

CONSTRUCTION DRAWINGS DOMINO'S ZEBULON

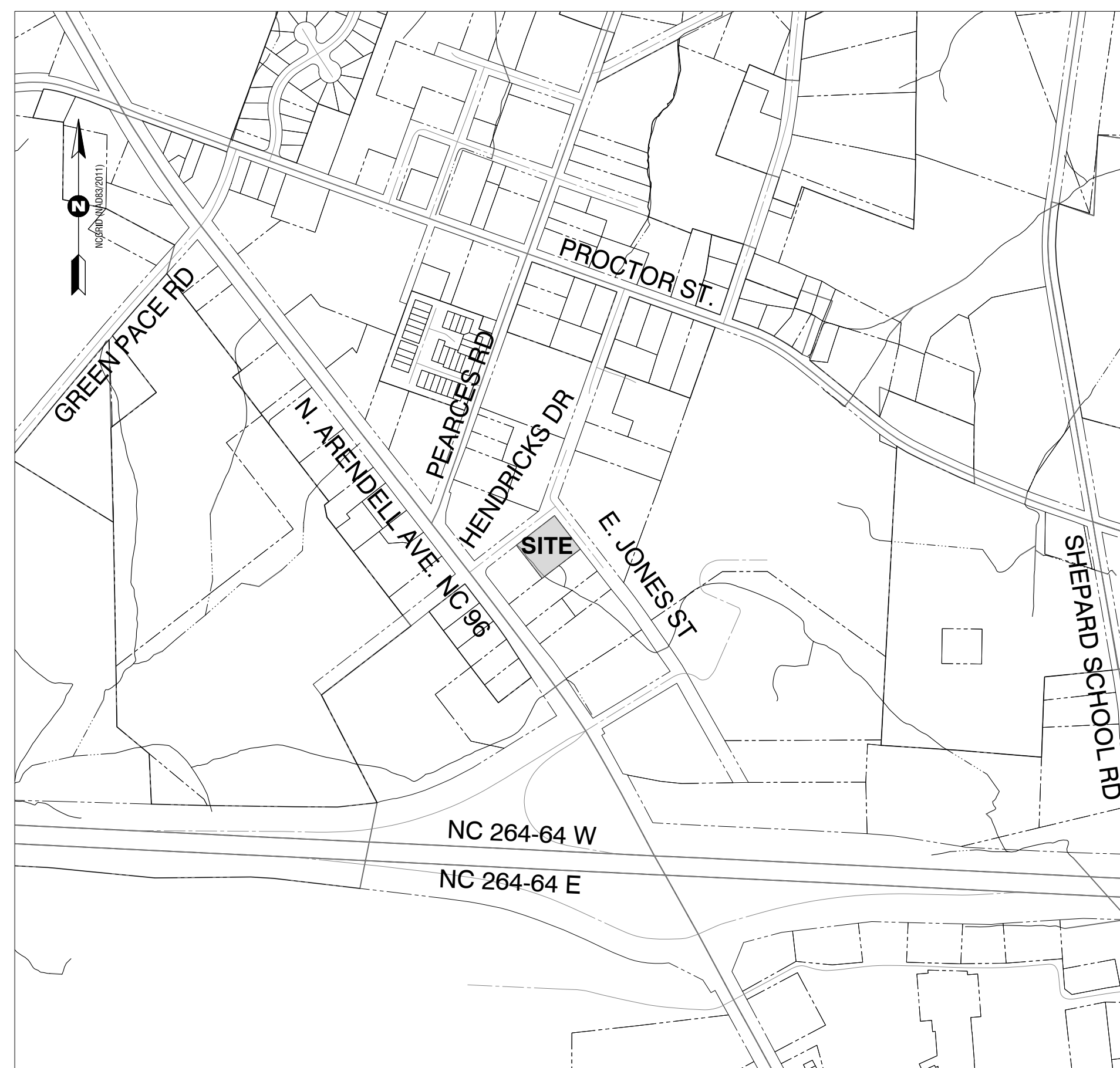
1000 HENDRICKS DR.
ZEBULON, WAKE COUNTY, NORTH CAROLINA 27597



CD SUBMITTAL #1 - JUNE 1, 2023
CD SUBMITTAL #2 - DECEMBER 7, 2023

1

1. CONTRACTOR MUST NOTIFY NORTH CAROLINA ONE-CALL CENTER, INC. (NC-811) AT LEAST 72 HOURS PRIOR TO THE START OF EXCAVATION TO HAVE ALL UNDERGROUND UTILITIES LOCATED PRIOR TO EXCAVATING OR TRENCHING.
2. ELECTRIC AND TELEPHONE UTILITIES SHALL BE INSTALLED UNDERGROUND.
3. ALL REQUIRED IMPROVEMENTS SHALL COMPLY WITH THE TOWN OF ZEBULON MANUAL OF STANDARD DESIGNS AND DETAILS AND THE MANUAL FOR THE DESIGN AND CONSTRUCTION OF WATER AND WASTEWATER SYSTEM EXTENSIONS FOR GREENVILLE UTILITIES COMMISSION.
4. CONSTRUCTION PLAN APPROVAL FROM RALEIGH UTILITIES COMMISSION AND THE CITY OF RALEIGH SHALL BE OBTAINED PRIOR TO CONSTRUCTION OF ANY STREET, WATER, AND/OR SANITARY SEWER AND STORM DRAINAGE SYSTEMS.
5. THIS SITE IS LOCATED IN A ZONE 'X' (AREA DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE 100 YEAR FLOODPLAIN) AS IDENTIFIED BY FEMA FLOOD INSURANCE RATE MAP 3720270600K, EFFECTIVE JULY 19, 2022.
6. EROSION CONTROL PLAN APPROVAL REQUIRED NOT REQUIRED LESS 1 ACRES
7. STORMWATER MANAGEMENT PLAN APPROVAL REQUIRED NOT REQUIRED LESS 1 ACRES
8. BUILDINGS MUST MEET ALL APPLICABLE BUILDING CODES. SITE SHALL MEET ALL RELATIVE NORTH CAROLINA ACCESSIBILITY CODE REQUIREMENTS.
9. NCDOT AND TOWN OF ZEBULON DRIVEWAY PERMITS ARE NOT REQUIRED.
10. ANY UNUSED DRIVEWAY SHALL BE CLOSED IN ACCORDANCE WITH TOWN OF ZEBULON DRIVEWAY ORDINANCE.
11. REFUSE COLLECTION SHALL BE PROVIDED BY PRIVATE CONTRACTOR.
12. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
13. APPROVAL OF SITE PLAN DOES NOT CONSTITUTE APPROVAL OF SIGNS. SEPARATE SIGN PERMITS ARE REQUIRED.
14. CONTRACTOR SHALL NOTIFY PUBLIC WORKS STREET MAINTENANCE DIVISION 48 HOURS PRIOR TO MAKING CONNECTIONS TO EXISTING STORM DRAINS LOCATED WITHIN PUBLIC STORM DRAINAGE EASEMENTS OR R/W.
15. ACCESS TO PUBLIC UTILITIES MUST BE MADE AVAILABLE AT ALL TIMES.
16. ZEBULON ELECTRIC EASEMENT IS 10' IN WIDTH AND CENTERED OVER ELECTRIC LINES AS INSTALLED.
17. NO BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS, MATERIALS AND SURFACES, INCLUDING BUT NOT LIMITED TO PRINCIPLE AND ACCESSORY STRUCTURES AND ADDITIONS AND APPURTENANCES THERETO, SIGNAGE, FENCES, WALLS, MECHANICAL EQUIPMENT, CANOPIES, ANTENNAS, MASTS, DEBRIS, SOLID WASTE COLLECTION CONTAINERS, MAIL RECEPTACLES AND IMPERVIOUS SURFACES SHALL ENCRoACH WITHIN ANY DEDICATED EASEMENT WITHOUT PRIOR APPROVAL OF RALEIGH UTILITIES OR CITY OF RALEIGH, AS APPROPRIATE.
18. THIS SITE DOES NOT REQUIRE ANNEXATION UPON APPROVAL OF SITE PLAN.
19. LANE CLOSURES ON THOROUGHFARE ROADS ARE ONLY PERMITTED BETWEEN THE HOURS OF 9:00AM AND 4:00PM, MONDAY THROUGH FRIDAY, UNLESS OTHERWISE PERMITTED BY THE TRAFFIC ENGINEER IN ADDITION. THERE WILL BE NO LANE CLOSURES ON HOLIDAYS INCLUDING THE DAY BEFORE OR AFTER SAID HOLIDAY. A TRAFFIC CONTROL PLAN PREPARED IN ACCORDANCE WITH THE NCDOT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES IS REQUIRED FOR ALL LANE CLOSURES AND MUST BE APPROVED BY THE TRAFFIC ENGINEER.
20. ALL SITE LIGHTING SHALL COMPLY WITH THE TOWN OF ZEBULON LIGHTING STANDARD.
21. NEW BUILDINGS MUST COMPLY WITH NC FIRE CODE SECTION 510-EMERGENCY RESPONDER RADIO COVERAGE.
22. PLEASE BE ADVISED OF THE RULES WHICH PROTECT AND MAINTAIN EXISTING BUFFERS ALONG WATERCOURSES IN THE NEUSE RIVER BASINS. THIS RULE IS ENFORCED BY THE DIVISION OF WATER QUALITY (DWQ). DIRECT ANY QUESTIONS ABOUT THE APPLICABILITY OF THIS RULE TO YOUR PROJECT TO ROGER THORPE, REGIONAL WATER QUALITY SUPERVISOR, WASHINGTON REGIONAL OFFICE, AT (919) 946-6481.



VICINITY MAP

1" = 500'

Sheet List Table

Sheet Number	Sheet Title
C1.01	COVER
C1.02	RECORDED PLAT SURVEY
C1.03	EXISTING CONDITION DEMOLITION PLAN
C2.01	SITE PLAN
C2.10	SITE DETAILS
C2.11	SITE DETAILS
C3.01	UTILITIES PLAN
C3.10	UTILITIES DETAILS
C3.11	UTILITIES DETAILS
C4.01	STORMWATER AND GRADING PLAN
C4.10	STORM DETAILS
C4.11	STORM DETAILS
L1.01	LANDSCAPE PLAN
L1.02	LANDSCAPE NOTES, PLANT SCHEDULE, & DETAILS
LP1	LIGHTING PLAN

1

CIVIL ENGINEER

Rivers & Associates, Inc.
Greenville, NC



107 East Second Street
Greenville, NC 27858
(252) 752-4135

Contact: Steve Janowski, PE
sjanowski@riversandassociates.com



DEVELOPER/ARCHITECT



1900 Abbott Street / Suite 103
Charlotte, North Carolina 28203
704-335-1292
www.begarchitect.com

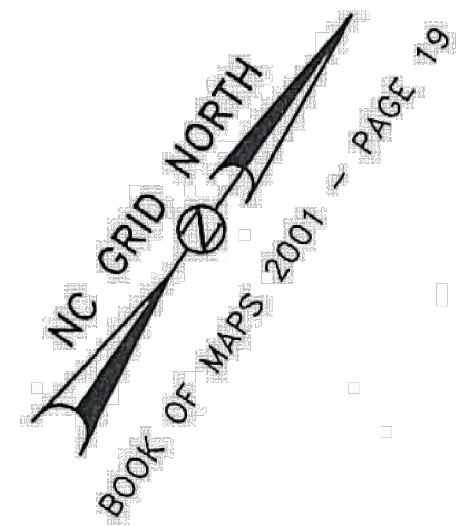
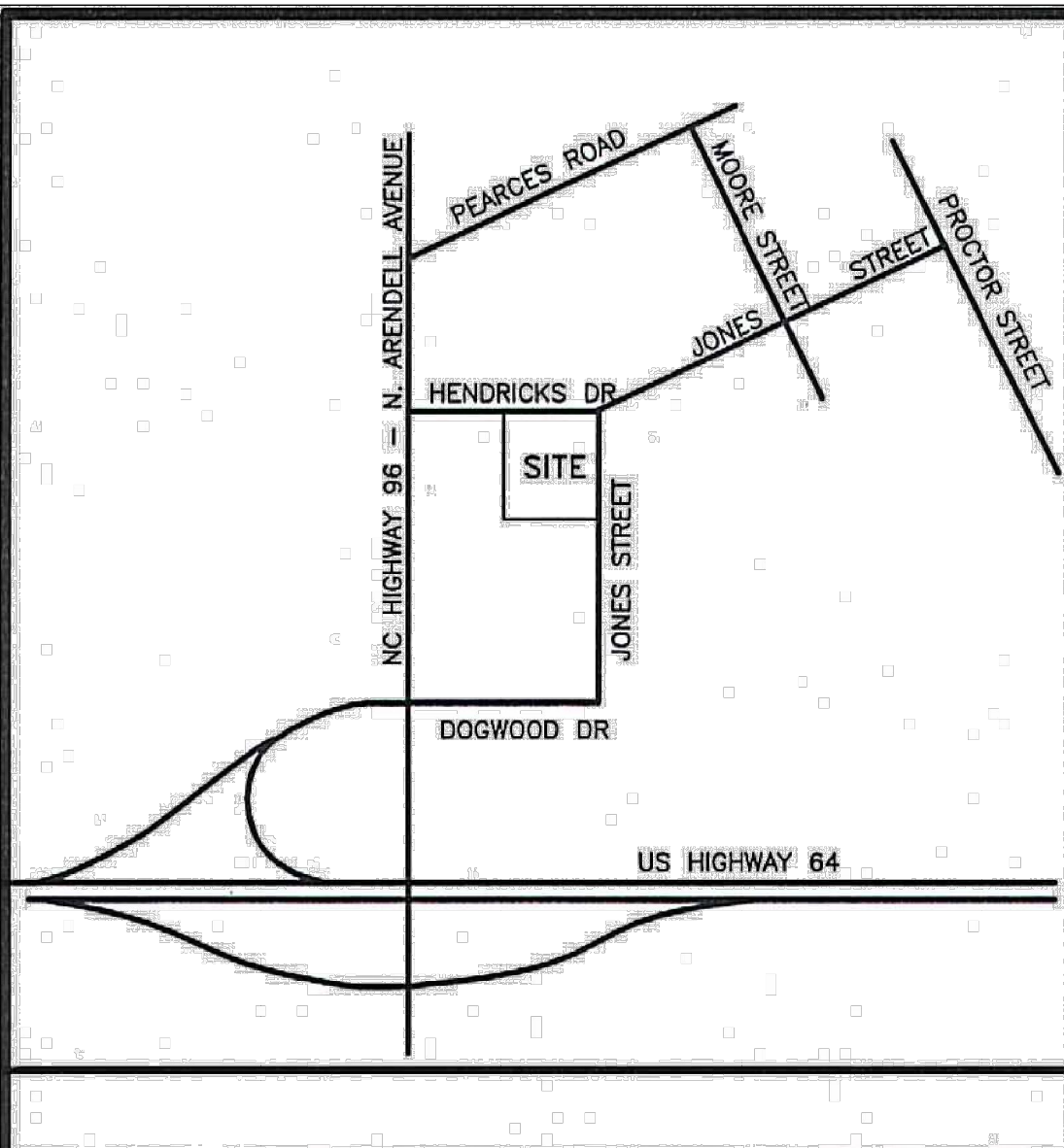


353 EAST SIX FORKS ROAD
SUITE 230
RALEIGH, NC 27609
(919) 594-1626

Engineers
Planners
Surveyors
Landscape Architects

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH TOWN OF ZEBULON, NCDOT & NCDEQ STANDARDS, SPECIFICATIONS AND DETAILS.

C1.01



NOTE: BEING LOT 2 AS RECORDED IN BOOK OF MAPS 2006 PAGE 2692.

NOTE: PIN # 2706-00-6772

REFERENCE: DB 11560 PG 240
 BOOK OF MAPS 2001 PG 19
 BOOK OF MAPS 2006 PG 2692
 DB 13097 PGS 2212-2214

NOTE: AREA COMPUTED BY COORDINATE METHOD.

NOTE: UTILITY LOCATIONS SHOWN ARE BASED ON VISIBLE EVIDENCE. THE LOCATIONS OF UNDERGROUND UTILITIES ARE TO BE FIELD VERIFIED BY CONTRACTOR.

NOTE: THIS PROPERTY IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

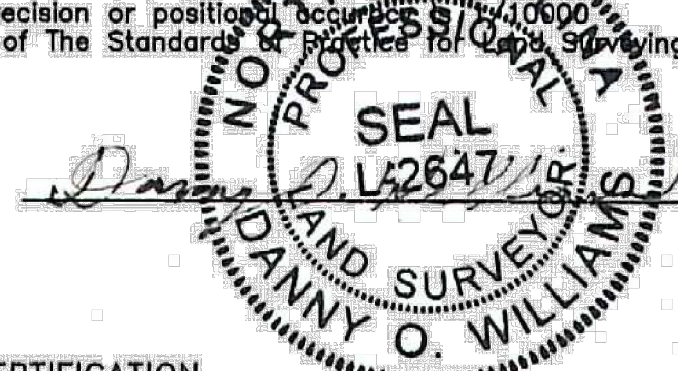
OWNER:
 TONY & KATHY SMITH
 P O BOX 1215
 1000 HENDRICKS DR
 ZEBULON, NC 27597

ZONED HC

MANHOLE # 3 TOP = 340.03' INV OUT = 333.31'	MANHOLE # 5 TOP = 343.07' INV IN = 331.87' INV OUT = 331.82'	MANHOLE # 7 TOP = 337.41' INV IN = 330.23' INV OUT = 330.18'
MANHOLE # 4 TOP = 338.65' INV IN = 332.76' INV OUT = 332.71'	MANHOLE # 6 TOP = 341.69' INV IN = 331.47' INV IN = 331.79' INV OUT = 331.45'	

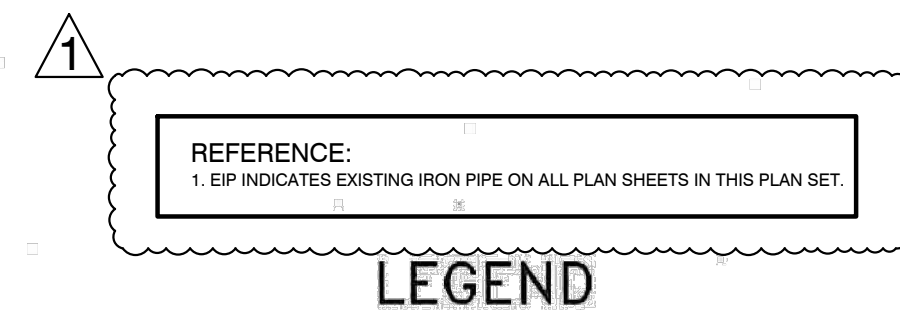
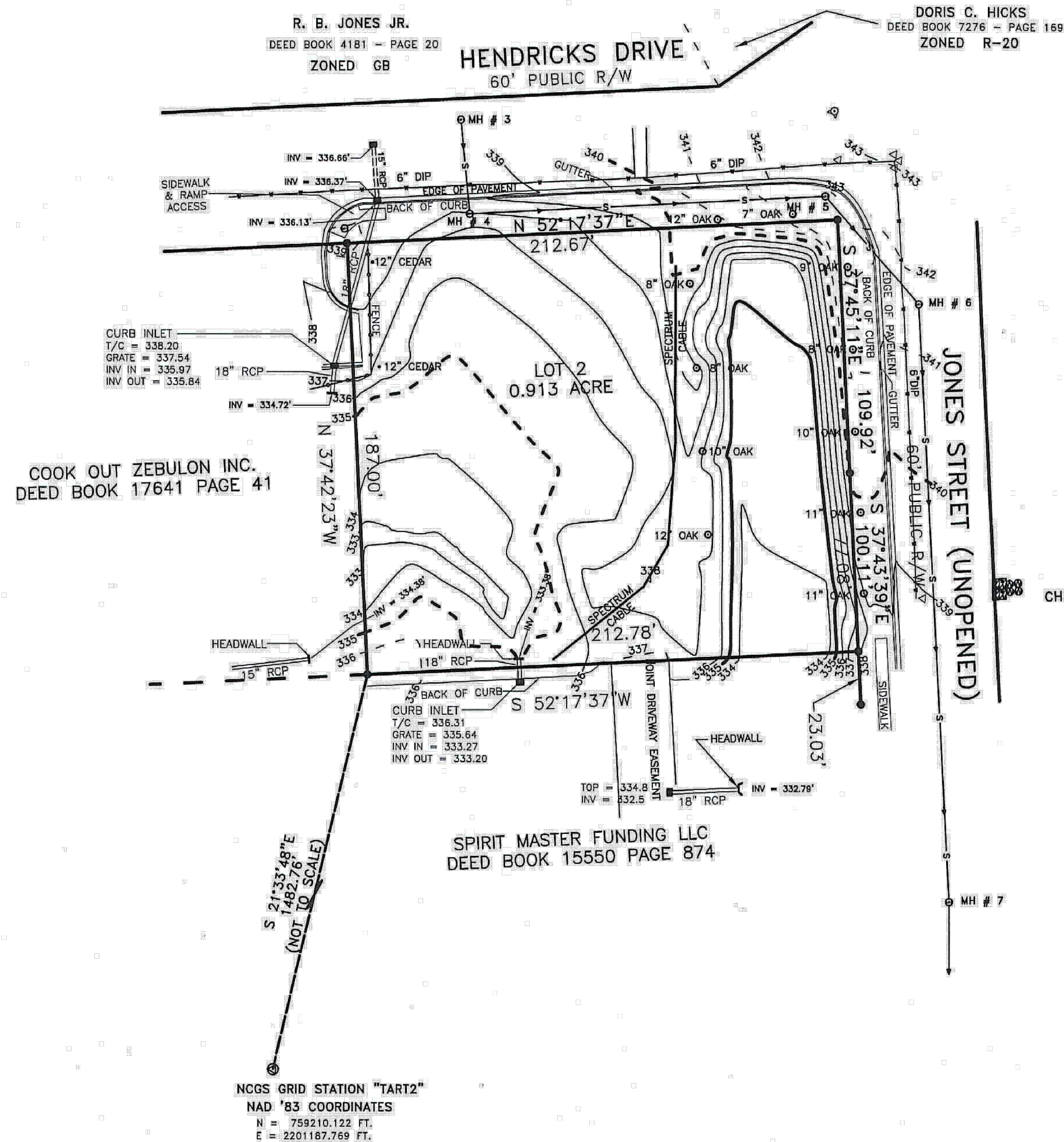
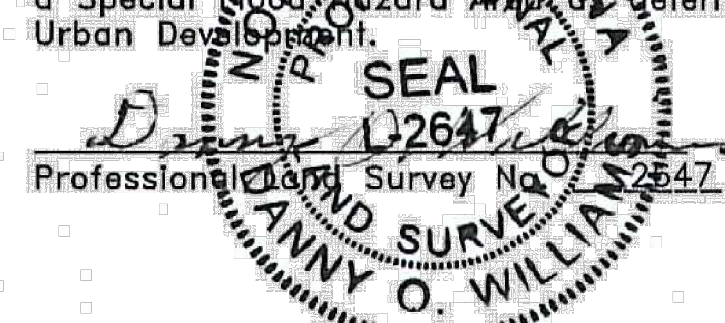
I, DANNY O. WILLIAMS, certify that this map was drawn under my supervision from an actual survey made under my supervision (and description recorded in Book _____ Page _____ or other reference source BOM 2006 PG 2692); that the survey was surveyed and indicated as drawn from information in Book _____ page _____ by _____ source BOM 2006 PG 2692; that the ratio of precision or positional accuracy is 1:10,000 and that this map meets the requirements of The Standards and Practices for Surveying in North Carolina (21 NCAC 56.1800).

This 6TH day of DECEMBER, 2022.
 P. L. S. L-2647



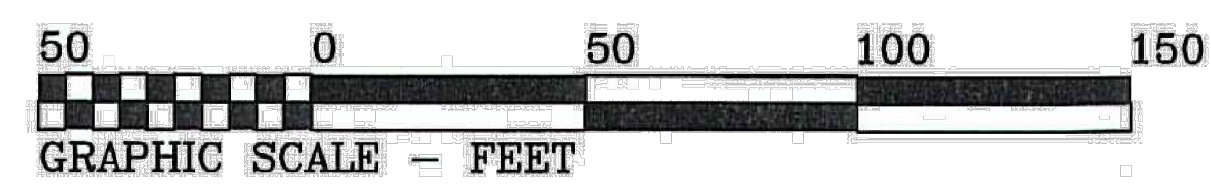
FLOOD CERTIFICATION

I have examined the Flood Insurance Rate Map for _____ WAKE County, North Carolina Community Panel Number 3720270600K dated JULY 13, 2022, and hereby certify that this property is not located in a Special Flood Hazard Area as determined by the Department of Housing and Urban Development.



- LEGEND**
- = EXISTING IRON PIN
 - ⊙ = NCGS GRID MONUMENT
 - = MANHOLE
 - ⊕ = WATER VALVE
 - ⊙ = FIRE HYDRANT
 - S — = UNDERGROUND SANITARY SEWER
 - ⊙ = WATER CUT OFF
 - = CATCH BASIN / CURB INLET
 - ⊗ = WATER METER
 - v — = WATER LINE AS PAINTED BY: THE TOWN OF ZEBULON
 - DIP = DUCTILE IRON PIPE

PROPERTY SURVEY FOR
 PIEDMONT PROPERTIES
 TOWN OF ZEBULON
 WAKE COUNTY
 NORTH CAROLINA



DRAWN BY: DOW & BGW
 CHECKED BY: DOW
 DATE: 12-06-2022
 SCALE: 1" = 50'

JOB: SONIC\ZEBULON\LOT 2 TOPO.DWG
 FB:



REVISIONS:

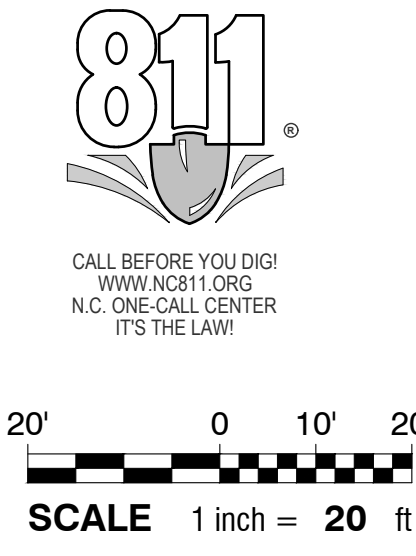
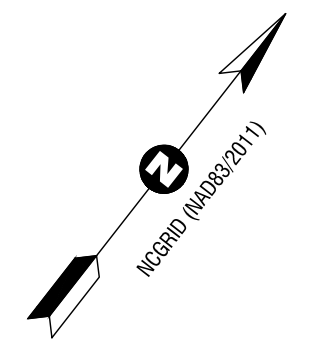
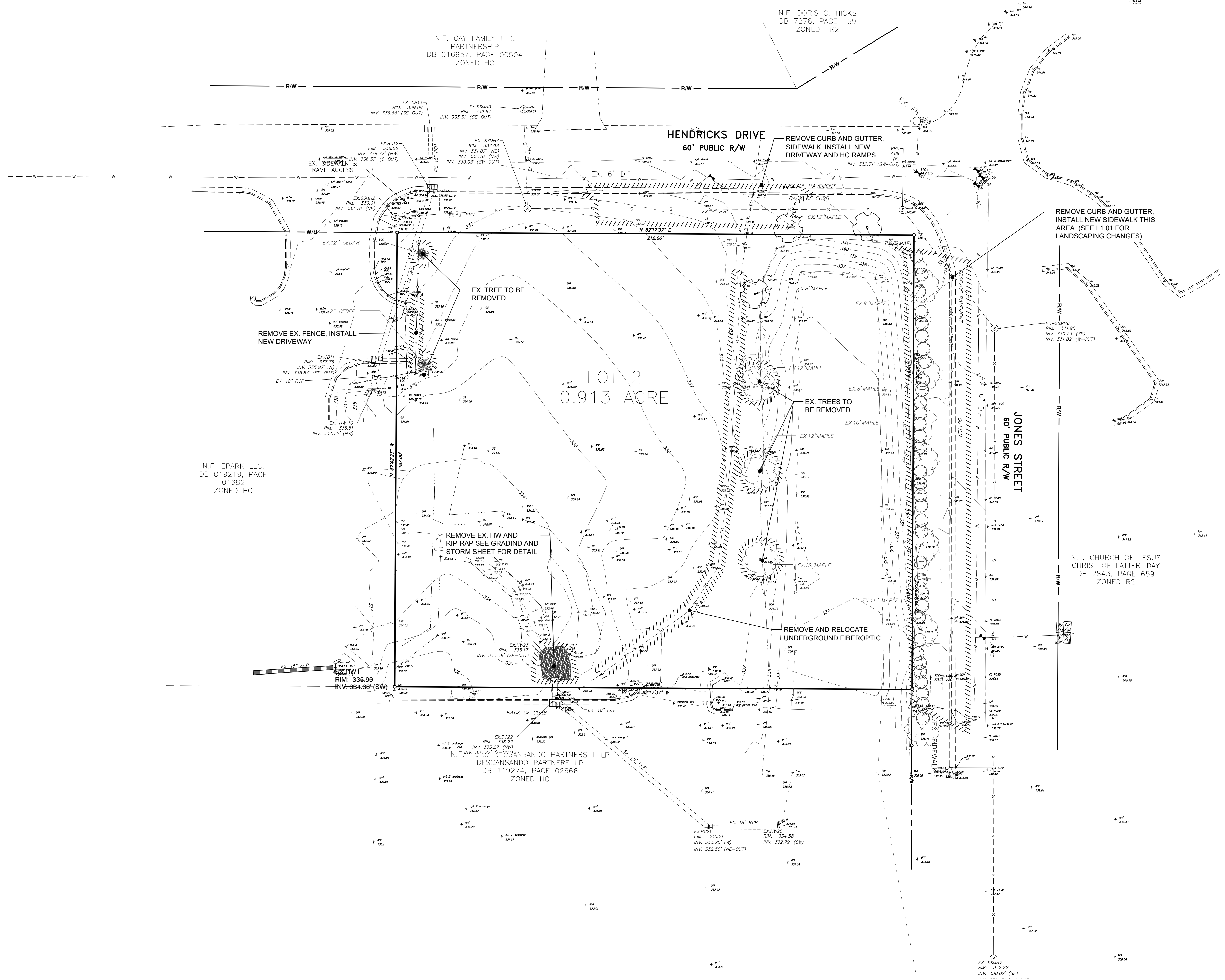
NO.	DATE	BY	DESCRIPTION
1	12/07/23		CONSTRUCTION DRAWINGS SUBMITTAL #2
2	11/21/23		CLIENT REVIEW
3	11/07/23		TRC REVIEW PLAN
4	06/01/23		CONSTRUCTION DRAWINGS SUBMITTAL #1

CONSTRUCTION DRAWINGS
DOMINO'S ZEBULON
 TOWN OF ZEBULON - WAKE COUNTY - NORTH CAROLINA
EXISTING CONDITION DEMOLITION PLAN

DATE:

DESIGNED BY:	JSJ/MS
DRAWN BY:	MS
CHECKED BY:	JSJ
PROJECT No.:	2023018
DRAWING No.:	W-4081
SCALE:	AS SHOWN
SHEET No.:	C1.03

- NOTES:**
- BOUNDARY, TOPOGRAPHIC AND PLANIMETRIC FEATURES SHOWN ARE FROM A FIELD SURVEY PERFORMED BY WILLIAMS - PEARCE & ASSOC., P.A. PROFESSIONAL LAND SURVEYORS P.O. BOX 892, ZEBULON, N.C. 27597 PHONE (919) 269-9605 PROPERTY SURVEY FOR: PIEDMONT PROPERTIES ON 12/06/2022.
 - PER FEMA FIRM MAP 372046600L DATED 7/7/14, THIS PROJECT IS IN ZONE X AND THEREFORE THERE IS NO REGULATORY FLOODPLAIN LOCATED ON THIS PROPERTY.
 - WETLANDS, STREAMS & ASSOCIATED BUFFERS TO BE DETERMINED.



\\\ANDREWS\DRAWING\ZEBULON\2023\DOMINO'S ZEBULON\CONSTRUCTION DRAWINGS\C1.03 EXISTING CONDITION DEMOLITION PLAN.dwg: JMW1.DWG



SITE DATA TABLE	
PROPERTY INFORMATION / SITE ADDRESSES -	
NC PIN - 27-0600-6772	
ADDRESS - 1000 HENDRICKS DR	
ZEBULON, WAKE COUNTY, NORTH CAROLINA 27597	
TOWNSHIP - JTSJ INC	
OWNER/ DEVELOPER - JTSJ INC	
9107 S TRYON ST STE. F, CHARLOTTE, NC 28273	
SITE AREA - 0.91 AC (PER RIVERS SURVEY)	
LAND USE - EXISTING - VACANT / STORMWATER CONTROL MEASURE	
PROPOSED - RESTAURANT WITH DRIVE-THROUGH PICK-UP LANE	
ZONING - HC - HEAVY COMMERCIAL	
STREET - 30'	
SIDE - 0'; 5' IF PROVIDED	
REAR - 0'	
BUFFERS - 15' STREETScape BUFFER ALONG HENDRICKS DR & JONES ST	
10' TYPE 'A' PERIMETER BUFFER ALONG ADJACENT PROPERTIES	
BUILDING DATA - PROPOSED BUILDING FOOTPRINT = 2,507 SF	
PARKING - REQUIRED - 1 SPACE / 4 SEATS	
3 BOOTHS @ 4 SEATS/BOOTH = 12 SEATS	
3 BENCHES @ 4 SEATS/BENCH = 12 SEATS	
12 + 12 = 24 SEATS TOTAL, 24 / 4 = 6	
6 PARKING SPACES REQUIRED	
PROVIDED - 17 PARKING SPACES, INCL. 2 VAN ACCESSIBLE HANDICAP SPACES.	
MINIMUM DIMENSIONS: 10' X 20'	
IMPERVIOUS SURFACE - EXISTING - N/A	
AREA - PROPOSED - ASPHALT PAVEMENT - +/-14,172 SF	
CONCRETE - +/- 3,093 SF	
BUILDING - +/- 2,507 SF	
TOTAL - +/- 19,772 SF	
(+/- 0.454 AC)	
PROPOSED IMPERVIOUS PERCENTAGE - +/- 49.25%	

REVISIONS:			
NO.	DESCRIPTION	DATE	BY
1	CONSTRUCTION DRAWINGS SUBMITTAL #2	12/07/23	
2	CLIENT REVIEW	11/21/23	
3	TRC REVIEW PLAN	11/07/23	
4	CONSTRUCTION DRAWINGS SUBMITTAL #1	06/01/23	

CONSTRUCTION DRAWINGS
DOMINO'S ZEBULON
 TOWN OF ZEBULON - WAKE COUNTY - NORTH CAROLINA
SITE PLAN

DATE:	
DESIGNED BY:	SF/MS
DRAWN BY:	SF/MS
CHECKED BY:	JSJ/PRM
PROJECT No.:	2023018
DRAWING No.:	W-4081
SCALE:	AS SHOWN
SHEET No.:	C2.01

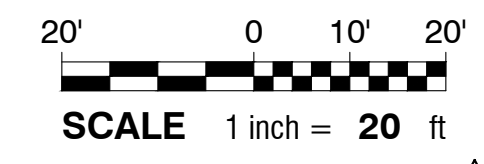
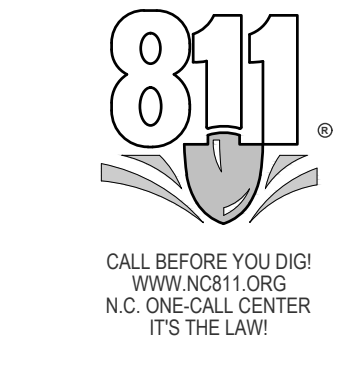
- GENERAL NOTES:
- ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY RIVERS AND ASSOCIATES, INC., THE CURRENT REQUIREMENTS OF THE TOWN OF ZEBULON, THE APPLICABLE SECTIONS OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 94-54), FEDERAL REGS. CHAPTER XVII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SURVEYS OR A BID SHALL BE CONSIDERED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
 - BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY N.C. ONE CALL AT 1-800-632-4849. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
 - CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT PRIOR TO INITIATION OF ANY EARTHWORK ACTIVITY.
 - CONTRACTOR SHALL NOTIFY PUBLIC WORKS STREET MAINTENANCE DIVISION 48 HOURS PRIOR TO MAKING CONNECTIONS TO EXISTING STORM DRAINS LOCATED WITHIN PUBLIC STORM DRAINAGE EASEMENTS OR R/W.
 - REFER TO C1.02 FOR SURVEY CONTROL INFORMATION.
 - CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
 - PER FEMA FIRM MAP 372046000L DATED 7/7/14. THIS PROJECT IS IN ZONE X AND THEREFORE THERE IS NO REGULATORY FLOODPLAIN LOCATED ON THIS PROPERTY.
 - BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS, MATERIALS AND SURFACES, INCLUDING BUT NOT LIMITED TO PRINCIPAL AND ACCESSORY STRUCTURES AND ADDITIONS AND APPURTENANCES THERETO, SIGNAGE, FENCES, WALLS, MECHANICAL EQUIPMENT, CANDLES, ANTENNAS, MASTS, DEBRIS, SOLID WASTE COLLECTION CONTAINERS, WALL RECEPTACLES, AND IMPERVIOUS SURFACES SHALL NOT ENDOUR WITHIN ANY DEDICATED EASEMENT WITHOUT PRIOR APPROVAL OF TOWN OF ZEBULON & THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
 - SOIL EROSION AND SEDIMENTATION CONTROL PLAN IS NOT APPLICABLE. THE SITE DISTURBANCE IS LESS THAN ONE ACRE.
 - WETLANDS ARE VALUABLE NATURAL RESOURCES THAT PROVIDE IMPORTANT ECOLOGICAL FUNCTIONS. BE ADVISED THAT ACTIVITIES IN WETLANDS ARE REGULATED BY THE FEDERAL GOVERNMENT UNDER SECTION 404 OF THE CLEAN WATER ACT. JURISDICTIONAL WETLANDS MAY INCLUDE THE FINE SHRUB REGIONS THAT ARE COMMON IN THIS REGION. IF ANY PRIVATE LAND OWNER, DEVELOPER, CORPORATION, OR OTHER PERSON PROPOSES TO UNDERTAKE CONSTRUCTION/PLUMBING ACTIVITIES IN OR NEAR A LAKE, STREAM, CREEK, TRIBUTARY OR ANY UNARMED BODY OF WATER INCLUDING ITS ADJACENT WETLANDS, FEDERAL PERMIT AUTHORIZATION MAY BE REQUIRED FROM THE U.S. ARMY CORPS OF ENGINEERS PRIOR TO COMMENCEMENT OF SUCH LAND-DISTURBING ACTIVITIES. PLEASE CONTACT MS. TRACY WHEELER, TELEPHONE (252) 975-1616 FOR A WETLAND DETERMINATION AND INFORMATION REGARDING SPECIFIC PERMIT REQUIREMENTS. WETLANDS DETERMINATION PENDING, BY OTHERS.
 - APPROVAL OF SITE PLAN DOES NOT CONSTITUTE APPROVAL OF SIGNS. SEPARATE SIGN PERMITS ARE REQUIRED.
 - ALL SLOPES SHALL BE 3:1 (HORIZONTAL:VERTICAL) MAXIMUM UNLESS NOTED OTHERWISE.
 - ALL AREAS NOT PAVED SHALL BE TOPSOILED, SEEDDED, MULCHED OR LANDSCAPED/SODDED UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DRAWINGS, SITE SPECIFICATIONS OR INSTRUCTED BY THE OWNER.
 - ALL REQUIRED IMPROVEMENTS SHALL COMPLY WITH THE TOWN OF ZEBULON ZONING ORDINANCE.
 - REFUSE COLLECTION SHALL BE PROVIDED BY PRIVATE CONTRACTOR.
 - CONSTRUCTION OF ROADWAY EXTENSION BY OTHERS.

STORMWATER MANAGEMENT NOTES:

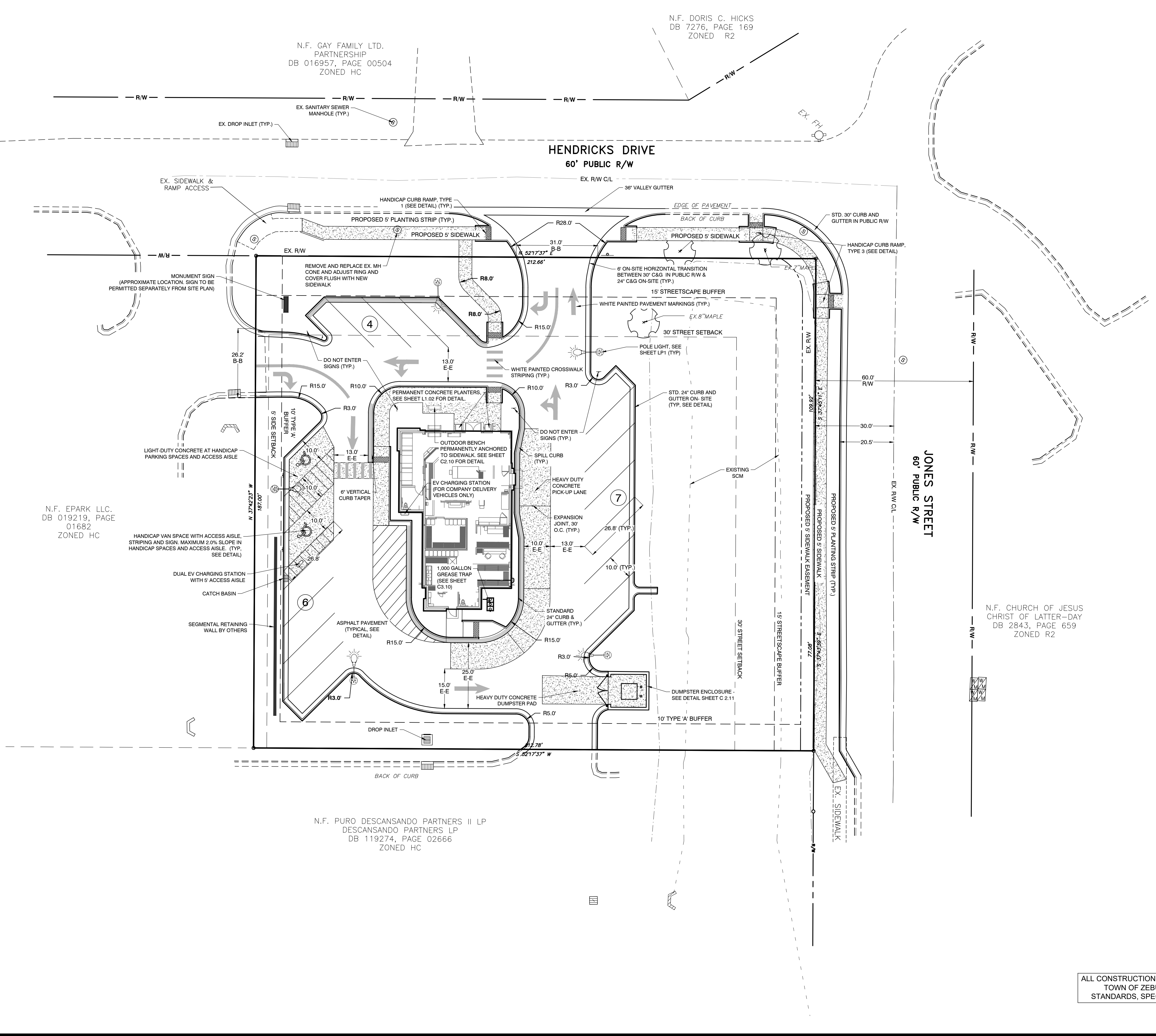
1. EXISTING STORMWATER MANAGEMENT DETENTION BASIN	
A. ON-SITE ALLOWABLE IMPERVIOUS SURFACE AREA =	1.89 AC = 82,328 SF
B. SONIC IMPERVIOUS SURFACE AREA =	0.84 AC = 36,590 SF
C. CAPITAL BANK IMPERVIOUS SURFACE AREA =	0.84 AC = 36,590 SF
2. ALLOWABLE IMPERVIOUS SURFACE AREA FOR SITE =	0.48 AC = 21,844 SF
3. PROPOSED IMPERVIOUS SURFACE AREA FOR SITE =	0.45 AC = 19,772 SF
4. ALLOWABLE FUTURE IMPERVIOUS AREA =	21.344 SF - 19,772 SF = 1,572 SF

