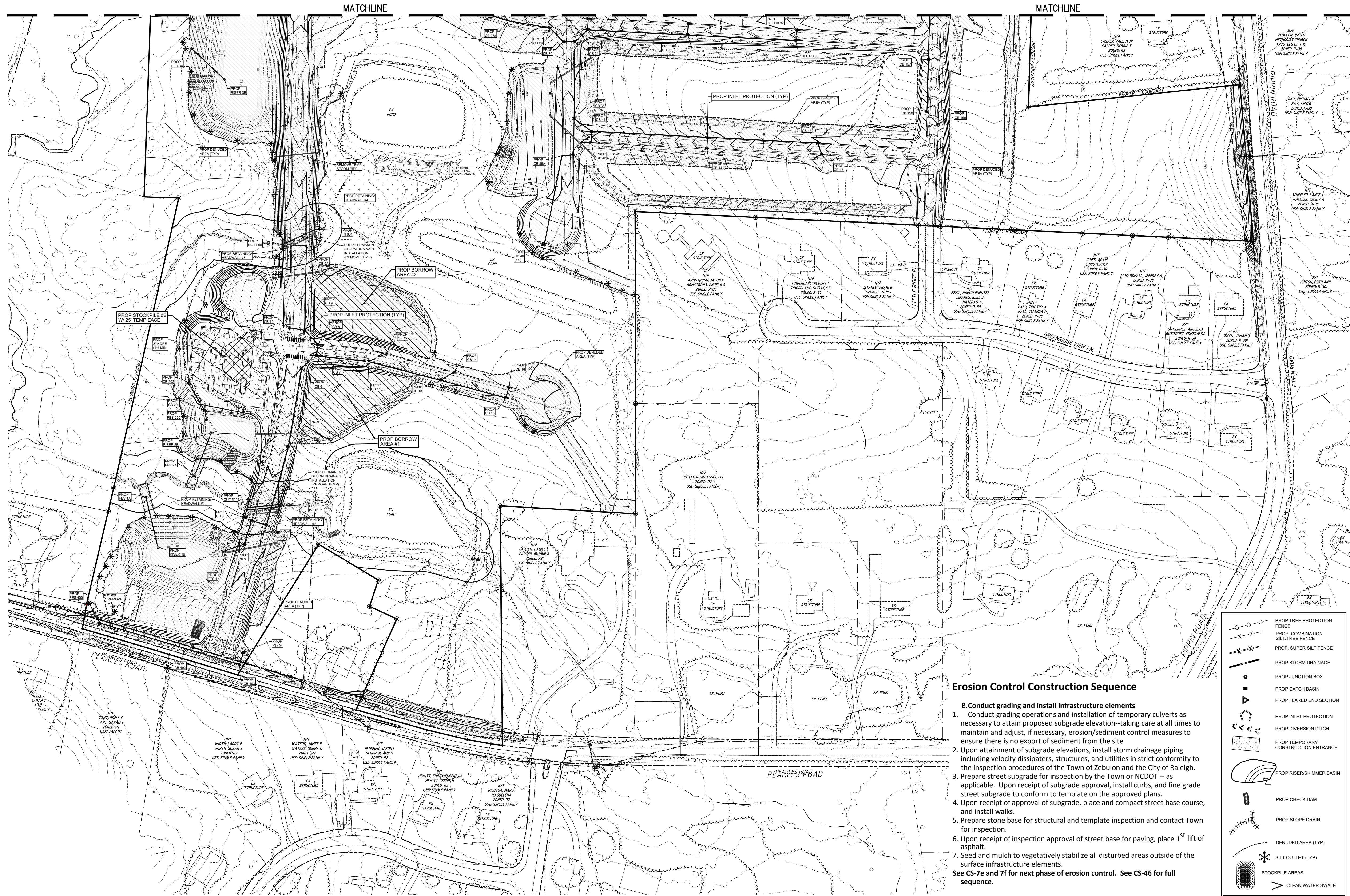
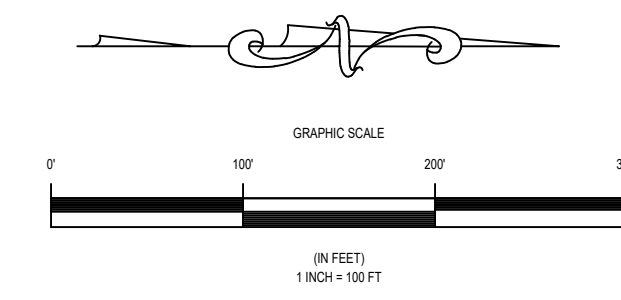
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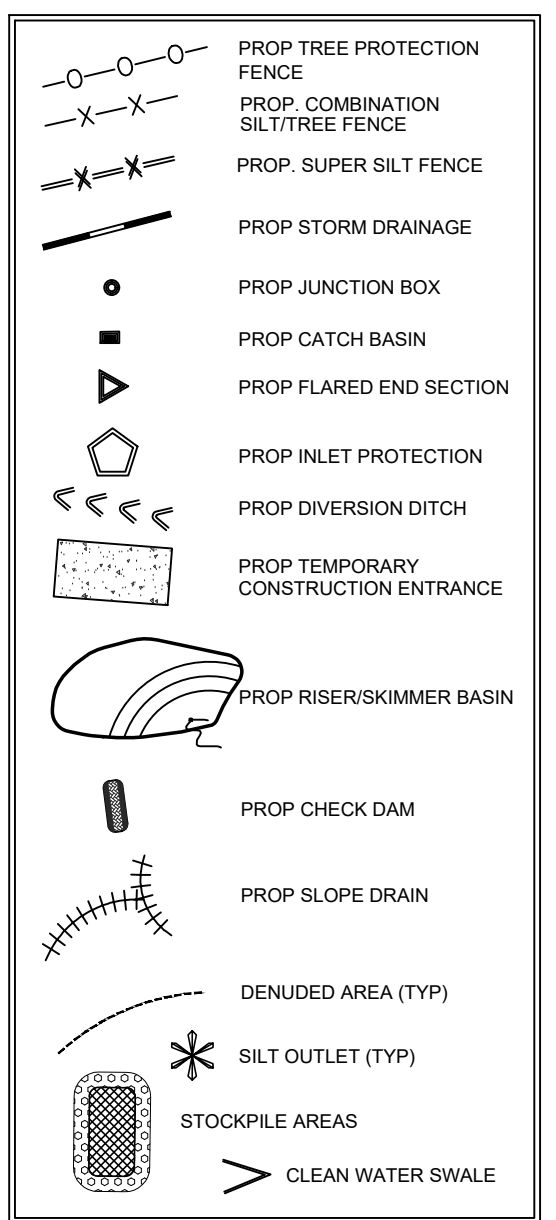
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DENUDED AREA
56.00 Acres



Erosion Control Construction Sequence

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1. Conduct grading operations and installation of temporary culverts as necessary to attain proposed subgrade elevation...
2. Upon attainment of subgrade elevations, install storm drainage piping...
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Owner: D.R. Horton, Inc. 7208 Falls of Neuse Road Raleigh NC 27615 919.497.2163

Project Clifton Grove

Erosion Control Plan Stage 2

Date February 15, 2022

Scale 1" = 100'

Sheet CS-7d