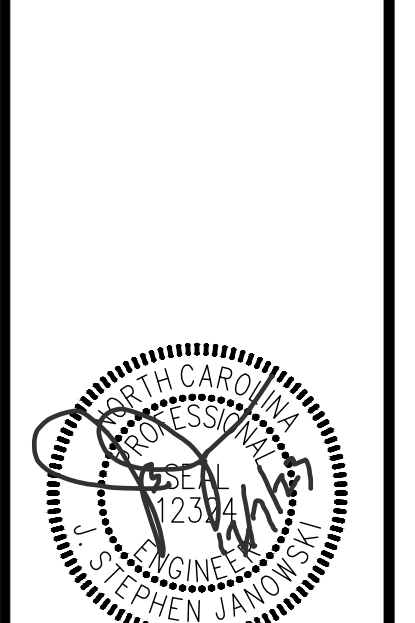
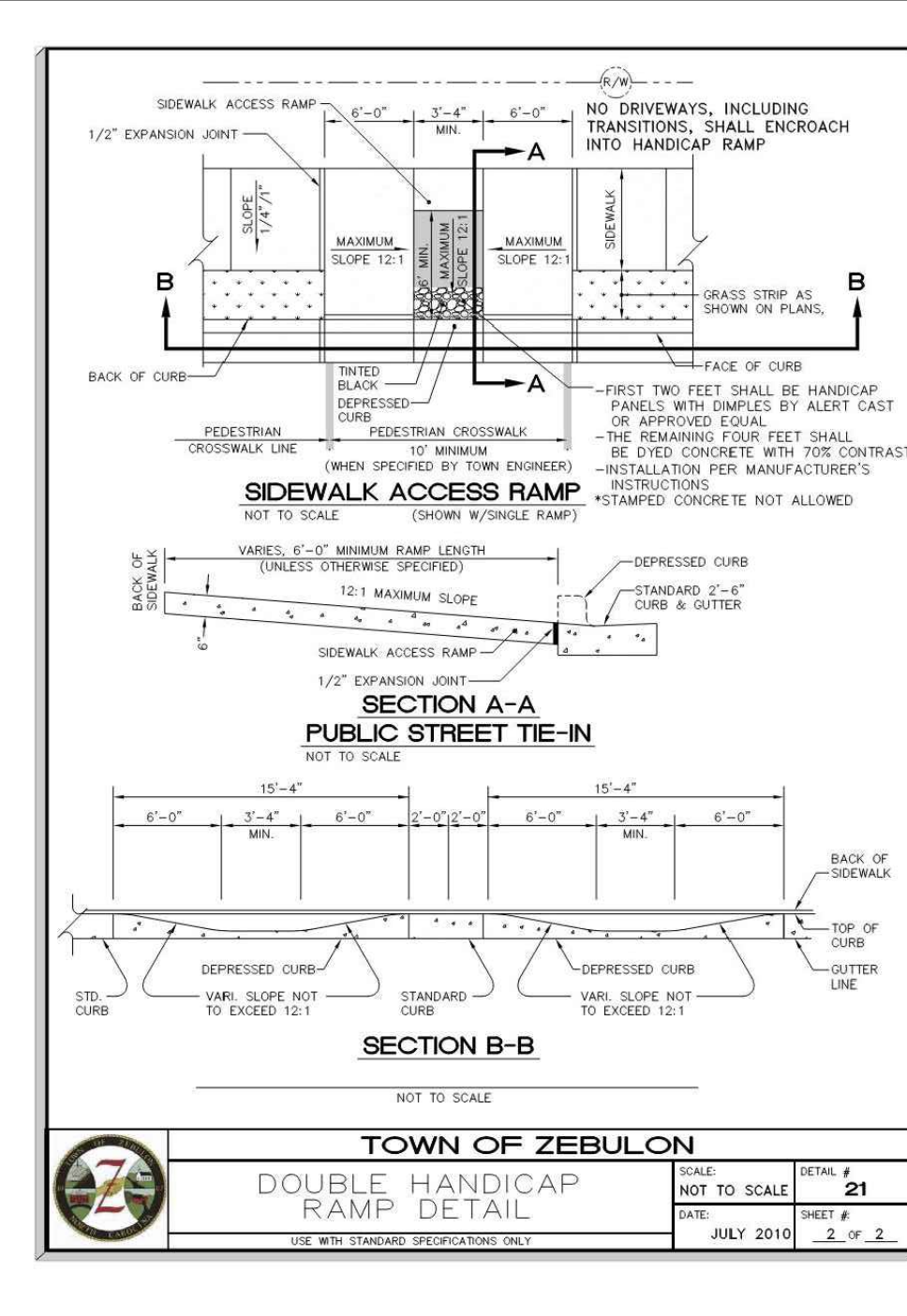
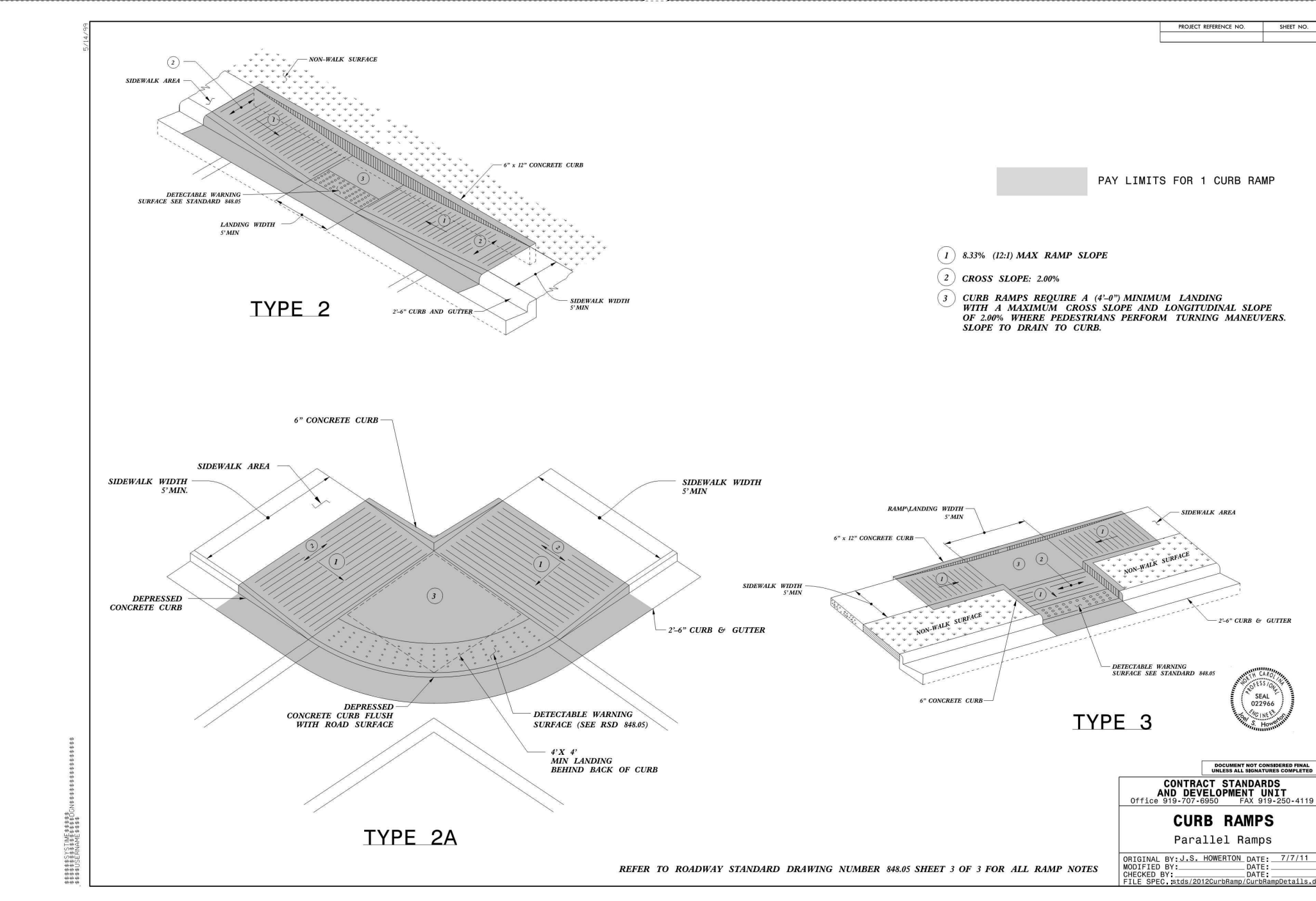
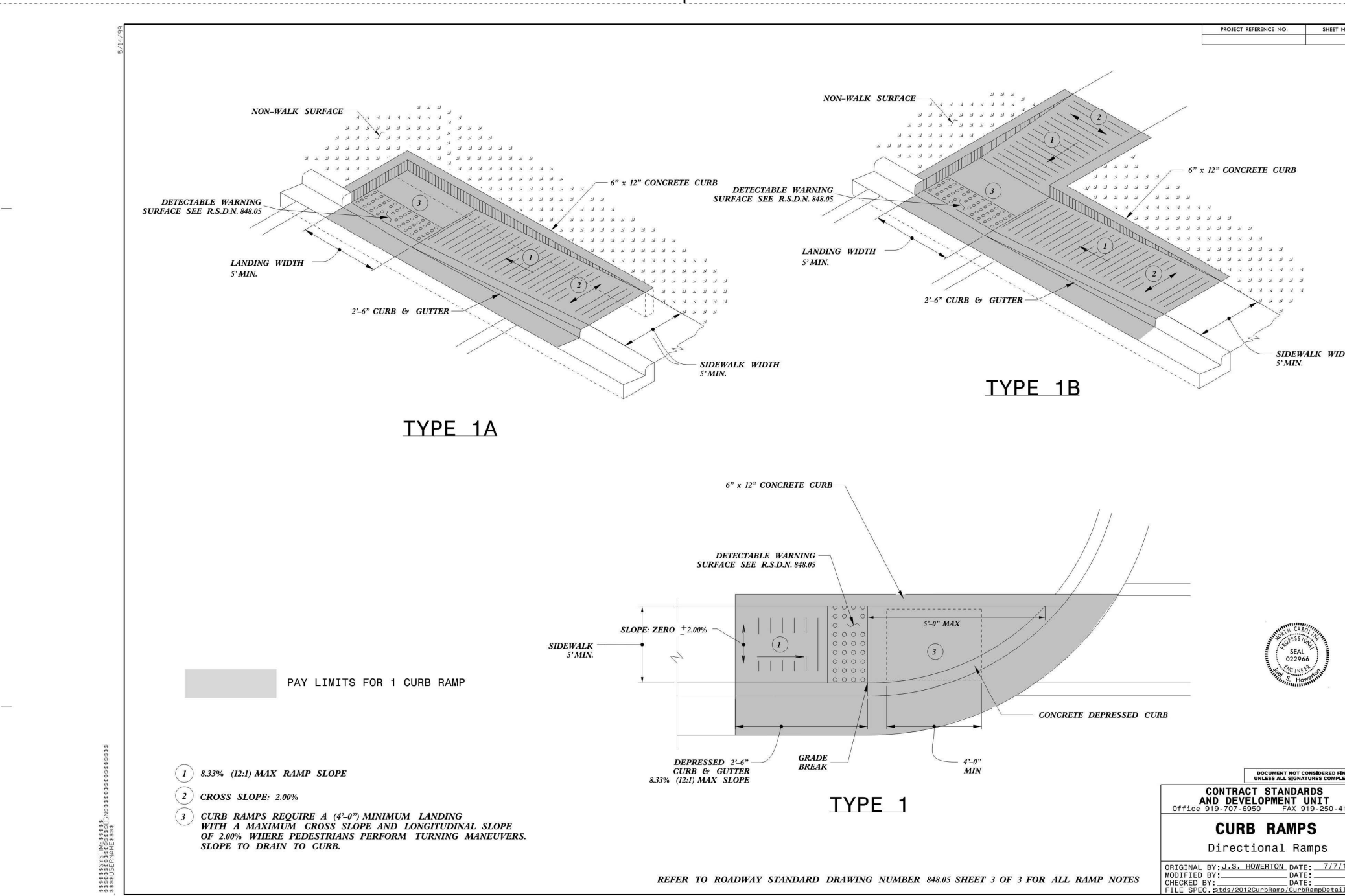
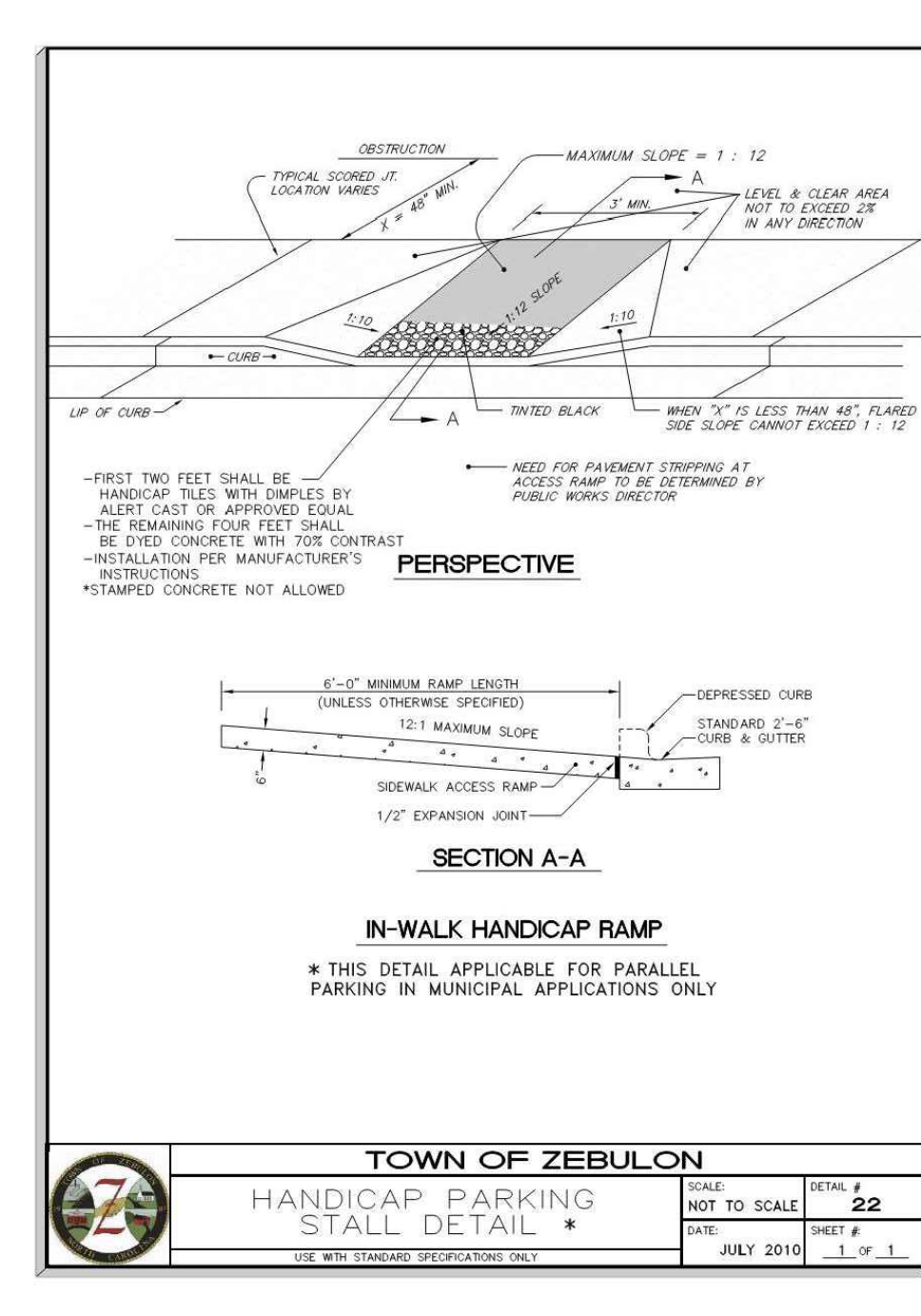
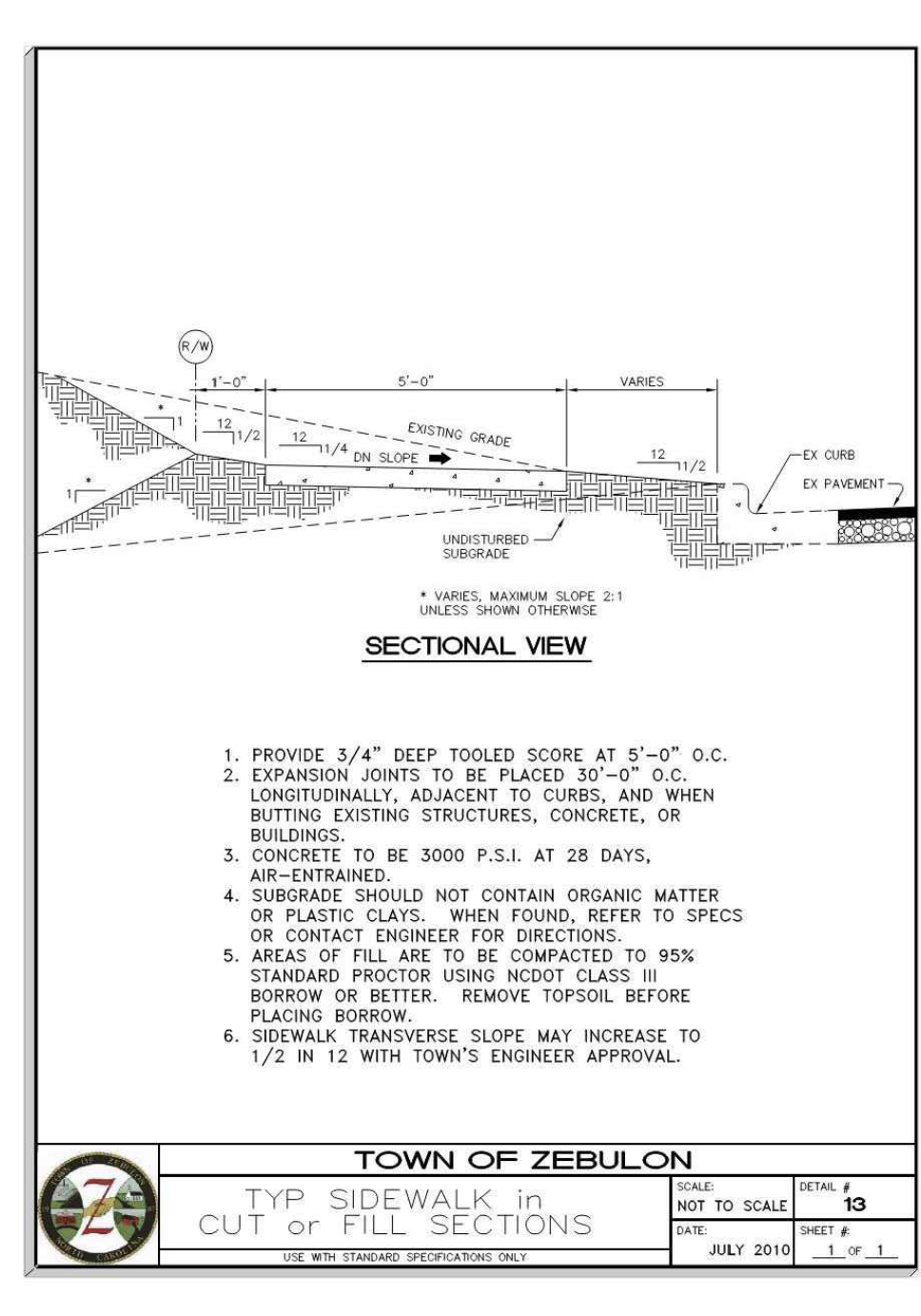
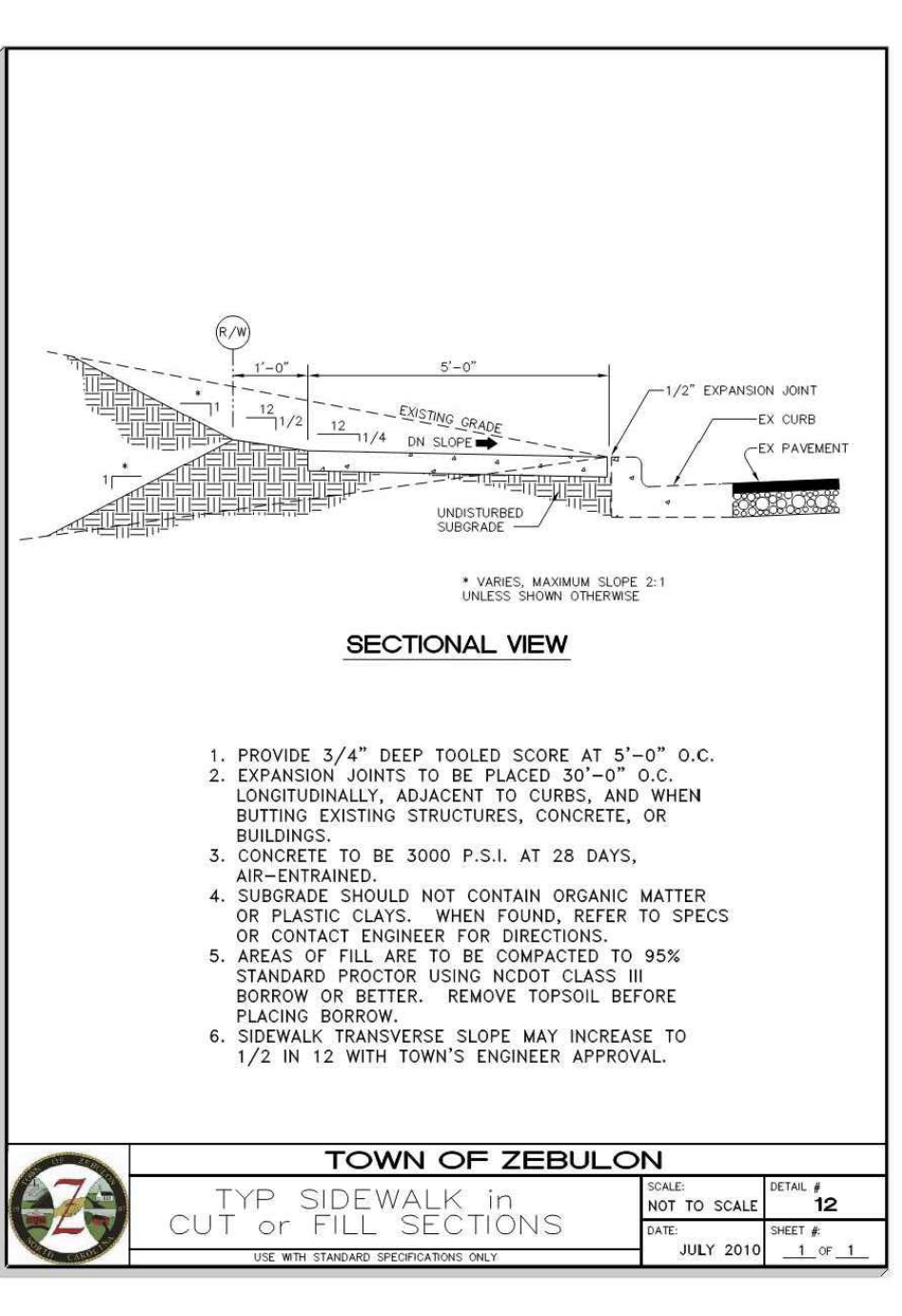
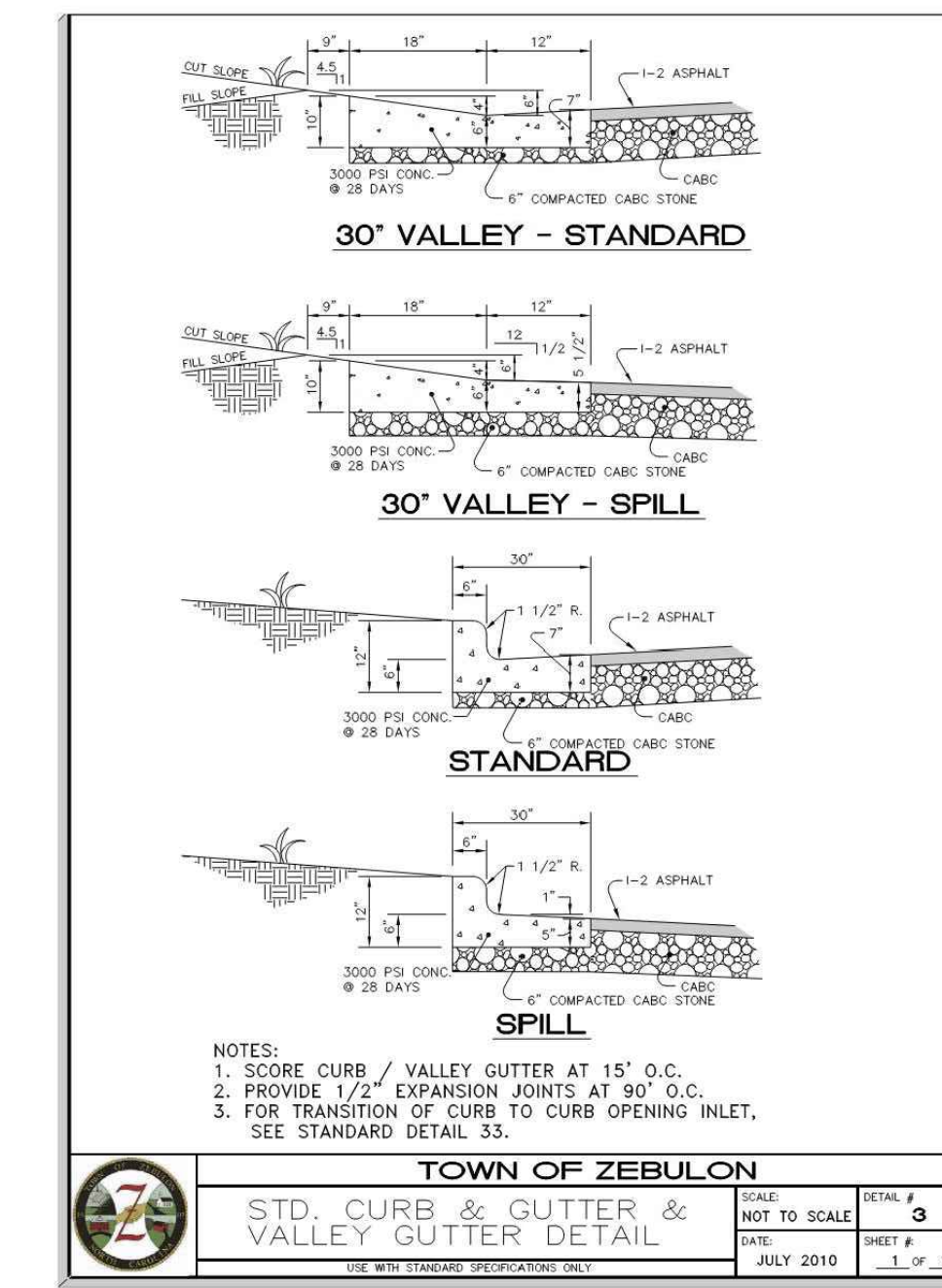
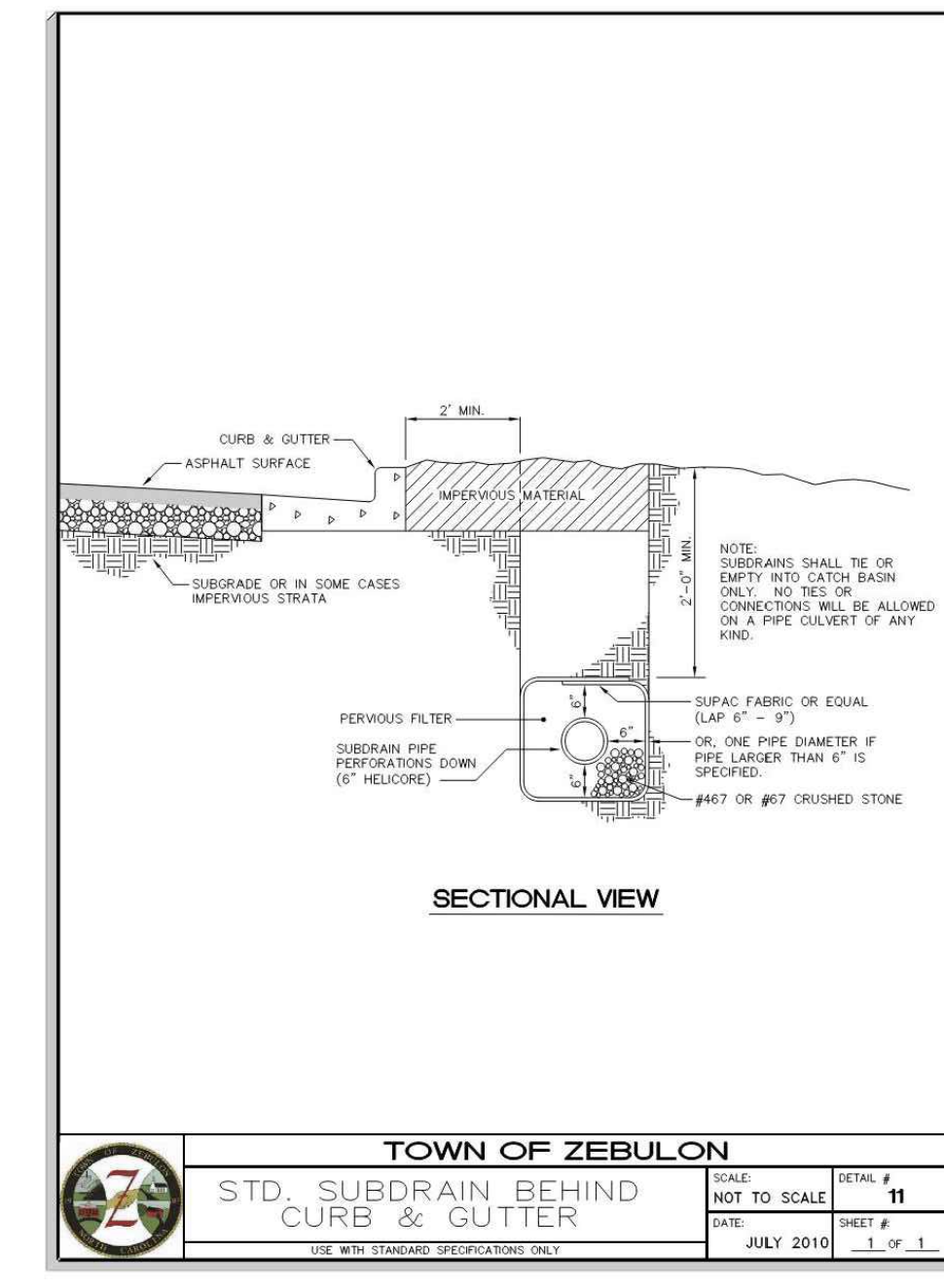
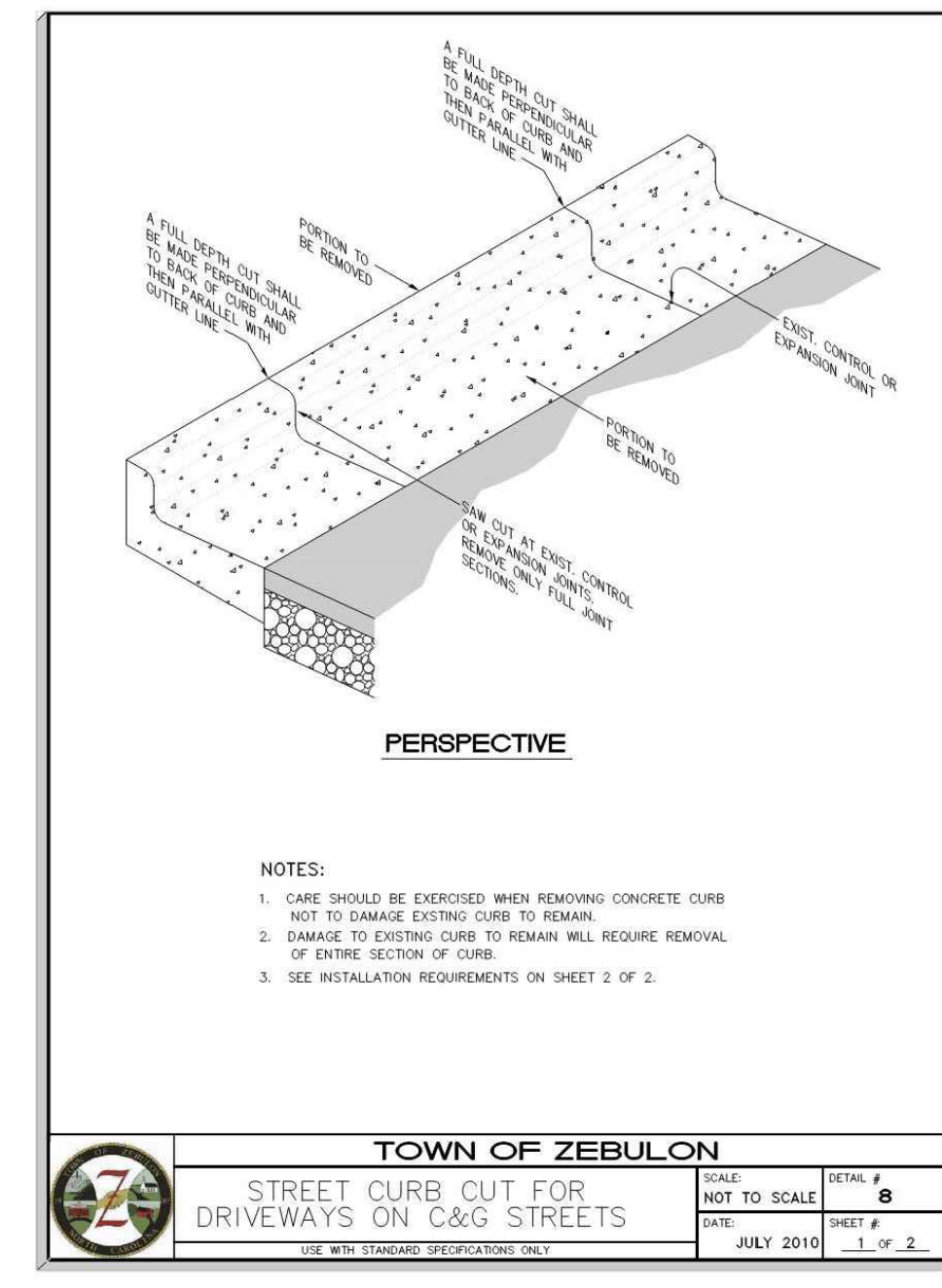
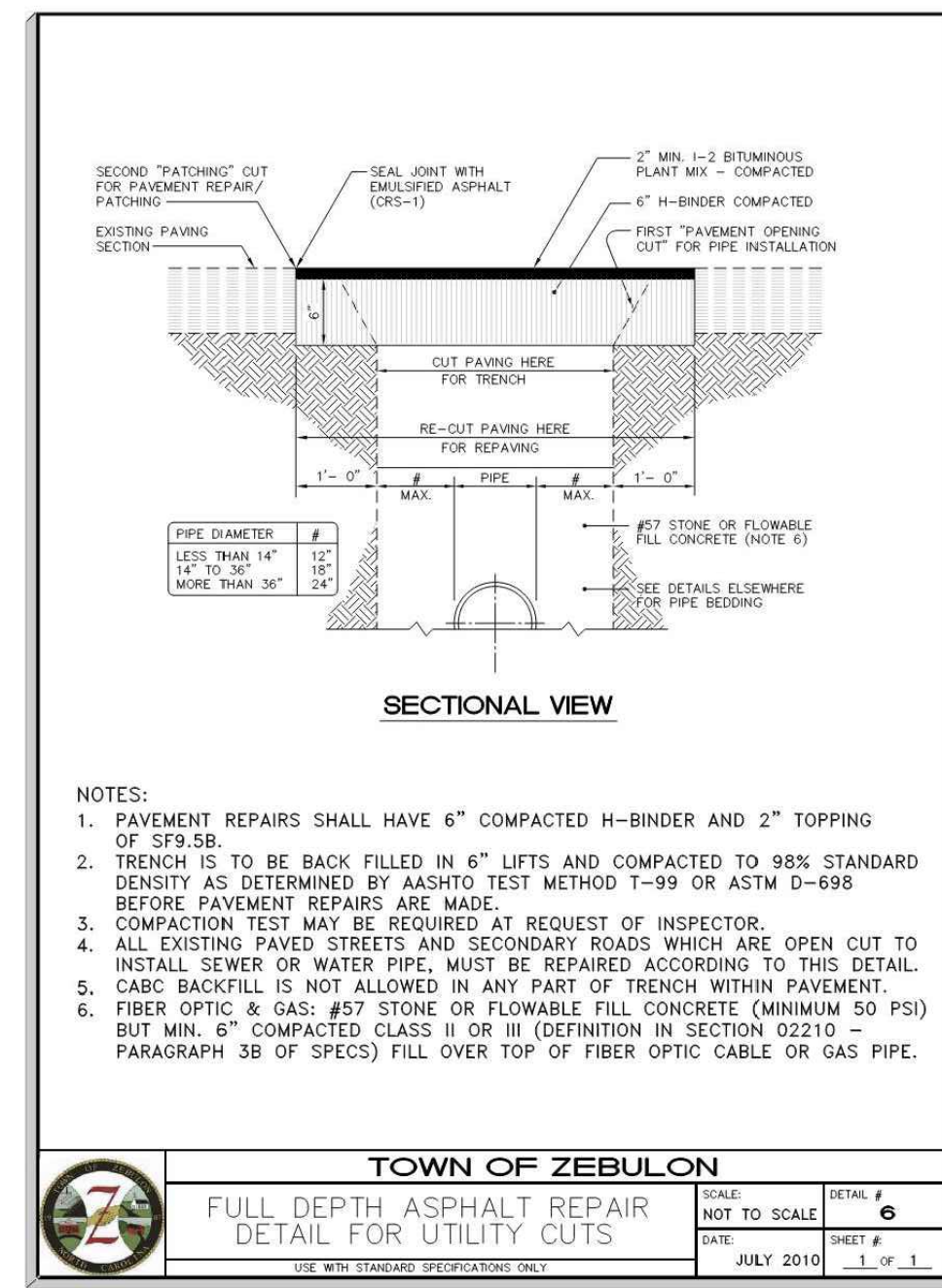
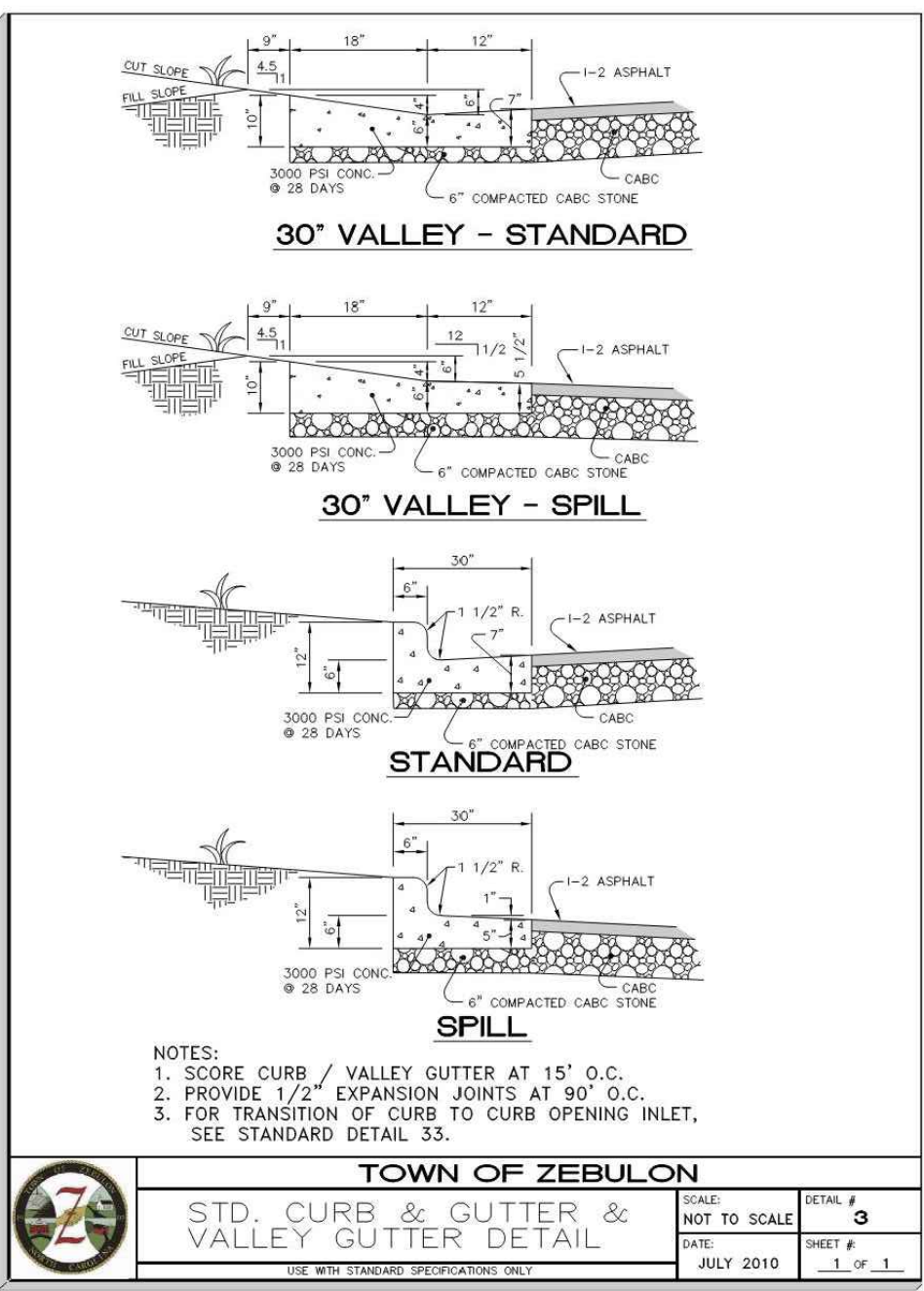
- NOTE:**
- PAVEMENT MARKINGS WITHIN SITE CAN BE PAINTED. PAVEMENT MARKINGS WITHIN RIGHT OF WAY SHALL BE THERMOPLASTIC AND SHALL BE INSTALLED IN ACCORDANCE WITH NCDOT STANDARDS AND SPECIFICATIONS.
 - EXISTING ON-SITE FIBER OPTIC LINES TO BE REROUTED BY CONTRACTOR.

- HC RAMPS:**
- ALL HC RAMPS TO BE FIELD ADJUSTED WITH INPUT FROM THE TOWN OF ZEBULON FIELD INSPECTOR PRIOR TO INSTALLATION.
 - POWER POLES WHICH CONFLICT WITH FIELD LOCATED HC RAMPS ARE TO BE RELOCATED BY APPROPRIATE UTILITY COMPANY.



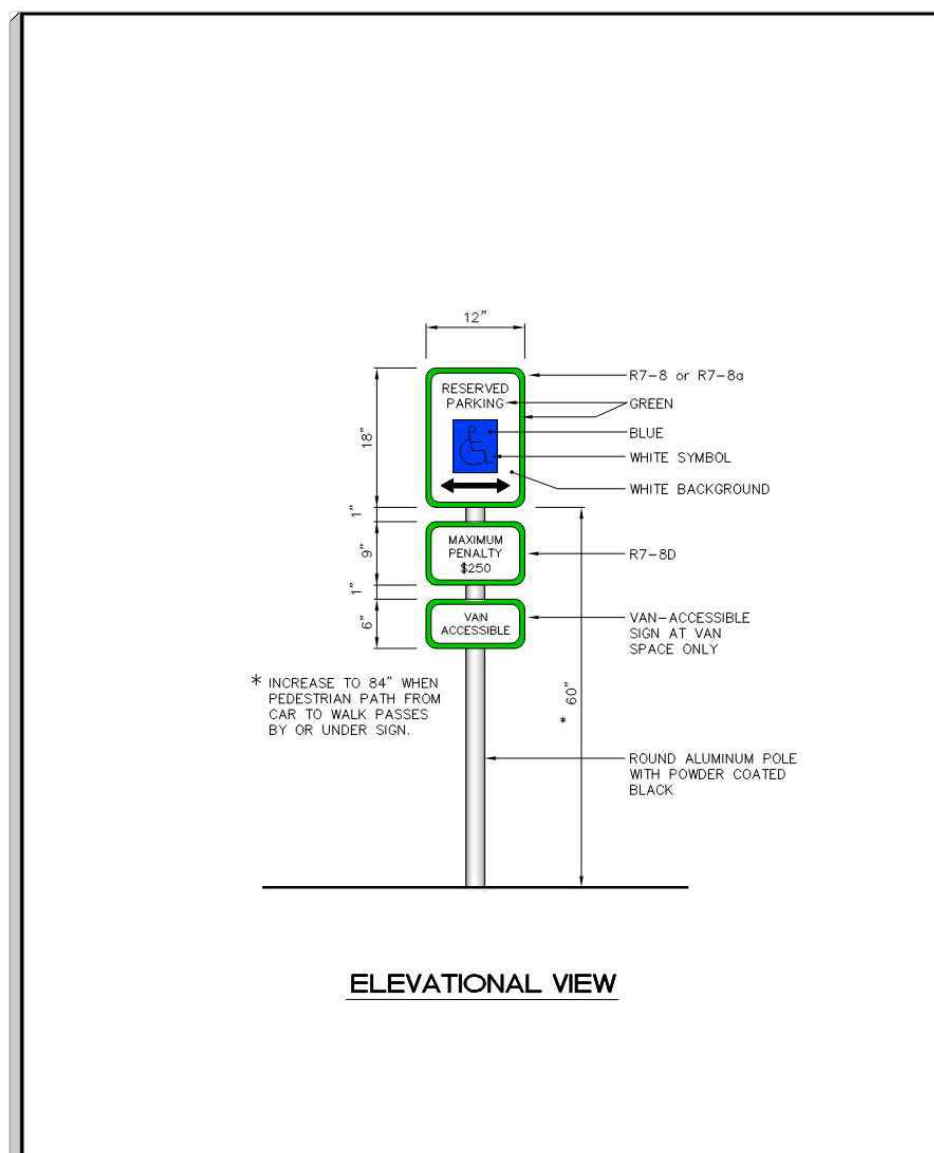
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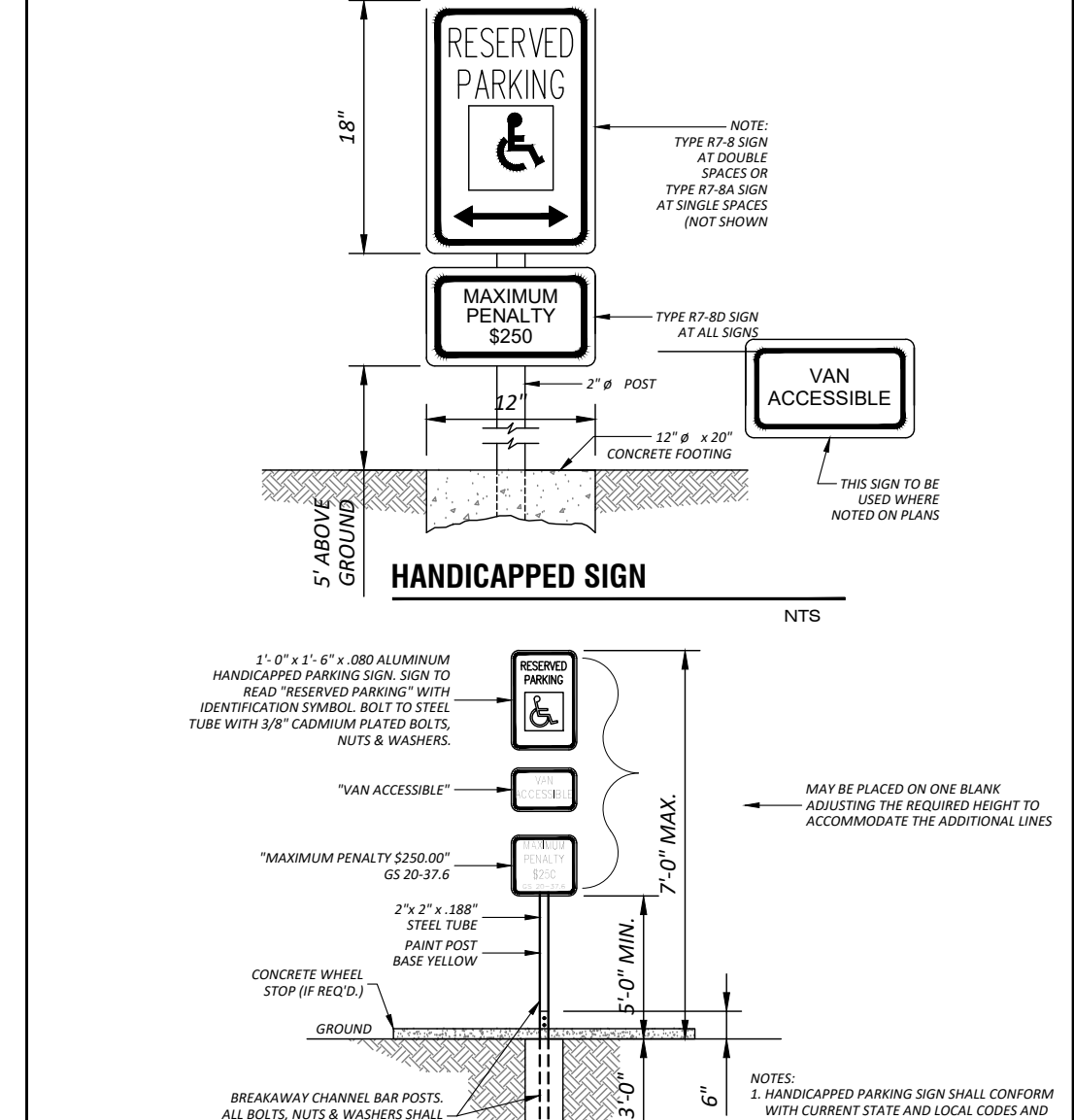


REVISIONS:

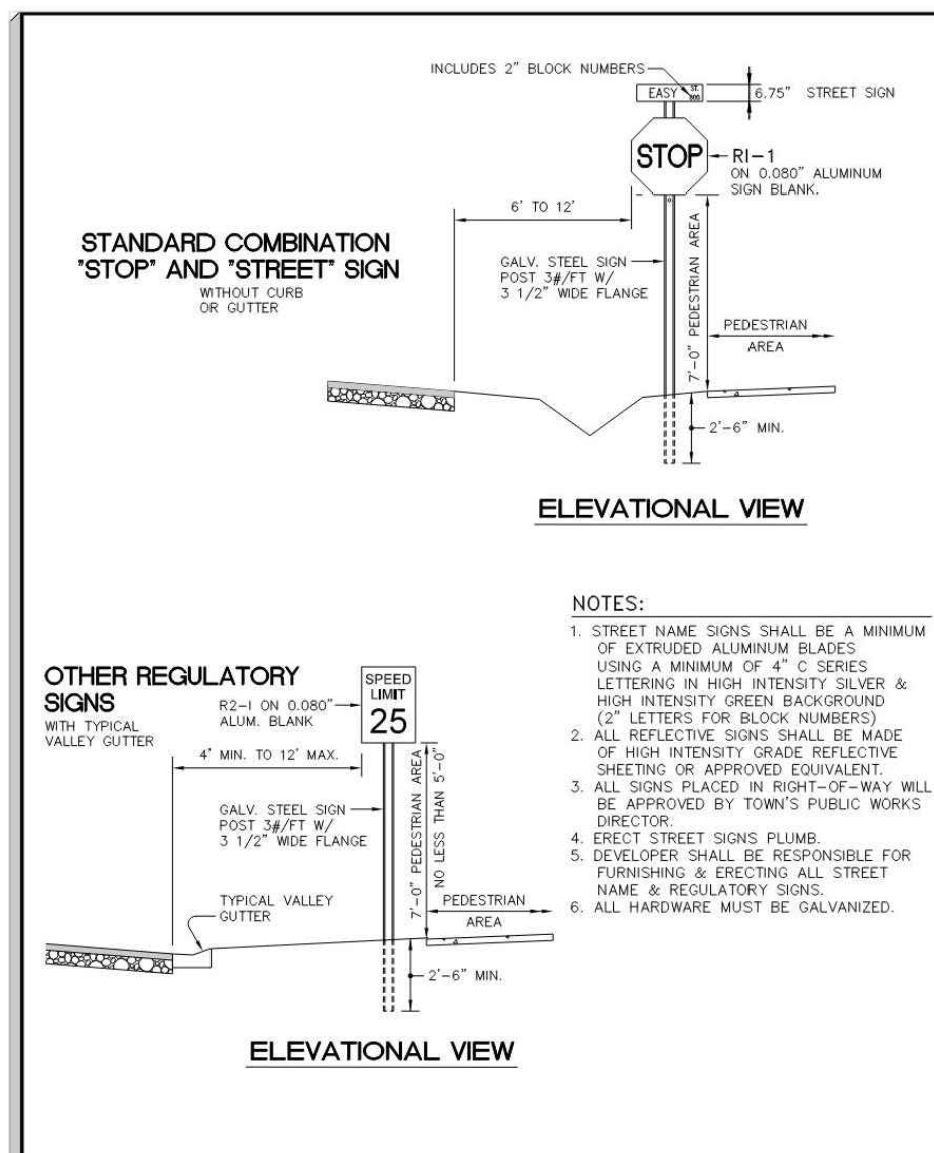
NO.	DATE	BY	DESCRIPTION
1	12/07/23		CONSTRUCTION DRAWINGS SUBMITTAL #2
2	11/21/23		CLIENT REVIEW
3	11/07/23		TRC REVIEW PLAN
4	06/01/23		CONSTRUCTION DRAWINGS SUBMITTAL #1



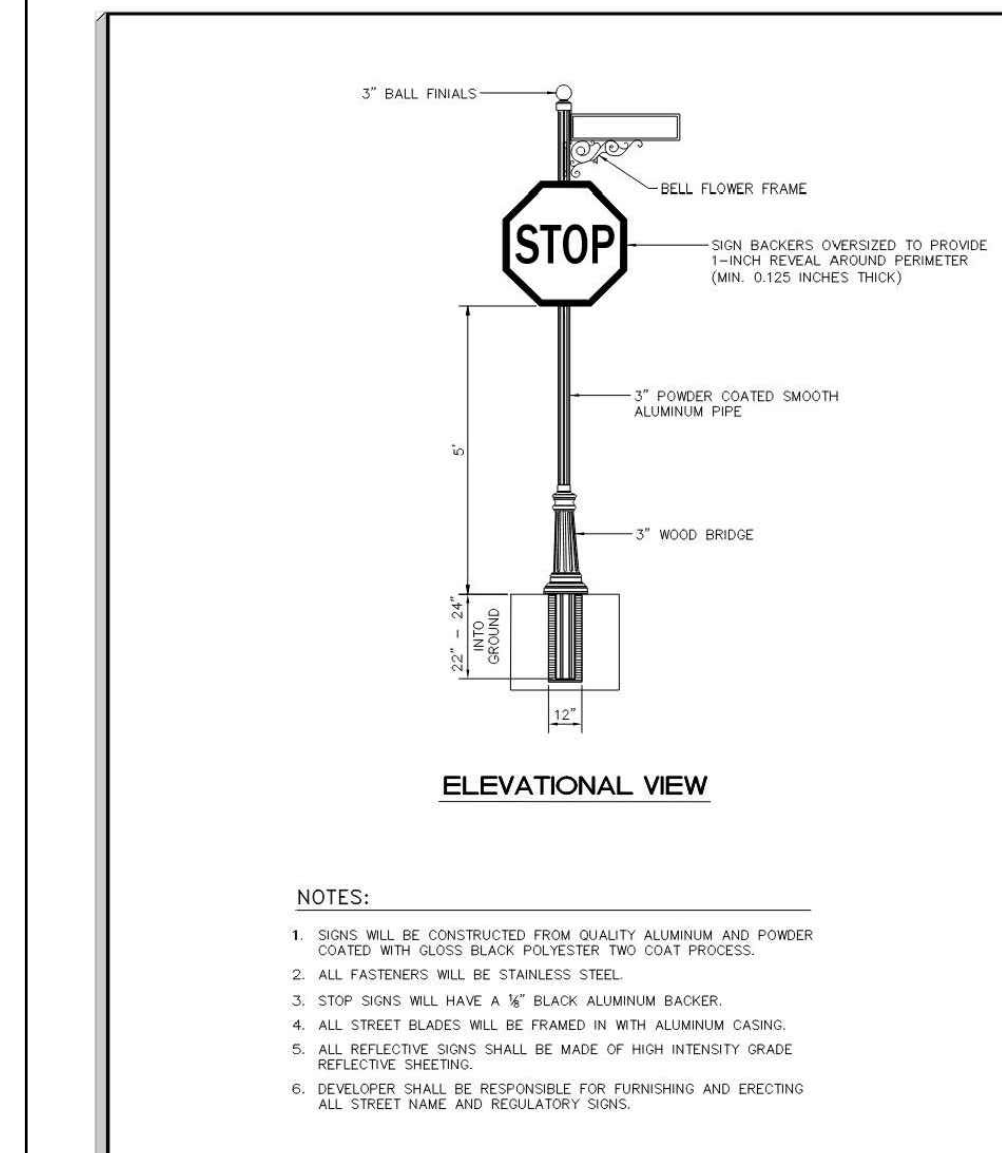
TOWN OF ZEBULON
R7-8 HANDICAP SIGN DETAIL
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 23 OF 1



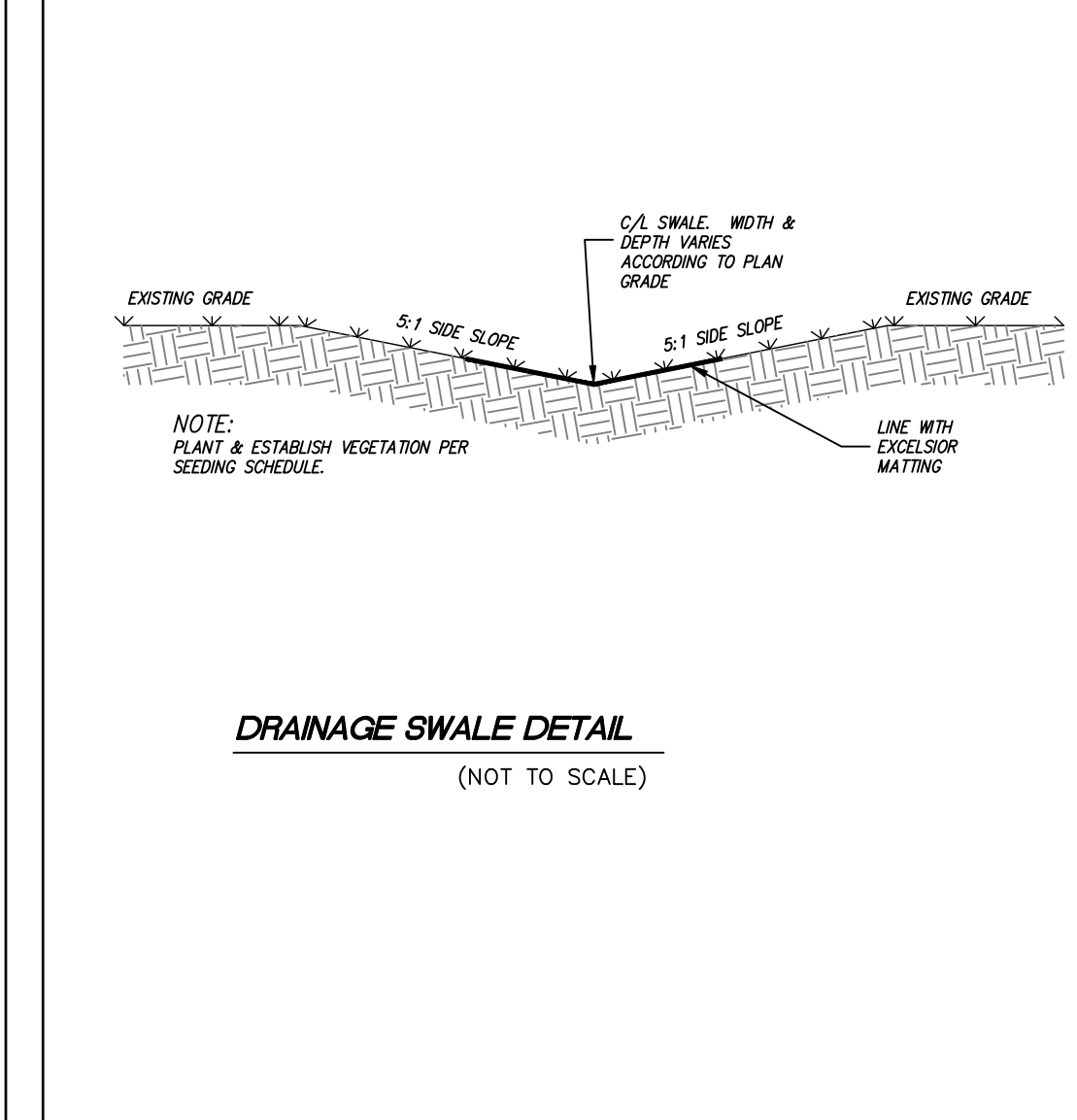
TOWN OF ZEBULON
HANDICAPPED PARKING SIGN (VAN)
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 24 OF 1



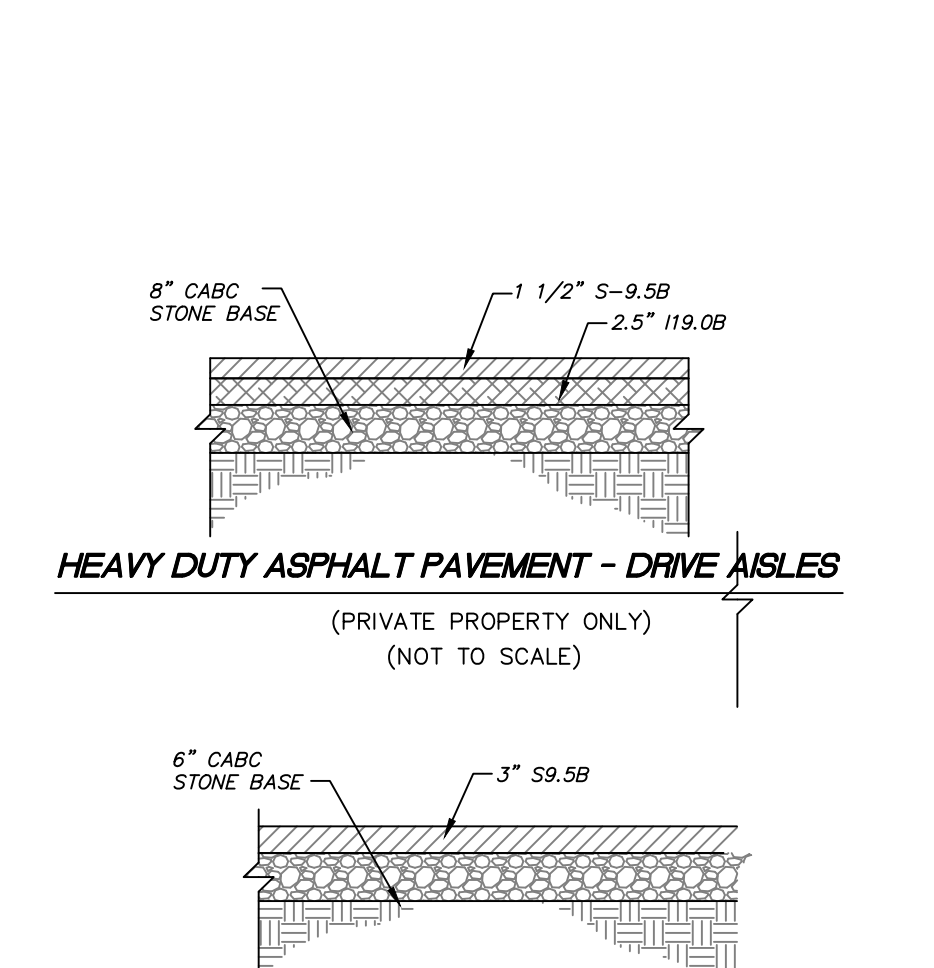
TOWN OF ZEBULON
STANDARD SIGN INSTALLATION DETAIL
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 30 OF 1



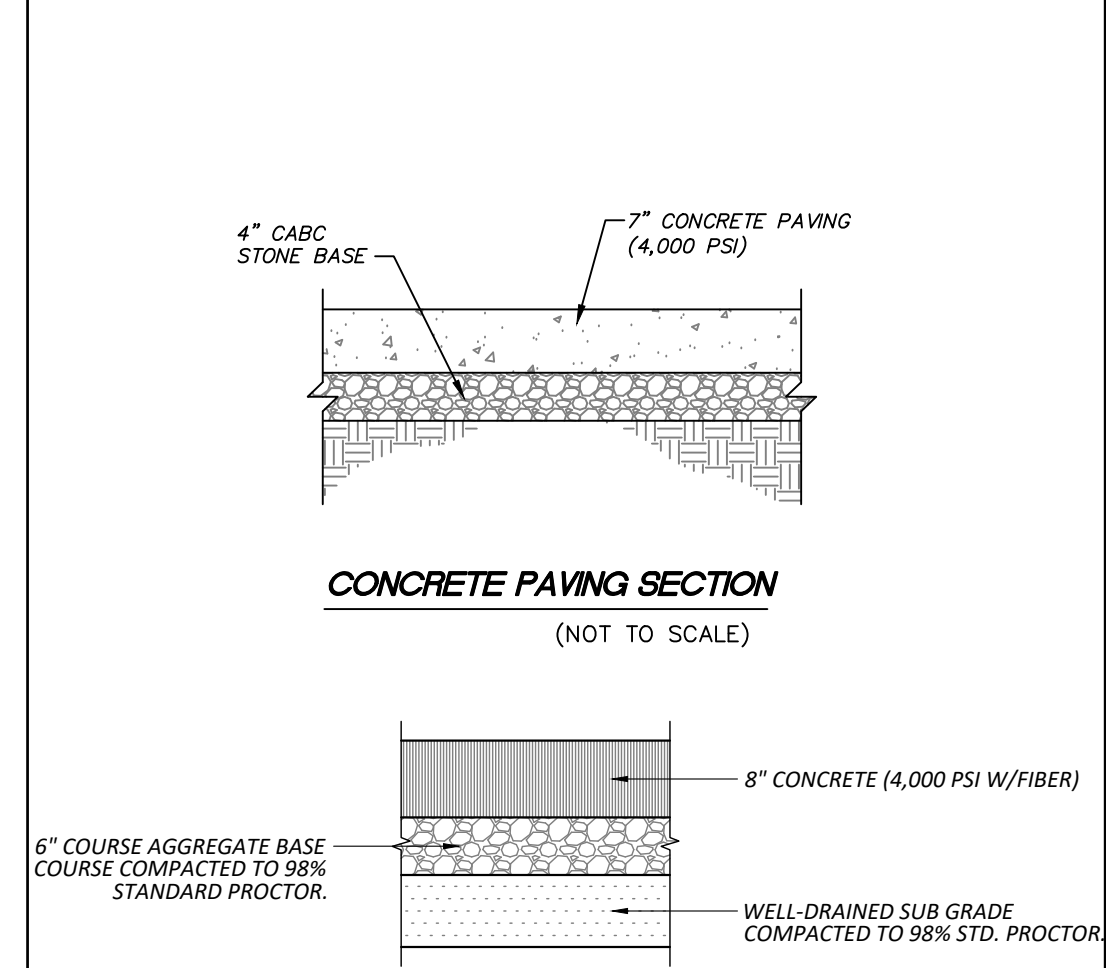
TOWN OF ZEBULON
PREMIUM SIGN INSTALLATION DETAIL
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 31 OF 1



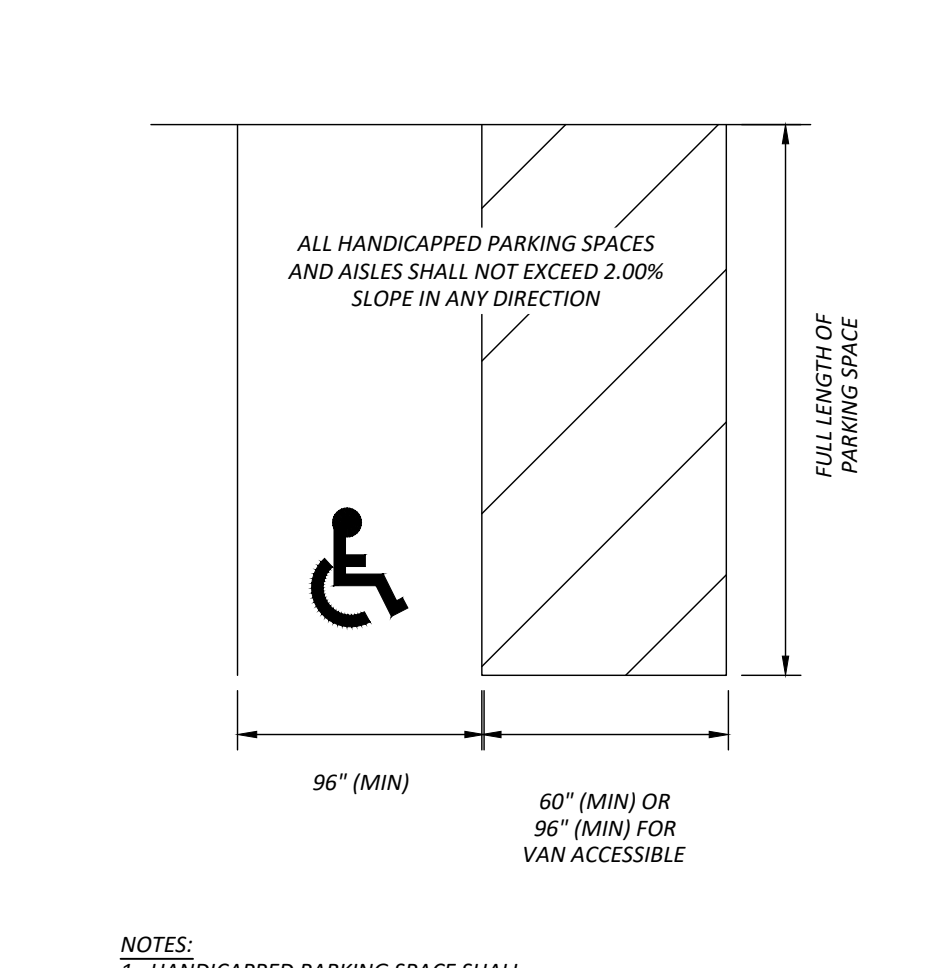
TOWN OF ZEBULON
DRAINAGE SWALE DETAIL
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 32 OF 1



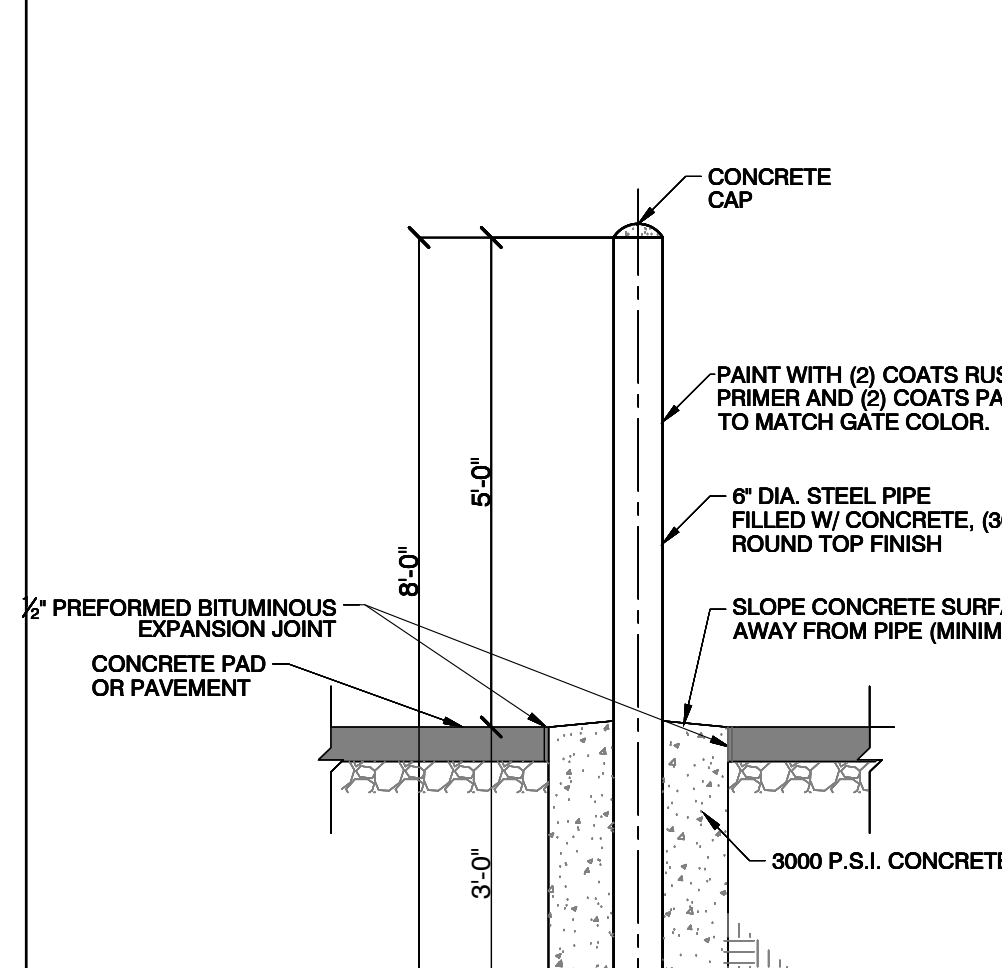
TOWN OF ZEBULON
HEAVY DUTY ASPHALT PAVEMENT - DRIVE AISLES
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 33 OF 1



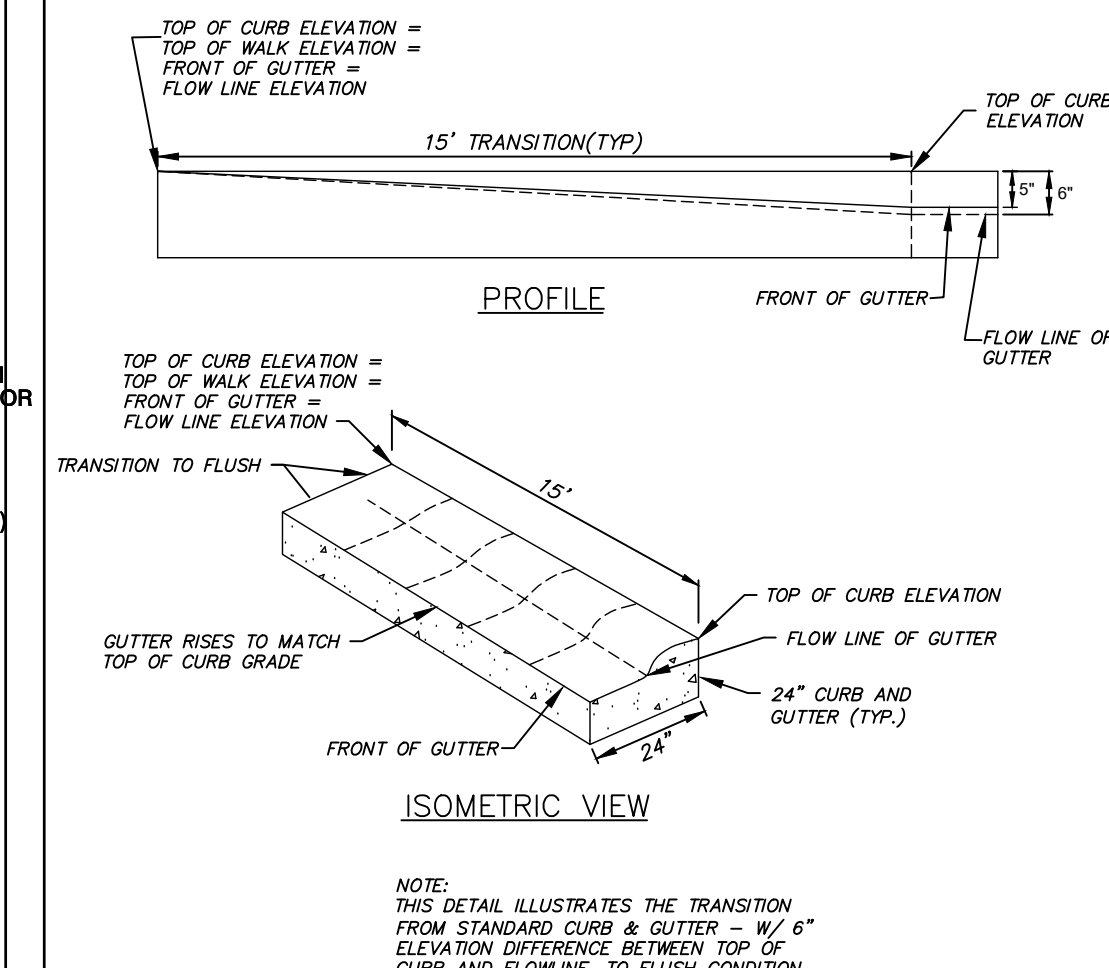
TOWN OF ZEBULON
CONCRETE PAVING SECTION
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 34 OF 1



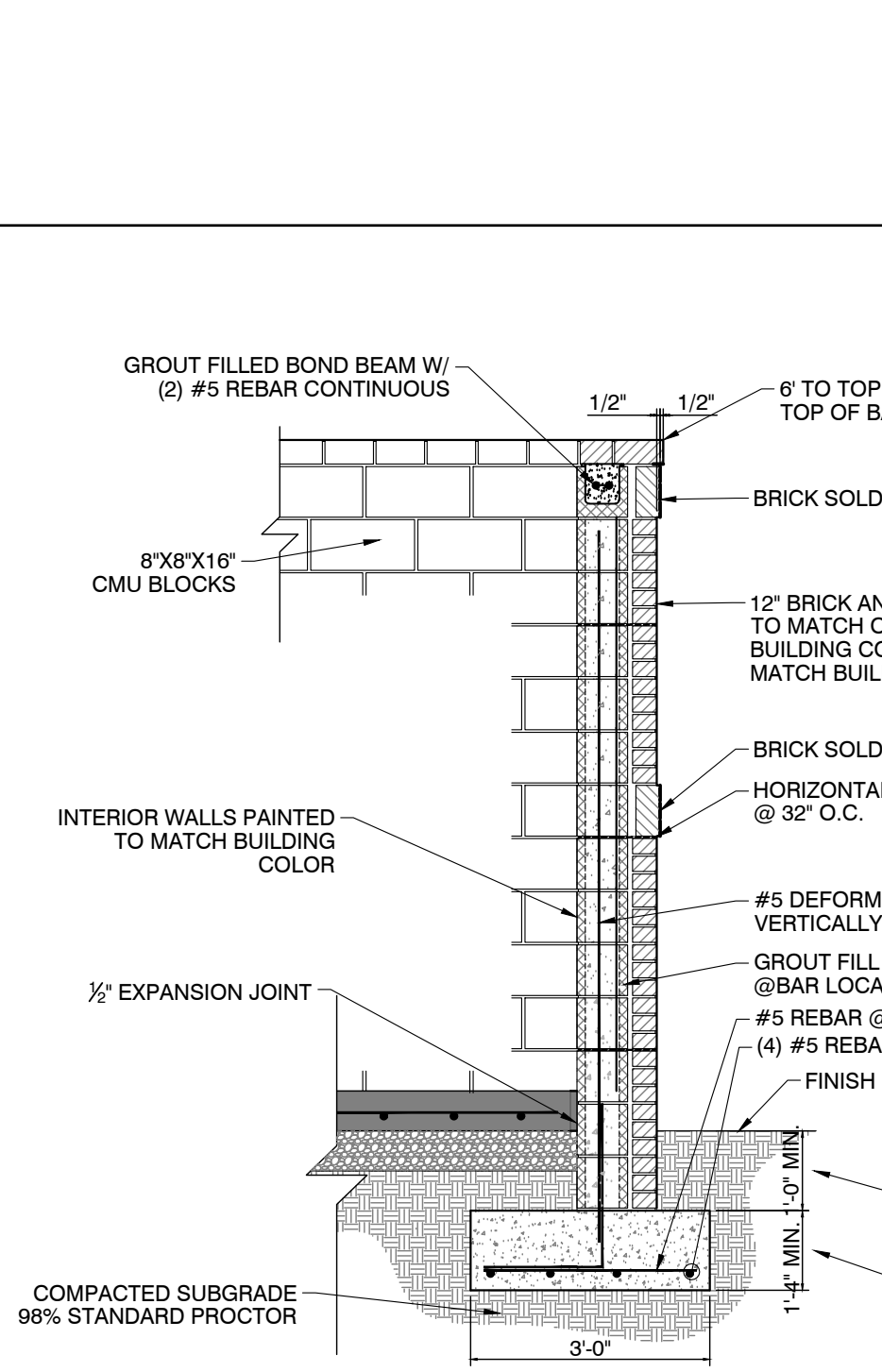
TOWN OF ZEBULON
HANDICAPPED PARKING
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 35 OF 1



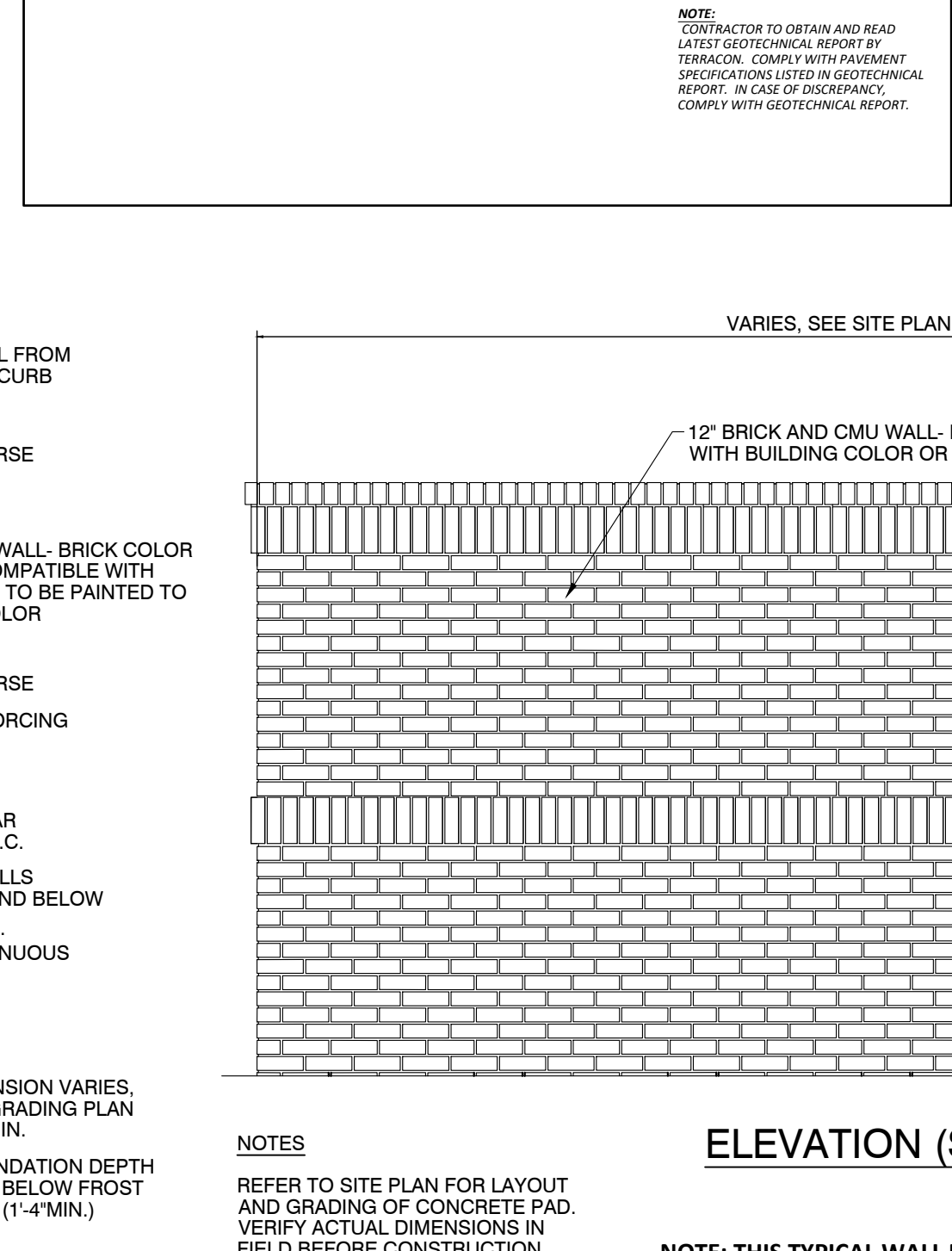
TOWN OF ZEBULON
PIPE BOLLARD
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 36 OF 1



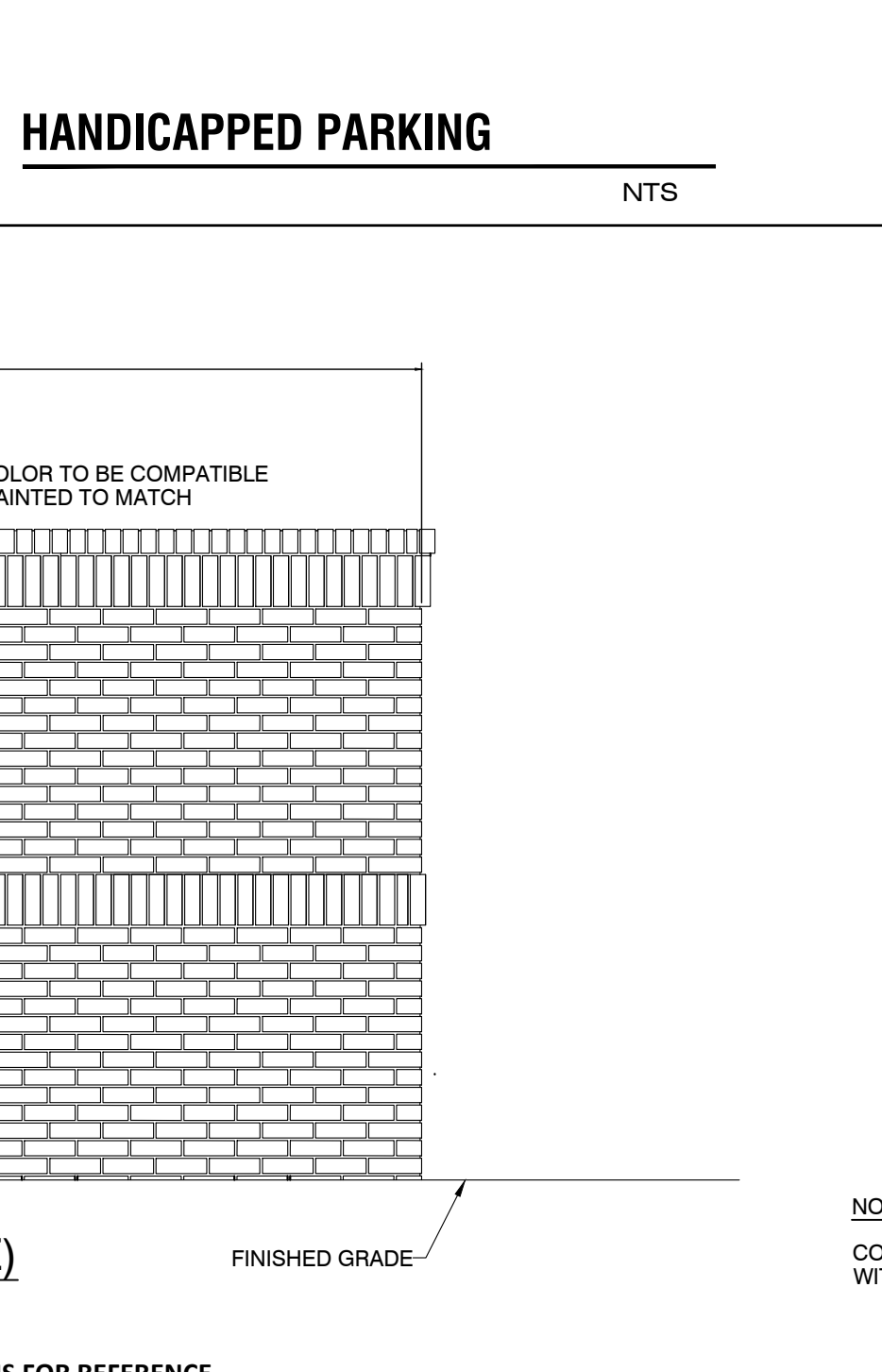
TOWN OF ZEBULON
CURB AND GUTTER TO FLUSH PAVING TRANSITION
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 37 OF 1



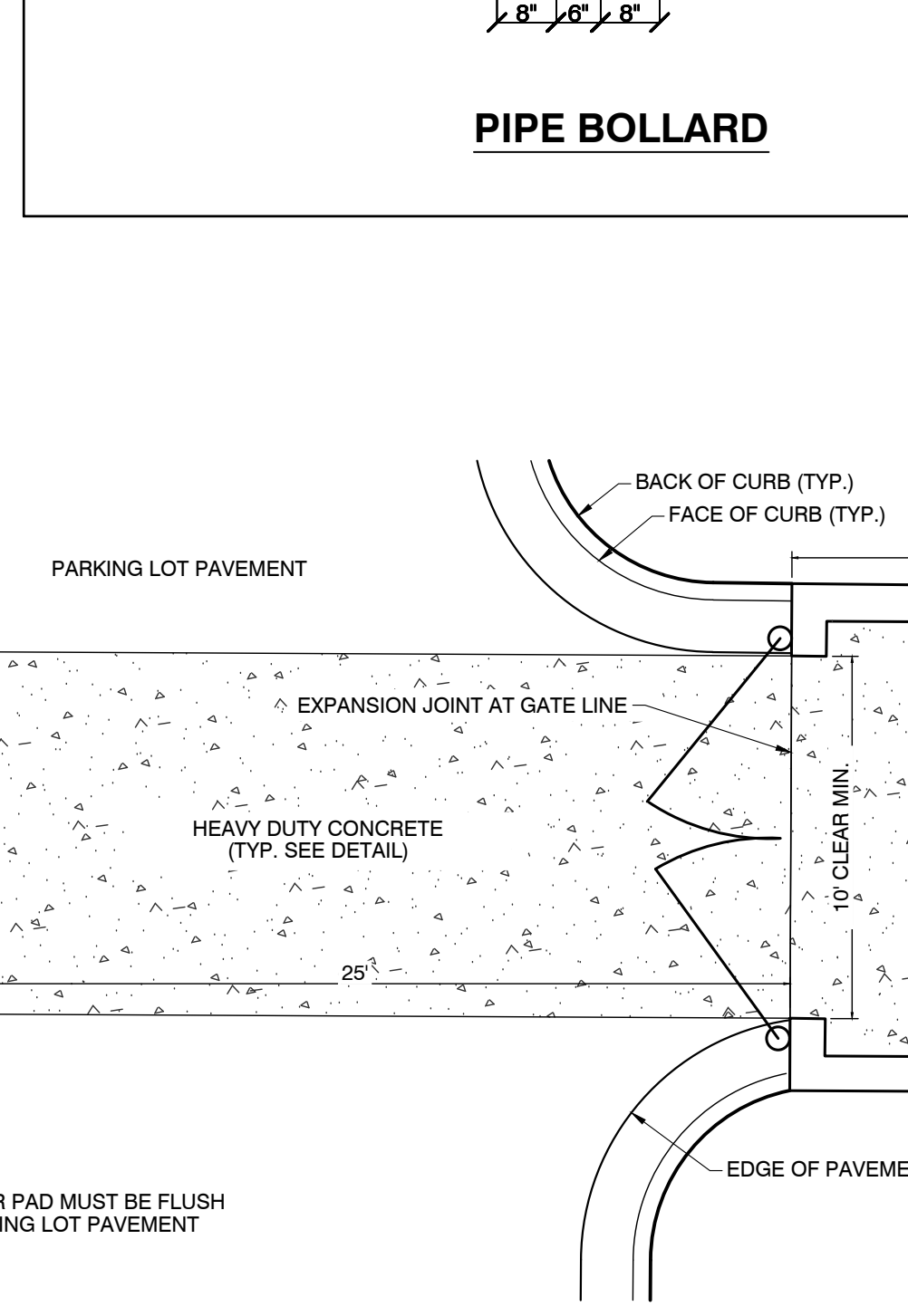
TOWN OF ZEBULON
6' HT. DUMPSTER SCREEN WALL
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 38 OF 1



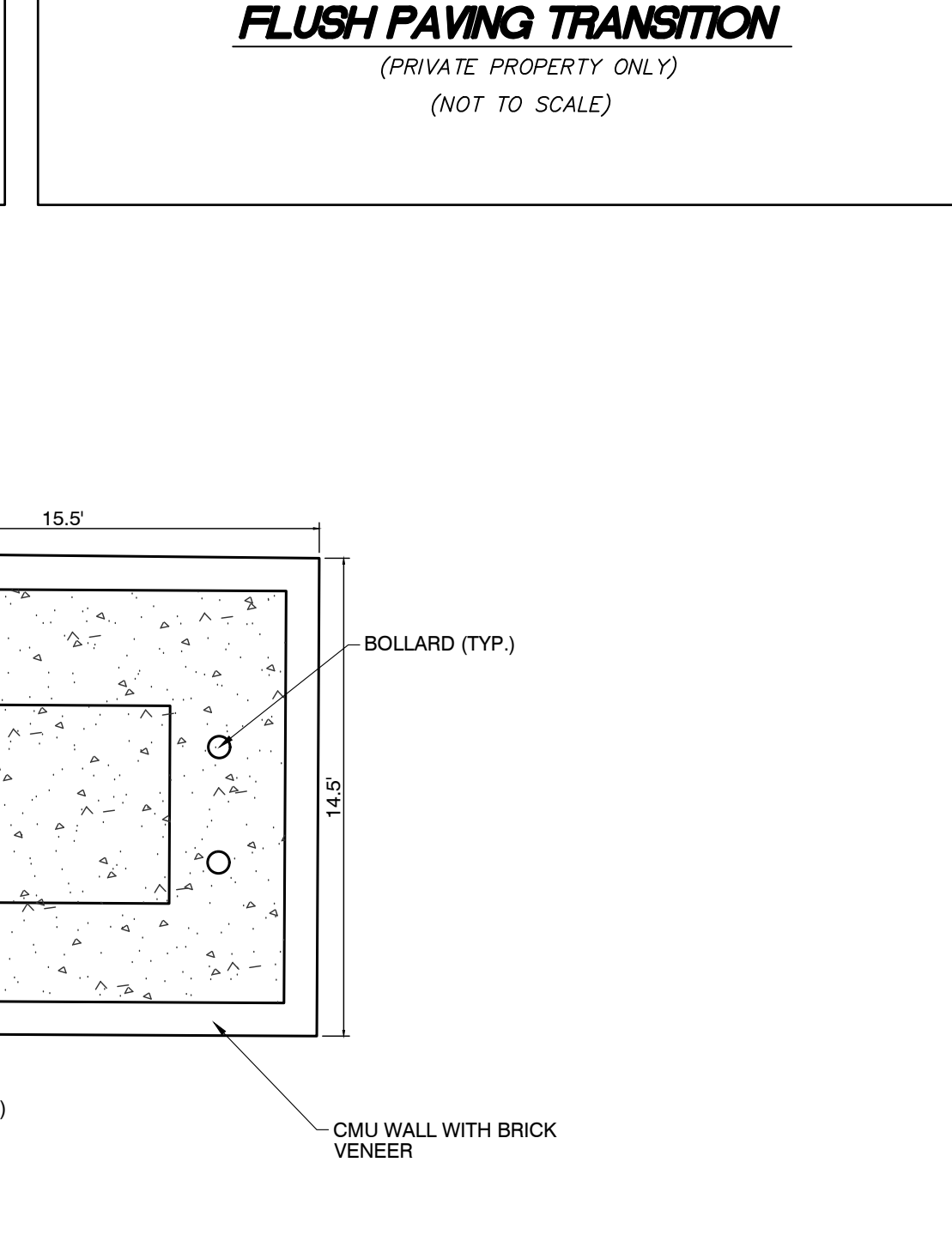
TOWN OF ZEBULON
ELEVATION (SIDE)
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 39 OF 1



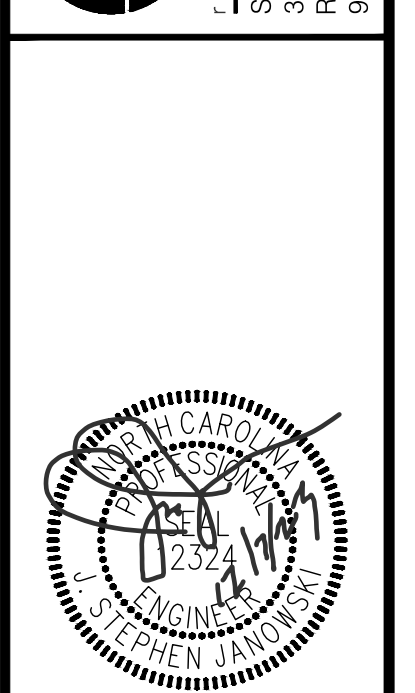
TOWN OF ZEBULON
DUMPSTER ENCLOSURE PLAN
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 40 OF 1



TOWN OF ZEBULON
DUMPSTER ENCLOSURE PLAN
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 41 OF 1



TOWN OF ZEBULON
DUMPSTER ENCLOSURE PLAN
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 42 OF 1



NO.	DESCRIPTION	DATE	BY
1	CONSTRUCTION DRAWINGS SUBMITTAL #2	12/07/23	
2	CLIENT REVIEW	11/21/23	
3	TRC REVIEW PLAN	11/07/23	
4	CONSTRUCTION DRAWINGS SUBMITTAL #1	06/01/23	

CONSTRUCTION DRAWINGS
DOMINO'S ZEBULON
TOWN OF ZEBULON - WAKE COUNTY - NORTH CAROLINA
SITE DETAILS

DATE: _____
DESIGNED BY: MS
CHECKED BY: MS
PROJECT No. 2023018
DRAWING No. W-4081
SCALE: AS SHOWN
SHEET No. **C2.11**

CALL BEFORE YOU DIG!
WWW.NC811.ORG
N.C. ONE-CALL CENTER
IT'S THE LAW!

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH TOWN OF ZEBULON, NCDOT & NCEQ STANDARDS, SPECIFICATIONS AND DETAILS.



REVISIONS:

NO.	DATE	BY	DESCRIPTION
1	12/07/23		CONSTRUCTION DRAWINGS SUBMITTAL #2
	11/21/23		CLIENT REVIEW
	11/07/23		TRC REVIEW PLAN
	06/01/23		CONSTRUCTION DRAWINGS SUBMITTAL #1

CONSTRUCTION DRAWINGS
DOMINO'S ZEBULON
 TOWN OF ZEBULON - WAKE COUNTY - NORTH CAROLINA
UTILITIES PLAN

DATE: _____

DESIGNED BY: **JSJ/MS**

DRAWN BY: **MS**

CHECKED BY: **JSJ**

PROJECT No. **2023018**

DRAWING No. **W-4081**

SCALE: **AS SHOWN**

SHEET No. **C3.01**

- CITY OF RALEIGH STANDARD UTILITY NOTES (as applicable):**
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
 - UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 60' FROM A PRIVATE WELL OR 90' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRACKLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAIL W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
 - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
 - DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT OR PRIVATE PROPERTY.
 - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
 - 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
 - IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
 - INSTALL SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
 - PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKFLOW VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
 - ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWM, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
 - NCDOT /RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
 - GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A U.C. / BUILDING PERMIT. CONTACT (919) 996-4516 OR FOG@RALEIGHNC.GOV FOR MORE INFORMATION.
 - CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FROM THE RW CROSS-CONNECTION COORDINATOR FOR EACH DEVICE PRIOR TO ISSUANCE OF A U.C. / BUILDING PERMIT. CONTACT (919) 996-5923 OR CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION.

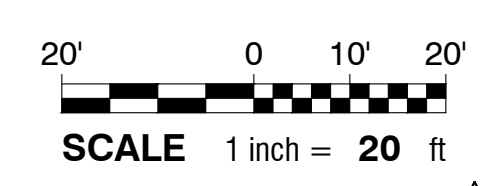
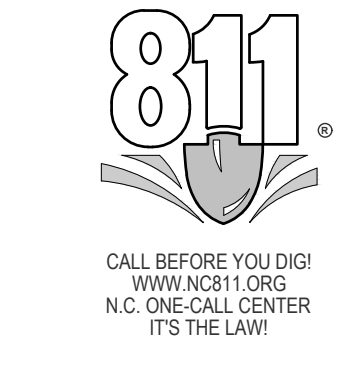
- NOTES:**
- BOUNDARY, TOPOGRAPHIC AND PLANIMETRIC FEATURES SHOWN ARE FROM A FIELD SURVEY PERFORMED BY WILLIAMS - PEARCE & ASSOC., P.A. PROFESSIONAL LAND SURVEYORS P.O. BOX 892, ZEBULON, N.C. 27597 PHONE (919) 269-9605 PROPERTY SURVEY FOR: PIEDMONT PROPERTIES ON 12/06/2022.
 - PER FEMA FIRM MAP 3720466000L DATED 7/17/14, THIS PROJECT IS IN ZONE X AND THEREFORE THERE IS NO REGULATORY FLOODPLAIN LOCATED ON THIS PROPERTY.
 - WETLANDS, STREAMS & ASSOCIATED BUFFERS TO BE DETERMINED.

ATTENTION CONTRACTORS

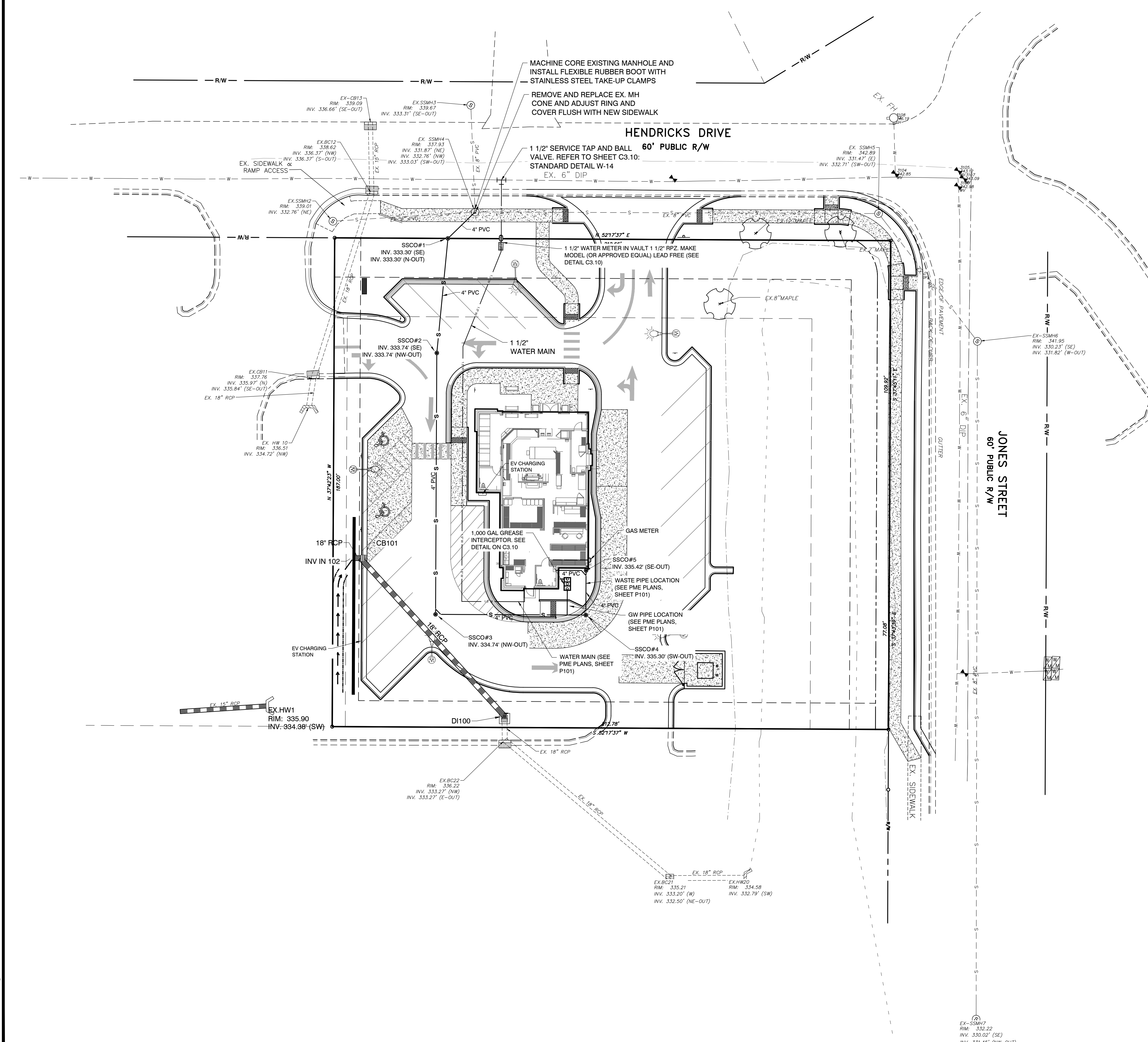
The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

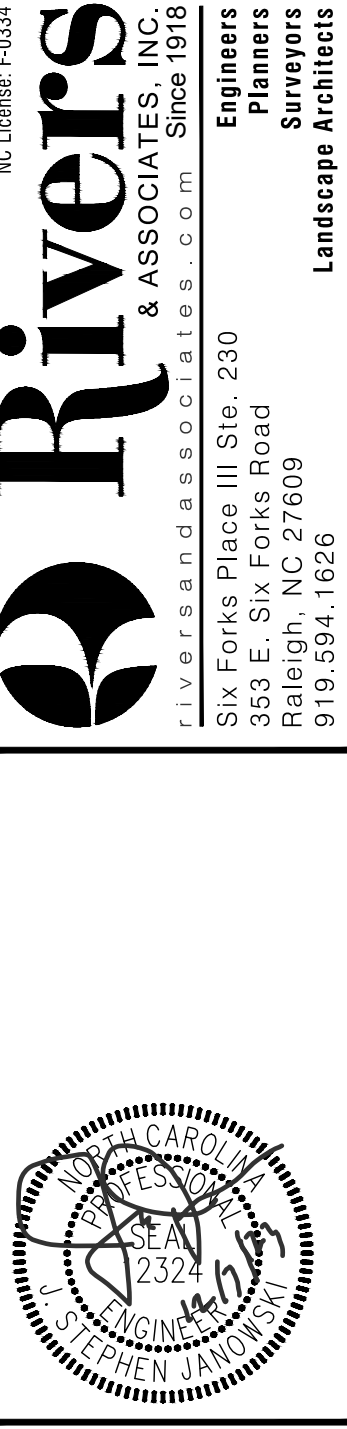
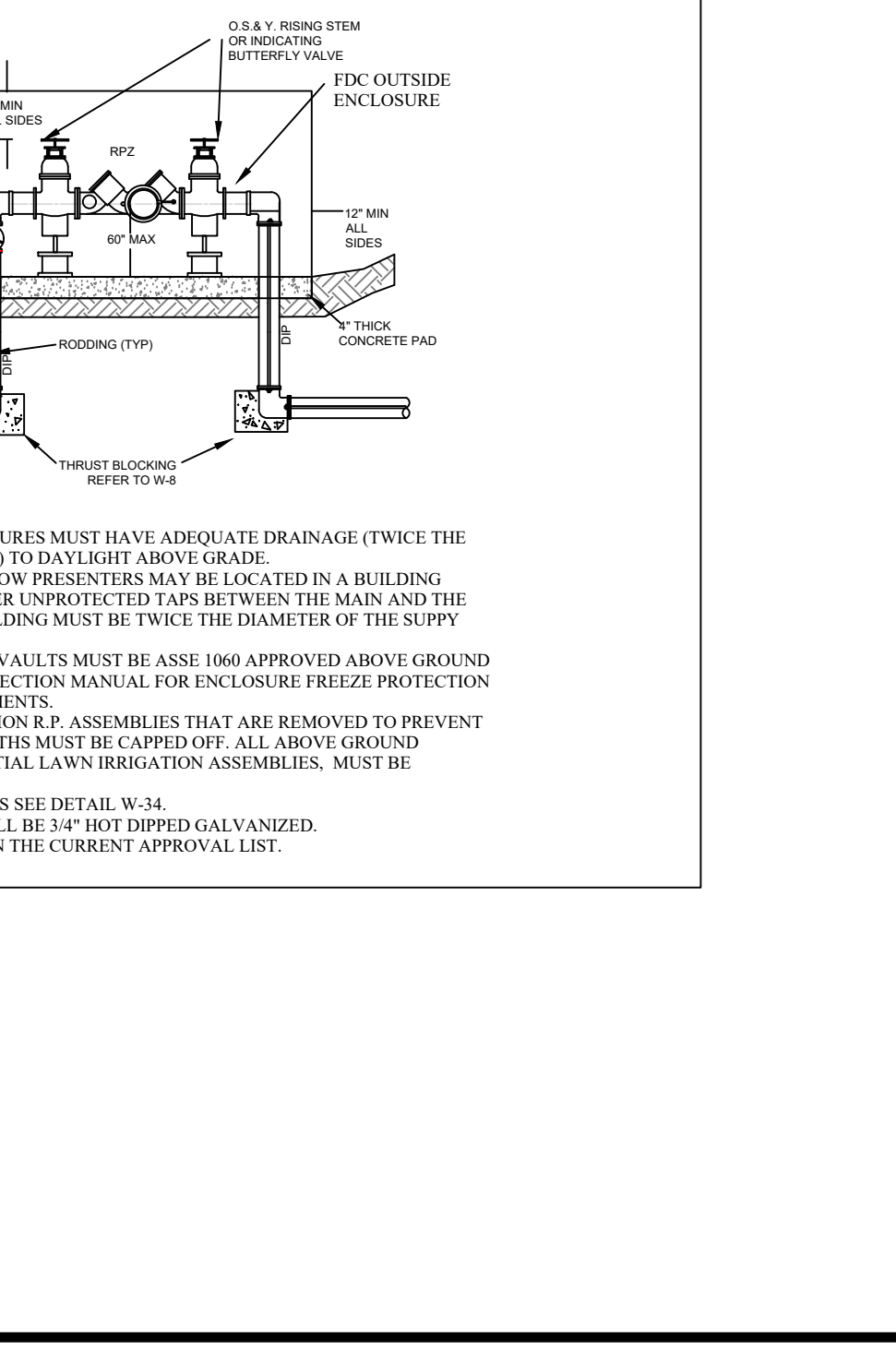
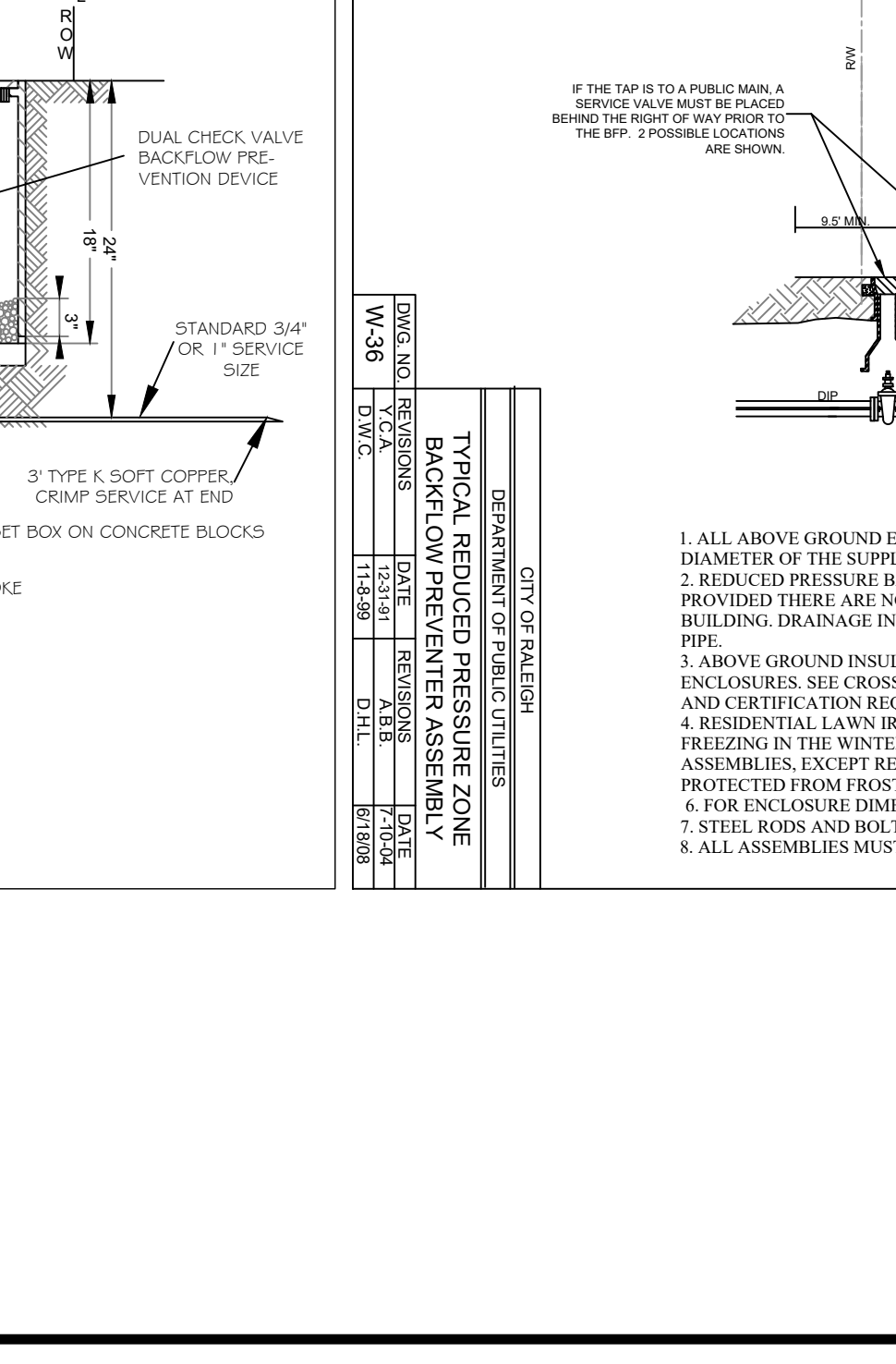
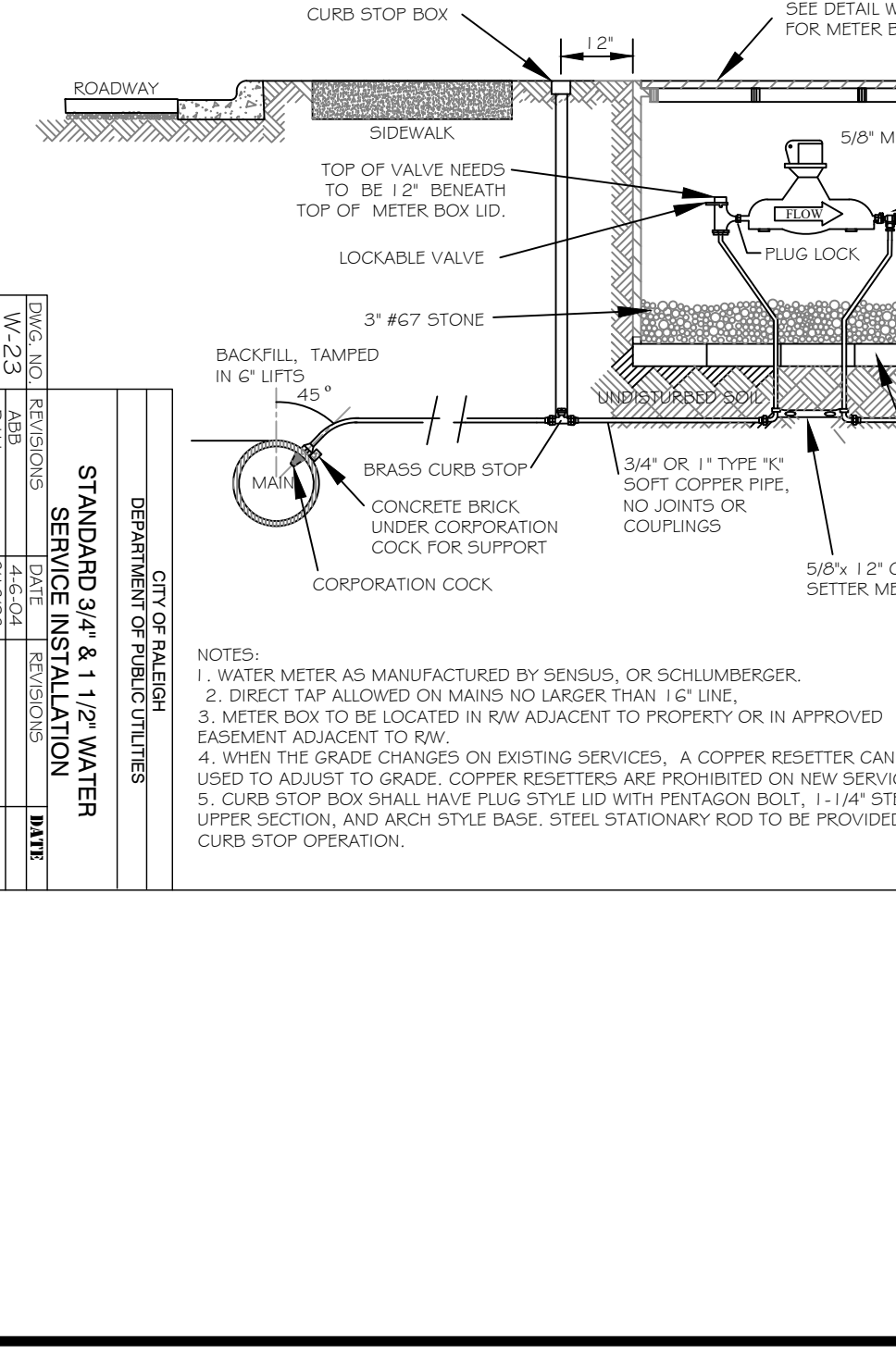
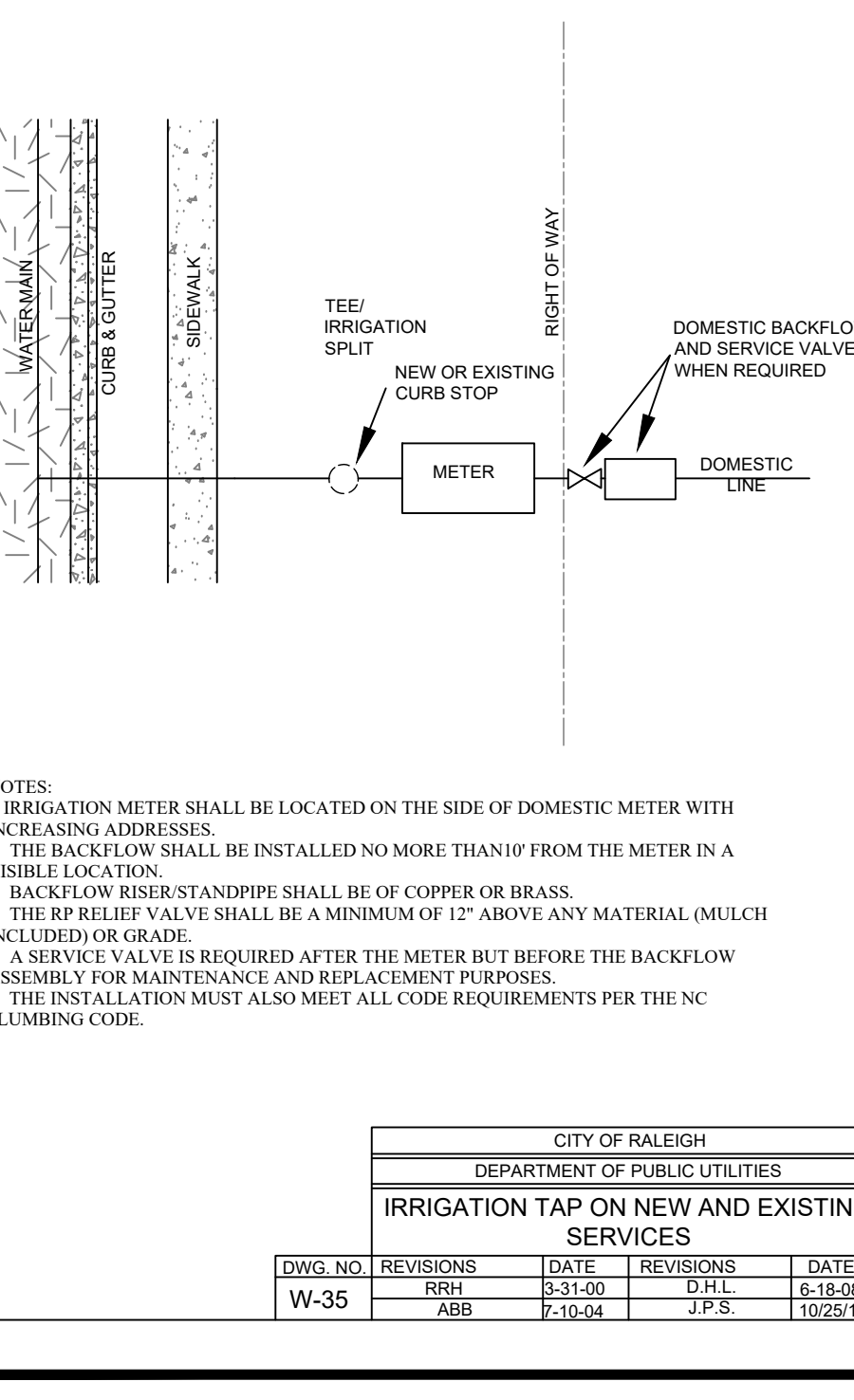
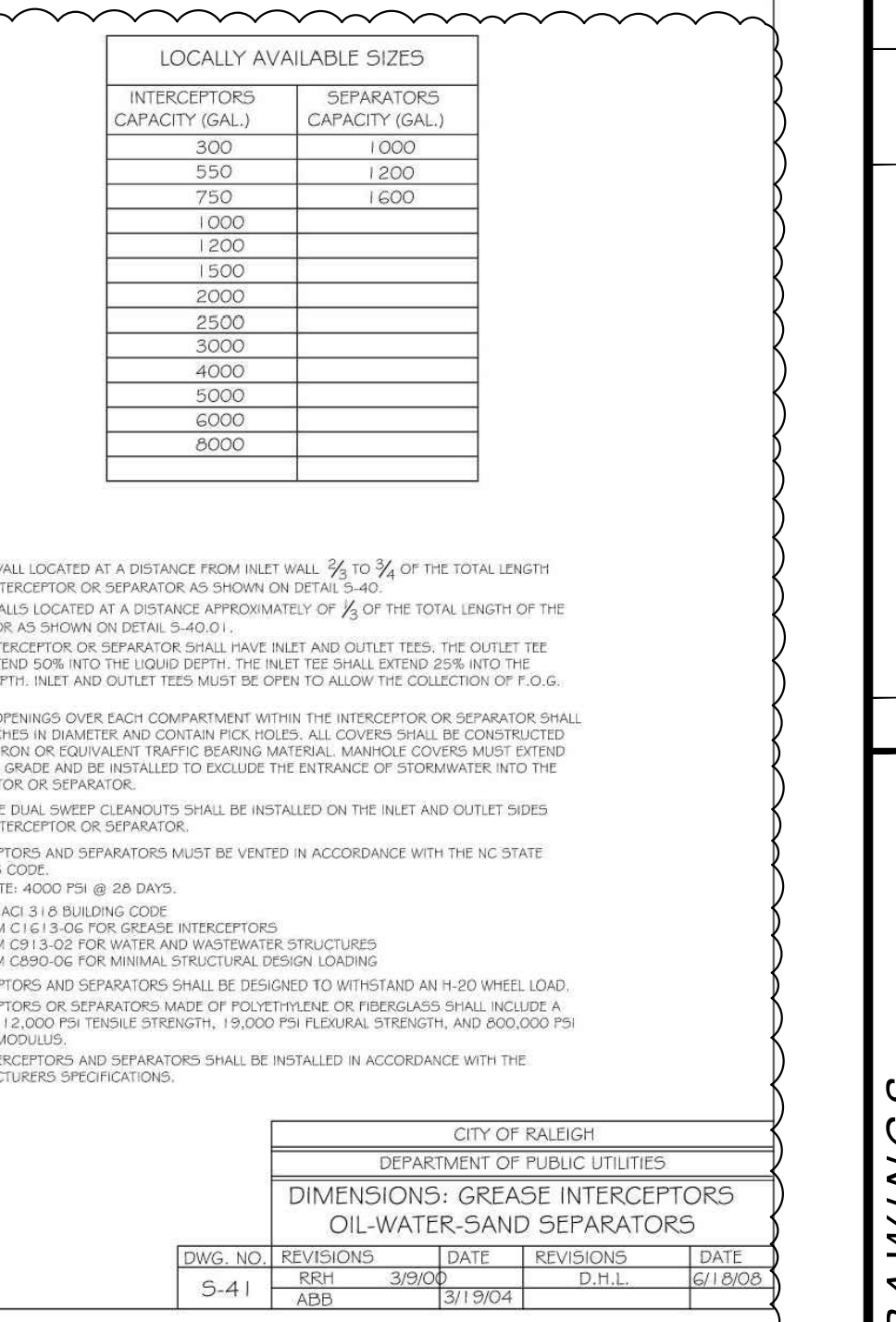
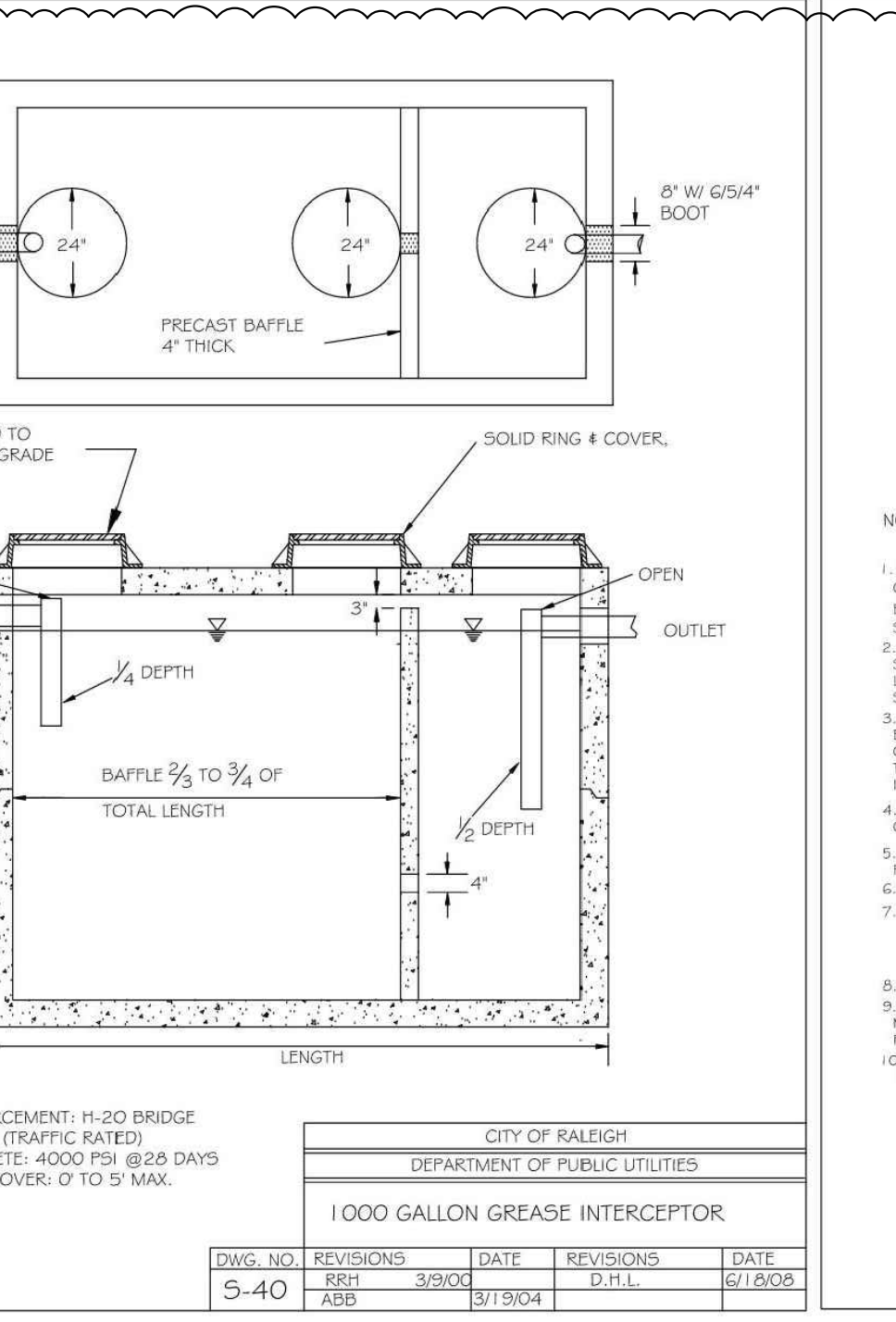
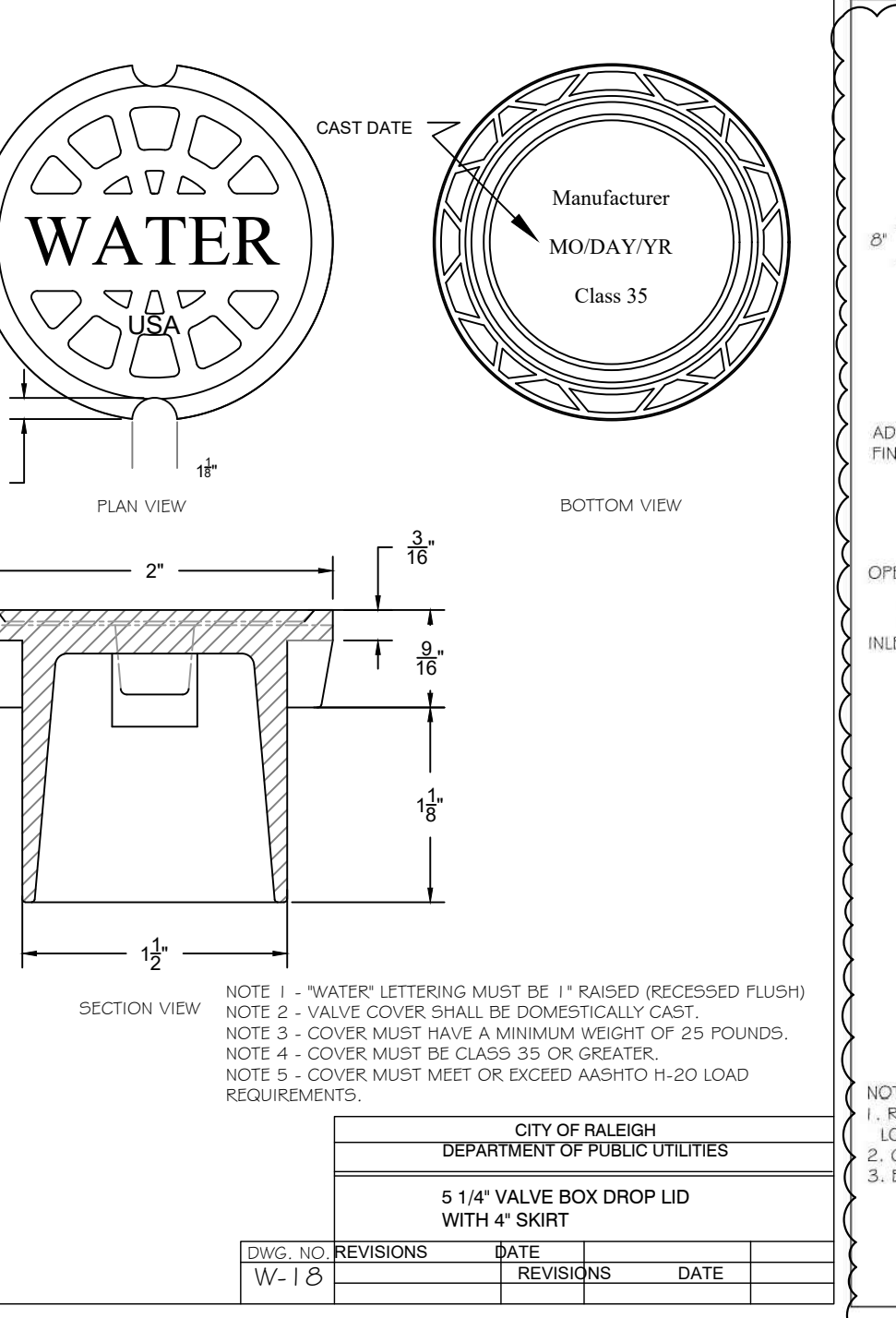
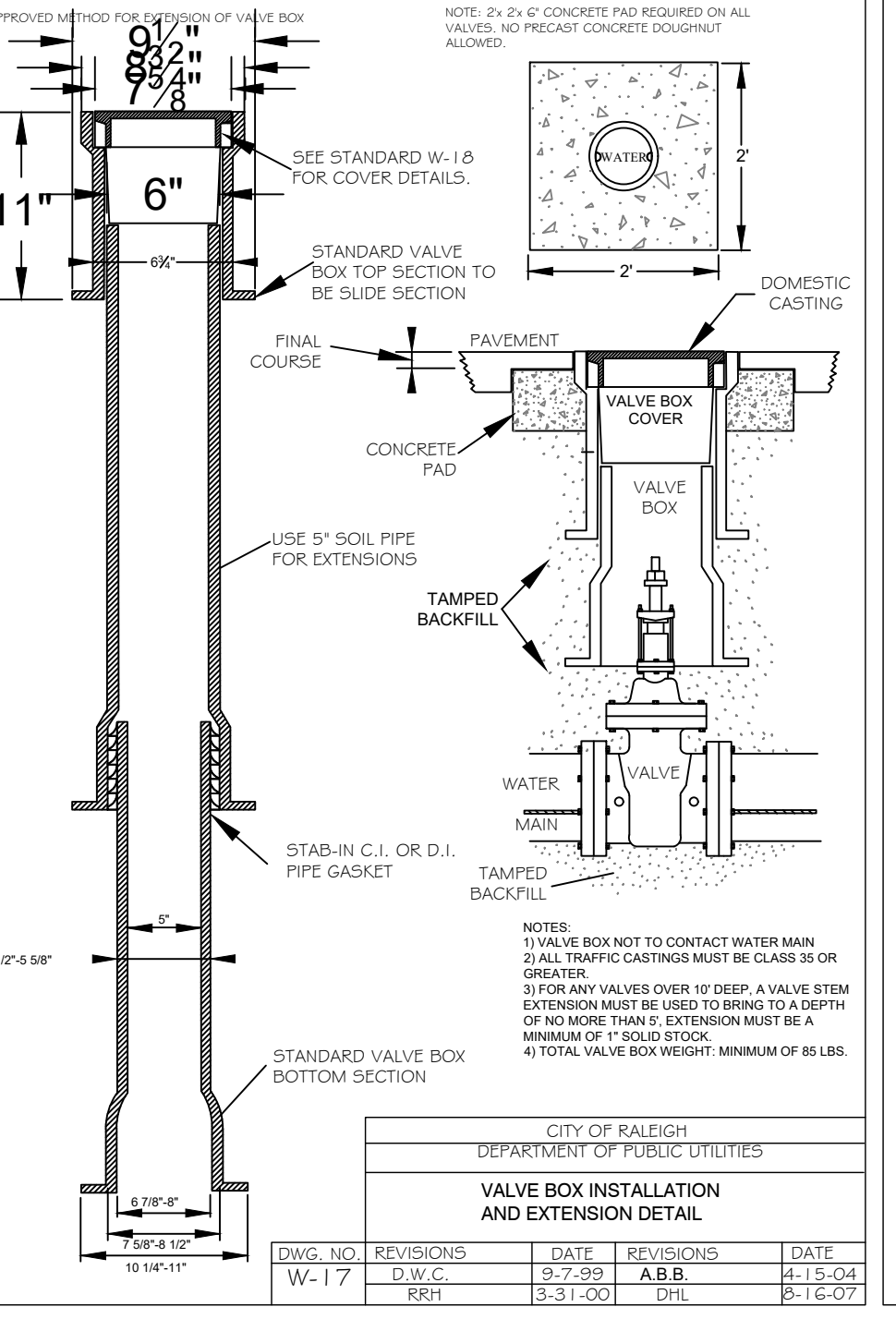
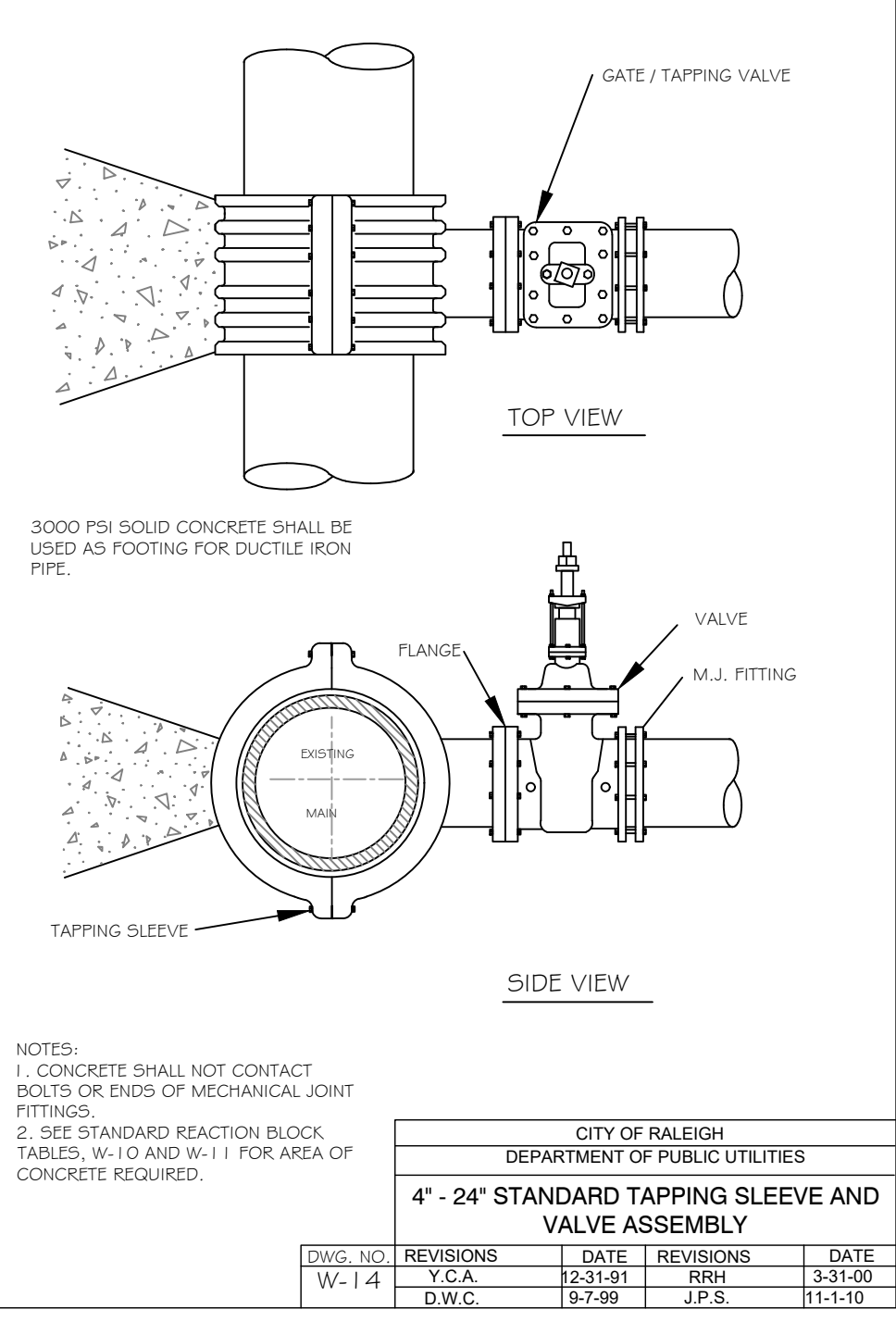
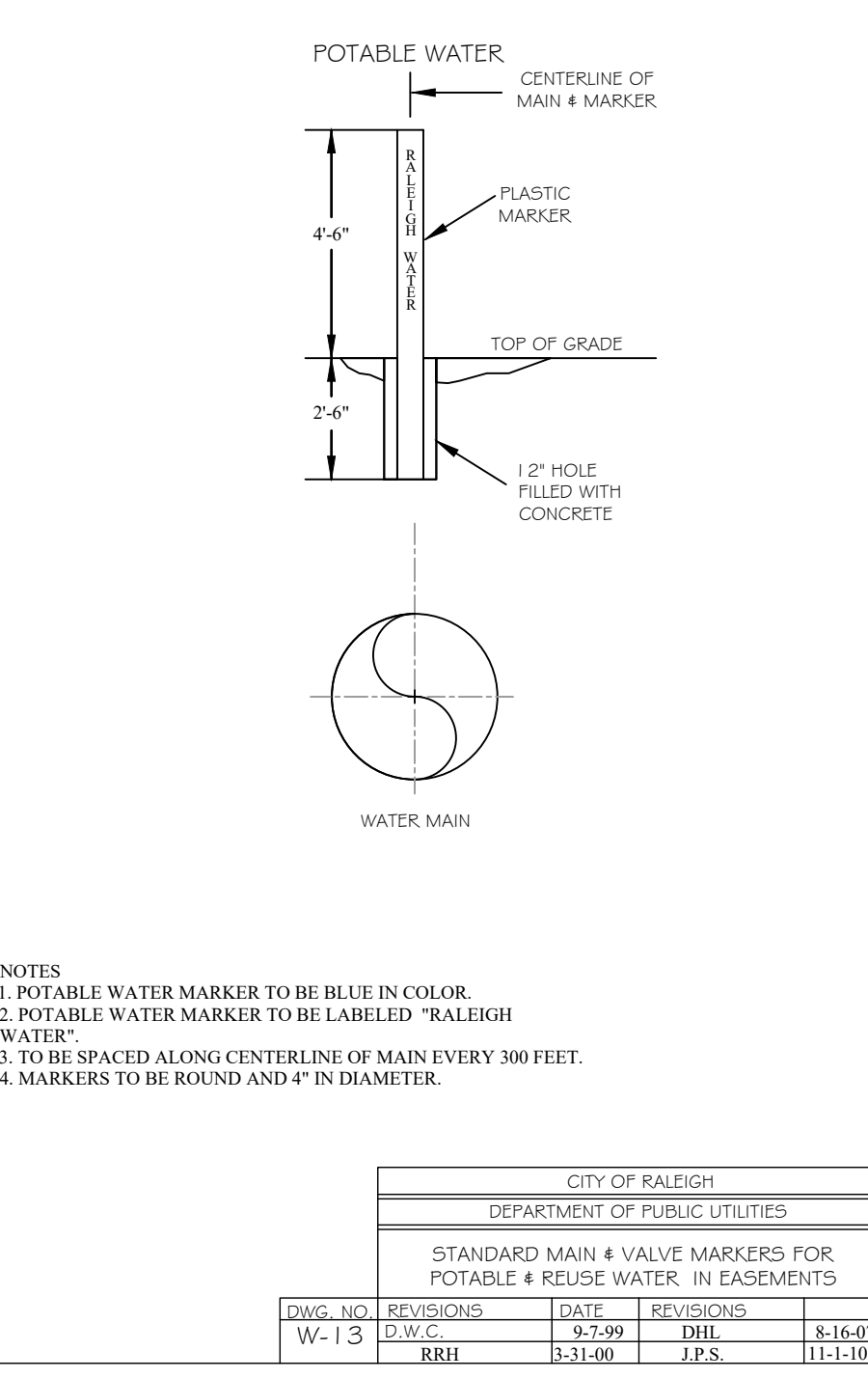
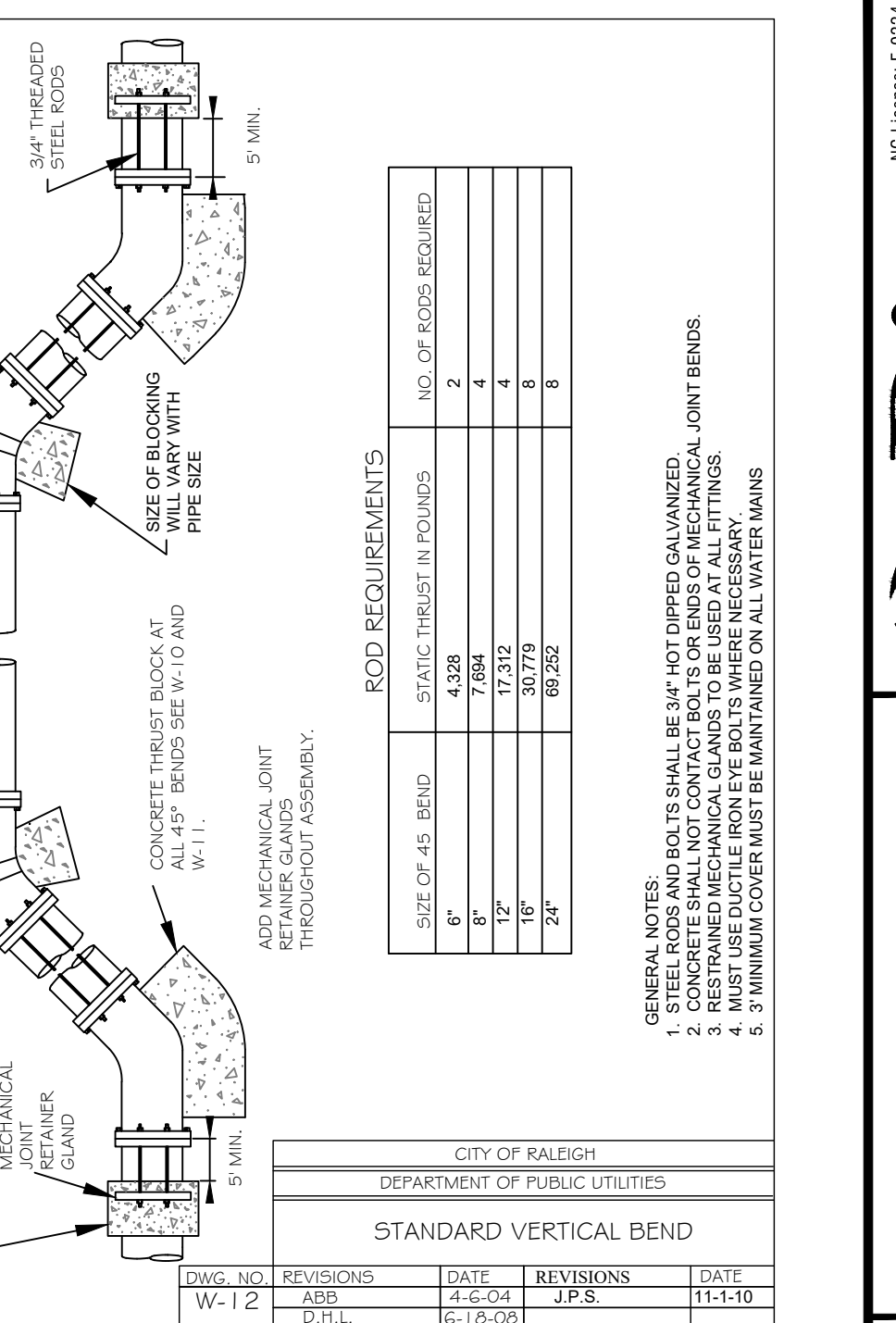
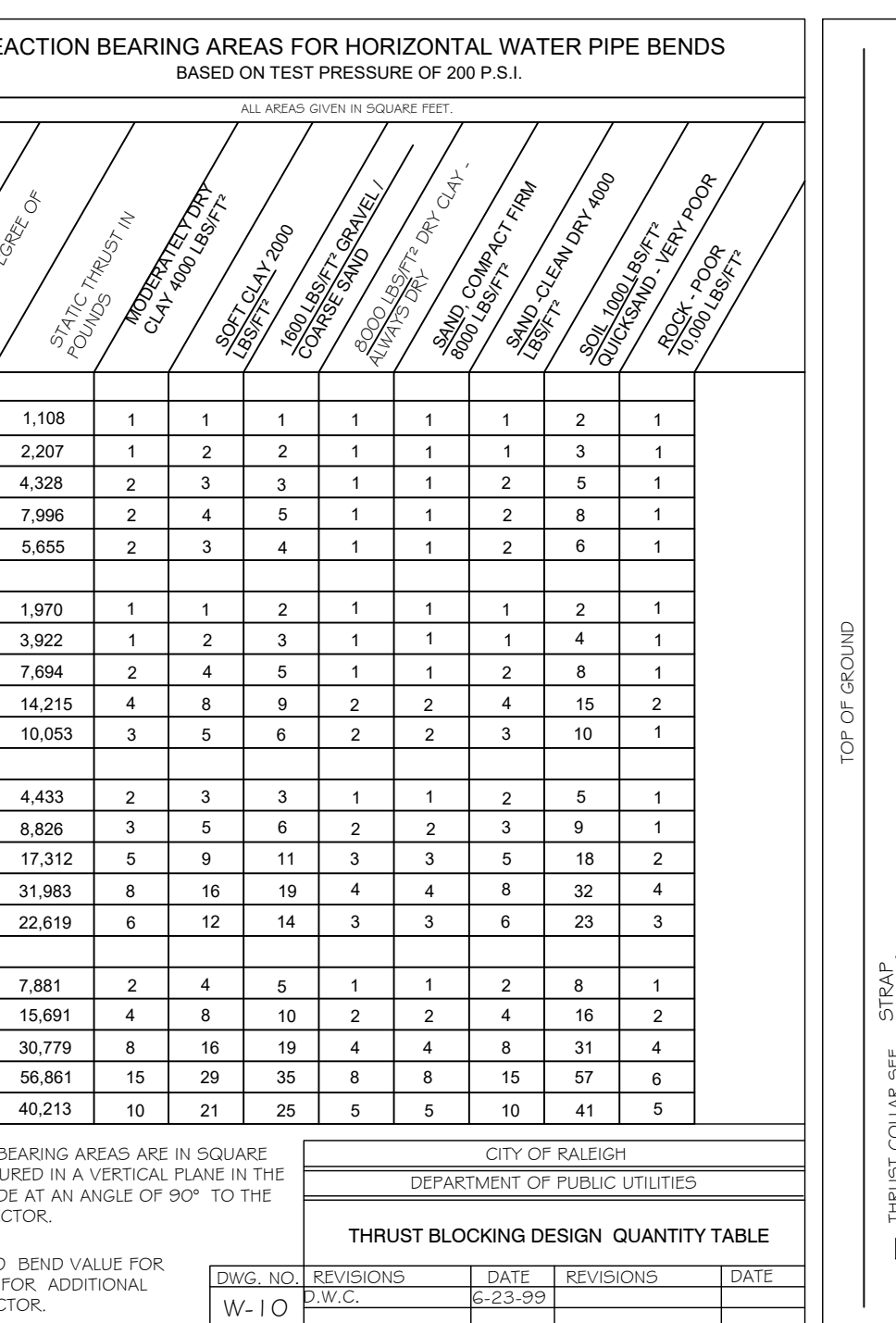
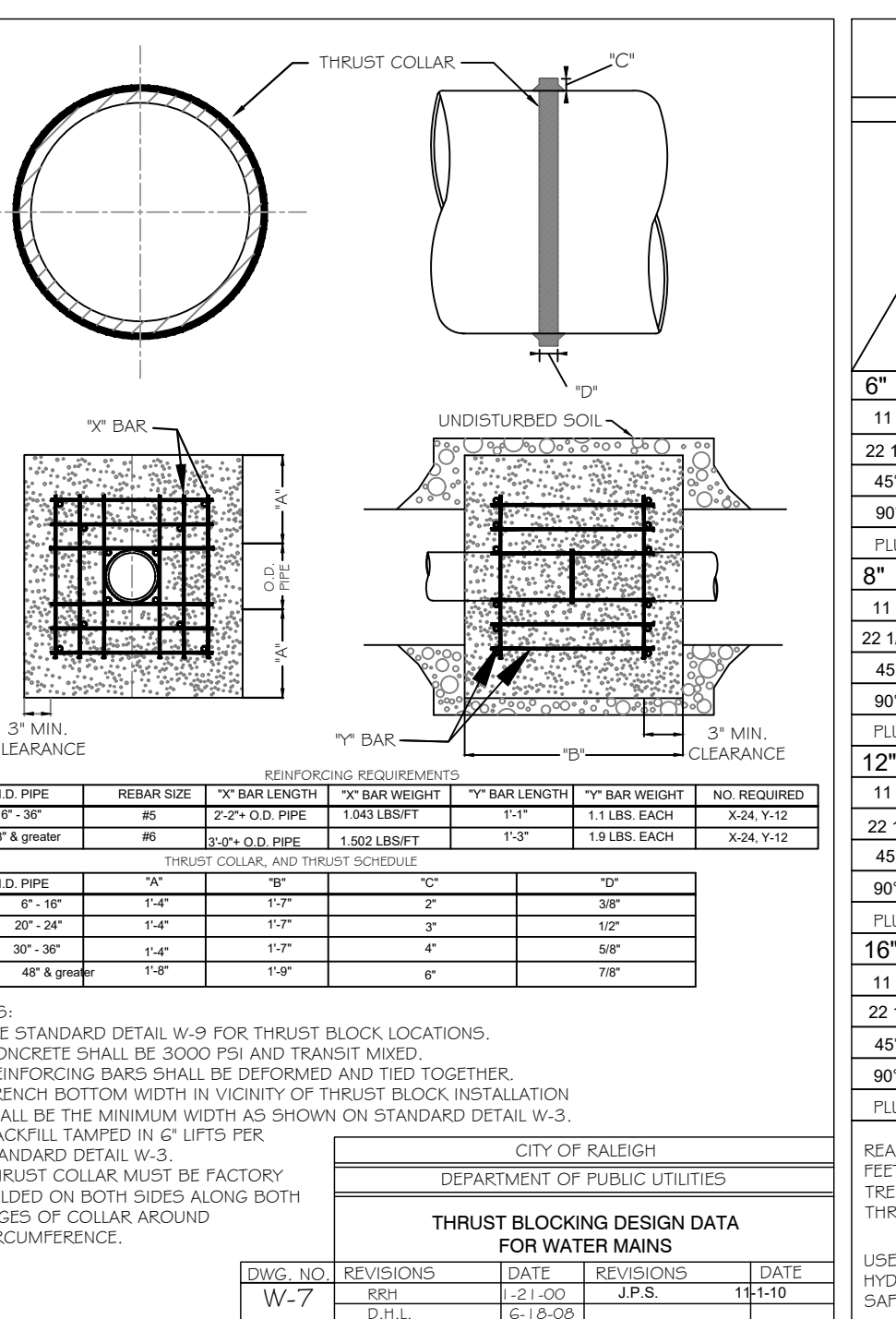
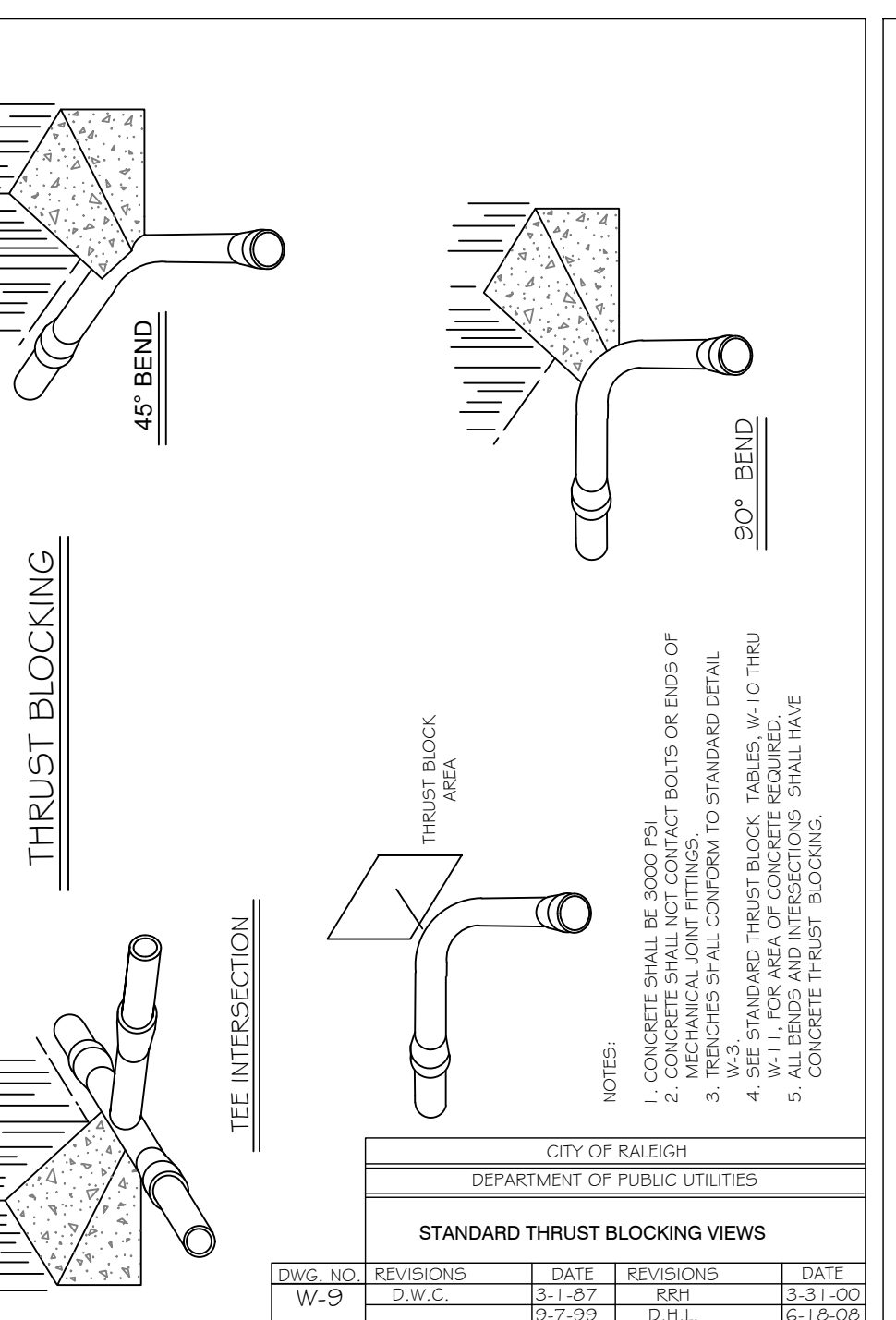
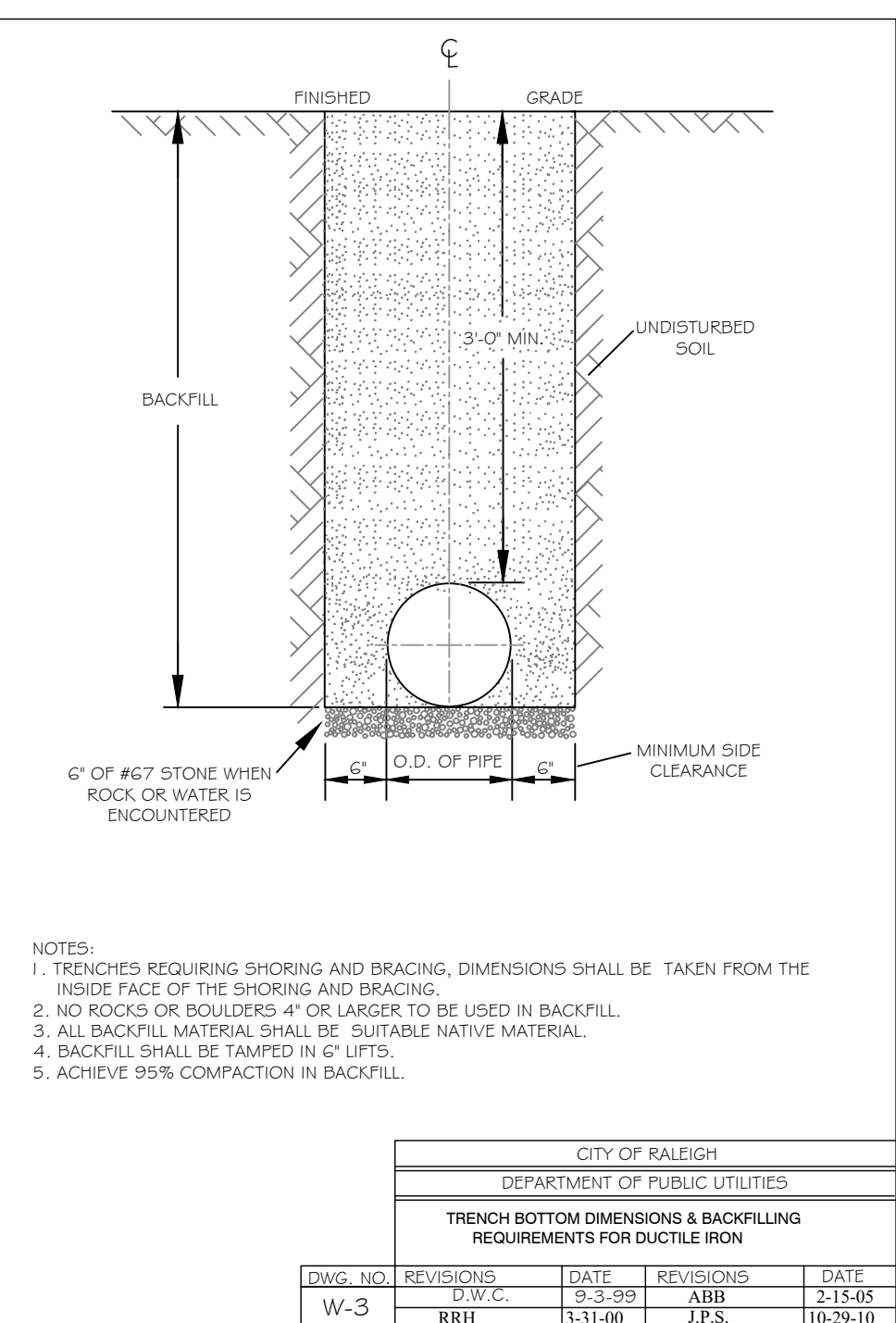
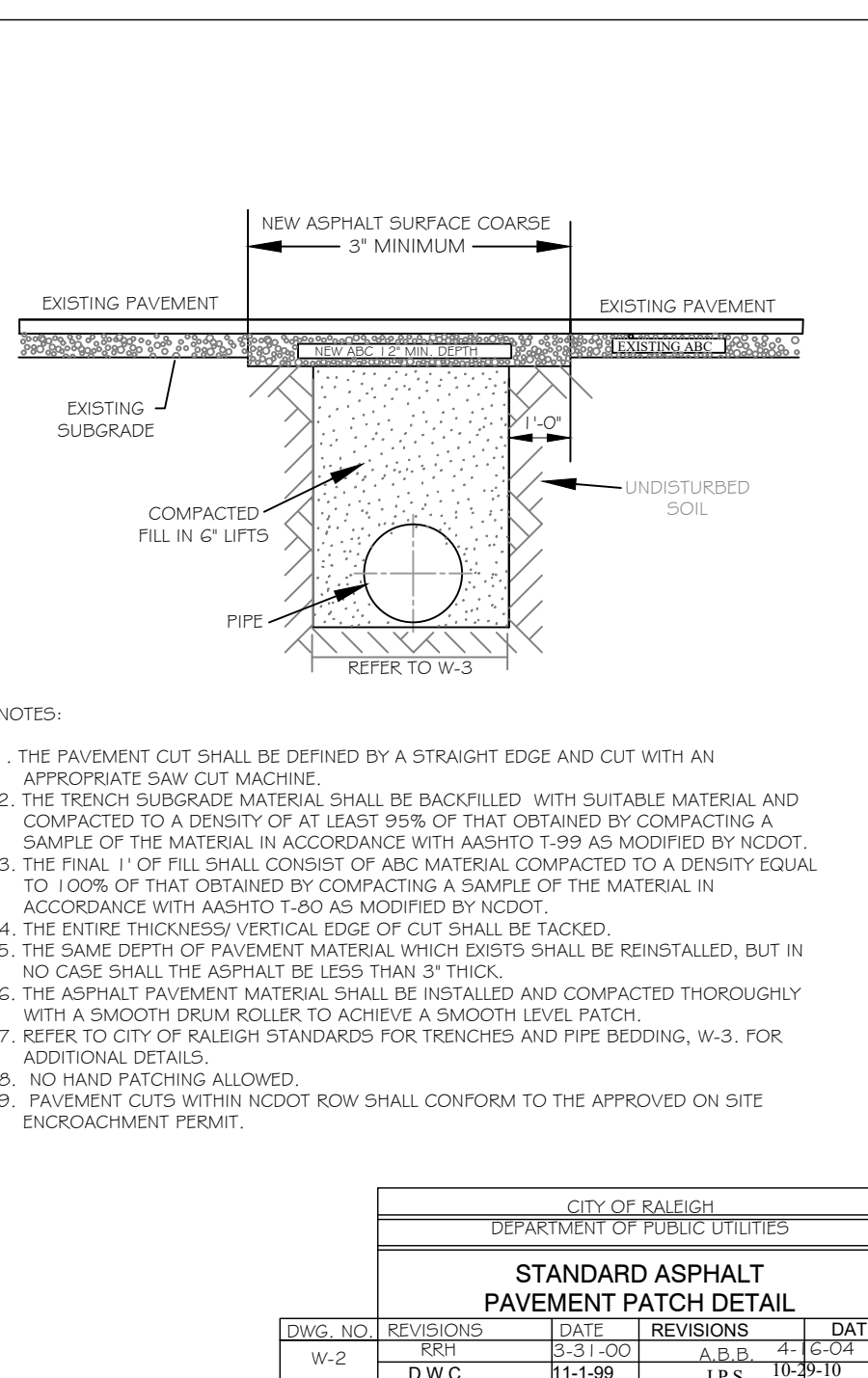
Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH TOWN OF ZEBULON, NCDOT & NCEQ STANDARDS, SPECIFICATIONS AND DETAILS.



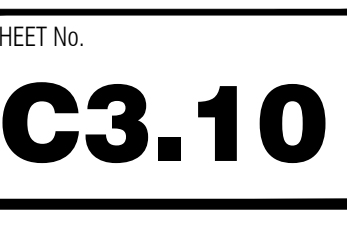


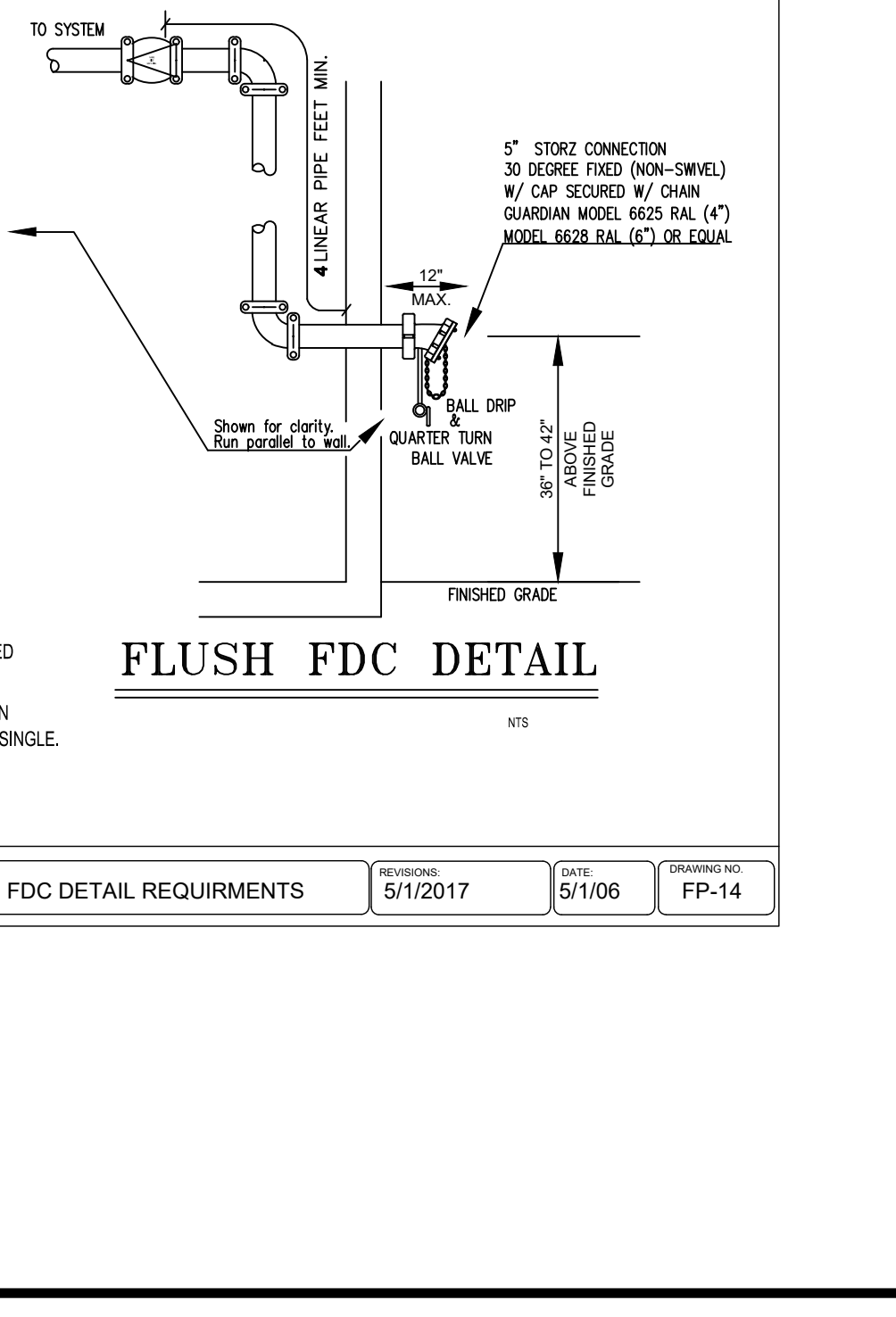
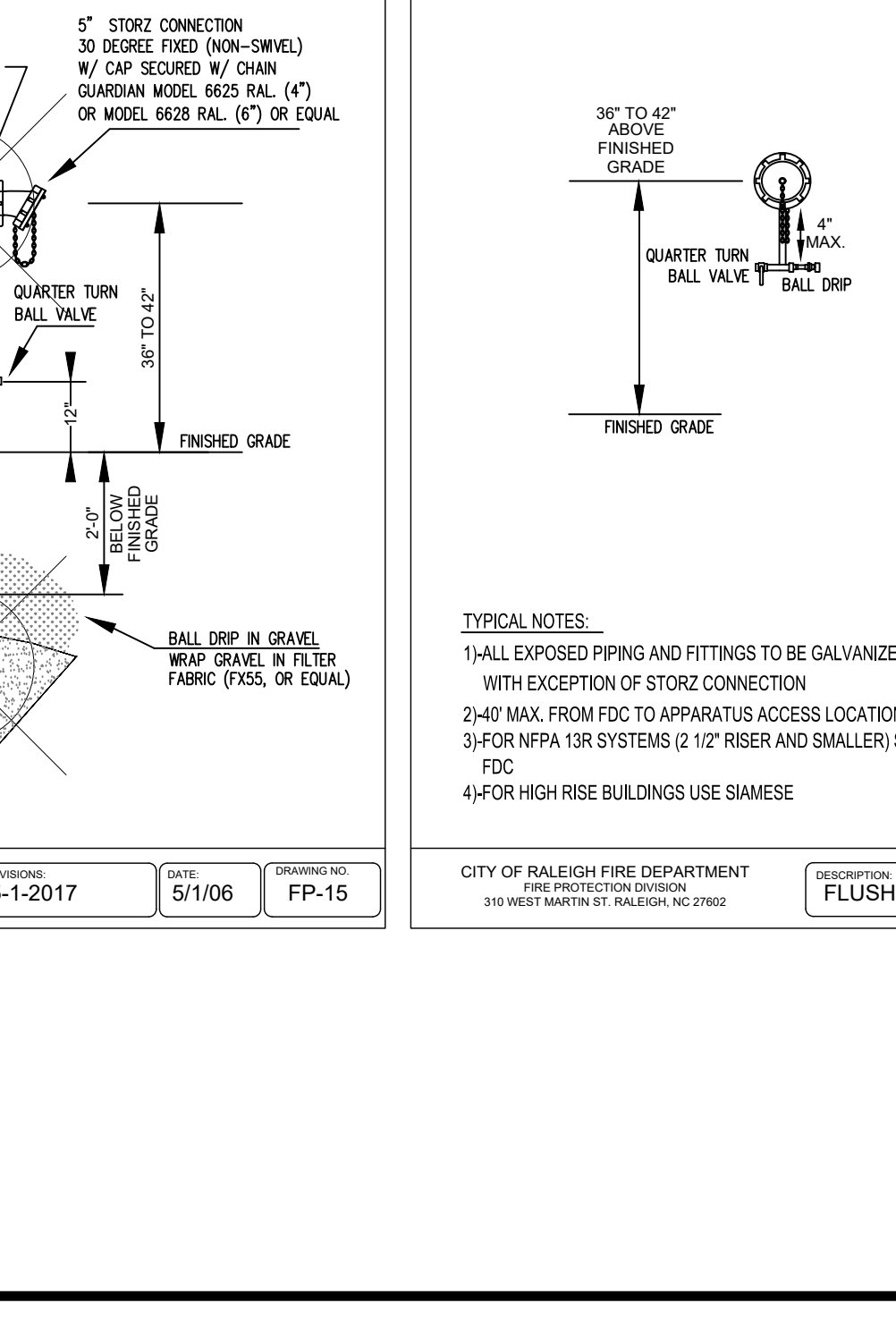
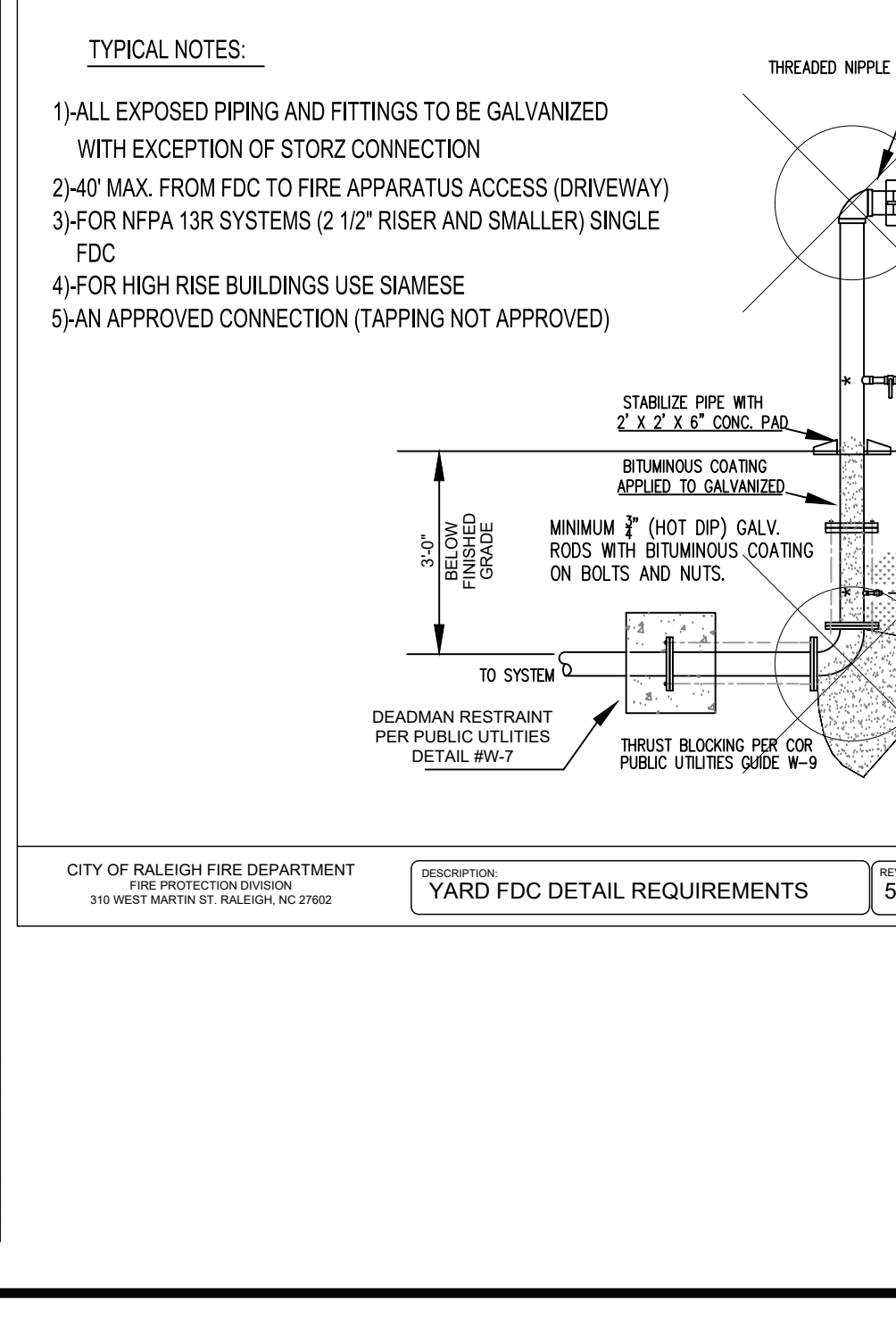
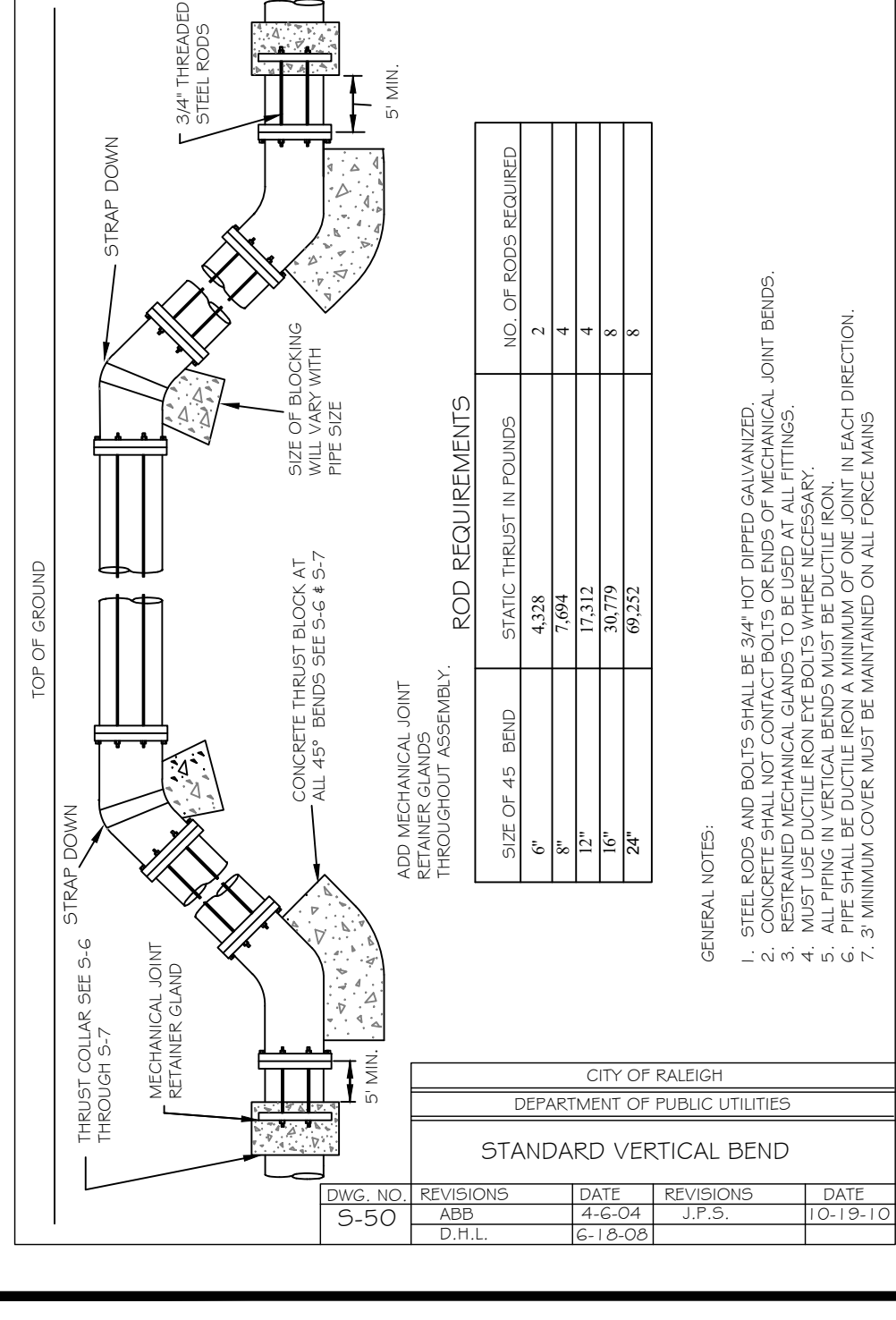
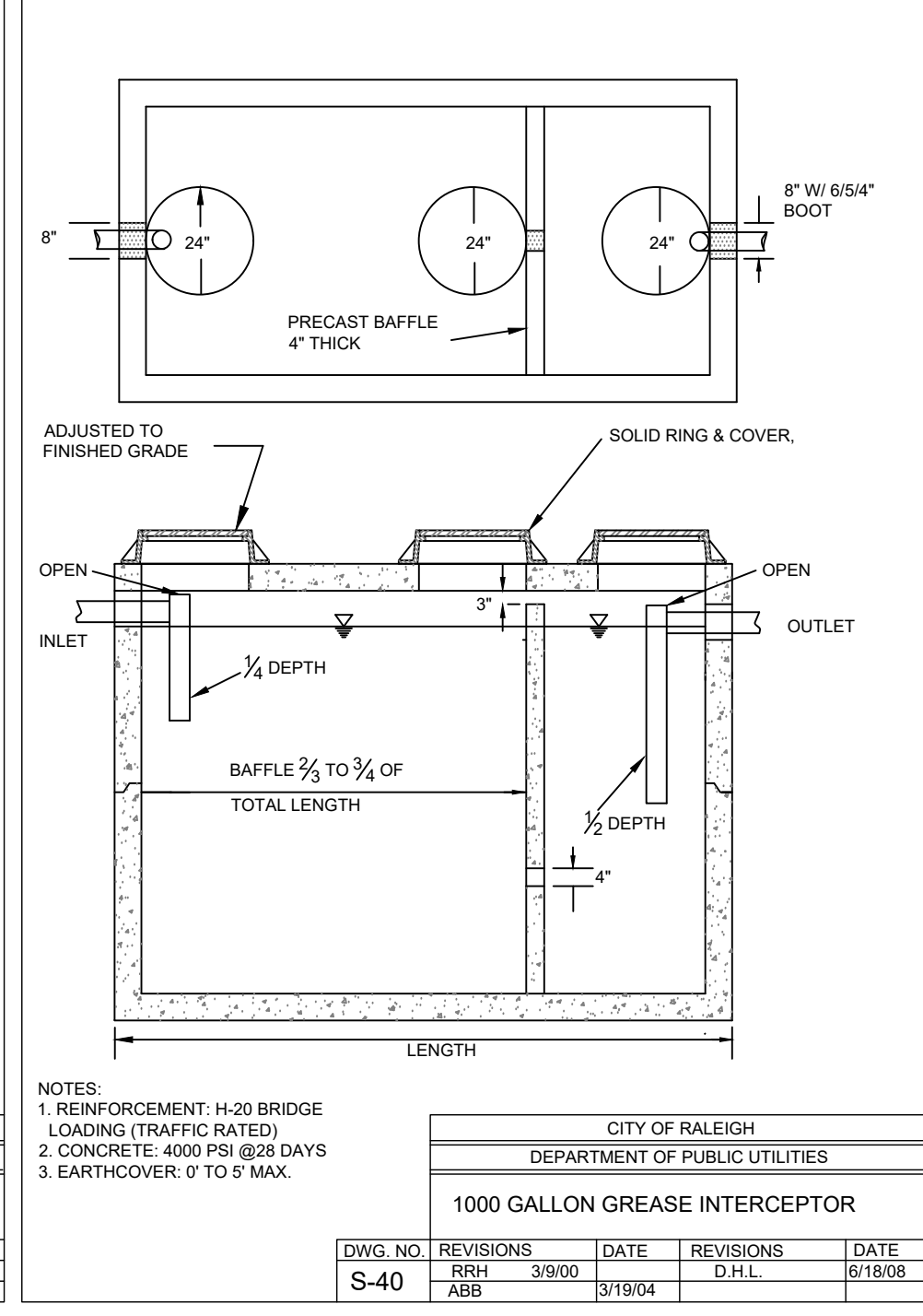
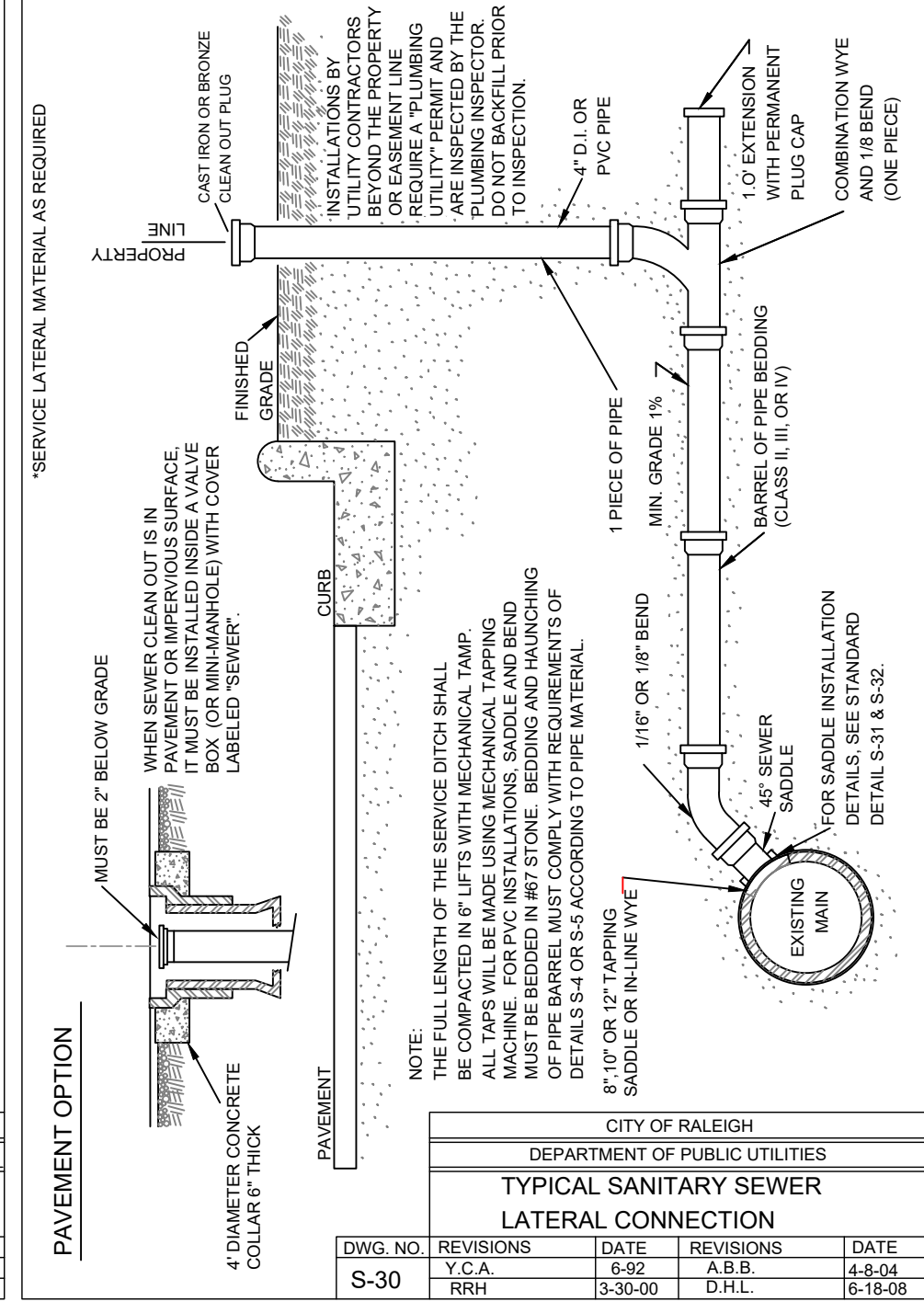
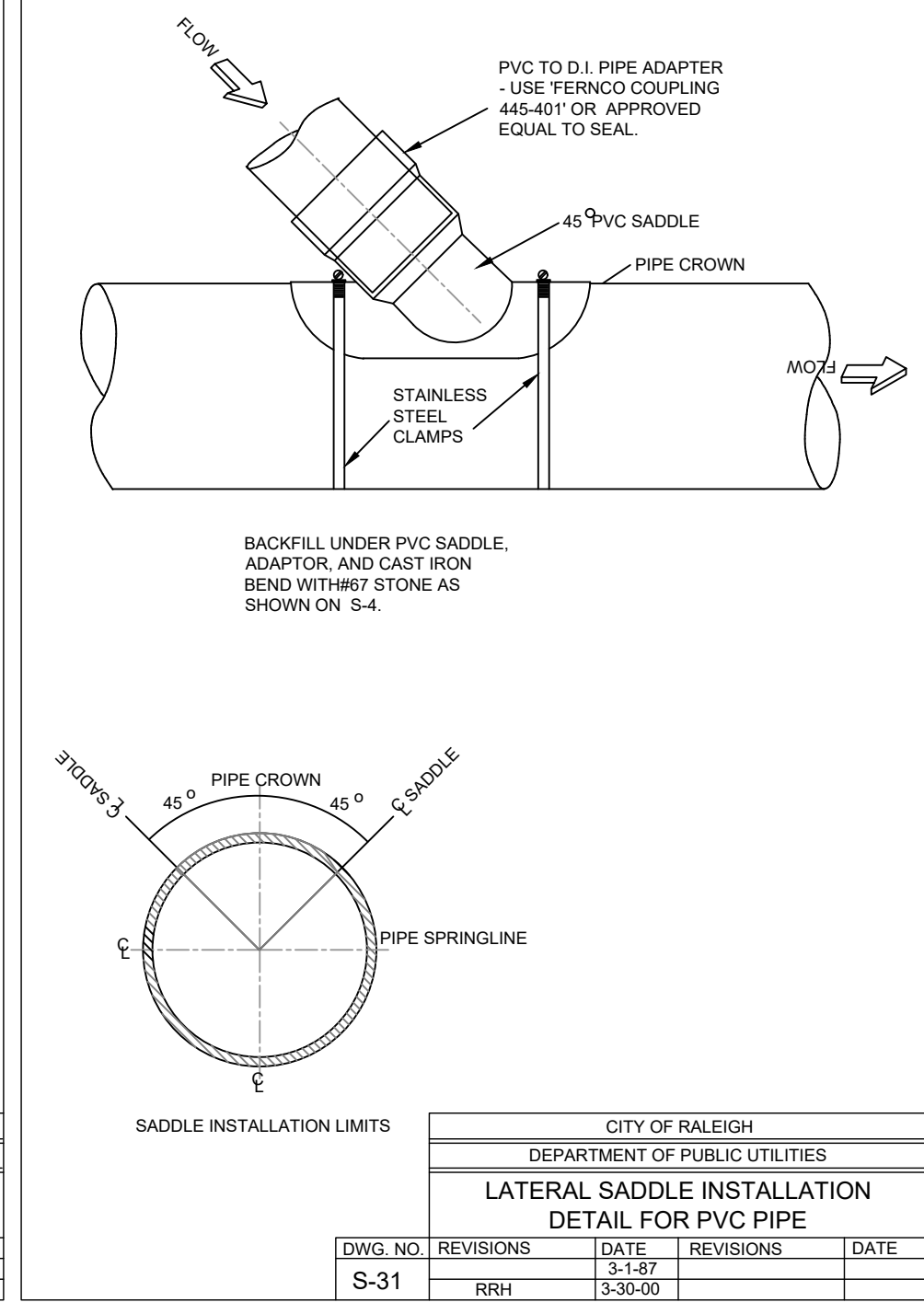
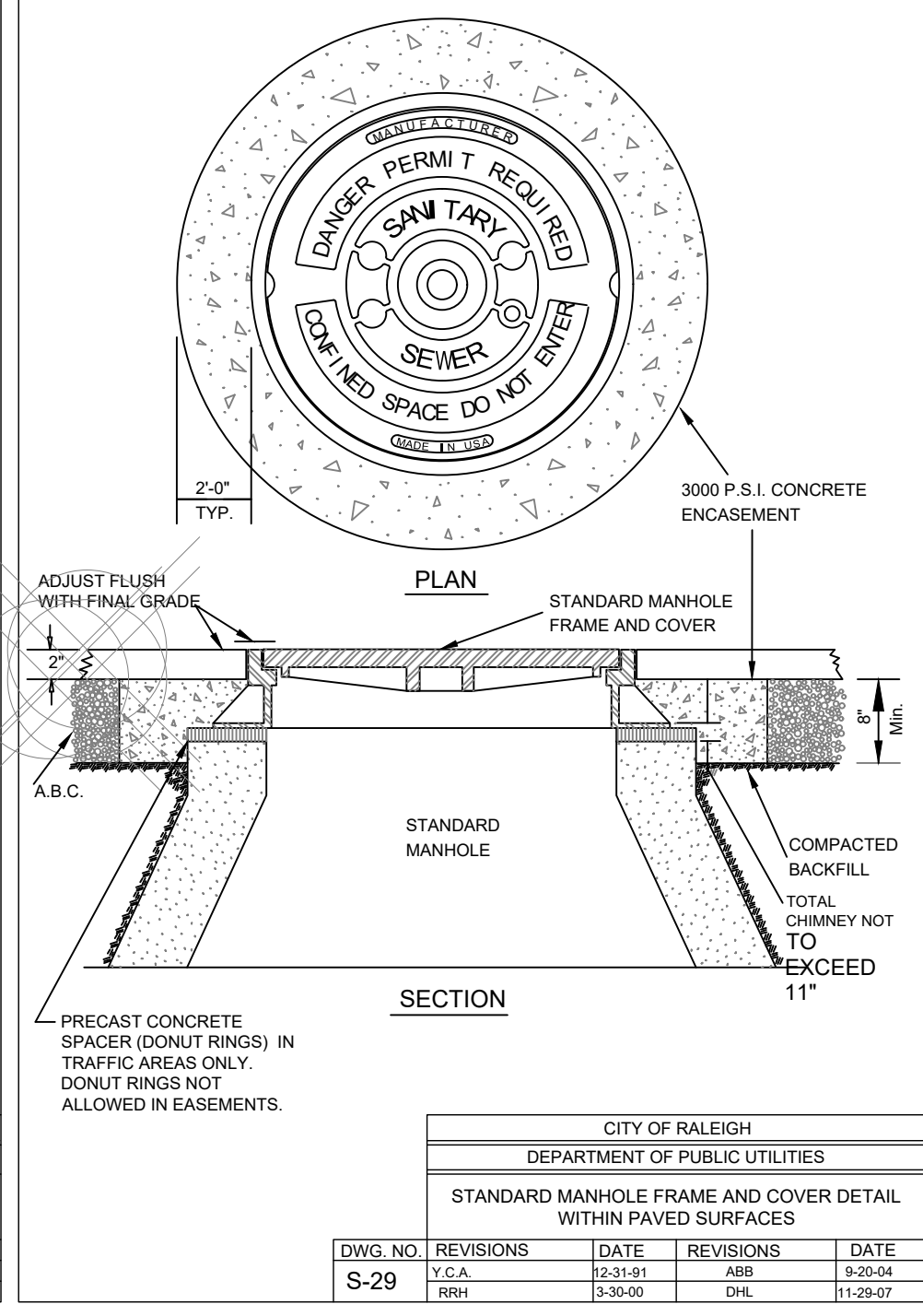
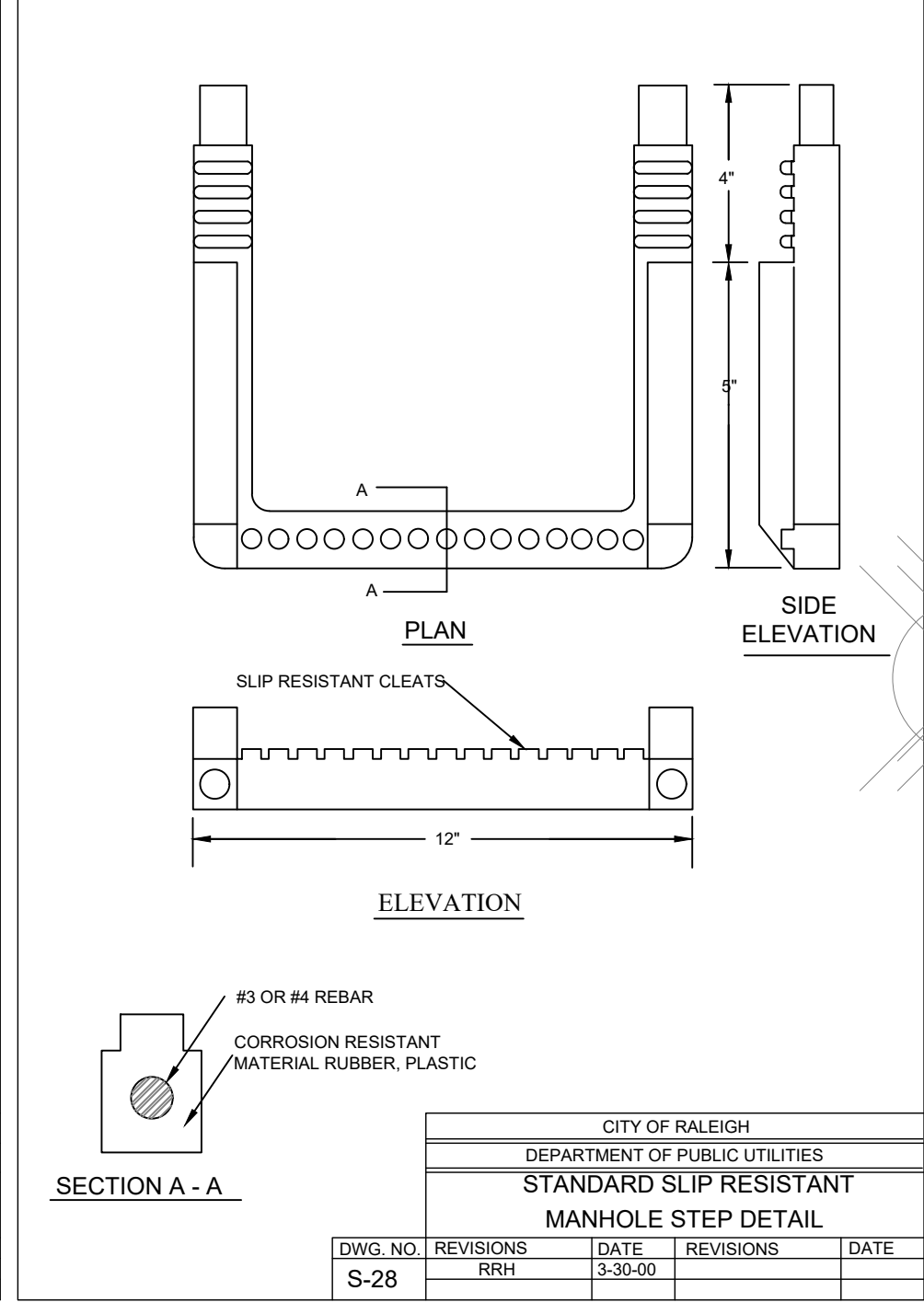
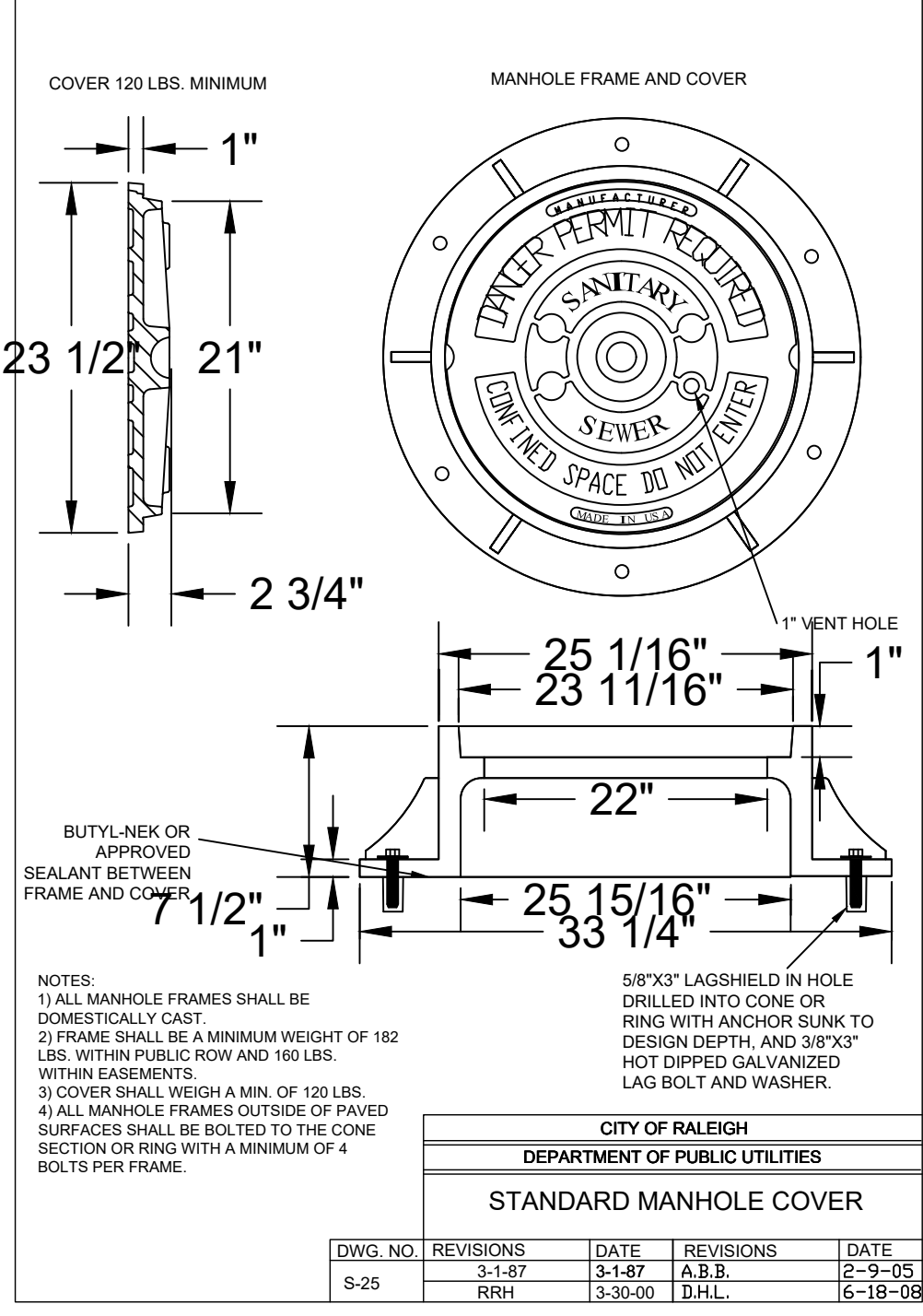
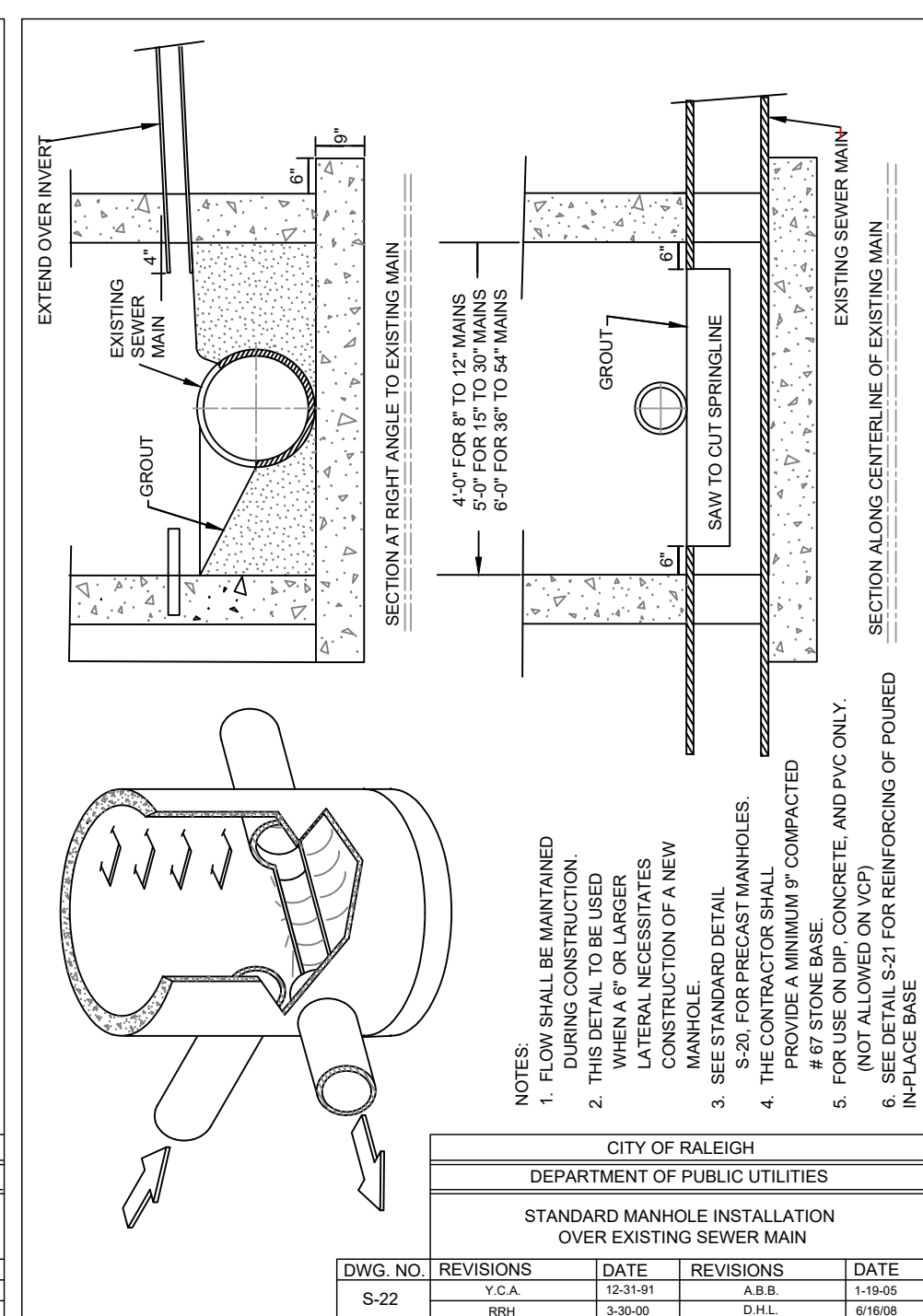
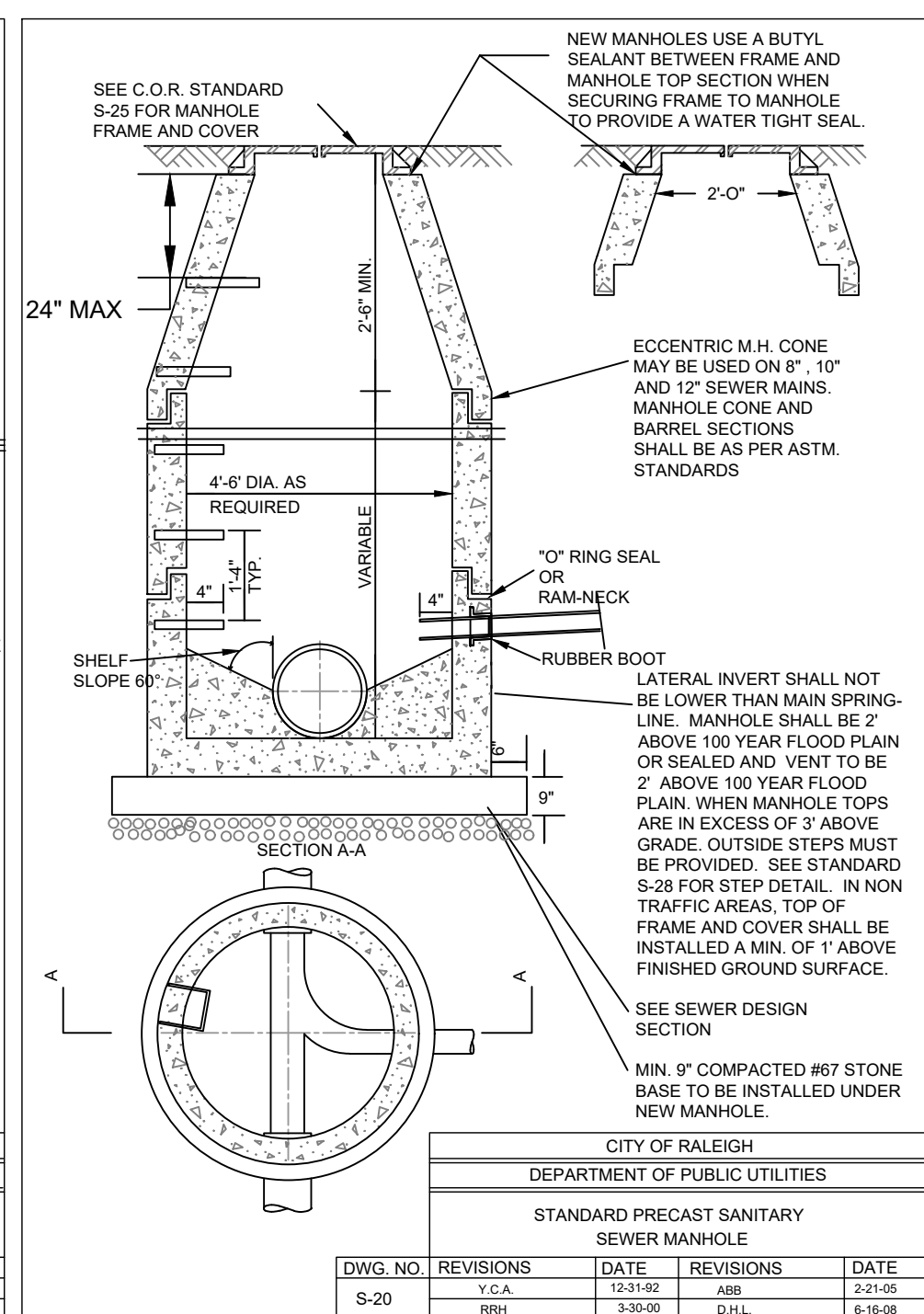
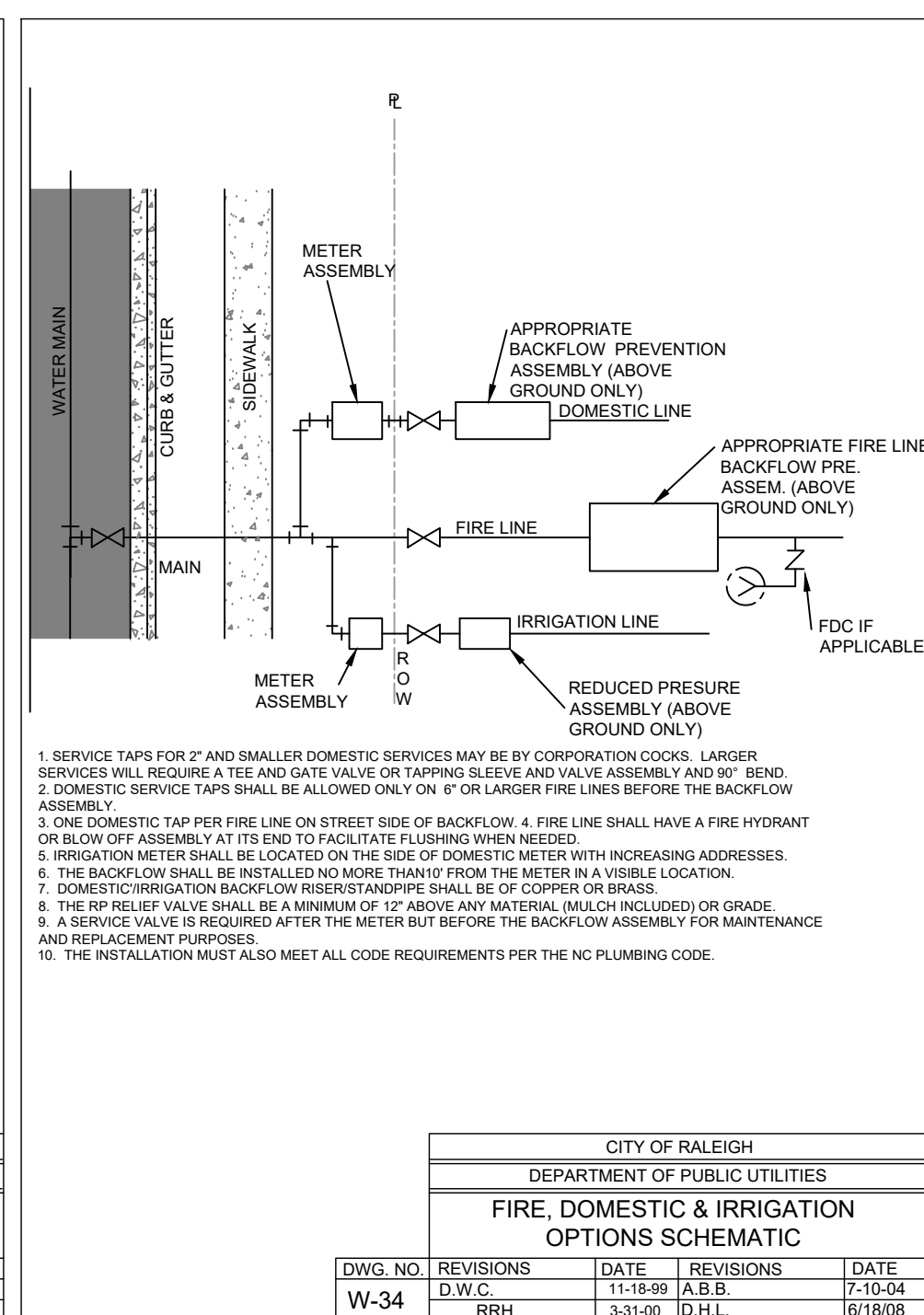
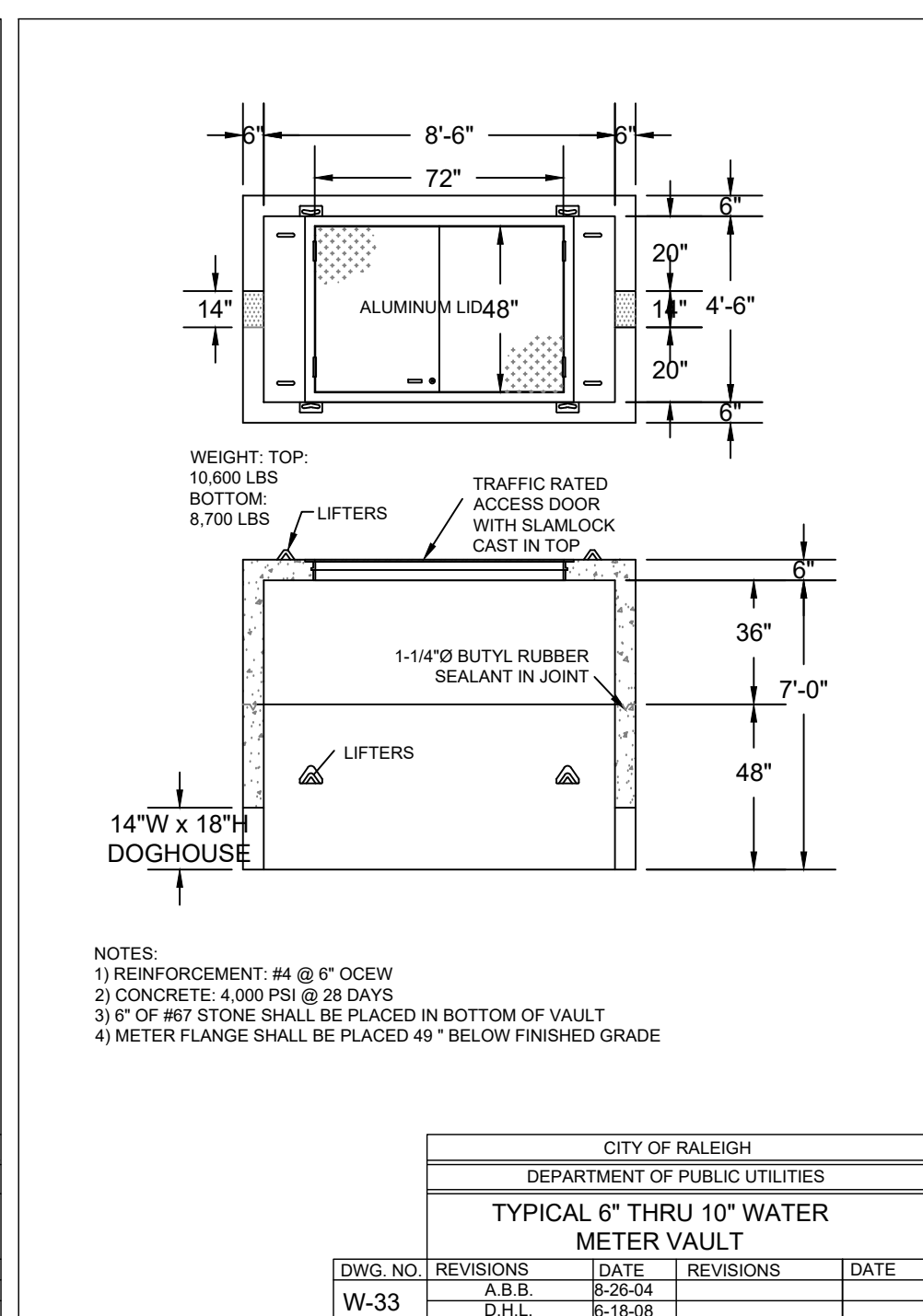
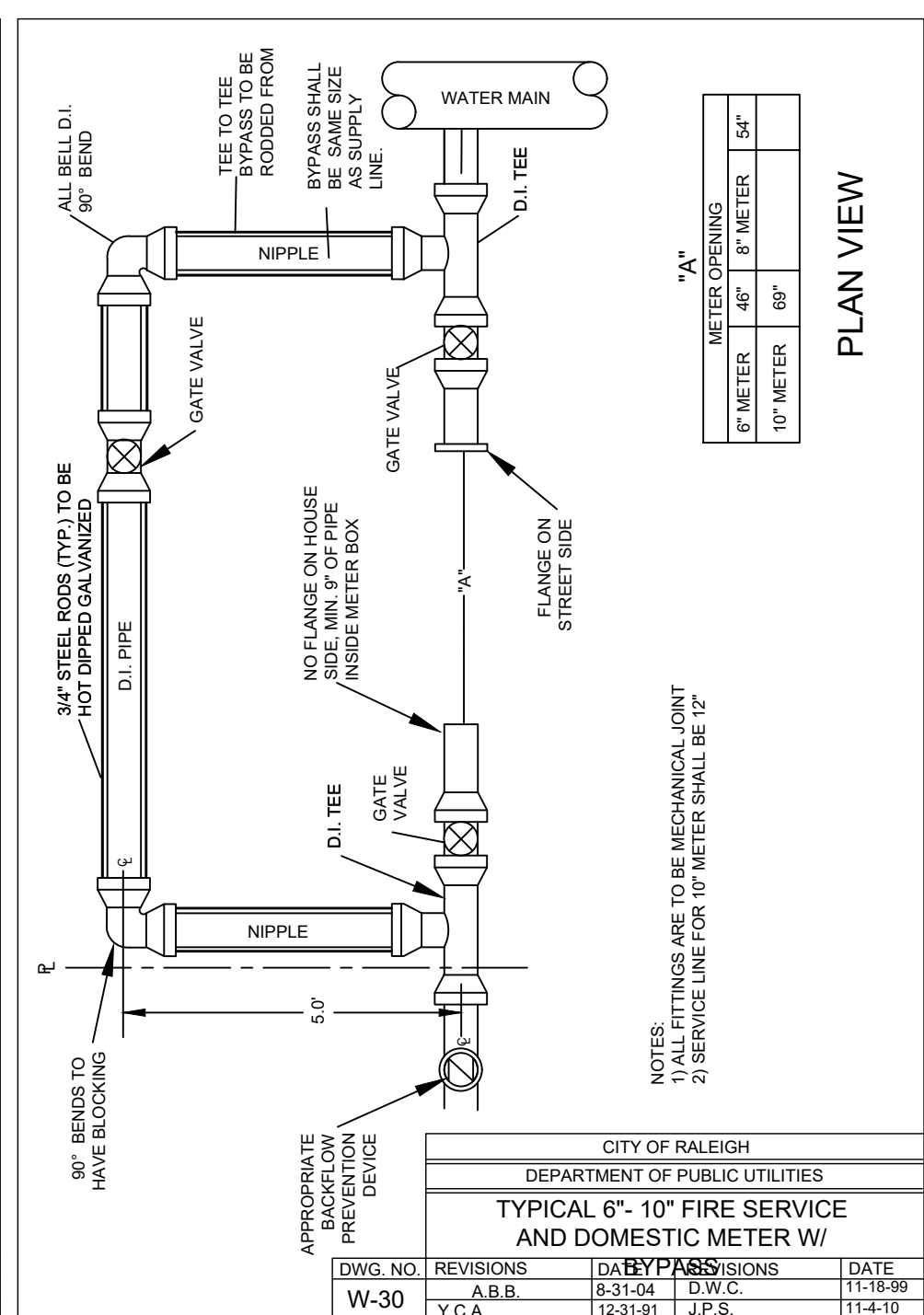
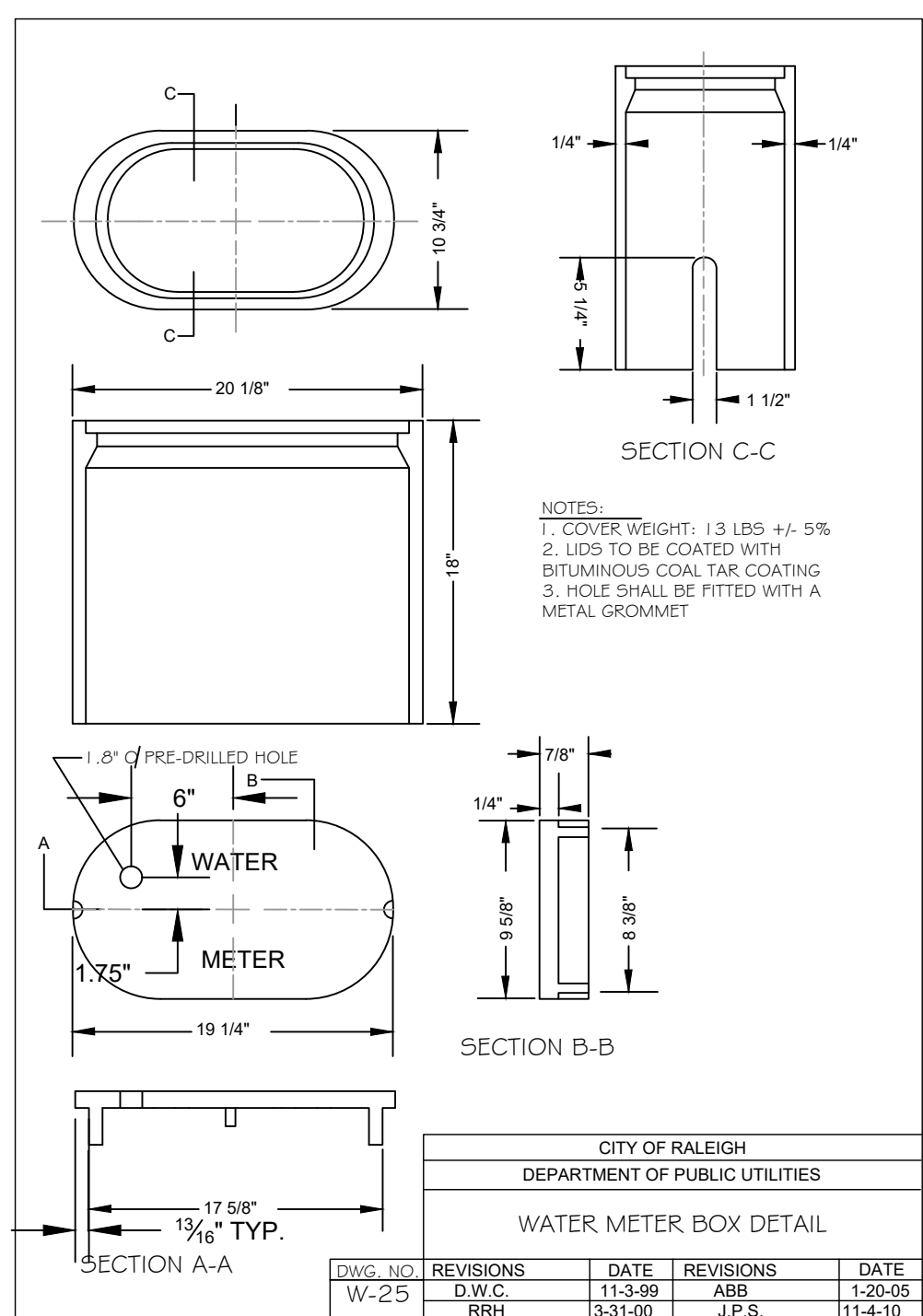
REVISIONS:

NO.	DESCRIPTION	DATE	BY
1	CONSTRUCTION DRAWINGS SUBMITTAL #2	12/07/23	
2	CLIENT REVIEW	11/21/23	
3	TRC REVIEW PLAN	11/07/23	
4	CONSTRUCTION DRAWINGS SUBMITTAL #1	06/01/23	

CONSTRUCTION DRAWINGS
DOMINO'S ZEBULON
 TOWN OF ZEBULON - WAKE COUNTY - NORTH CAROLINA
UTILITIES DETAILS

DATE: _____
 DESIGNED BY: **MS**
 DRAWN BY: **MS**
 CHECKED BY: **JSJ**
 PROJECT No. **2023018**
 DRAWING No. **W-4081**
 SCALE: **AS SHOWN**
 SHEET No. **C3.10**



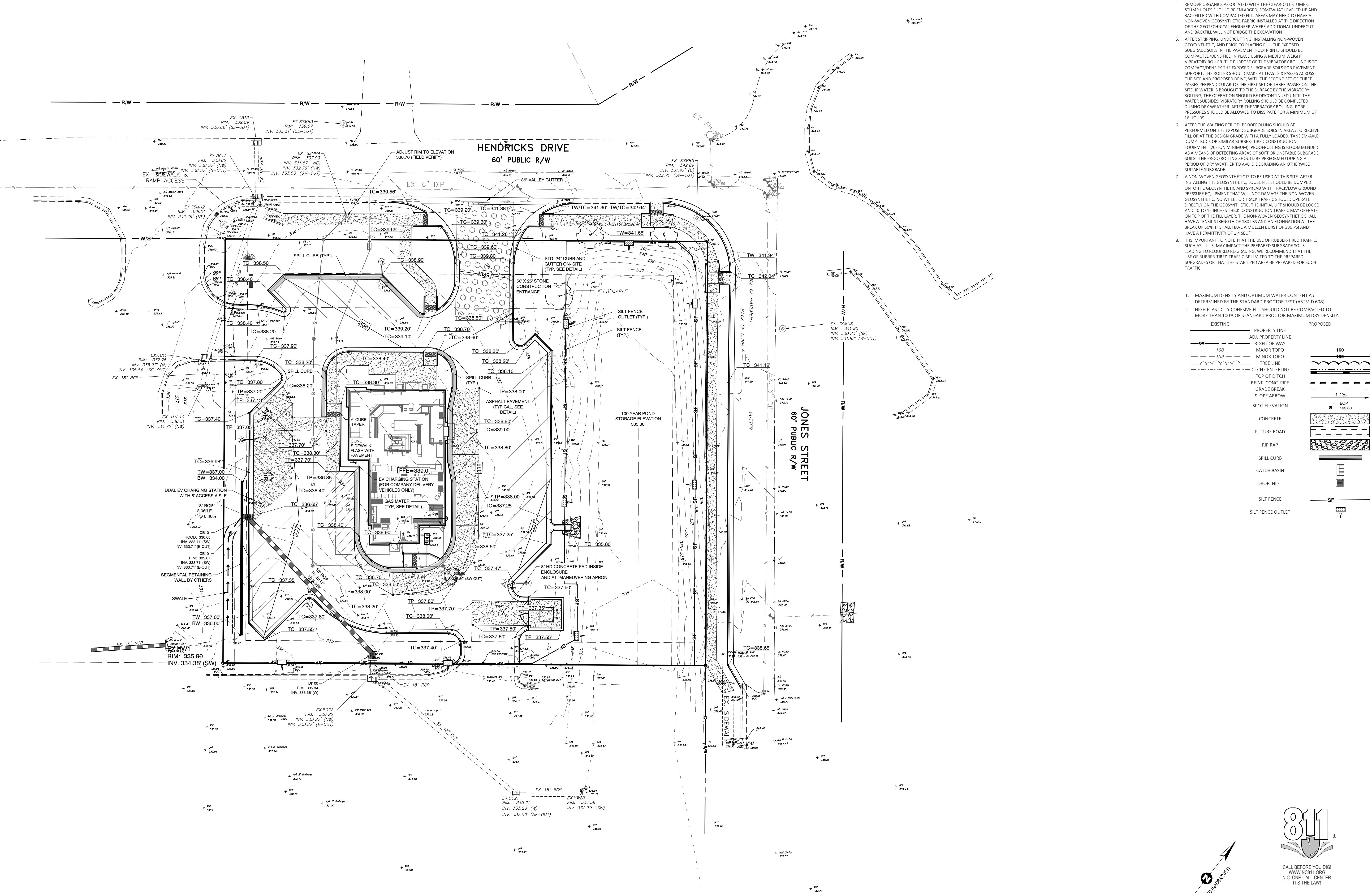


REVISIONS:

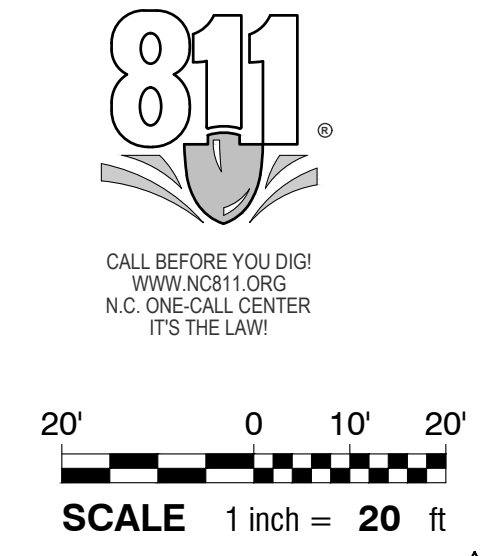
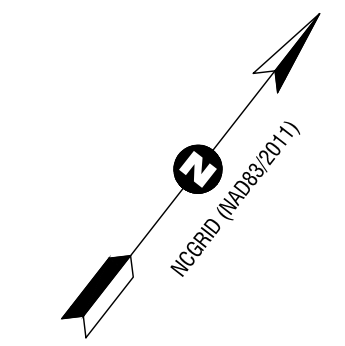
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4	CONSTRUCTION DRAWINGS SUBMITTAL #1	06/01/23	

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH TOWN OF ZEBULON, NCDOT & NCEQ STANDARDS, SPECIFICATIONS AND DETAILS.

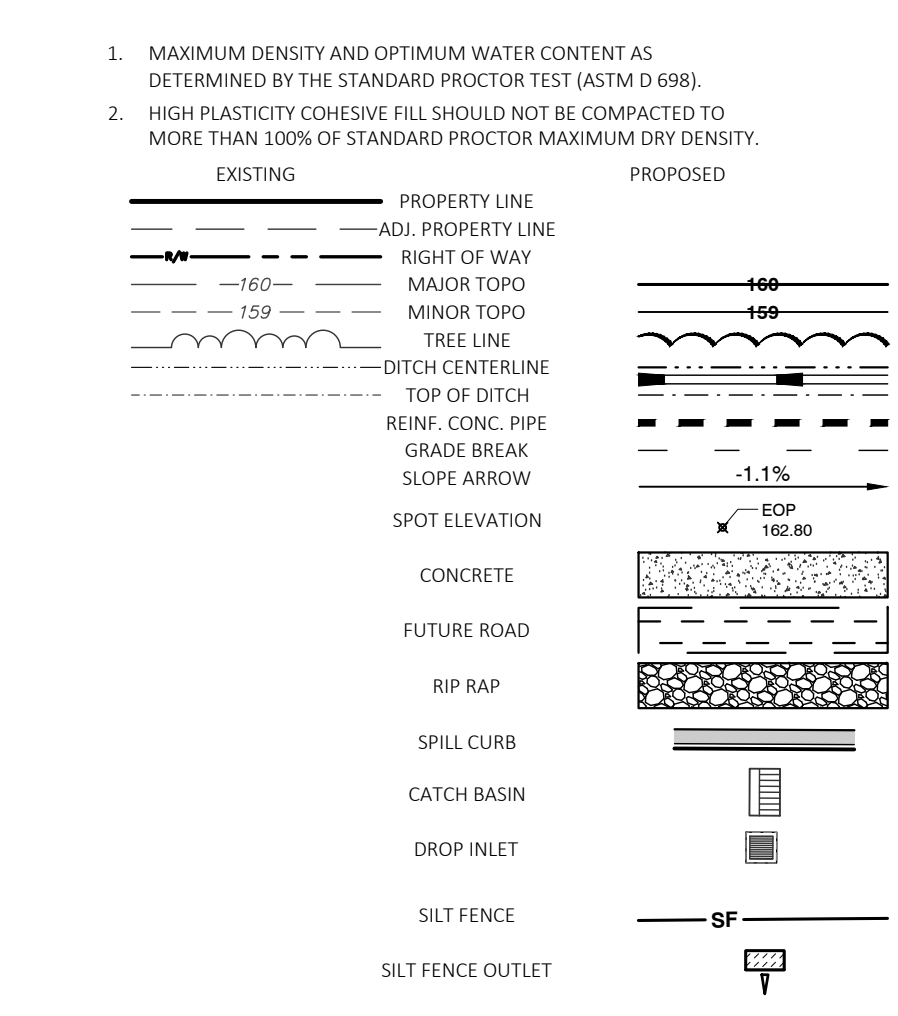
C:\PROJECTS\DOMINO'S ZEBULON\CONSTRUCTION DRAWINGS\C4.01 - STORMWATER AND GRADING PLAN - DWG1.DWG



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH TOWN OF ZEBULON, NCDOT & NCEQ STANDARDS, SPECIFICATIONS AND DETAILS.



- GENERAL NOTES:
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING A CONSTRUCTION ACCESS ROAD A MINIMUM OF 20' WIDE FROM THE EXISTING PAVEMENT TO THE SITE ENTRANCE. INSTALL A MINIMUM DEPTH OF 8" C&G.
 - BASE BID SHALL INCLUDE TOTAL OF 3" OF STRIPPING AND UNDERCUT FROM EXISTING GRADE IN PREPARATION OF SITE. THE AREA UNCUT SHALL EXTEND TO THE LIMITS OF DISTURBANCE WITHIN THE BOUNDARY OF THE PROPERTY TO THE PROPOSED RIGHT OF WAY.
 - PRIOR TO PLACING FILL, EXISTING VEGETATION AND ROOT MAT SHOULD BE REMOVED. AREA BELOW THE BASE BID LIMITS SHALL BE FIELD MEASURED AND IDENTIFIED AS UNDERCUT.
 - BASE BID SHALL INCLUDE STRIPPING DEPTHS UP TO 3 FEET TO REMOVE ORGANICS ASSOCIATED WITH THE CLEAR-CUT STUMPS. STUMP HOLES SHOULD BE ENLARGED, SOMEWHAT LEVELED UP AND BACKFILLED WITH COMPACTED FILL. AREAS MAY NEED TO HAVE A NON-WOVEN GEOSYNTHETIC FABRIC INSTALLED AT THE DIRECTION OF THE GEOTECHNICAL ENGINEER WHERE ADDITIONAL UNDERCUT AND BACKFILL WILL NOT BRIDGE THE EXCAVATION.
 - AFTER STRIPPING, UNDERCUTTING, INSTALLING NON-WOVEN GEOSYNTHETIC, AND PRIOR TO PLACING FILL, THE EXPOSED SUBGRADE SOILS IN THE PAVEMENT FOOTPRINTS SHOULD BE COMPACTED/DENSIFIED IN PLACE USING A MEDIUM WEIGHT VIBRATORY ROLLER. THE PURPOSE OF THE VIBRATORY ROLLING IS TO COMPACT/DENSIFY THE EXPOSED SUBGRADE SOILS FOR PAVEMENT SUPPORT. THE ROLLER SHOULD MAKE AT LEAST SIX PASSES ACROSS THE SITE AND PROPOSED DRIVE, WITH THE SECOND SET OF THREE PASSES PERPENDICULAR TO THE FIRST SET OF THREE PASSES ON THE SITE. IF WATER IS BROUGHT TO THE SURFACE BY THE VIBRATORY ROLLING, THE OPERATION SHOULD BE DISCONTINUED UNTIL THE WATER SUBSIDES. VIBRATORY ROLLING SHOULD BE COMPLETED DURING DRY WEATHER. AFTER THE VIBRATORY ROLLING, PORE PRESSURES SHOULD BE ALLOWED TO DISSIPATE FOR A MINIMUM OF 16 HOURS.
 - AFTER THE WAITING PERIOD, PROOFROLLING SHOULD BE PERFORMED ON THE EXPOSED SUBGRADE SOILS IN AREAS TO RECEIVE FILL OR AT THE DESIGN GRADE WITH A FULLY LOADED, TANDEM-AXLE DUMP TRUCK OR SIMILAR RUBBER-TIRED CONSTRUCTION EQUIPMENT (20-TON MINIMUM). PROOFROLLING IS RECOMMENDED AS A MEANS OF DETECTING AREAS OF SOFT OR UNSTABLE SUBGRADE SOILS. THE PROOFROLLING SHOULD BE PERFORMED DURING A PERIOD OF DRY WEATHER TO AVOID DEGRADING AN OTHERWISE SUITABLE SUBGRADE.
 - A NON-WOVEN GEOSYNTHETIC IS TO BE USED AT THIS SITE. AFTER INSTALLING THE GEOSYNTHETIC, LOOSE FILL SHOULD BE DUMPED ONTO THE GEOSYNTHETIC AND SPREAD WITH TRACK LOW GROUND PRESSURE EQUIPMENT THAT WILL NOT DAMAGE THE NON-WOVEN GEOSYNTHETIC. NO WHEEL OR TRACK TRAFFIC SHOULD OPERATE DIRECTLY ON THE GEOSYNTHETIC. THE INITIAL LIFT SHOULD BE LOOSE AND 10 TO 12 INCHES THICK. CONSTRUCTION TRAFFIC MAY OPERATE ON TOP OF THE FILL LAYER. THE NON-WOVEN GEOSYNTHETIC SHALL HAVE A TENSILE STRENGTH OF 180 LBS AND AN ELONGATION AT THE BREAK OF 50%. IT SHALL HAVE A MULLER BURST OF 300 PSI AND HAVE A PERMEABILITY OF 1.4 SEC⁻¹.
 - IT IS IMPORTANT TO NOTE THAT THE USE OF RUBBER-TIRED TRAFFIC, SUCH AS LULUS, MAY IMPACT THE PREPARED SUBGRADE SOILS LEADING TO REQUIRED RE-GRADING. WE RECOMMEND THAT THE USE OF RUBBER-TIRED TRAFFIC BE LIMITED TO THE PREPARED SUBGRADES OR THAT THE STABILIZED AREA BE PREPARED FOR SUCH TRAFFIC.



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NO.	DATE	BY	DESCRIPTION
1	12/07/23		CONSTRUCTION DRAWINGS SUBMITTAL #2
2	11/21/23		CLIENT REVIEW
3	11/07/23		TRC REVIEW PLAN
4	06/01/23		CONSTRUCTION DRAWINGS SUBMITTAL #1

CONSTRUCTION DRAWINGS
DOMINO'S ZEBULON
 TOWN OF ZEBULON - WAKE COUNTY - NORTH CAROLINA
STORMWATER AND GRADING PLAN

DATE: _____
 DESIGNED BY: JSJ/MS
 DRAWN BY: MS
 CHECKED BY: JSJ
 PROJECT No. 2023018
 DRAWING No. W-4081
 SCALE: AS SHOWN
 SHEET No. **C4.01**

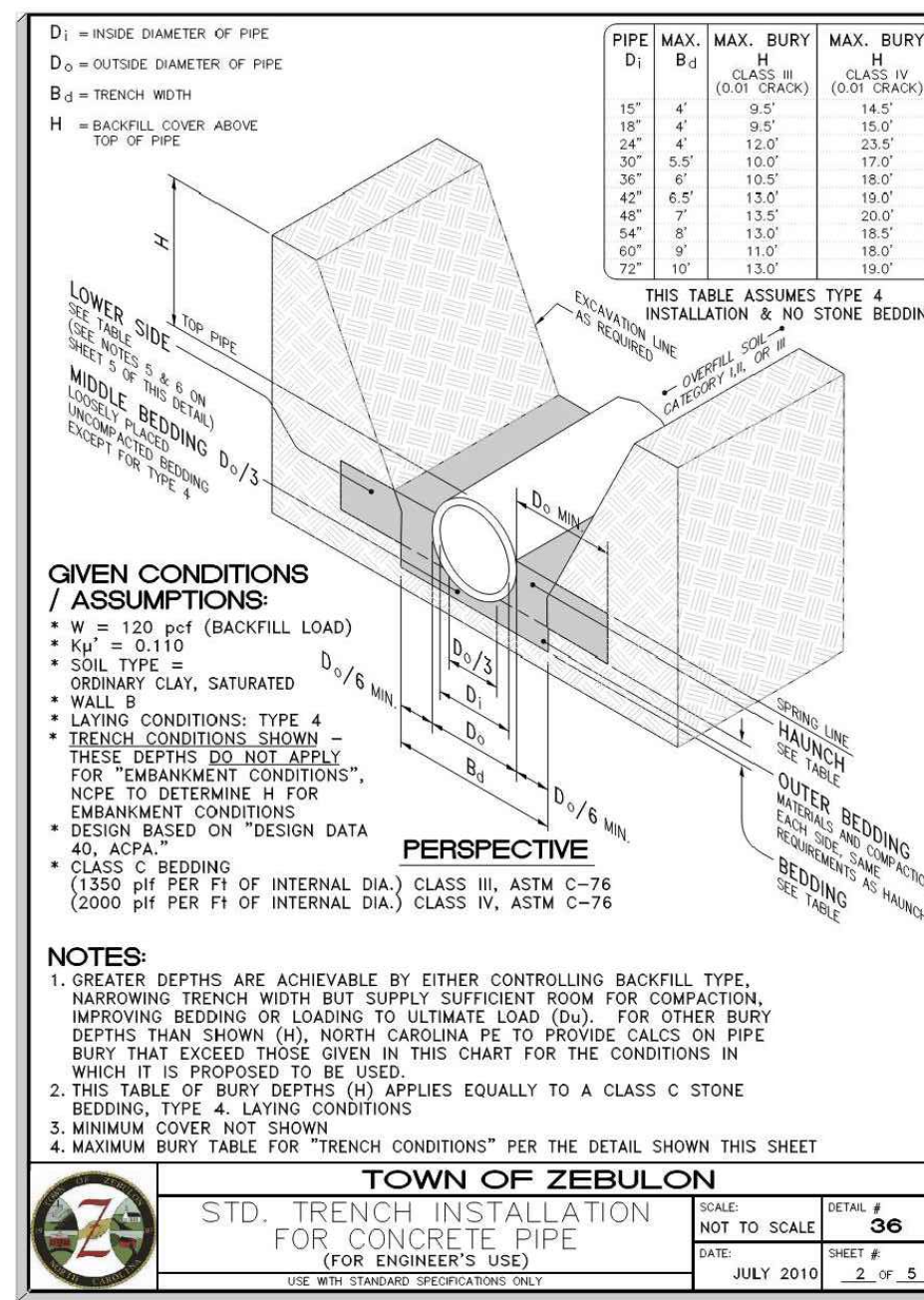
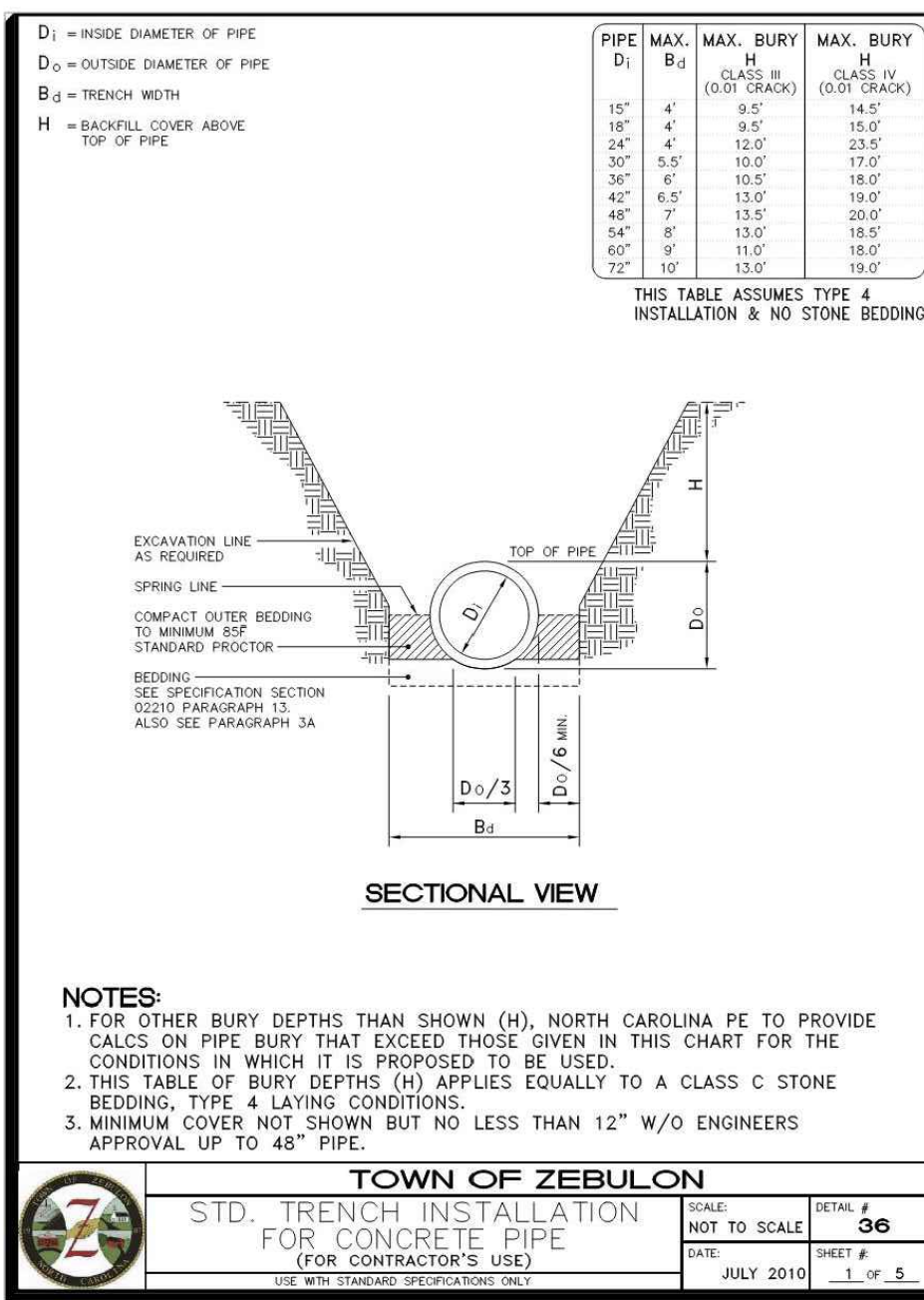
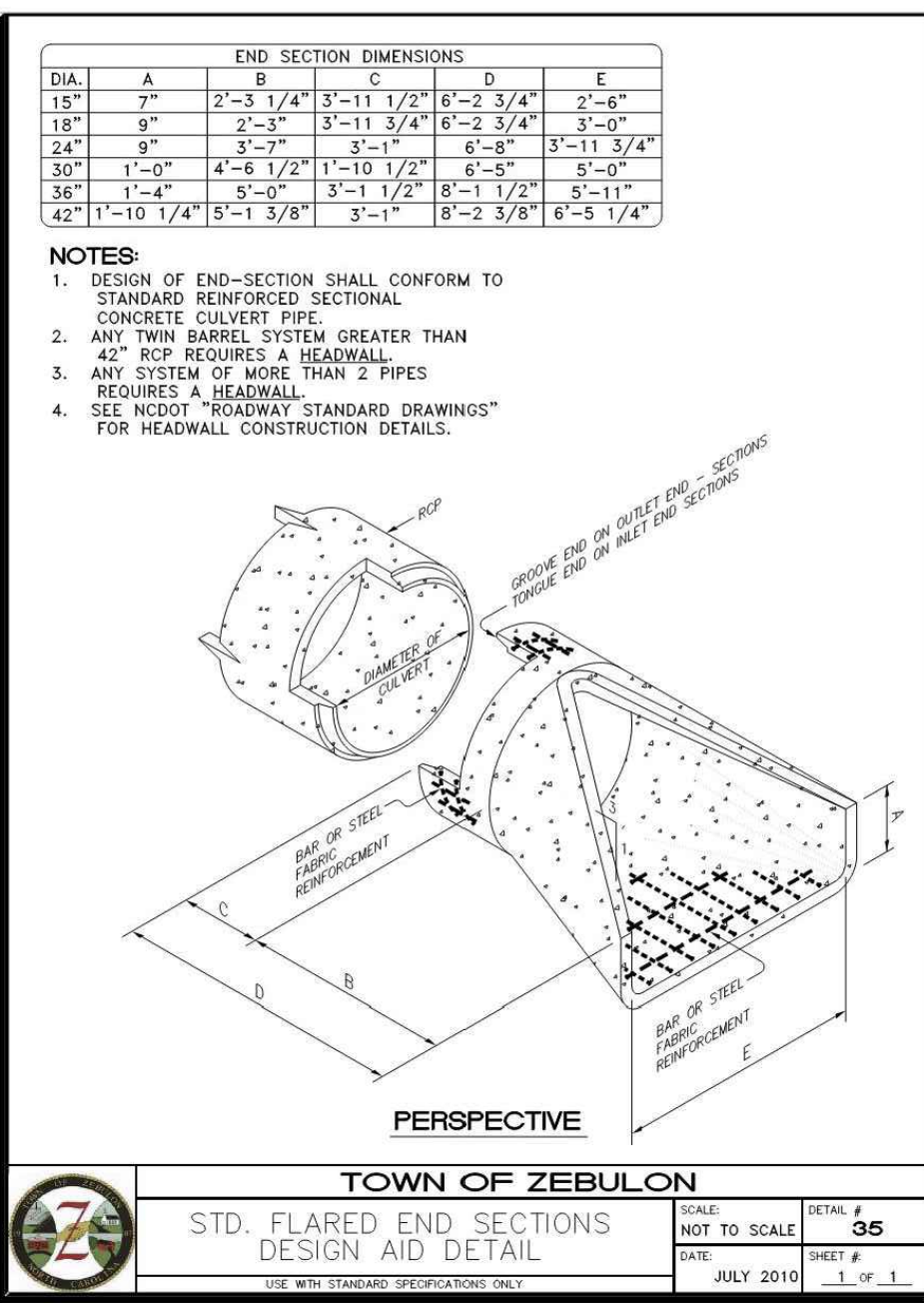
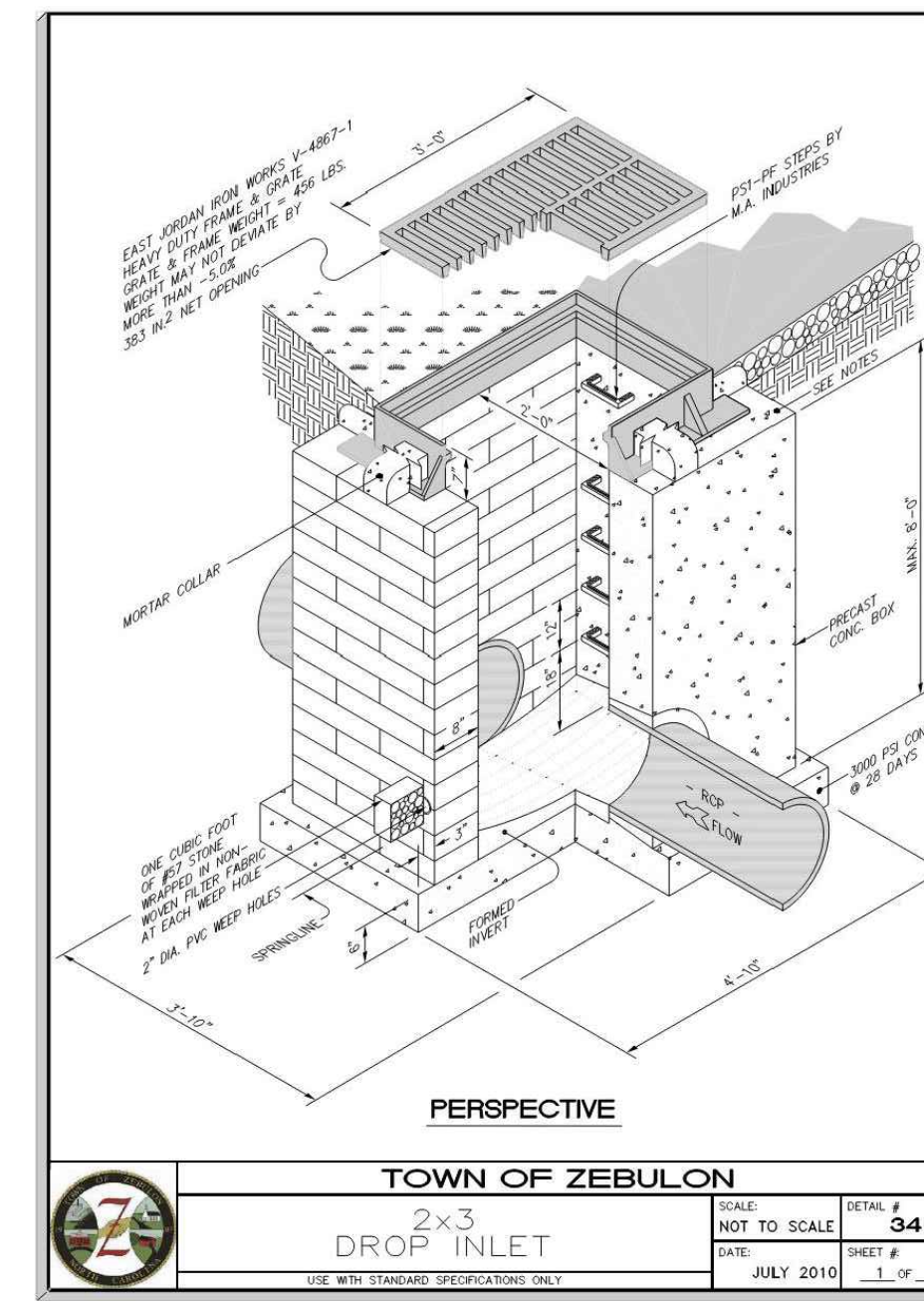
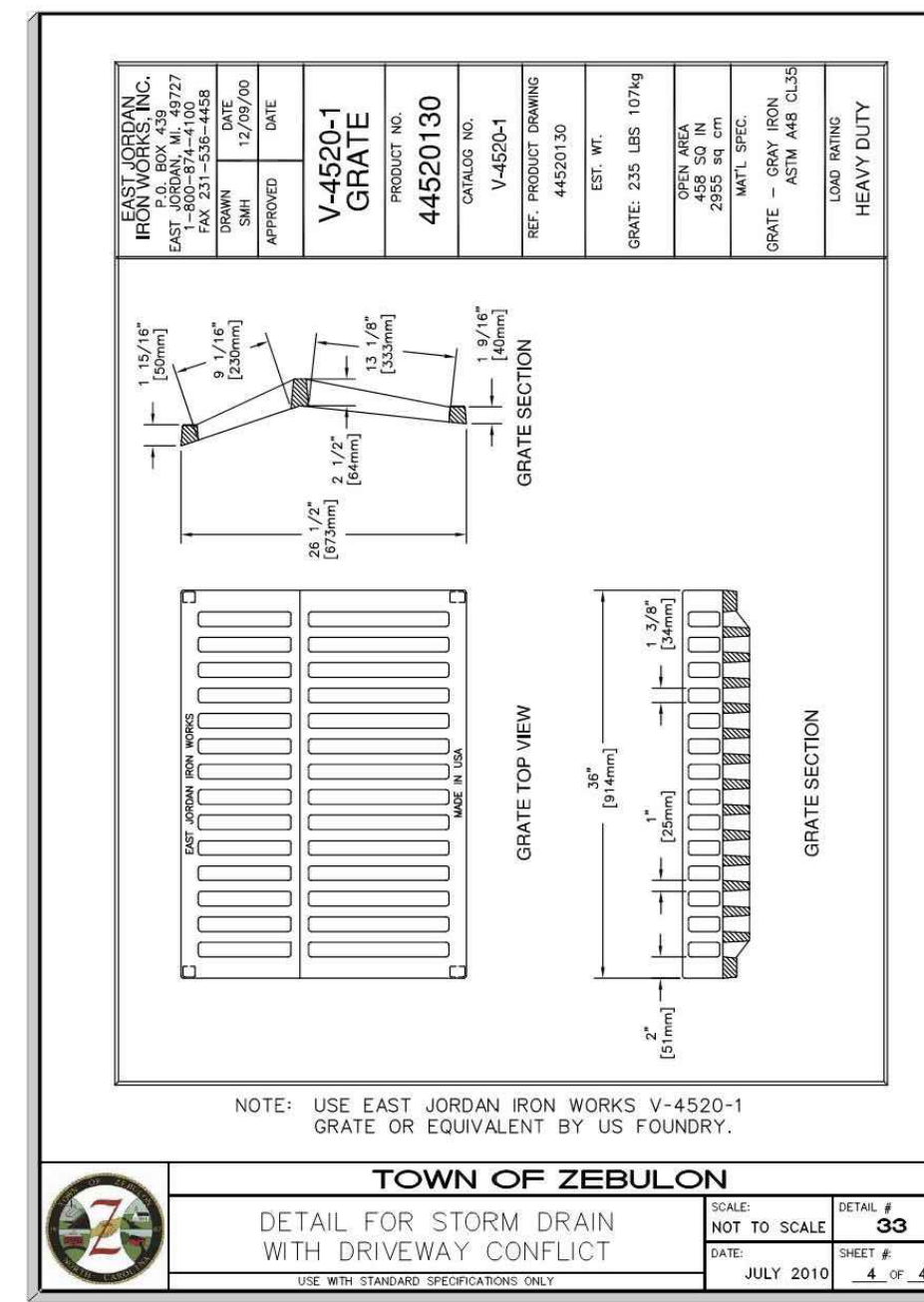
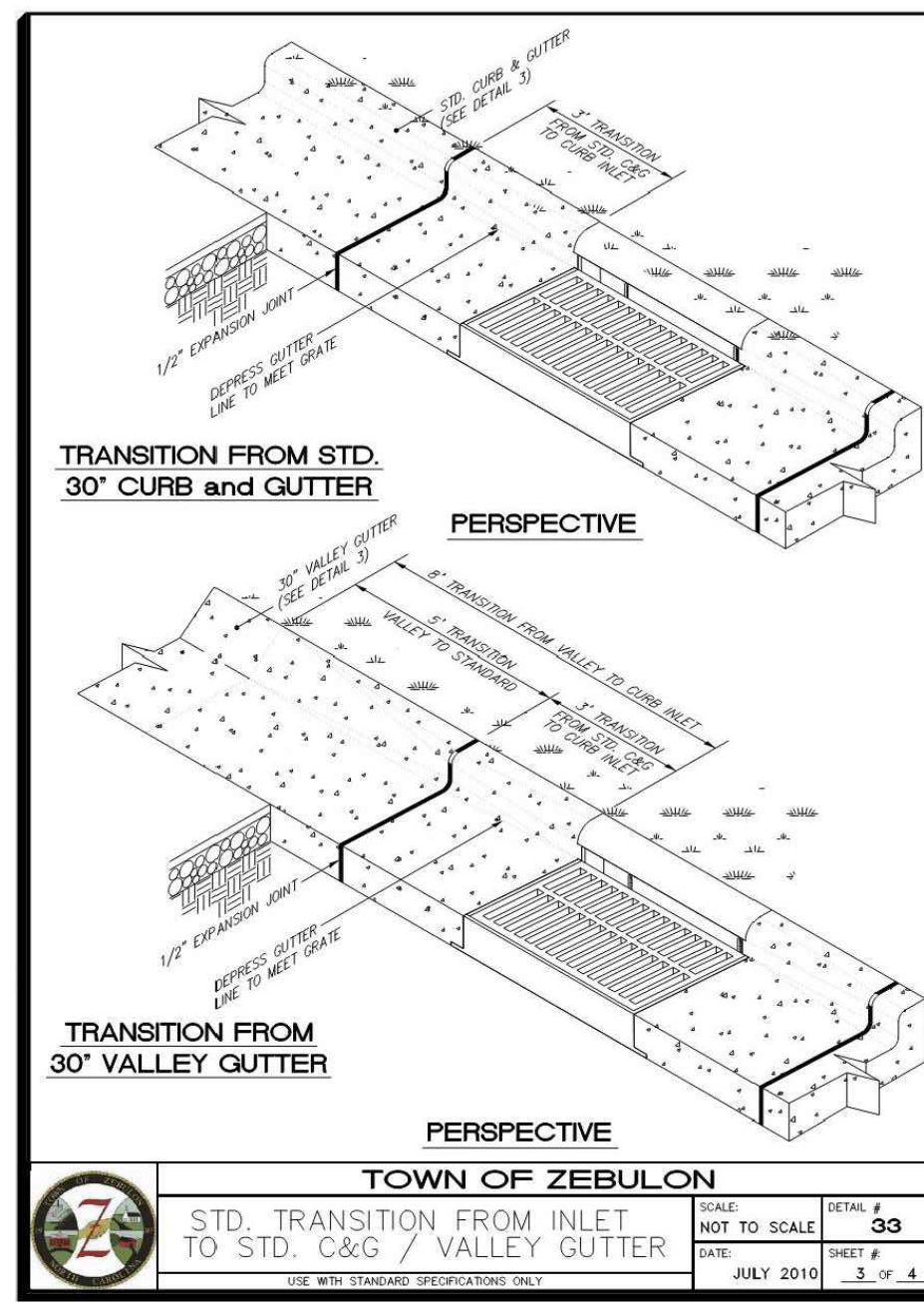
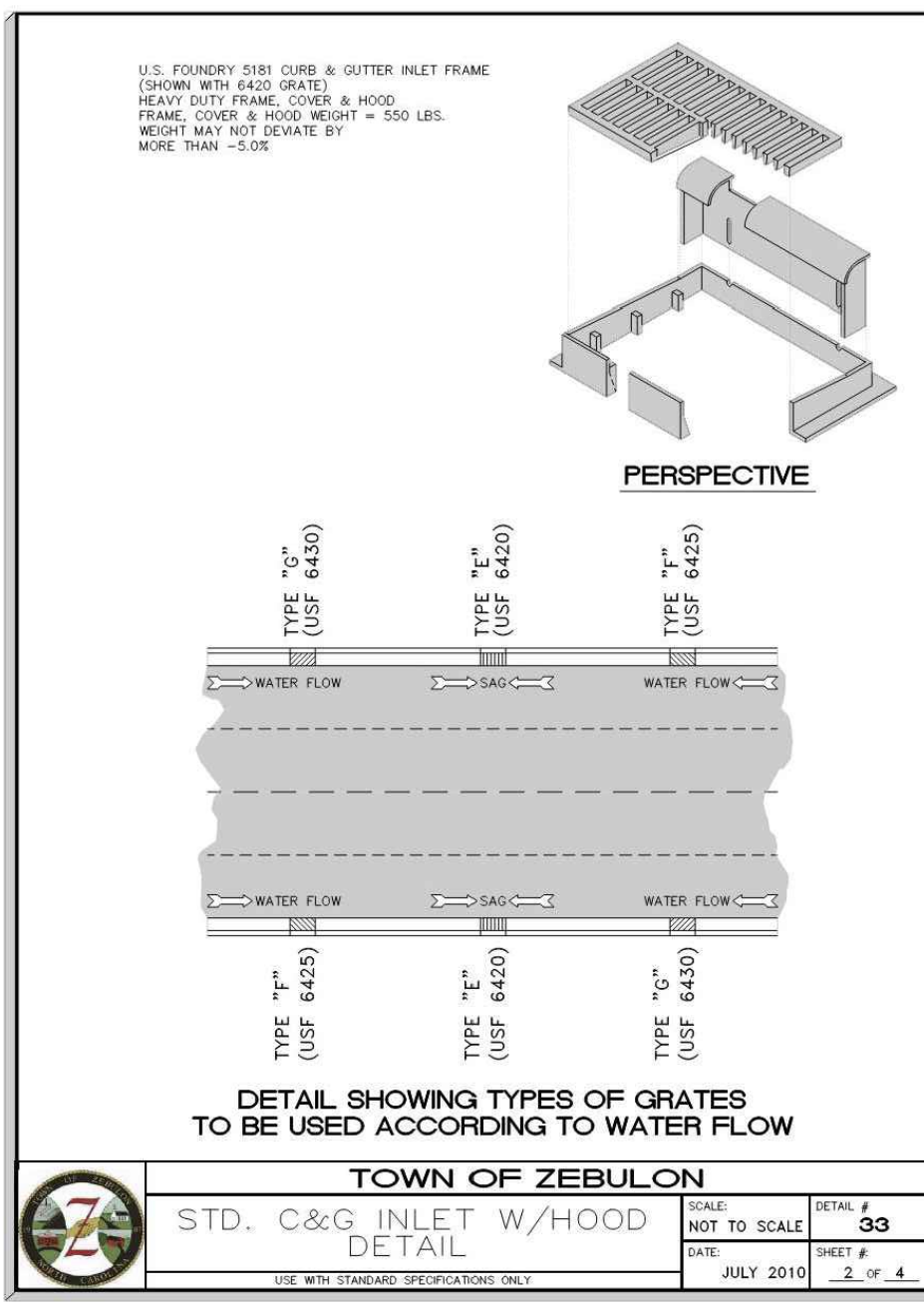
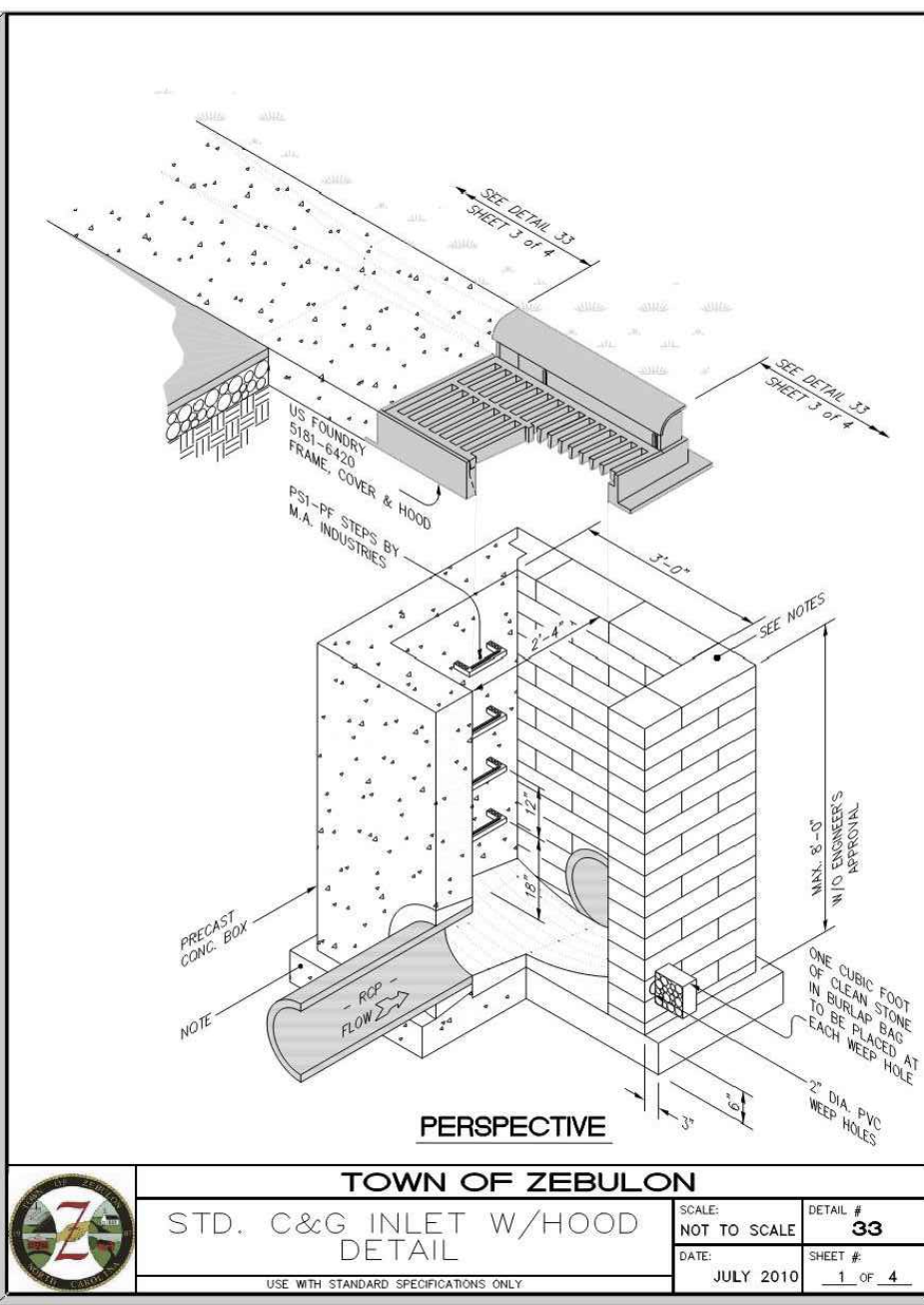
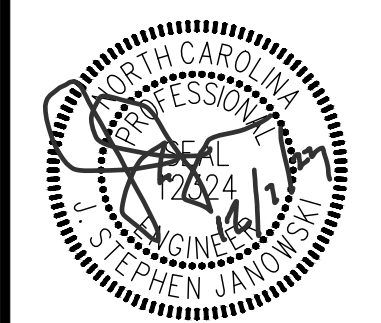
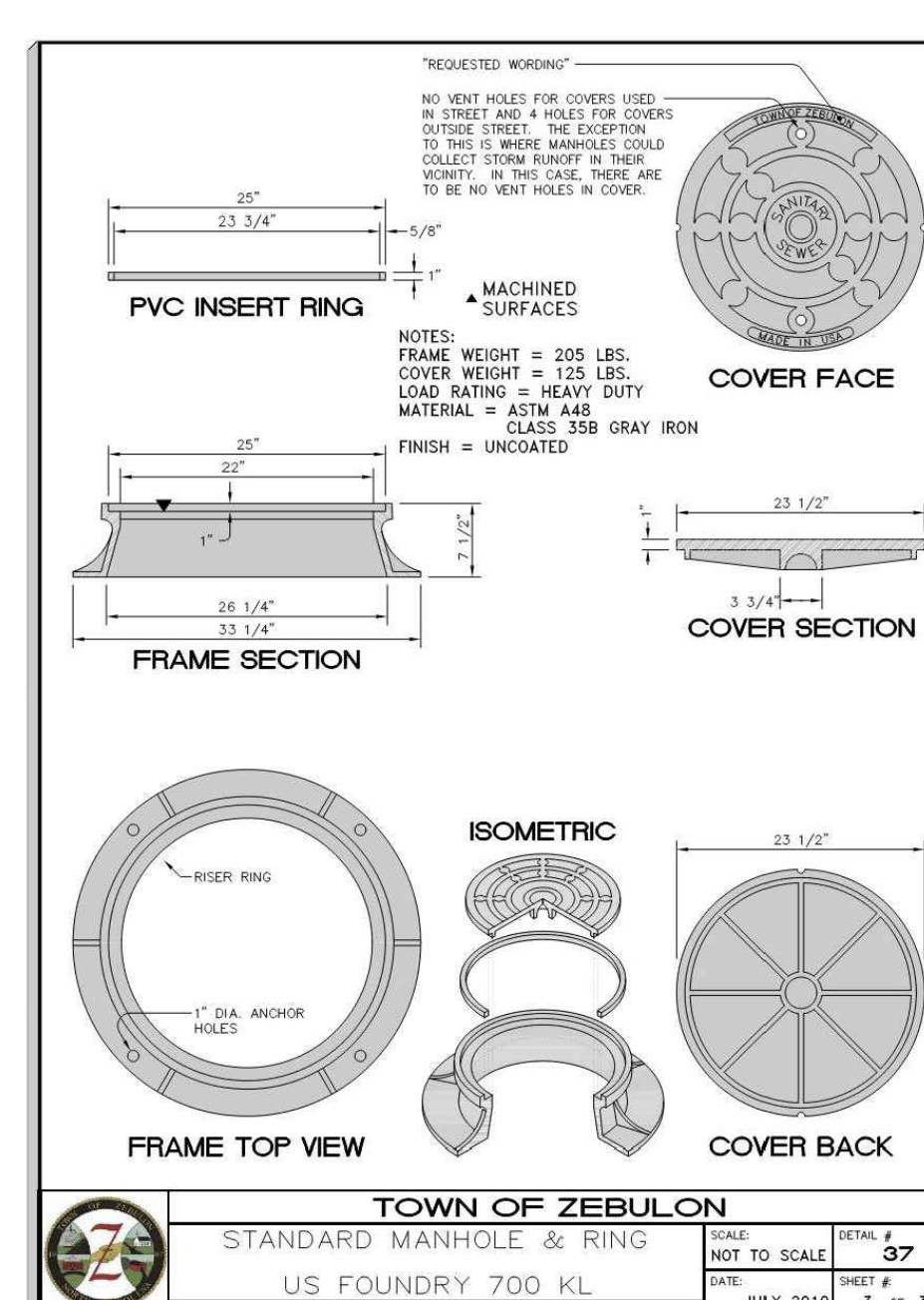
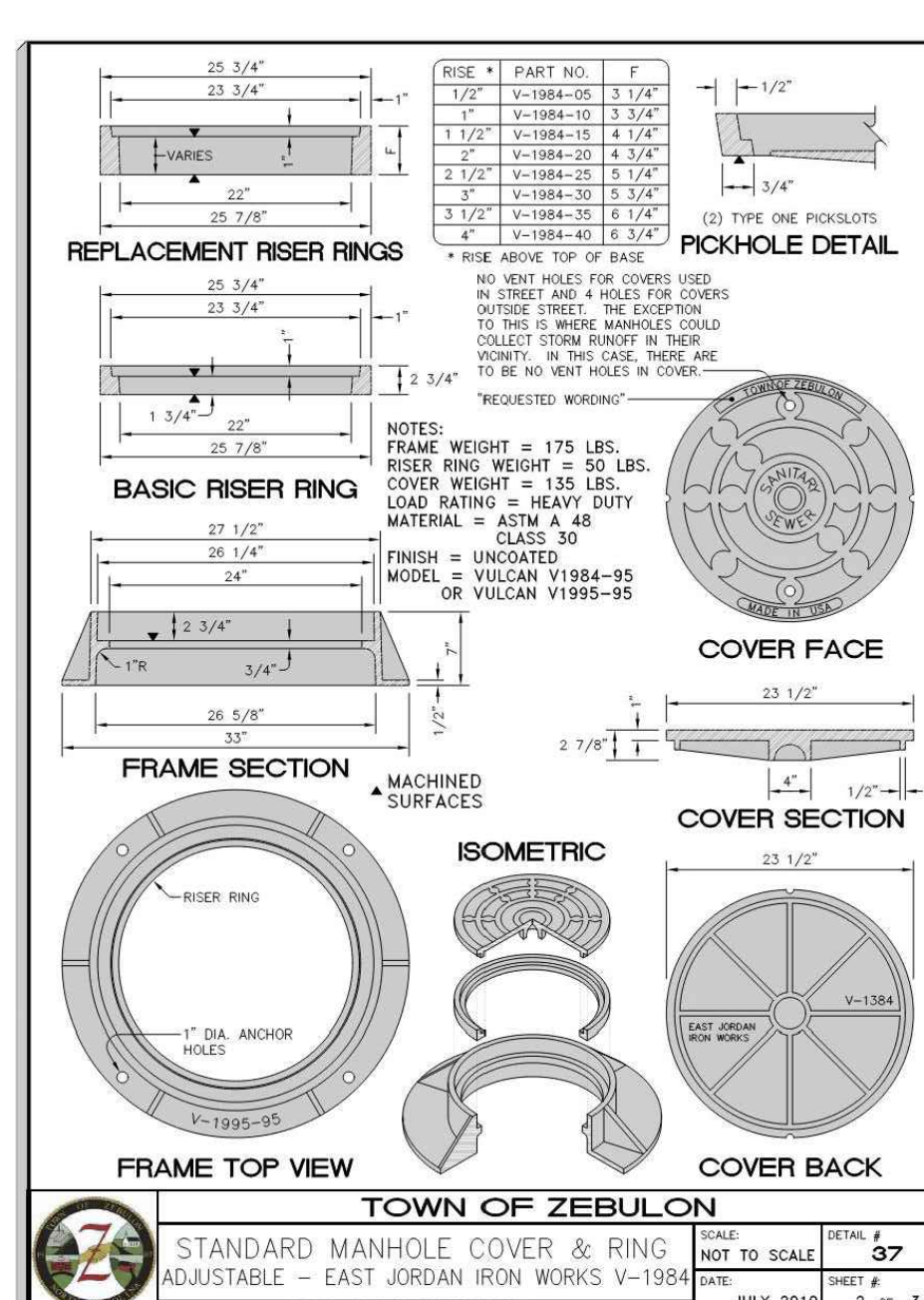
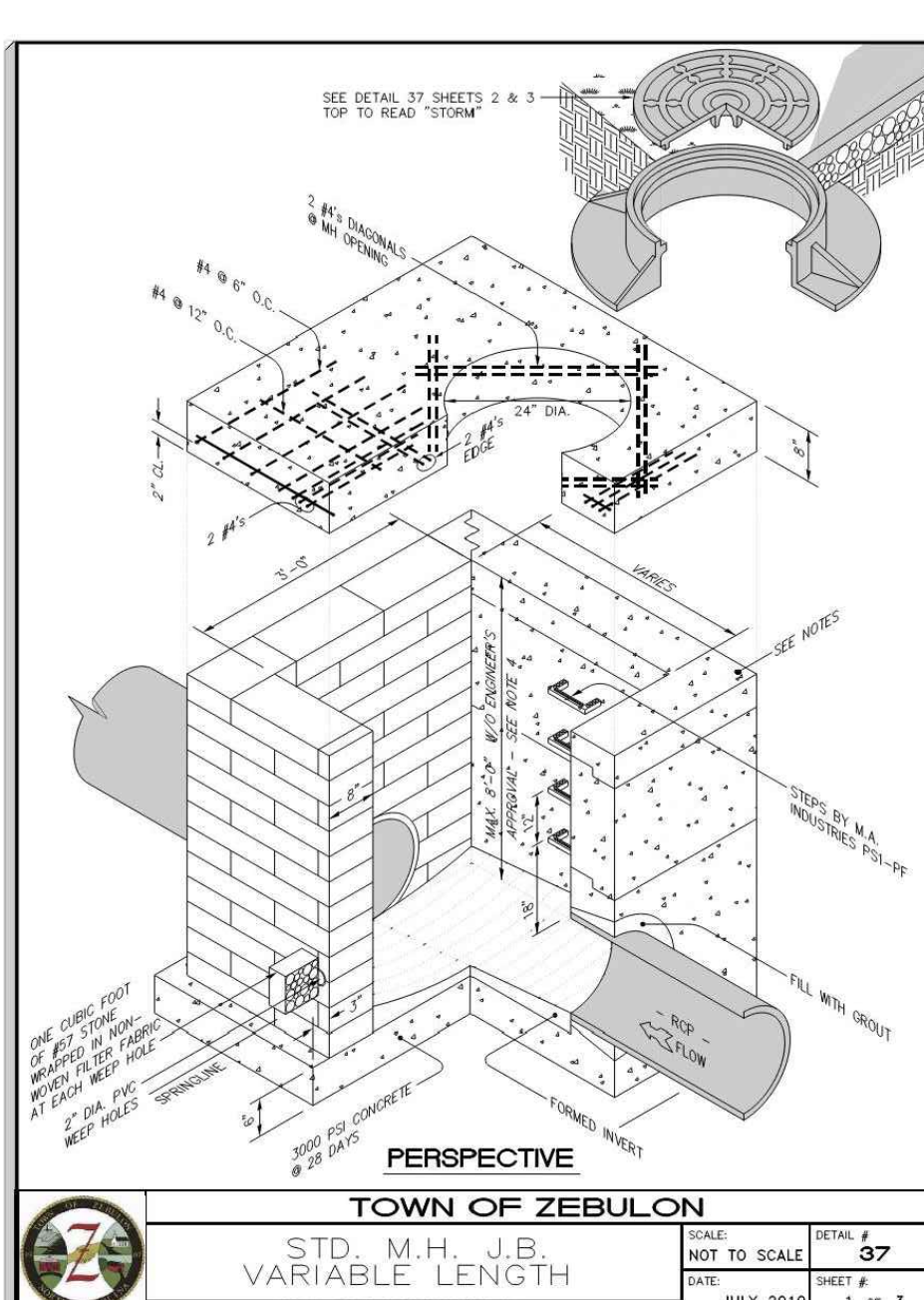
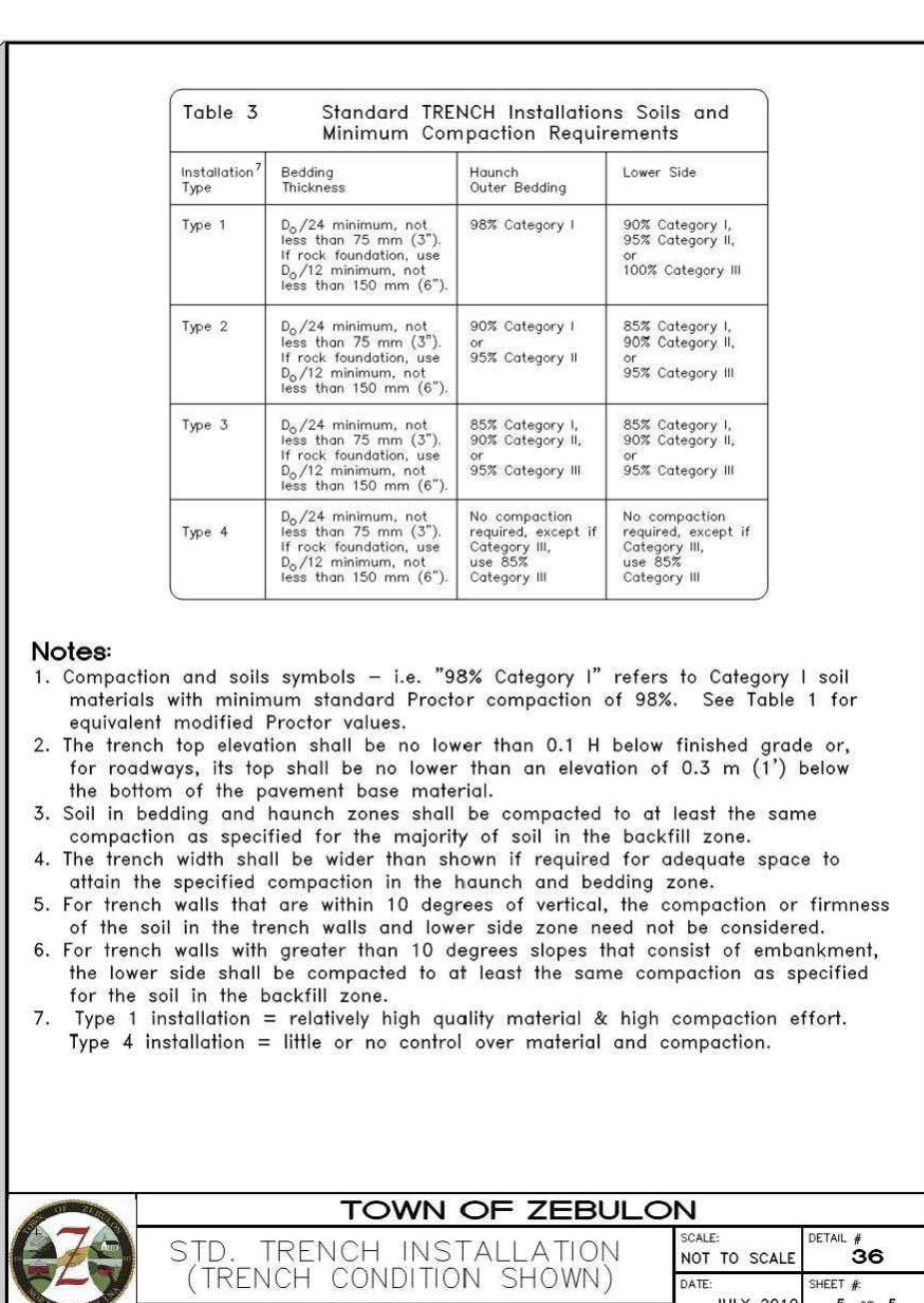


Table 1 Equivalent USCS and AASHTO Soil Classification for SDD Soil Designations

SDD Soil	USCS	AASHTO	Standard Proctor	Modified Proctor
Gravelly Sand (Category 1)	SM, SP, SW, GP	A1-A3	100	95
			85	80
			80	75
Sandy Soil (Category 2)	SM, SP, SW, GP, SC, SS	A2-A4	100	95
			85	80
			80	75
Silty Soil (Category 3)	CL, ML, SC, SS	A5-A6	100	95
			85	80
			80	75
OH			100	95
			85	80
			80	75

Table 2 Standard Embankment Installation Soils and Minimum Compaction Requirements

Installation Type	Bedding	Haunch and Outer Bedding	Lower Side
Type 1	D ₁₅ /24 minimum, not less than 75 mm (3") if rock foundation, use D ₁₅ /12 minimum, not less than 150 mm (6")	95% Category I	90% Category I, 90% Category II, 100% Category III
Type 2	D ₁₅ /24 minimum, not less than 75 mm (3") if rock foundation, use D ₁₅ /12 minimum, not less than 150 mm (6")	90% Category I or 95% Category II	85% Category I, 90% Category II, 95% Category III
Type 3	D ₁₅ /24 minimum, not less than 75 mm (3") if rock foundation, use D ₁₅ /12 minimum, not less than 150 mm (6")	95% Category I or 95% Category II	90% Category I, 90% Category II, 95% Category III
Type 4	D ₁₅ /24 minimum, not less than 75 mm (3") if rock foundation, use D ₁₅ /12 minimum, not less than 150 mm (6")	No compaction required, except if Category II use 85% Category II	No compaction required, except if Category II use 85% Category II



REVISIONS:

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4	06/01/23	CONSTRUCTION DRAWINGS SUBMITTAL #1

DATE: _____

DESIGNED BY: **MS**

DRAWN BY: **MS**

CHECKED BY: **JSJ**

PROJECT NO: **2023018**

DRAWING NO: **W-4081**

SCALE: **AS SHOWN**

SHEET NO: _____

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH TOWN OF ZEBULON, NCDOT & NCDCE STANDARDS, SPECIFICATIONS AND DETAILS.

C4.10



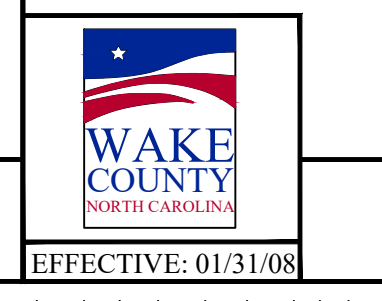
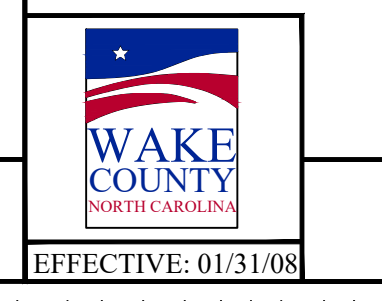
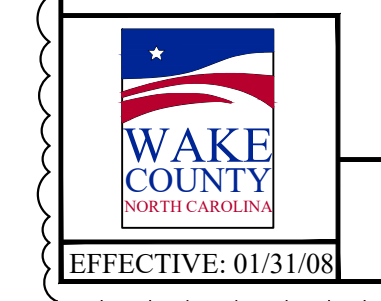
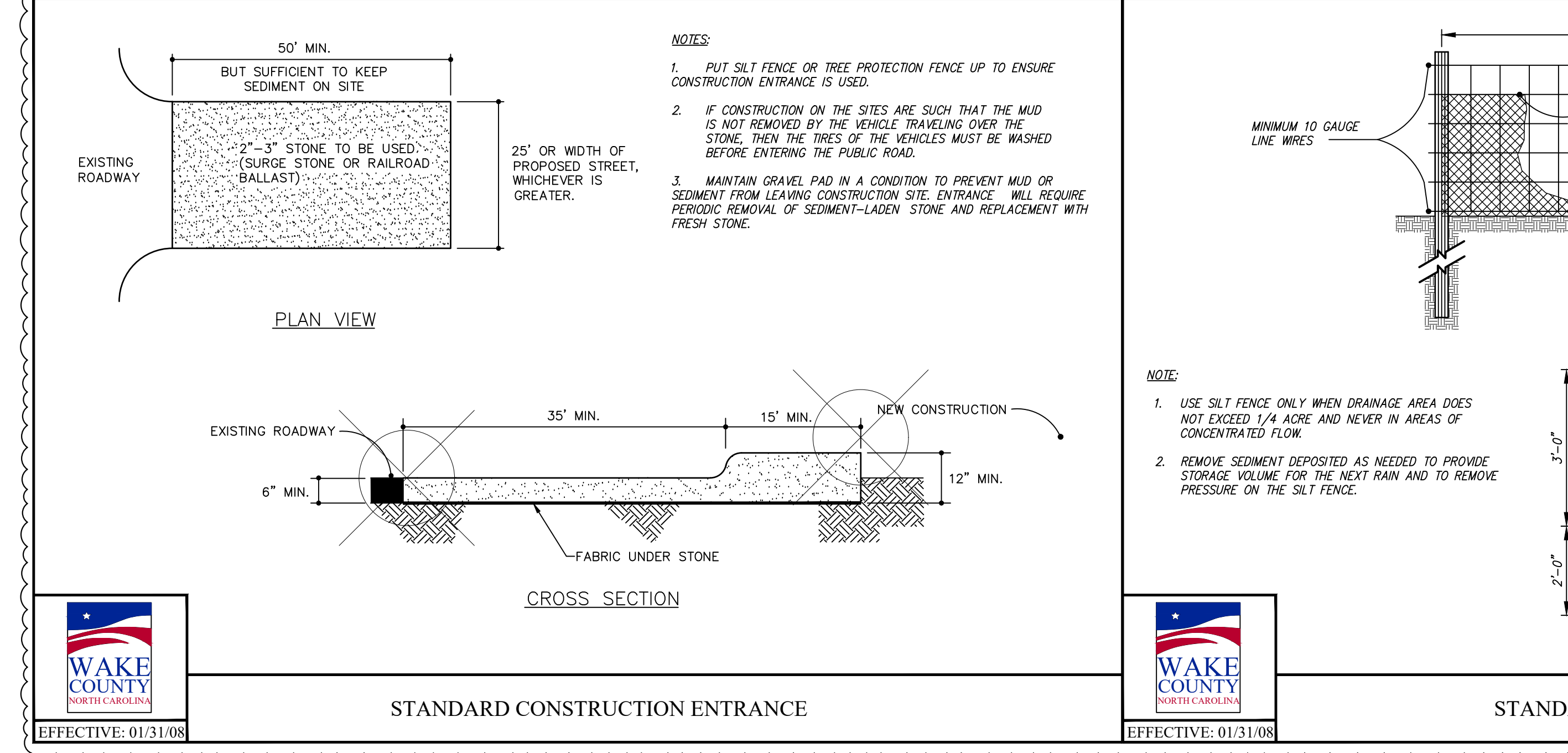
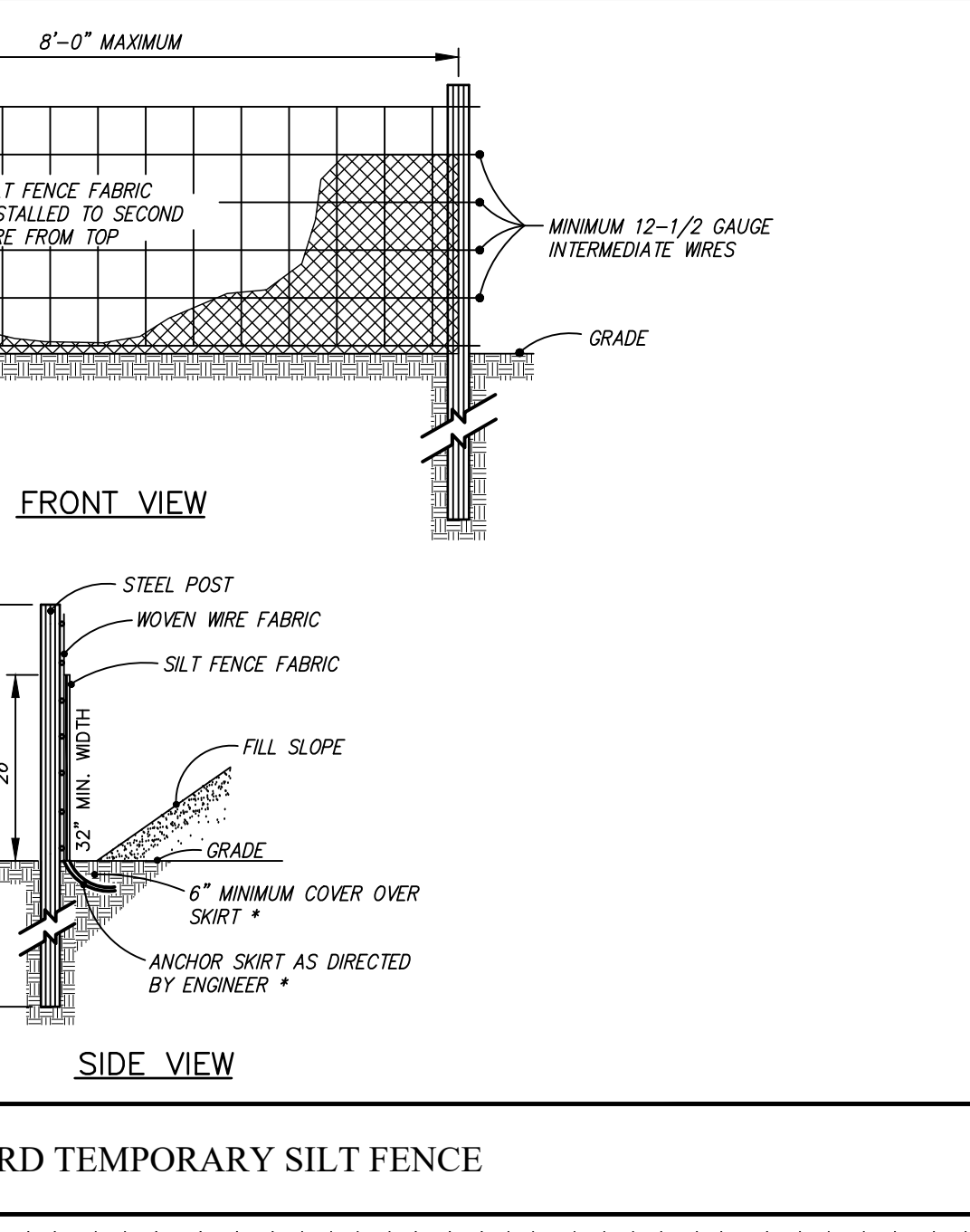
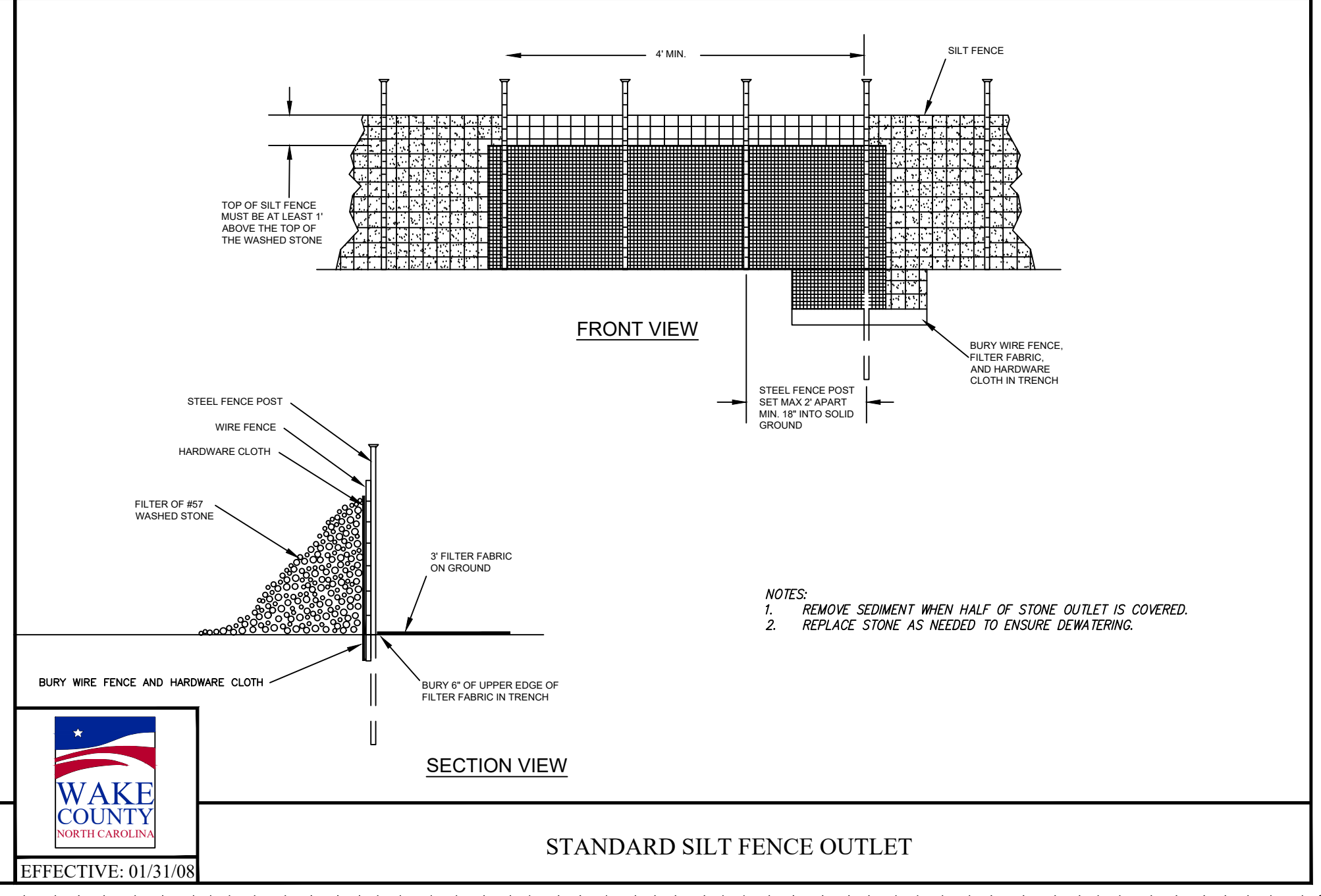
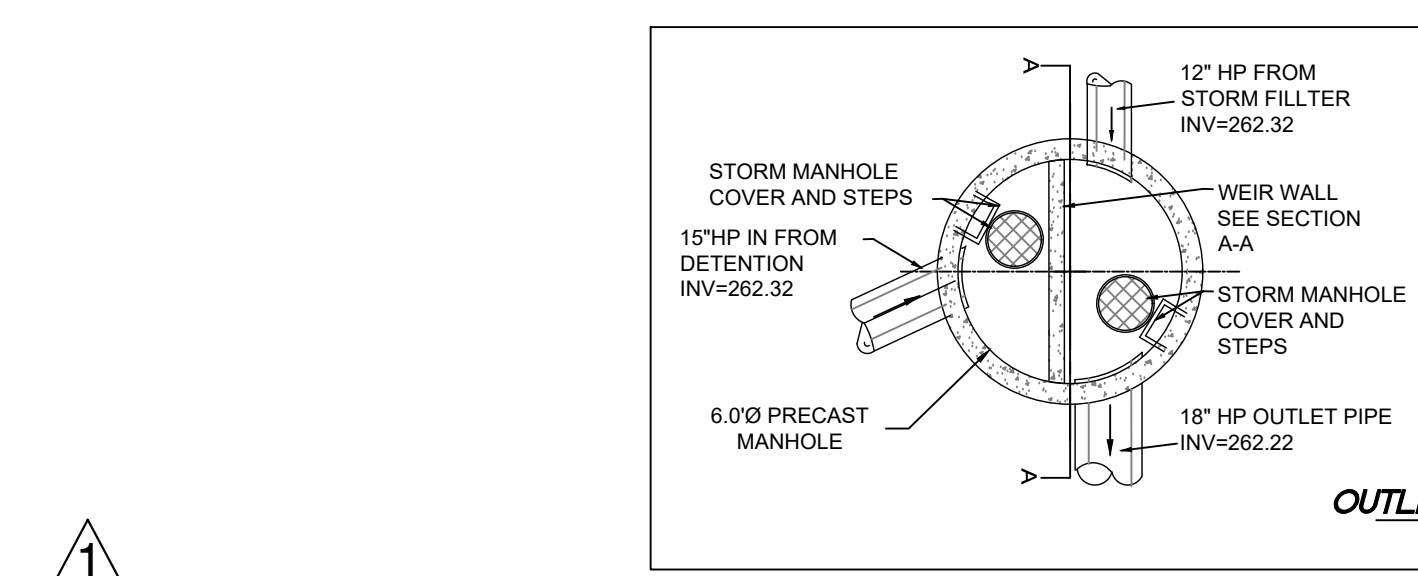
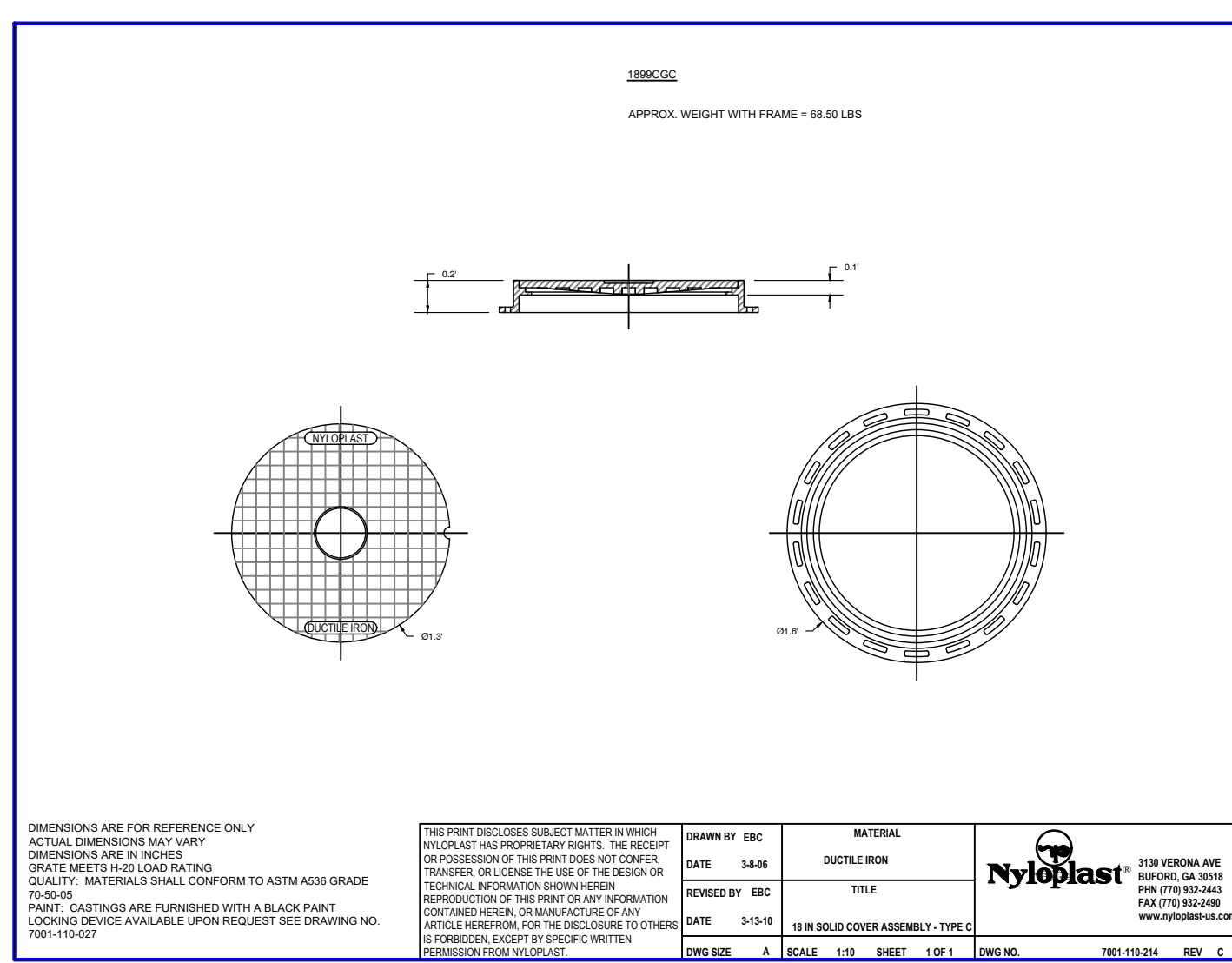
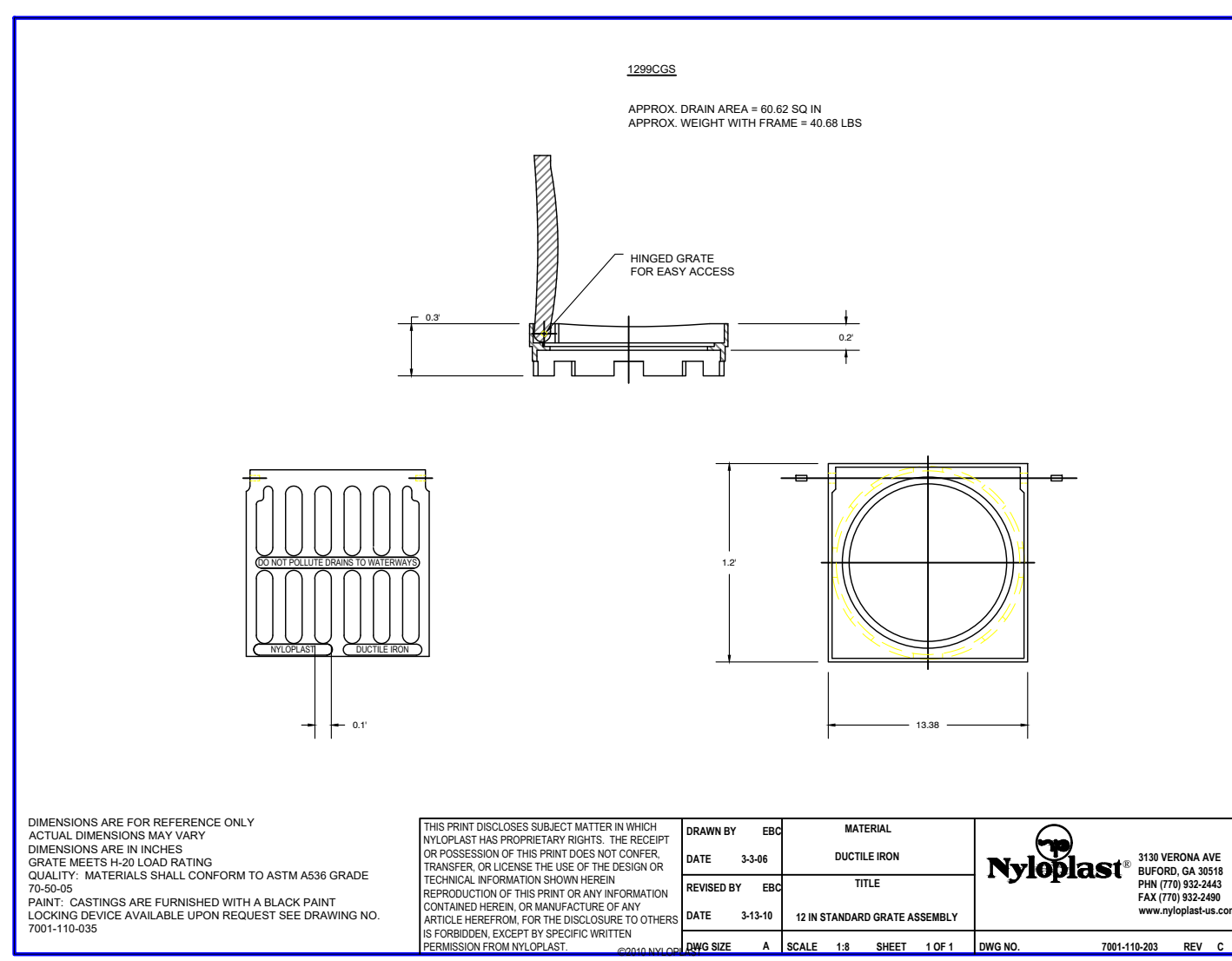
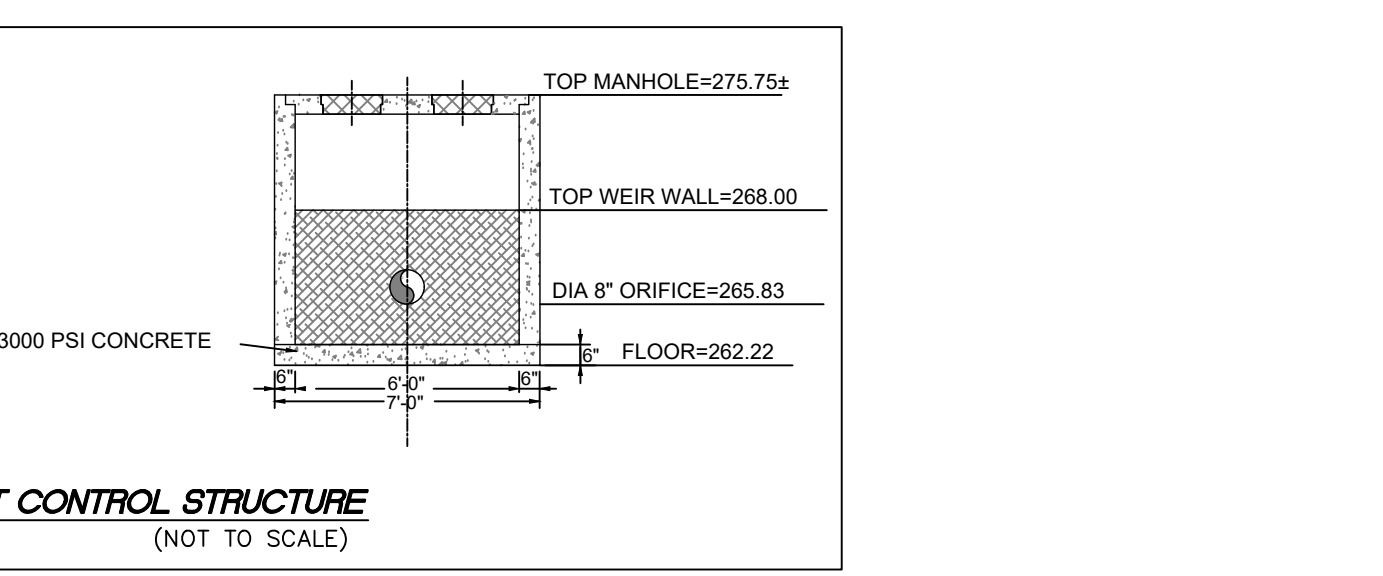
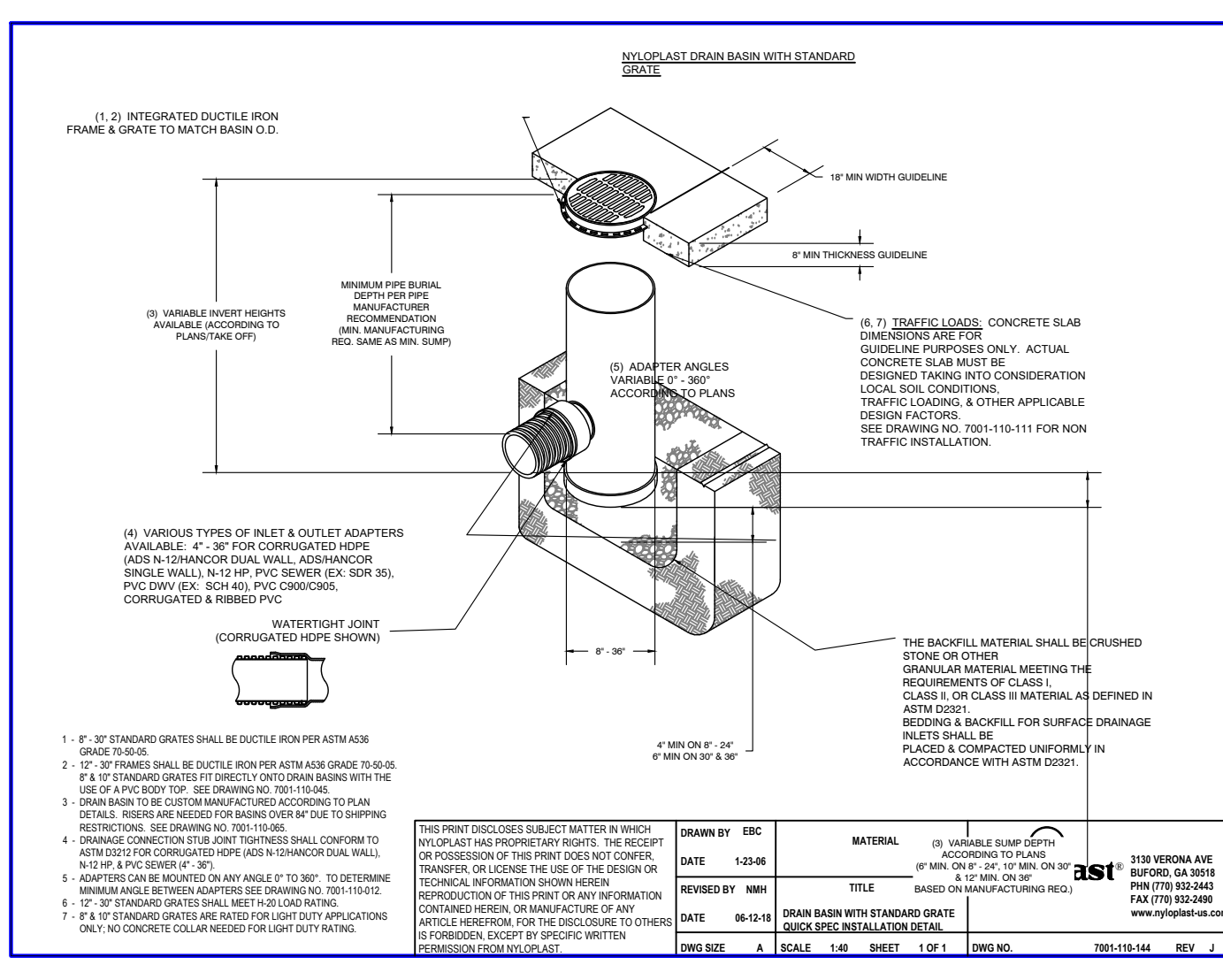
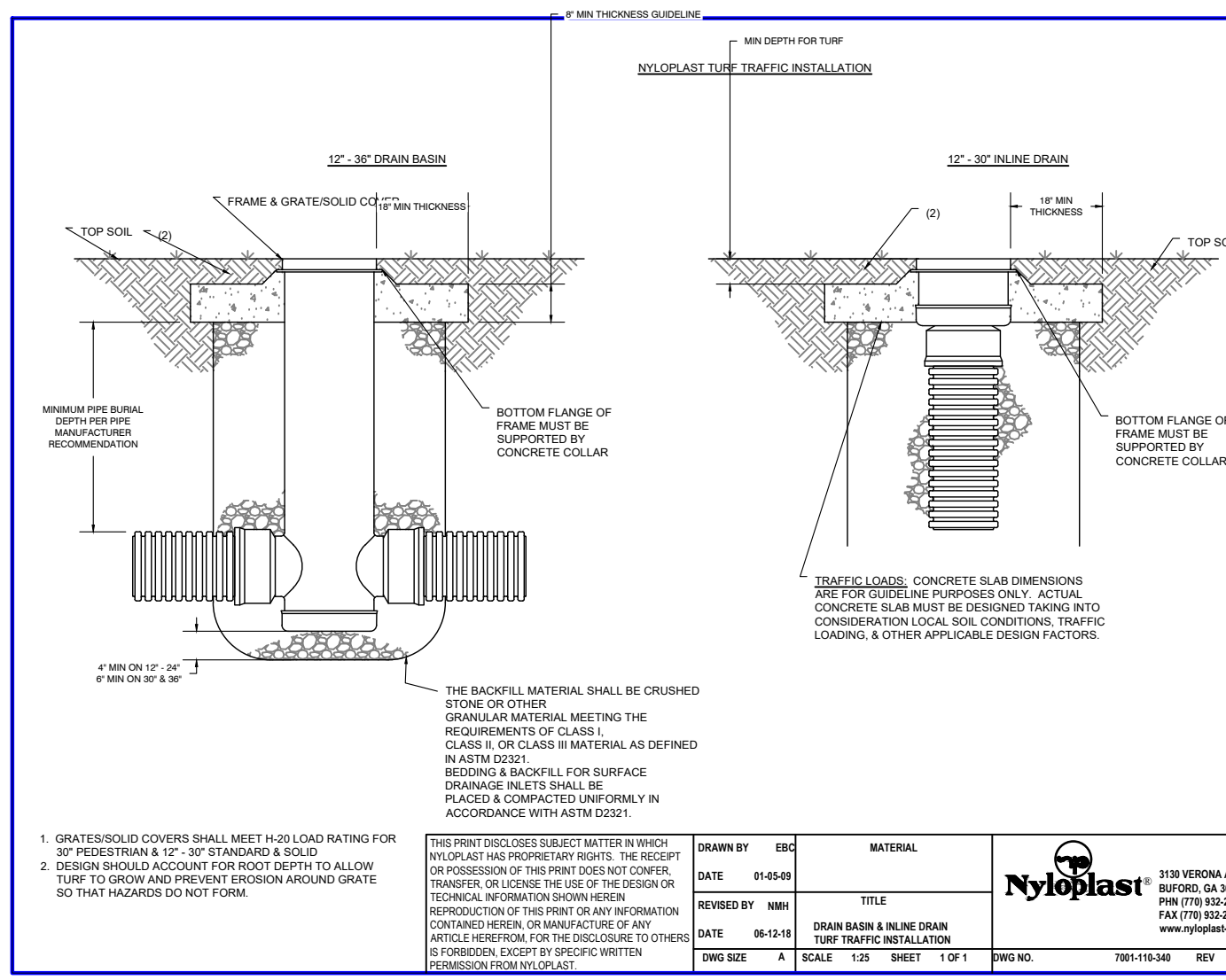
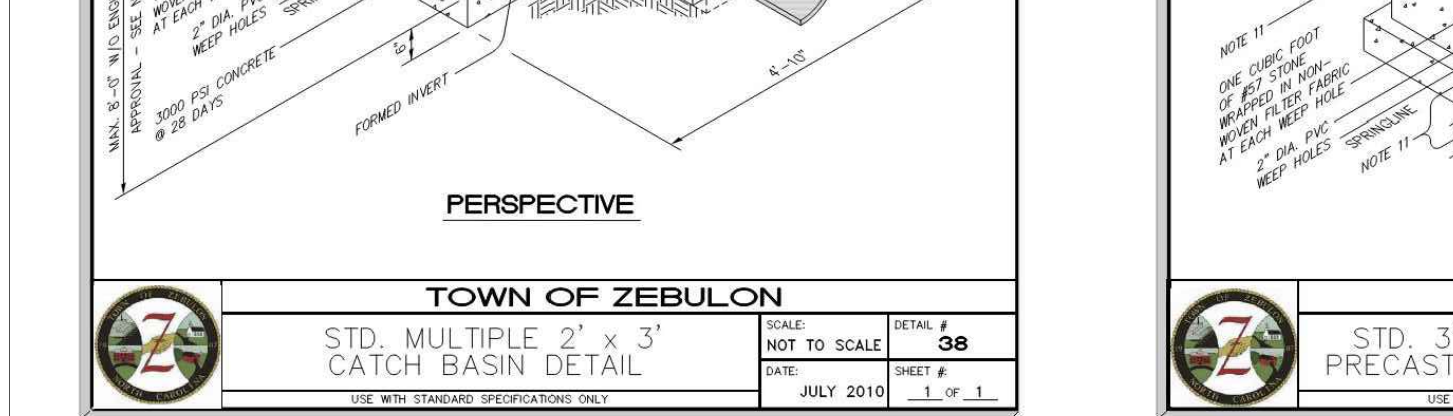
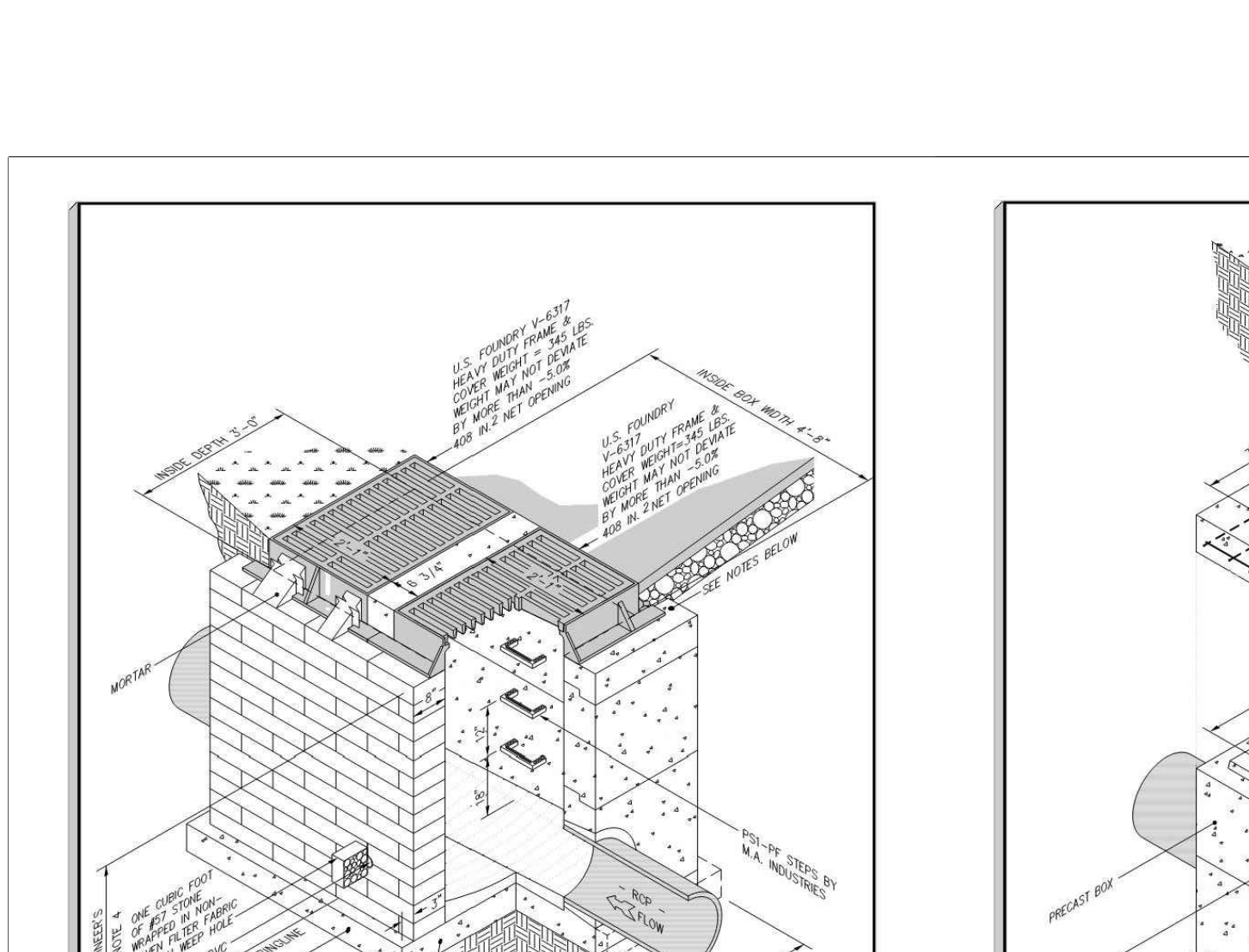
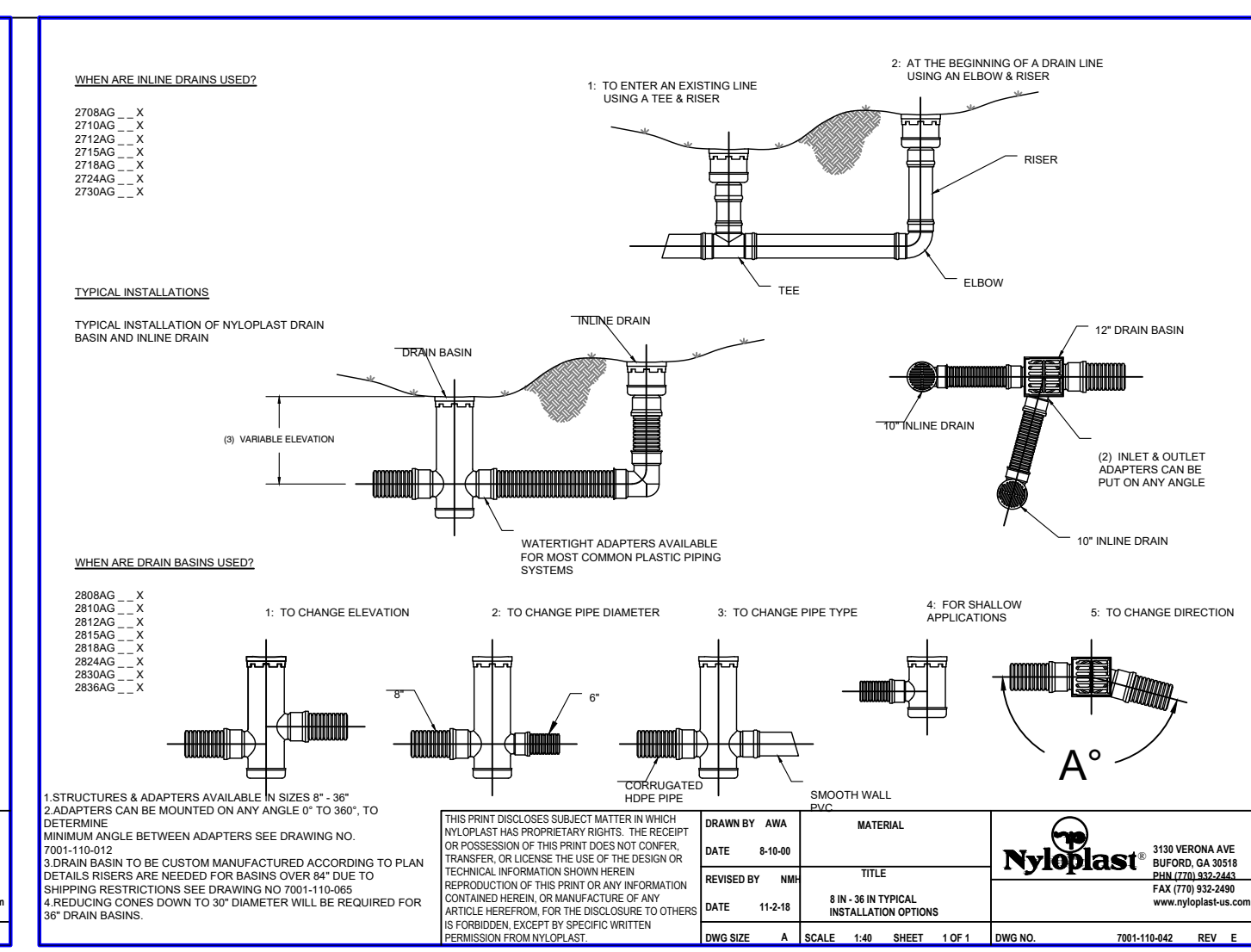
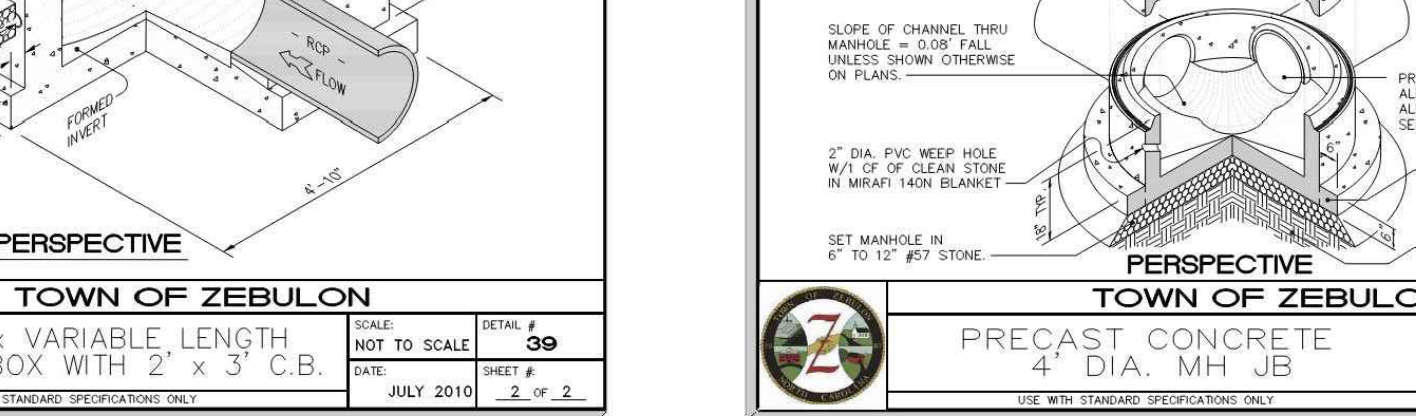
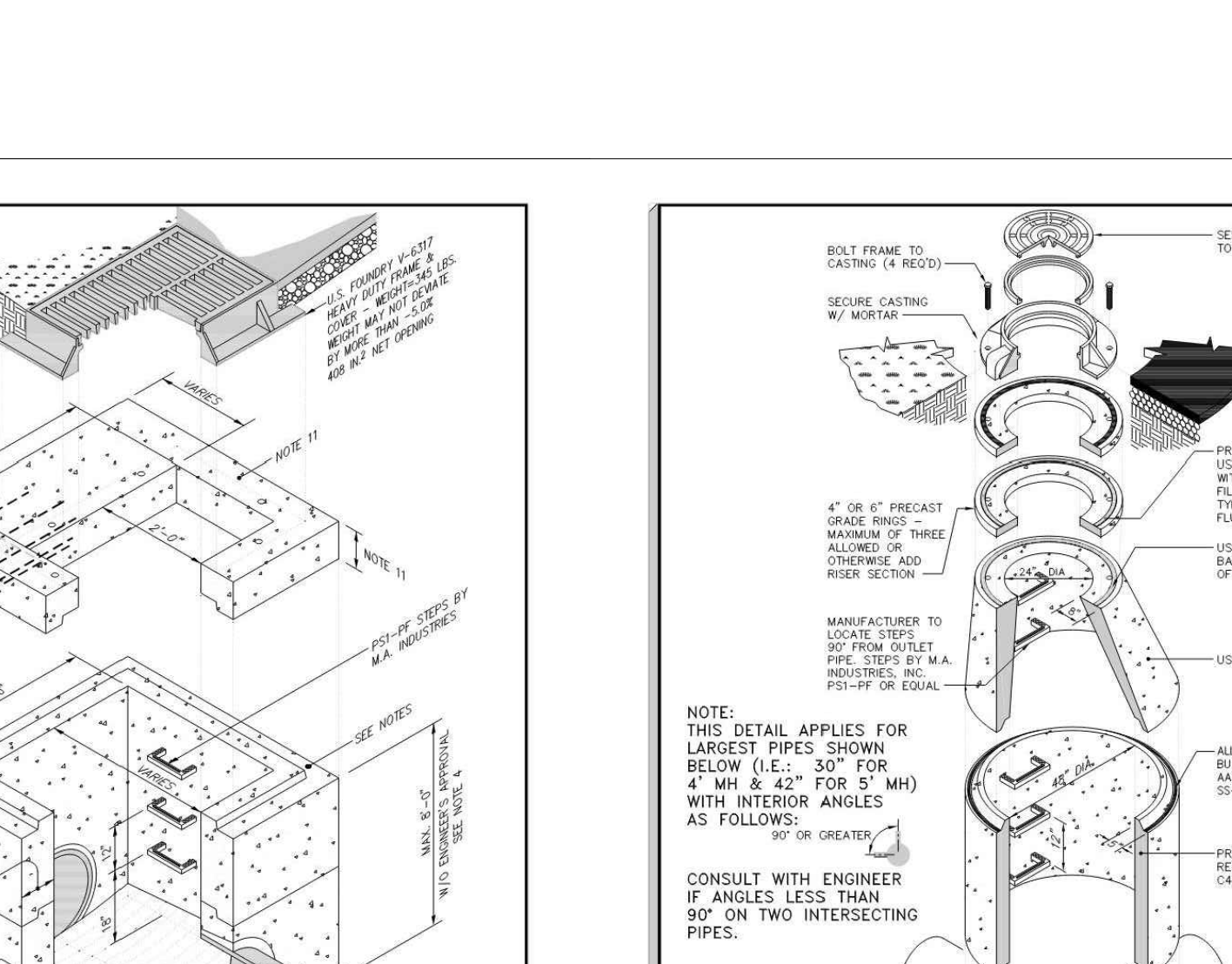
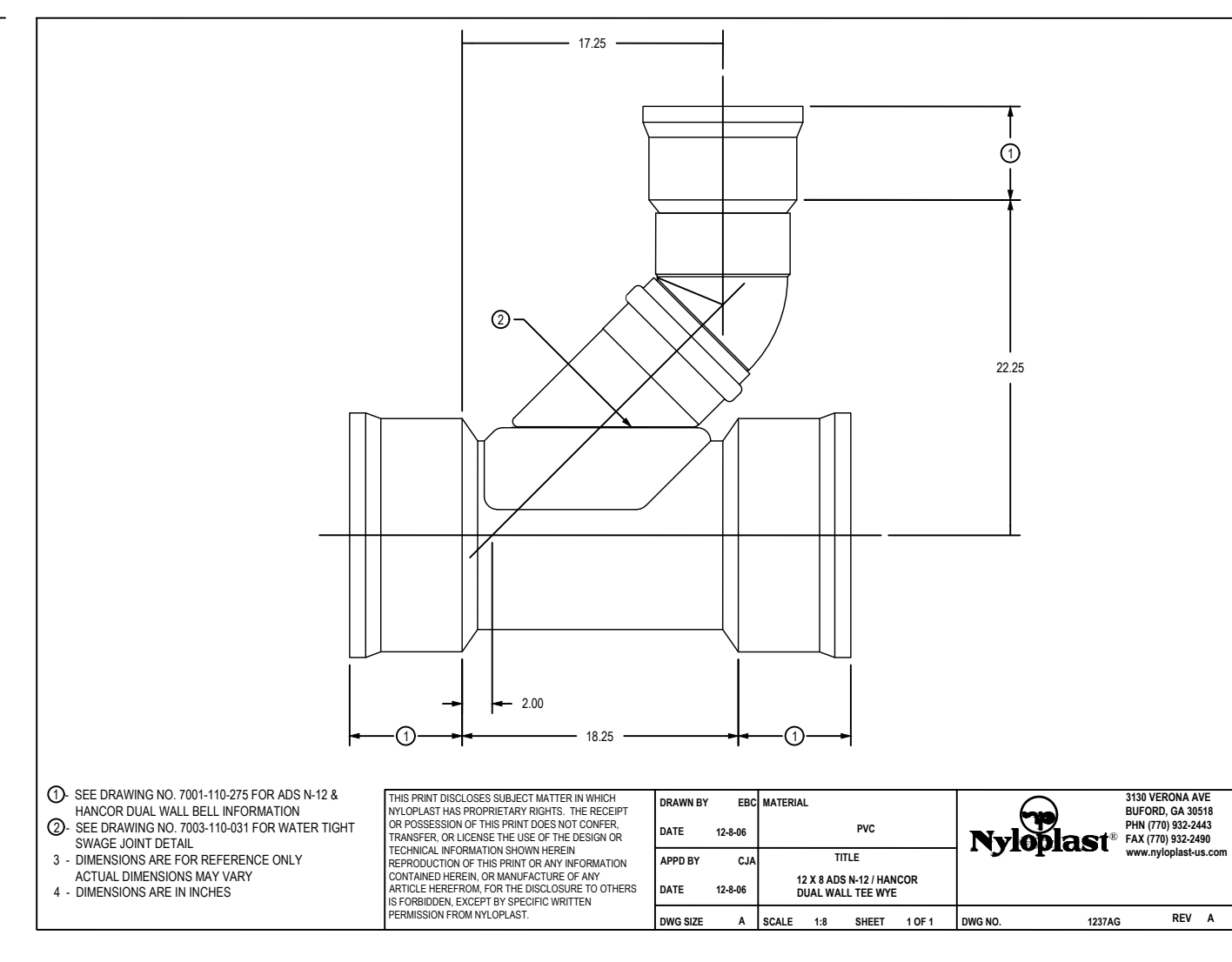
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CONSTRUCTION DRAWINGS
DOMINO'S ZEBULON
 TOWN OF ZEBULON - WAKE COUNTY - NORTH CAROLINA

STORM DETAILS

DATE: _____
 DESIGNED BY: MS
 DRAWN BY: MS
 CHECKED BY: JSJ
 PROJECT No. 2023018
 DRAWING No. W-4081
 SCALE: AS SHOWN
 SHEET No. **C4.11**



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH TOWN OF ZEBULON, NCDOT & NCDCE STANDARDS, SPECIFICATIONS AND DETAILS.



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CONSTRUCTION DRAWINGS
DOMINO'S ZEBULON
 TOWN OF ZEBULON - WAKE COUNTY - NORTH CAROLINA
LANDSCAPE PLAN

DATE: _____

DESIGNED BY:	SBF
DRAWN BY:	SBF
CHECKED BY:	PRM
PROJECT No.	2023018
DRAWING No.	W-4081
SCALE:	AS SHOWN
SHEET No.	L1.01

LANDSCAPE CALCULATIONS

PARKING LOT:
 SHADE TREES -
 REQUIRED - 1 CANOPY TREE / 12 OFF-STREET PARKING SPACES
 17 PARKING SPACES = 2 CANOPY TREES REQUIRED
 PROPOSED - 2 CANOPY TREES, ALL PARKING SPACES WITHIN 50' OF A CANOPY TREE TRUNK LOCATION

INTERIOR PLANTINGS -
 REQUIRED - 3 SHRUBS / PARKING LOT ISLAND WHERE CANOPY TREE IS NOT PROVIDED.
 PROPOSED - N/A

PERIMETER PLANTINGS -
 REQUIRED - SINGLE CONTINUOUS ROW OF EVERGREEN SHRUBS (MAX. 8' O.C.) ADJACENT TO PARKING LOT PERIMETER, WITHIN 5' OF PARKING LOT EDGE. PERIMETER PLANTINGS NOT REQUIRED ALONG COMMON BOUNDARY BETWEEN PARKING LOTS.
 PROPOSED - EVERGREEN SHRUB ROW PROVIDED AT PARKING ALONG HENDRICKS DR WITH STREETScape BUFFER. SCREENING PROVIDED BY STREETScape BUFFER FOR JONES STREET.

PERIMETER BUFFERS:
 REQUIRED - PERIMETER BUFFER PLANTINGS ALONG ADJACENT LOTS. SITE ZONING = HC
 REAR LOT - ZONE HC = TYPE 'A' BUFFER 'SEPARATION' (188 LF WITHOUT DRIVEWAY WIDTH)
 NO CANOPY TREES REQUIRED
 1 UNDERSTORY TREE / 100 LF, 188 LF = 2 TREES REQUIRED
 15 SHRUBS / 100 LF, 188 LF = 29 SHRUBS REQUIRED
 SIDE LOT - ZONE HC = TYPE 'A' BUFFER 'SEPARATION' (162 LF WITHOUT DRIVEWAY WIDTH)
 NO CANOPY TREES REQUIRED
 1 UNDERSTORY TREE / 100 LF, 162 LF = 2 TREES REQUIRED
 15 SHRUBS / 100 LF, 162 LF = 25 SHRUBS REQUIRED

PROPOSED - REAR LOT - TYPE 'A' BUFFER
 8 UNDERSTORY TREES PROVIDED, 29 SHRUBS PROVIDED
SIDE LOT - TYPE 'A' BUFFER
 7 UNDERSTORY TREES PROVIDED, 25 SHRUBS PROVIDED.

FOUNDATION:
 REQUIRED - EVERGREEN SHRUBS OR DECORATIVE GRASSES (MIN. 18") LOCATED WITHIN 10' OF BUILDING FOUNDATION WALL VISIBLE FROM PUBLIC STREET.
 1 CANOPY TREE / 2,000 SF OF LOT AREA FOR FIRST 20,000 SF OF LOT. 0.91 AC = +/- 39640 SF, 10 TREES REQUIRED.

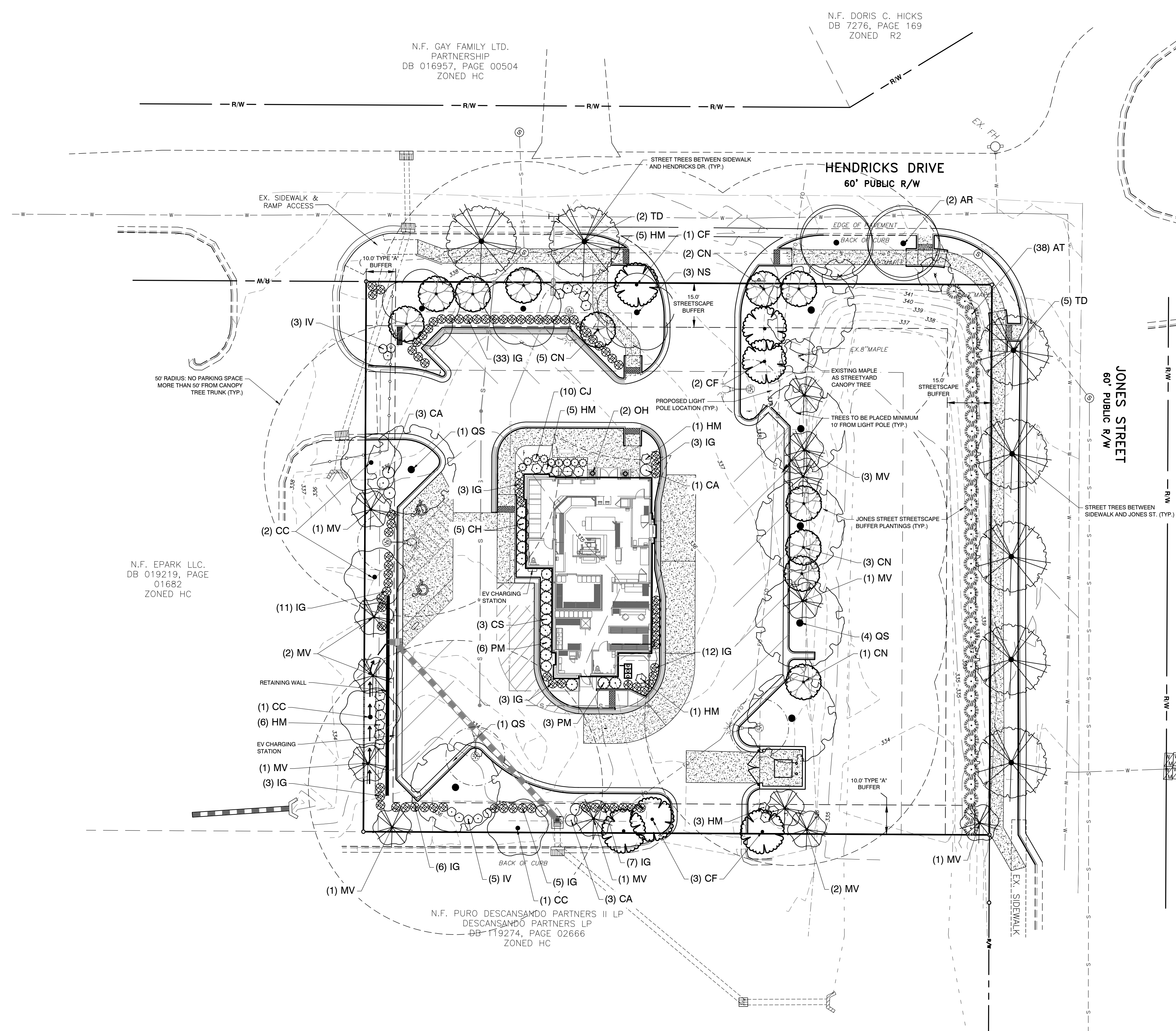
PROPOSED - EVERGREEN SHRUBS PROVIDED AT FOUNDATION OF PROPOSED BUILDING WHERE PLANTING IS VIABLE
 11 CANOPY TREES PROVIDED (10 NEW, 1 EXISTING)

STREETScape BUFFERS:
 REQUIRED - 15' STREETScape BUFFER AT HENDRICKS & JONES ST
 3 CANOPY TREES @ 33' O.C. / 100' REQUIRED
 6 UNDERSTORY TREES @ 16' O.C. / 100' REQUIRED
 20 CANOPY TREES @ 5' O.C. / 100' REQUIRED
 HENDRICKS DR - 213 LF - 37' DRIVEWAY - 52' POND BANK = 124 LF
 3 X 1.24 = 4 CANOPY TREES REQUIRED
 4 NEW CANOPY TREES PROVIDED
 6 X 1.24 = 8 UNDERSTORY TREES REQUIRED
 8 NEW UNDERSTORY TREES PROVIDED
 20 X 1.24 = 25 SHRUBS REQUIRED
 25 NEW SHRUBS PROVIDED

JONES ST: 187 LF
 3 X 1.87 = 6 CANOPY TREES REQUIRED
 5 NEW, 1 EXISTING CANOPY TREES PROVIDED
 6 X 1.87 = 11 UNDERSTORY TREES REQUIRED
 11 NEW UNDERSTORY TREES PROVIDED
 20 X 1.87 = 38 SHRUBS REQUIRED
 38 NEW SHRUBS PROVIDED

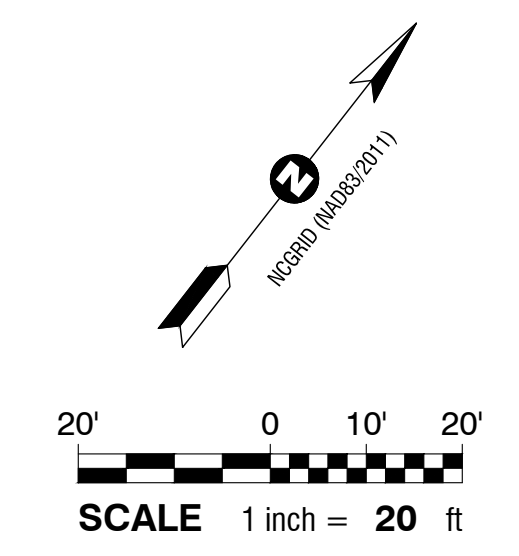
STREET TREES:
 REQUIRED - ALL TOWN-MAINTAINED STREETS SHALL INCLUDE STREET TREES ALONG BOTH SIDES OF THE STREET WITHIN TREE PITS OR MIN. 5' PLANTING STRIPS. CANOPY TREES SHALL BE PLANTED 45-50' ON CENTER.

PROVIDED -
 HENDRICKS DRIVE: 2 NEW CANOPY TREES, 2 EXISTING CANOPY TREES.
 JONES STREET: 5 NEW CANOPY TREES IN NEW PLANTING STRIP.



PLANT CODE KEY

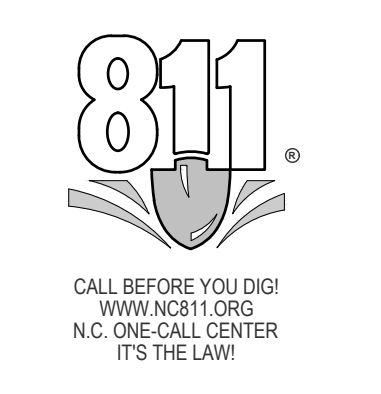
CANOPY TREES	UNDERSTORY TREES	SHRUBS
AR- Acer rubrum 'October Glory' / Red Maple	CC- Carpinus Caroliniana / American Hornbeam	CS- Camellia sasanqua 'Yuletide' / Sasanqua Camellia
NS- Nyssa Sylvatica / Black Gum	CN- Cercis canadensis 'Flame Thrower' / 'Flame Thrower' Eastern Redbud	CA- Clethra alnifolia 'Hummingbird' / Hummingbird Summersweet
QS- Quercus shumardii / Shumard Oak	CF- Cornus florida 'Cherokee Princess' / Cherokee Princess Dogwood	HM- Hydrangea macrophylla 'All Summer Beauty' / Bigleaf Hydrangea
TD- Taxodium distichum / Bald Cypress	MV- Magnolia virginiana / Sweet Bay	IG- Ilex glabra 'Gem Box' / Inkberry Holly 'Gem Box'
		IV- Itea virginica / Virginia Sweetstirpe
		PM- Podocarpus macrophyllus var. 'Maki' / Shrubby Podocarpus
		AT- Rhododendron 'Conlep' / 'Autumn Twist' Azalea
		CJ- Cryptomeria Japonica 'Globosa Nana' / Dwarf Cryptomeria



NOTES:

- ALL UNPAVED AREAS OF THE SITE WILL BE COVERED WITH HYBRID TURF TYPE TALL FESCUE SOD OR AGED TRIPLE SHREDDED HARDWOOD MULCH (3" MAX. DEPTH) IN A TYPICAL FASHION FOR THIS TYPE OF PROJECT.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH TOWN OF ZEBULON, NCDOT & NCDEQ STANDARDS, SPECIFICATIONS AND DETAILS.



LANDSCAPE ARCHITECT: DOMINO'S ZEBULON, CONSTRUCTION DRAWINGS: LANDSCAPE ARCHITECTS, 1101 HINDS BLVD., SUITE 100, RALEIGH, NC 27609

N.F. GAY FAMILY LTD. PARTNERSHIP
 DB 016957, PAGE 00504
 ZONED HC

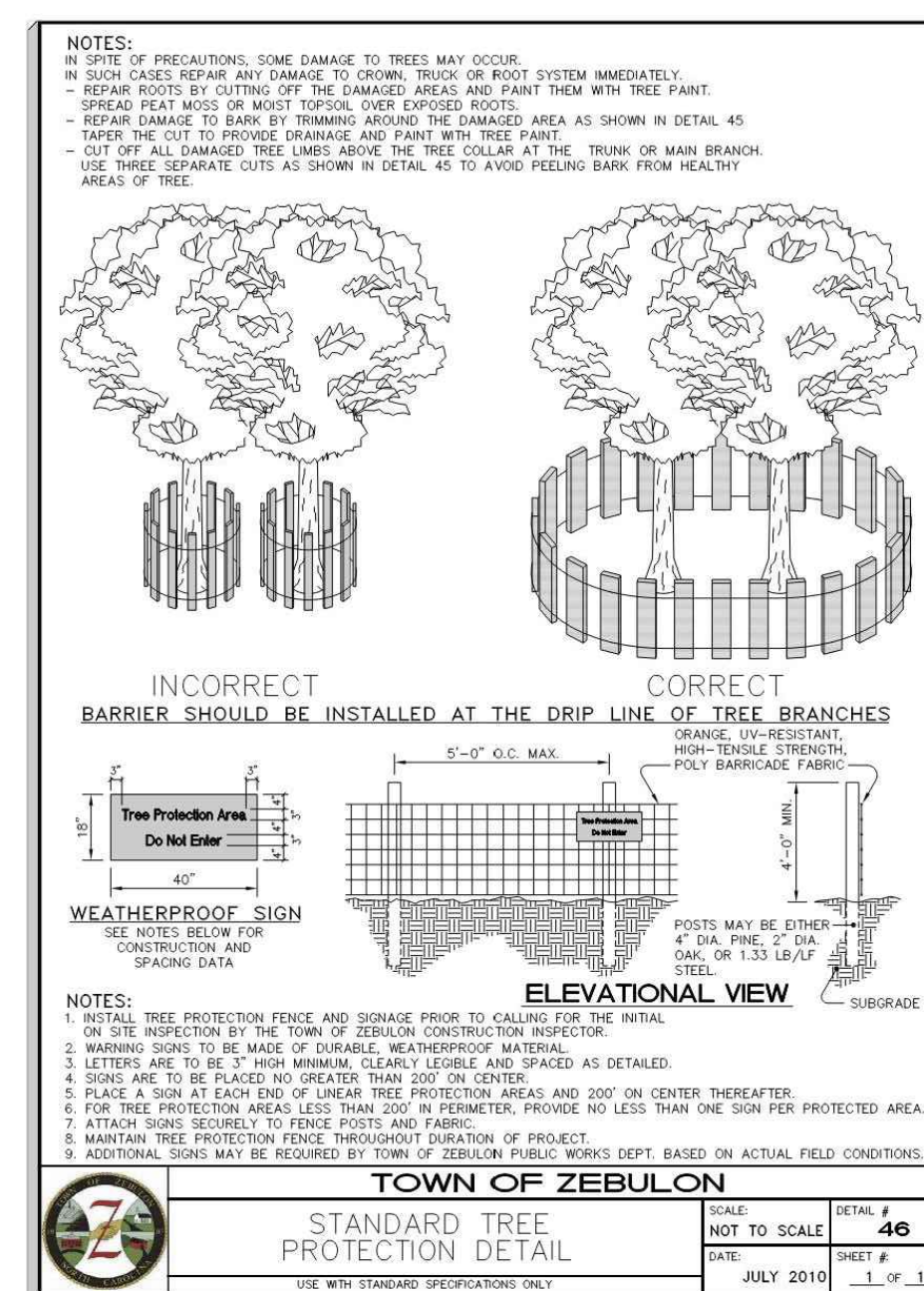
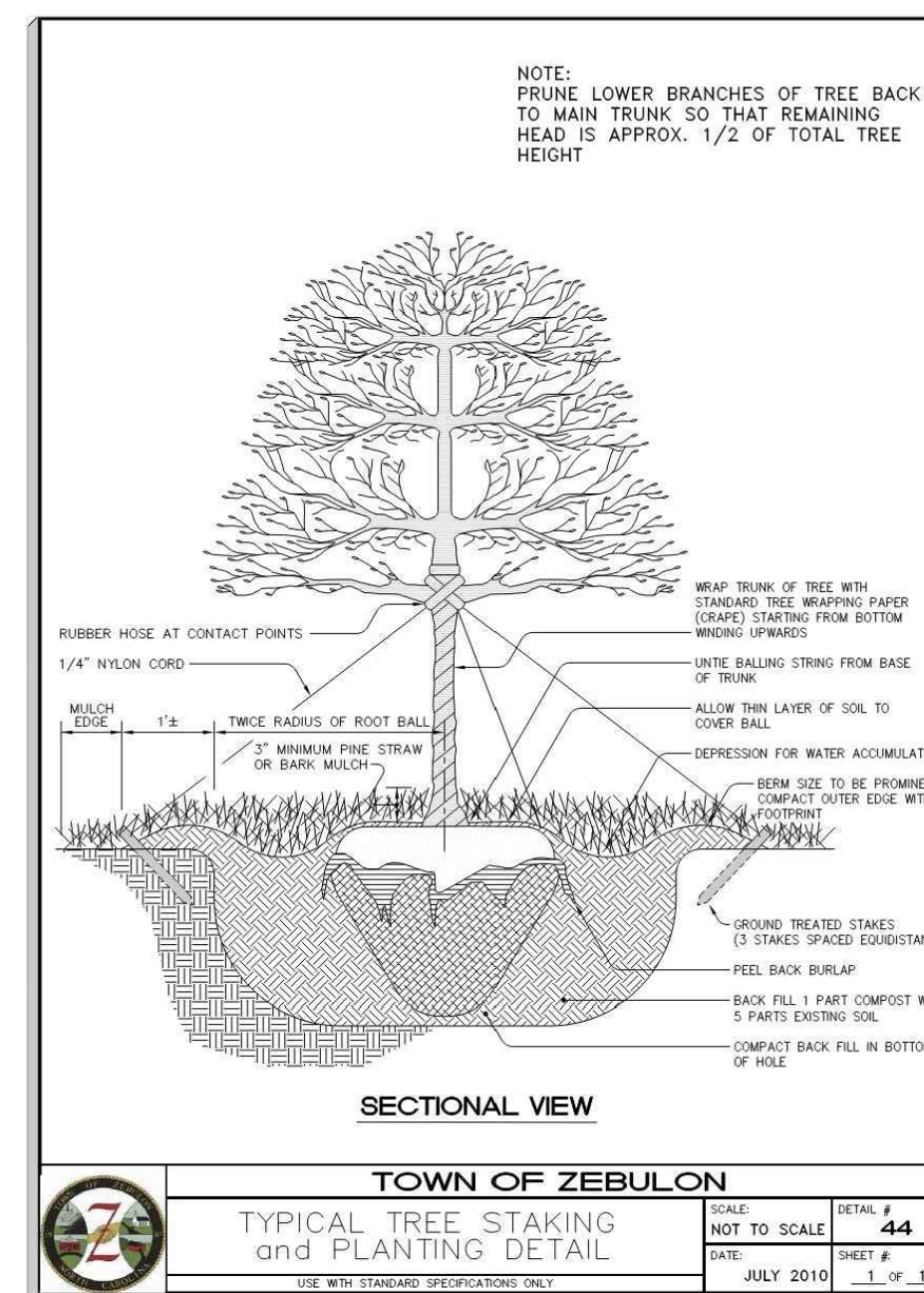
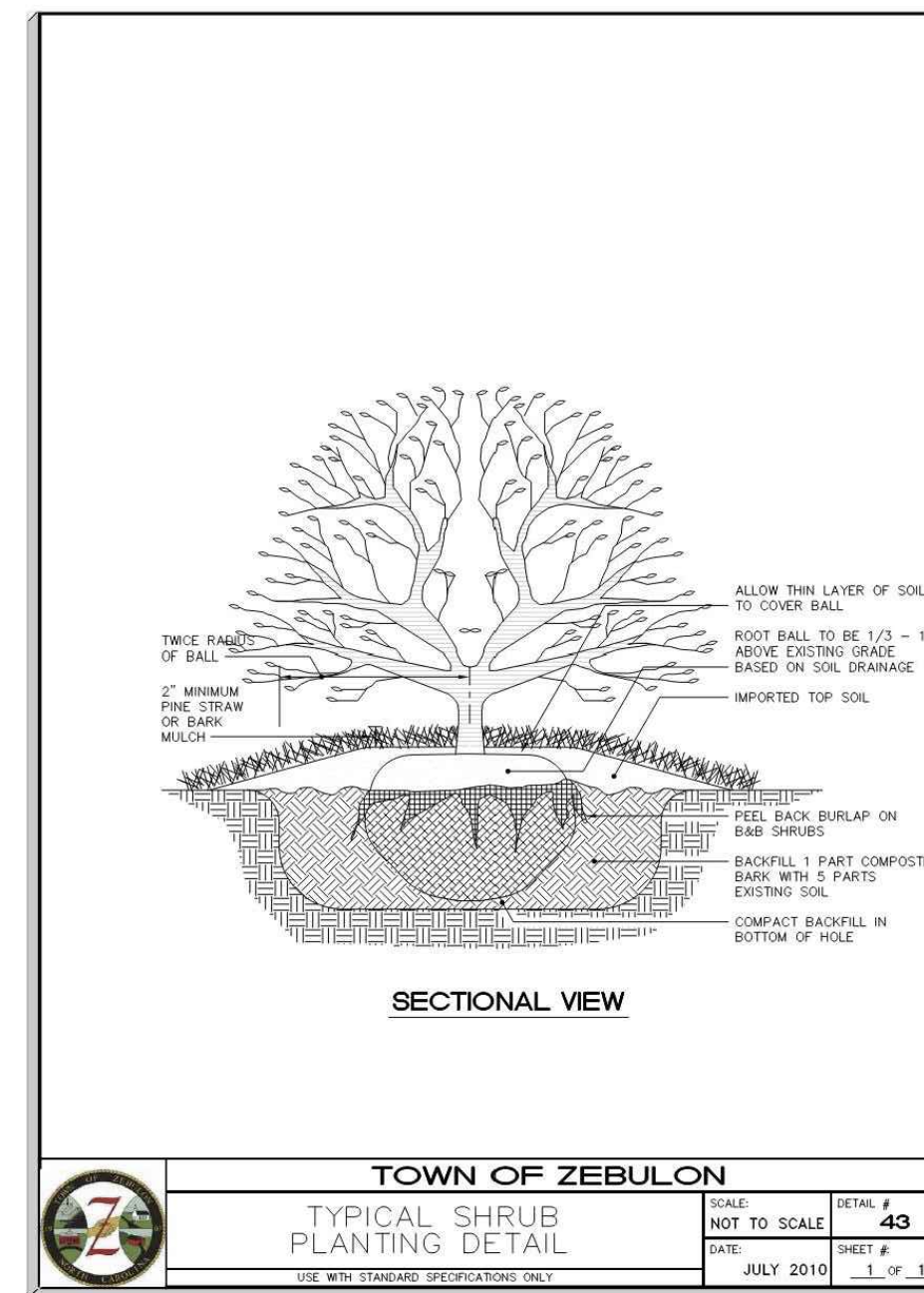
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N.F. EPARK LLC.
 DB 019219, PAGE 01682
 ZONED HC

N.F. PURO DESCANSANDO PARTNERS II LP
 DESCANSANDO PARTNERS LP
 DB 119274, PAGE 02666
 ZONED HC

N.F. CHURCH OF JESUS CHRIST OF LATTER-DAY
 DB 2843, PAGE 659
 ZONED R2

PLANT SCHEDULE						
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONTAINER	CALIPER	SIZE	QTY
CANOPY TREES						
	AR	Acer rubrum 'October Glory' / 'October Glory' Red Maple	B & B	3" CAL.	14' - 16' HT.	2
	NS	Nyssa sylvatica / Black Gum	B & B	3" CAL.	14' - 16' HT.	3
	QS	Quercus shumardii / Shumard Oak	B & B	3" CAL.	14' - 16' HT.	7
	TD	Taxodium distichum / Bald Cypress	B & B	3" CAL.	14' - 16' HT.	7
UNDERSTORY TREES						
	CC	Carpinus caroliniana / American Hornbeam	B & B	2" CAL.	12' - 14' HT.	4
	CN	Cercis canadensis 'Flame Thrower' / 'Flame Thrower' Eastern Redbud	B & B	2" CAL.	12' - 14' HT.	11
	CF	Cornus florida 'Cherokee Princess' / Cherokee Princess Dogwood	B & B	2" CAL.	12' - 14' HT.	6
	MV	Magnolia virginiana / Sweet Bay	B & B	2" CAL.	12' - 14' HT.	13
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONTAINER	SPACING	SIZE	QTY
SHRUBS						
	CS	Camellia sasanqua 'Yuletide' / Sasanqua Camellia	7 gal	SEE PLAN	36" MIN HT	3
	CA	Clethra alnifolia 'Hummingbird' / Hummingbird Summersweet	3 gal	SEE PLAN	36" MIN HT	7
	HM	Hydrangea macrophylla 'All Summer Beauty' / Bignleaf Hydrangea	3 gal	SEE PLAN	36" MIN HT	21
	IG	Ilex glabra 'Gem Box' / Inkberry Holly 'Gem Box'	3 gal	3' O.C.	36" MIN HT	86
	IV	Itea virginica / Virginia Sweetpire	3 gal	3' O.C.	36" MIN HT	8
	PM	Podocarpus macrophyllus var. 'Maki' / Shrubby Podocarpus	5 gal	SEE PLAN	36" MIN.	14
	AT	Rhododendron 'Conley' / 'Autumn Twist' Azalea	5 gal	5' O.C.	36" MIN HT	38
	CJ	Cryptomeria japonica 'Globosa Nana' / Dwarf Cryptomeria	3 gal	3' O.C.	36" MIN HT	10
	OH	Osmanthus heterophyllus 'Party Lights' / 'Party Lights' Osmanthus	5 gal	Located in Concrete Planter	24" MIN HT	2



- PLANTING NOTES:**
- ALL PLANTINGS SHALL COMPLY WITH CURRENT LOCAL ORDINANCES AND GUIDELINES.
 - THIS PLAN IS FOR PLANTING LOCATIONS ONLY AND ALL PLANT MATERIAL SHALL BE SPACED AND LOCATED PER SCHEDULE. HOWEVER, CONTRACTOR TO SLIGHTLY ADJUST PLANT LOCATIONS IN THE FIELD AS NECESSARY TO BE CLEAR OF DRAINAGE SWALES AND UTILITIES. IF FOUND CONDITIONS VARY FROM THIS PLAN, CONTRACTOR SHALL CONTACT OWNER AND LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO DO SO WILL RESULT IN CONTRACTOR'S LIABILITY TO REPLACE PLANT MATERIALS.
 - REFER TO PLANTING DETAILS FOR ADDITIONAL PLANTING INFORMATION.
 - CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL PLANT WATERING AND MAINTENANCE, INCLUDING SHRUBS AND GROUND COVER, AND SHALL MAINTAIN AREA IN A WEED AND DEBRIS FREE CONDITION, THROUGHOUT GUARANTEE PERIOD.
 - CONTRACTOR TO VERIFY PLANT LIST TOTALS WITH QUANTITIES SHOWN ON PLAN.
 - ALL SIZES SPECIFIED IN THE PLANT LIST ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE JUDGED. FAILURE TO MEET MINIMUM SIZE ON ANY PLANT WILL RESULT IN REJECTION OF THAT PLANT.
 - PLANTING SIZE DETERMINATION:
 - TREES: HEIGHT SHALL BE MEASURED FROM THE CROWN OF THE ROOT BALL TO THE TOP OF MATURE GROWTH. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF "Y" CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE INFESTATION.
 - ALL PLANTS SHALL BE FRESHLY DUG OR IN GROW POTS, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED, FREE OF DISEASE, INSECT EGGS, AND LARVAE AND SHALL BE WELL ROOTED.
 - FINISHED PLANTING BEDS SHALL BE GRADED SO AS TO NOT IMPED DRAINAGE AWAY FROM BUILDINGS. IF SINKS ARE REQUIRED, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH RELOCATIONS KNOWN TO THE OWNER AND LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTOR'S LIABILITY FOR PLANT MATERIALS AND STORMWATER DAMAGE.
 - FIELD LOCATE AND VERIFY UNDERGROUND UTILITIES LOCATIONS PRIOR TO PLANTING. FINAL TREE LOCATIONS TO BE FIELD ADJUSTED TO AVOID CONFLICTS WITH UTILITIES, LIGHTING AND DRIVEWAY LOCATIONS WHERE POSSIBLE. CONTACT LANDSCAPE ARCHITECT FOR A COORDINATED SOLUTION FOR ANY UTILITY CONFLICTS. CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ANY AND ALL PUBLIC OR PRIVATE UTILITIES.
 - TREES SHALL BE STAKED WITH AN AT GRADE TREE STAKING SYSTEM. STAKING MUST BE REMOVED AS SOON AS POSSIBLE OR WITHIN ONE (1) YEAR OF PLANTING. MULCH SHALL BE APPLIED IN AN EVEN THREE INCH (3") TO FOUR INCH (4") LAYER AROUND THE TREE PIT IN ACCORDANCE WITH ACCEPTED PRACTICES IN THE LANDSCAPE INDUSTRY.
 - CONTRACTOR SHALL NOT PLACE MULCH IN CONTACT WITH THE TRUNKS OF TREES OR SHRUBS.
 - ALL TREE PITS, SHRUB BEDS AND PREPARED PLANTING BEDS ARE TO BE COMPLETELY EXCAVATED IN ACCORDANCE WITH THE PLANTING DETAILS.
 - THE ROOT CROWN SHALL BE TWO INCHES (2") TO FOUR INCHES (4") ABOVE FINISHED GRADE (AFTER SETTLING) FOR SHRUBS AND ONE QUARTER (1/4) TO ONE HALF (1/2) THE BALL DEPTH ABOVE FINISH GRADE (AFTER SETTLING) FOR TREES.
 - ALL SUBSTITUTIONS OF PLANT MATERIAL ARE TO BE REQUESTED IN WRITING TO THE LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER PRIOR TO INSTALLATION. FAILURE TO OBTAIN SUBSTITUTION APPROVAL IN WRITING MAY RESULT IN LIABILITY TO THE CONTRACTOR.
 - DEAD PLANTS ARE TO BE REMOVED FROM THE JOB BY THE CONTRACTOR WEEKLY. CONTRACTOR SHALL MAINTAIN AN UPDATED, COMPREHENSIVE LIST OF ALL DEAD MATERIALS REMOVED AND PRESENT A COPY OF THE LIST TO THE OWNER AND THE LANDSCAPE ARCHITECT AT THE END OF EVERY MONTH DURING THE CONTRACT PERIOD.
 - TOPSOIL REQUIRED FOR SOIL MIXES AND SPECIAL SEEDING AREAS SHALL BE PROVIDED BY THE CONTRACTOR. CONTRACTOR MUST LOAD, HAUL, MIX, AND SPREAD ALL TOPSOIL AND OTHER SOIL ADDITIVES AS REQUIRED.
 - THE PROPERTY OWNER AND/OR LESSEE SHALL, UPON COMPLETION OF THE GUARANTEE PERIOD AND FINAL ACCEPTANCE OF THE LANDSCAPE MATERIALS, MAINTAIN ALL LANDSCAPE MATERIALS AND LANDSCAPE AREAS IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, FERTILIZING, TREATING PESTS, MULCHING, PRUNING, REMOVAL AND REPLACEMENT OF DEAD OR DISEASED TREES AND SHRUBS. MAINTENANCE SHALL BE PERFORMED ON A REGULAR BASIS IN ORDER TO MAINTAIN PLANT VIGOR AND STABILITY AND TO PRESENT A NEAT AND WELL-KEPT APPEARANCE AT ALL TIMES.
 - CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE IMPROVEMENTS, INCLUDING SEEDING, AS REQUIRED BY THE SPECIFICATIONS. CONTRACTOR MUST CONTACT THE OWNER AND THE LANDSCAPE ARCHITECT AT LEAST TO WORKING DAYS IN ADVANCE TO SCHEDULE ACCEPTANCE INSPECTIONS. CONTRACTOR MUST REPLACE ALL DEAD OR UNACCEPTABLE PLANTS DURING THE FOLLOWING RECOMMENDED PLANTING SEASON.
 - ALL TREES AND SHRUBS SHALL MEET THE NORMAL REQUIREMENTS FOR THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN (AAN) OR AMERICANHORT, ANSI Z601.
 - MULCH SHALL BE FREE OF DEBRIS AND WOOD CHIPS. IT SHALL CONSIST OF AGED TRIPLE-SHREDDED HARDWOOD MULCH. FREE OF EXCESS TANIC ACIDS SPECIFIED ON THE PLANS. SAMPLES OF MULCH SHALL BE PROVIDED FOR THE LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO DELIVERING THE MULCH. THE OWNER RESERVES THE RIGHT TO REJECT ANY MULCH WHICH IS CONSIDERED TO BE UNSUITABLE. ALL MULCHES SHALL BE FREE OF ANY FOREIGN MATERIALS, PIECES LARGER THAN 6 INCHES, AND/OR GREEN WOOD.
 - ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM THE ROOT BALL. REMOVE ALL SYNTHETIC MATERIALS: BURLAP, STRAPPING CORDAGE, ETC. PRIOR TO BACKFILLING ALL PLANT MATERIALS.
 - NO PLANTING IDENTIFIED AS REACHING A MATURE HEIGHT OF MORE THAN TWENTY FEET (20') SHALL BE PLACED WITHIN A TRANSMISSION POWER LINE RIGHT-OF-WAY OR WITHIN TEN FEET (10') OF AN OVERHEAD UTILITY LINE.
 - TREES WHICH OVERHANG THE PEDESTRIAN CIRCULATION ROUTES AT THE STREETS, SIDEWALKS OR WITHIN OPEN SPACE AREAS SHALL NOT EXTEND GREATER THAN FOUR INCHES INTO THE CIRCULATION ROUTE AT A HEIGHT LESS THAN 80 INCHES ABOVE THE ADJACENT GRADE. ALL TREES SHALL BE LIMBED TO PROVIDE 80 INCHES OF CLEARANCE AT WALKWAYS TO MEET ADA AND ANSI Z601 REQUIREMENTS.

- NOTES:**
- CONTRACTOR SHALL FIELD VERIFY LOCATION, SIZE, AND MATERIAL OF EXISTING SITE AND VICINITY FEATURES AND UTILITIES PRIOR TO BEGINNING DEMOLITION AND CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL NOTIFY THE CIVIL ENGINEER AND LANDSCAPE ARCHITECT OF ANY DISCREPANCIES THAT ARE FOUND BETWEEN THE EXISTING FIELD CONDITIONS AND THE SITE PLANS OR CONSTRUCTION DRAWINGS, WHENEVER THEY ARE FOUND, DURING ALL PHASES OF SITE WORK.
 - THE PRUNING OF SCREENING SHRUBS SHALL ALLOW FOR LATERAL GROWTH OF BRANCHES SO AS TO FORM A HEDGE.
 - ALL LANDSCAPE ISLANDS, BEDS AND LAWNS SHALL BE GRADED FOR POSITIVE DRAINAGE WITH NO LOW SPOTS ALLOWING WATER TO BE TRAPPED.
 - CONTRACTOR SHALL PLANT TREES AND SHRUBS 5 FEET FROM BACK OF CURB WHEN PLANTED PERPENDICULAR FROM PARKING SPACES.
 - WHEEL STOPS ARE REQUIRED IF LANDSCAPING CANNOT BE SET BACK 5 FEET.
 - CONTRACTOR SHALL INSTALL ALL SHRUBS IN MULCHED BEDS.
 - CONTRACTOR SHALL INSTALL ALL TREES IN MINIMUM 4-6" DIA. MULCHED BEDS.
 - WHERE TREES AND SHRUBS ARE LOCATED TOGETHER IN LANDSCAPE BUFFERS, THE CONTRACTOR SHALL MULCH THE FULL WIDTH AND LENGTH OF THE BUFFER.
 - ALL UN-MULCHED AREAS OF THE SITE SHALL BE SEEDED WITH LAWN GRASS. GRASS SEED SELECTION SHALL BE SUBMITTED TO AND APPROVED BY THE LANDSCAPE ARCHITECT, PRIOR TO PURCHASE AND INSTALLATION.

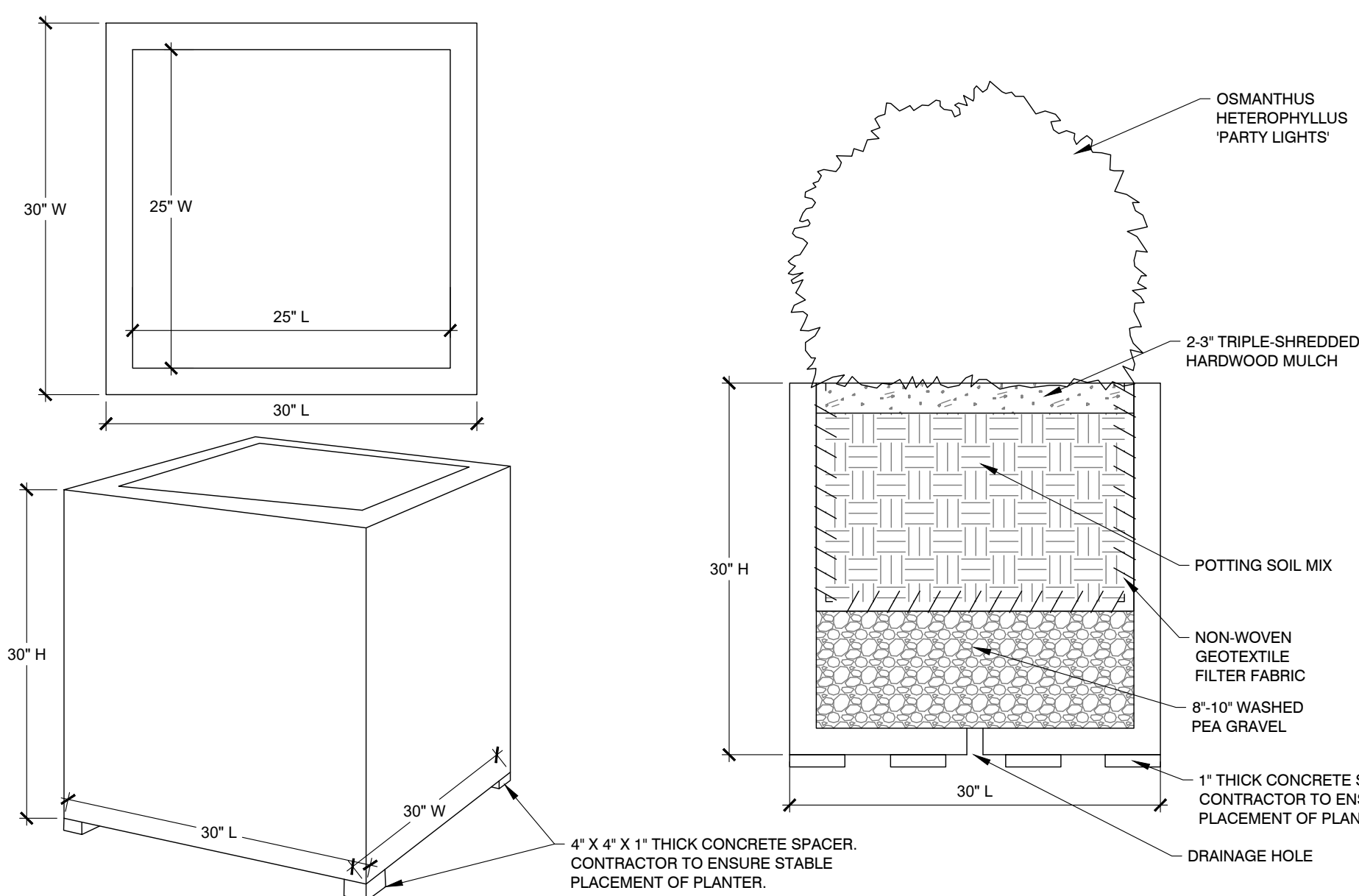
Metropolis Cube 3030 Planter

SKU: GHRC-0702



SPECIFICATIONS

- Dimensions: 30" L x 30" D x 30" H
- Weight: 155 lbs.
- Shown in Alpine Stone (AS)
- Makes a beautiful focal point for your garden setting, either filled with beautiful blooms or greens, or left empty as a wonderful accent piece
- Suitable for Indoor/Outdoor Use
- Available in your choice of classic and distinct finishes
- Finish/Stain is hand applied by trained artisans
- Made of Glass Fiber Reinforced Concrete (GFRC) that mimics the look and feel of cast stone but is significantly lighter
- Features unique designer detail and superior craftsmanship
- Weathers naturally outdoors
- Made in the USA
- Due to the nature of materials used, natural variations can occur in size weight and color



CONCRETE PLANTER
N.T.S.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH TOWN OF ZEBULON, NCDOT & NCDEQ STANDARDS, SPECIFICATIONS AND DETAILS.



REVISIONS:

NO.	DATE	DESCRIPTION
1	12/07/23	CONSTRUCTION DRAWINGS SUBMITTAL #2
2	11/21/23	CLIENT REVIEW
3	11/07/23	TRC REVIEW PLAN
4	06/01/23	CONSTRUCTION DRAWINGS SUBMITTAL #1

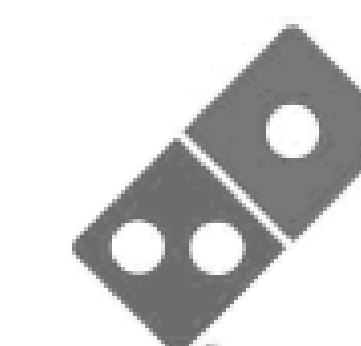
DOMINO'S ZEBULON

TOWN OF ZEBULON - WAKE COUNTY - NORTH CAROLINA

LANDSCAPE NOTES, PLANT SCHEDULE, & DETAILS

DATE:	
DESIGNED BY:	SBF
DRAWN BY:	SBF
CHECKED BY:	PRM, JSJ
PROJECT NO.:	2023018
DRAWING NO.:	W-4081
SCALE:	AS SHOWN
SHEET NO.:	L1.02

NEW FACILITY FOR



DOMINO'S
STORE #8978

ZEBULON, NORTH CAROLINA

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Date: 08.22.23 BGA Project: 22107

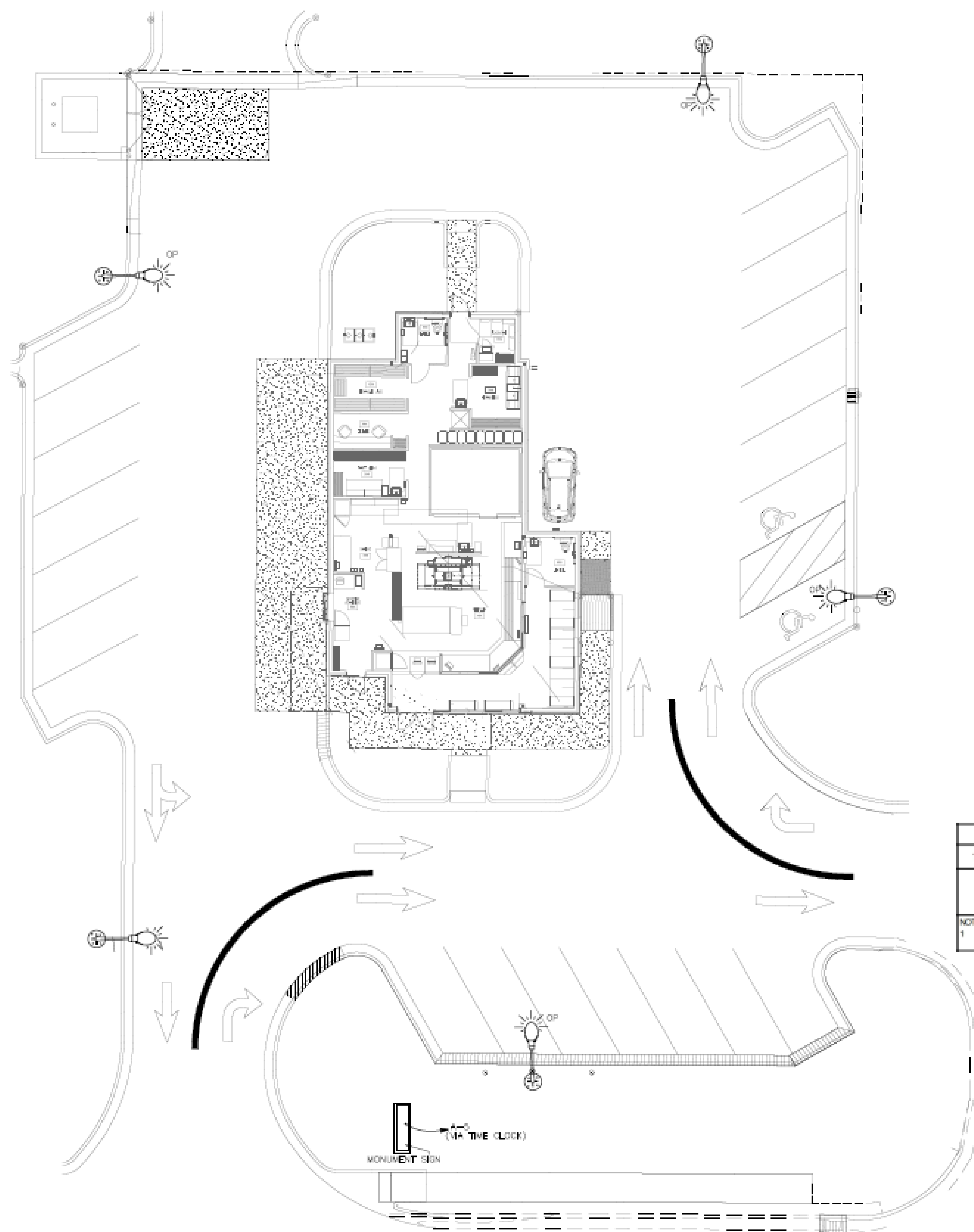
Issue Date: No. Date Description:

SITELIGHTING PLAN

E102

LIGHTING PLAN

LP1

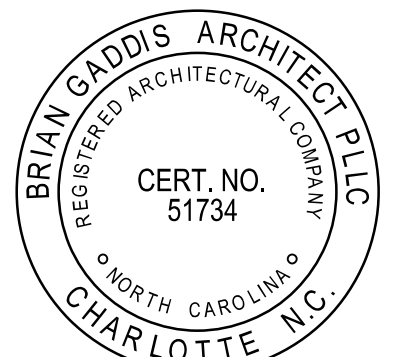


LIGHT FIXTURE SCHEDULE							
TYPE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	BALLAST / DRIVER	LAMPS / LUMENS	VOLTS	WATTS
CP	OWNER PROVIDED	TBD	LED POLE LIGHT WITH ON BOARD PHOTOCELL AND SOLAR PANEL POWERED	ELECTRONIC	TBD		NA

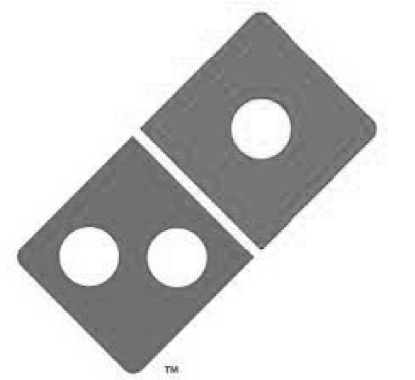
NOTES:
1. SEE ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT FIXTURE LOCATIONS.

1 SITE PLAN - LIGHTING
E102 SCALE: 3/32" = 1'-0"

GENERAL NOTES:
1. CONDUIT FOR MONUMENT LIGHTING IS TO BE RAN UNDER GROUND IN 1" CONDUIT.

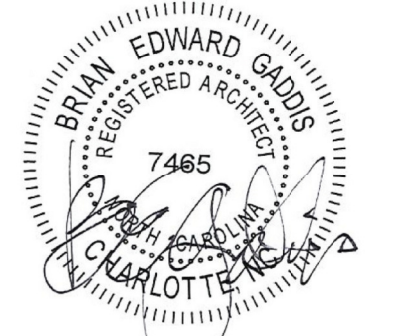


NEW FACILITY FOR



DOMINO'S
STORE #8976

ZEBULON, NORTH CAROLINA



06.07.23
10.05.23

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Date: 06.07.23 BGA Project: 22107

Issue Dates:

No: Date: Description:

10.05.23 TOWN OF ZEBULON ZONING REVISIONS

REFLECTED CEILING PLAN
AND
LIGHTING SCHEDULE

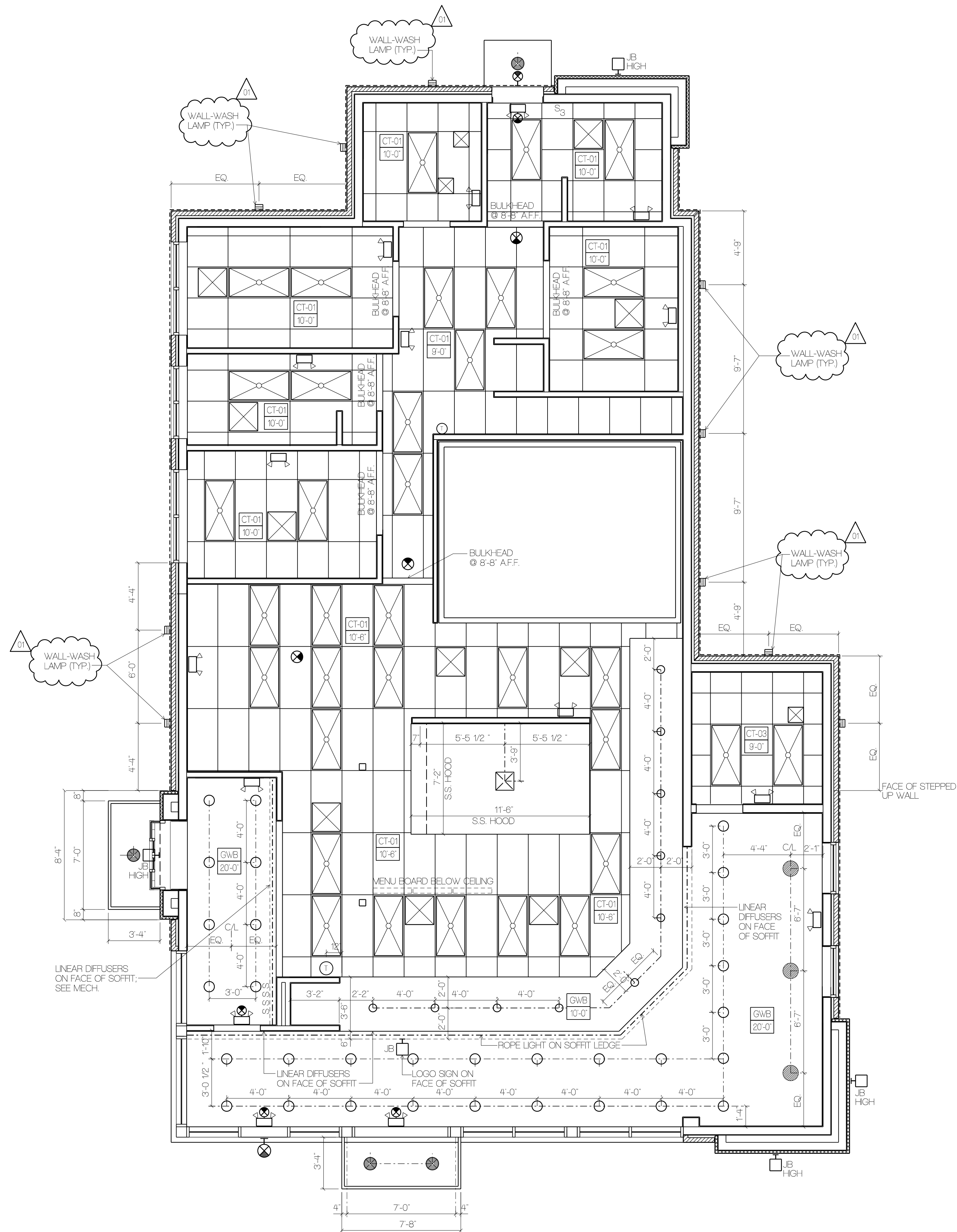
REFLECTED CEILING LEGEND	
	RECESSED LED CAN LIGHT FIXTURES MOUNTED IN GWB @ 20'-0" A.F.F.
	SUSPENDED PENDANT FIXTURES OVER BOOTH SEATING @ 7'-0" A.F.F. (LOWER WATTAGE)
	2X4 RECESSED LAY-IN LED FIXTURE
	ROPE LIGHT ABOVE SOFFIT LEDGE (CONT.); HOLD 1" FROM BACK OF WALL
	LED WATERPROOF FLEXIBLE LINEAR STRIP LIGHT CONCEALED ABOVE ACCENT BAND ON EXTERIOR ELEVATIONS
	LED DIRECTIONAL EXIT SIGN
	WALL-MOUNTED SELF-CONTAINED LED EMERGENCY LIGHT
	WALL-MOUNTED LED EXIT SIGN AND SELF-CONTAINED EMERGENCY LIGHT COMBINATION
	EXTERIOR EMERGENCY LIGHT FIXTURE
	RECESSED LED WITH WET LABEL UNDERSIDE OF CANOPY
	WATERPROOF LED OUTDOOR SPOTLIGHT WALL-WASH LAMP MOUNTED 10'-0" A.F.F.
	JUNCTION BOX FOR ILLUMINATED LOGO SIGN; COORDINATE LOCATION WITH SIGN VENDOR

NOTE: SEE ELECTRICAL DRAWING FOR MORE INFORMATION ON FIXTURES.

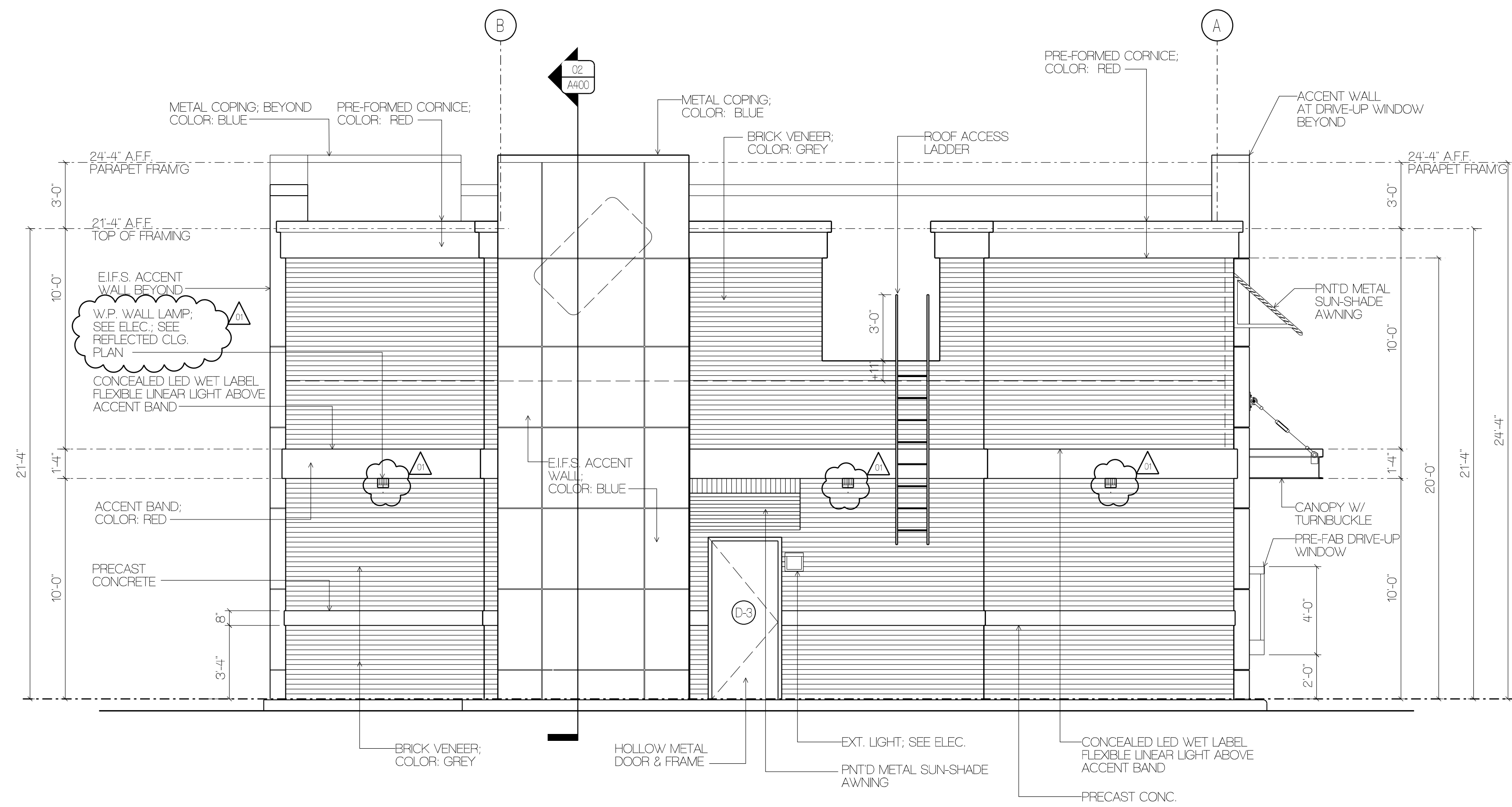
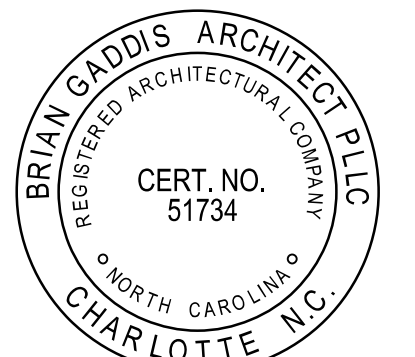
NOTE: CEILING TILE IN KITCHEN AND BACK OF HOUSE TO BE 2' X 4' GRID. SEE FINISH SCHEDULE FOR "CT-01" SPECIFICATION OF CEILING TILE AND GRID.

NOTE: ALL EXTERIOR LIGHTS AND SIGNAGE TO BE ON A 1-HOUR TIMER.

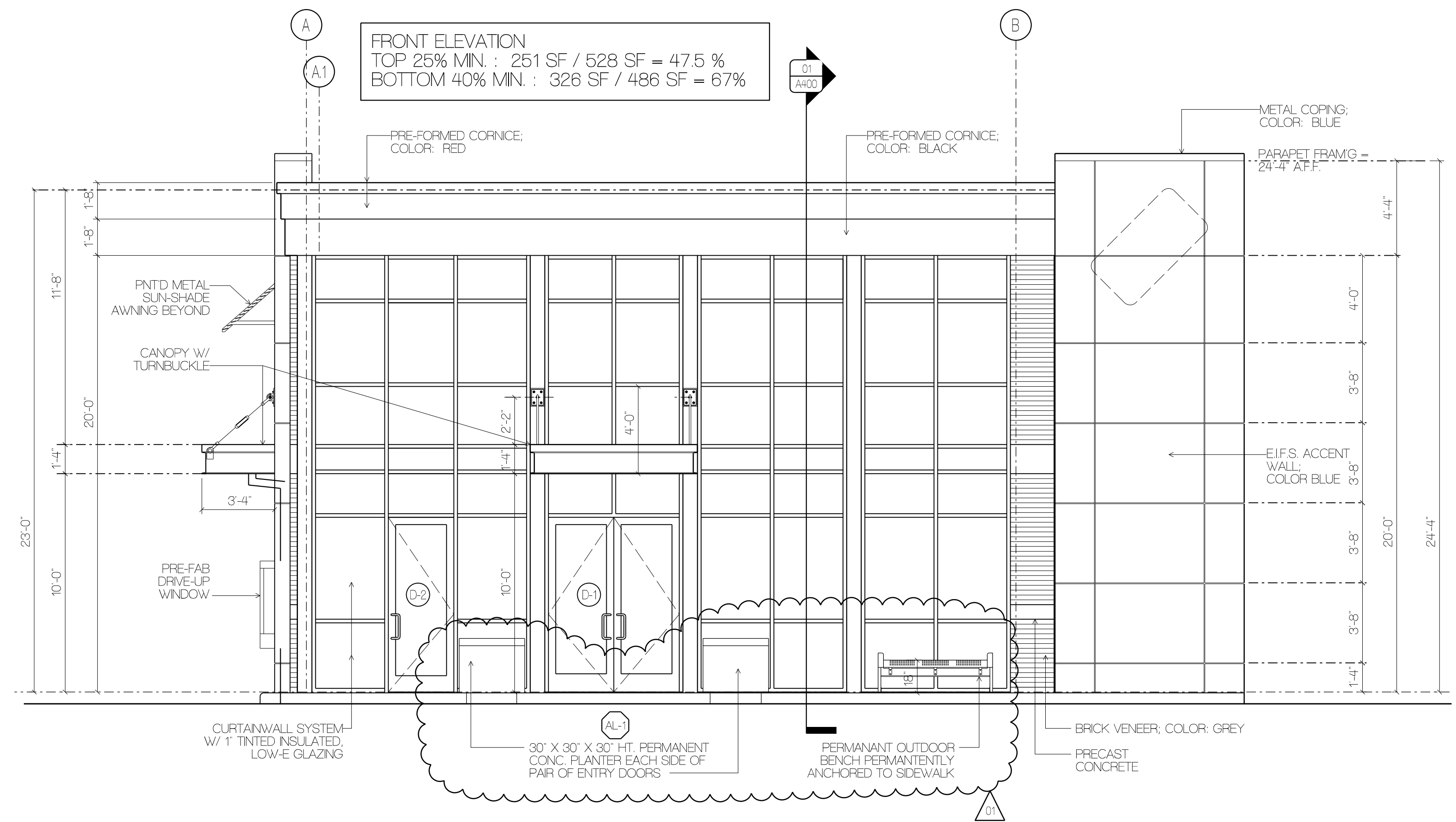
NOTE: SEE INTERIOR ELEVATION 01/AS00 AND MECHANICAL DRAWINGS FOR LOCATION AND SIZE OF LINEAR MECHANICAL DIFFUSERS IN CUSTOMER AREA. LOCATED ON FACE OF UPPER SOFFIT WALL.



01 REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

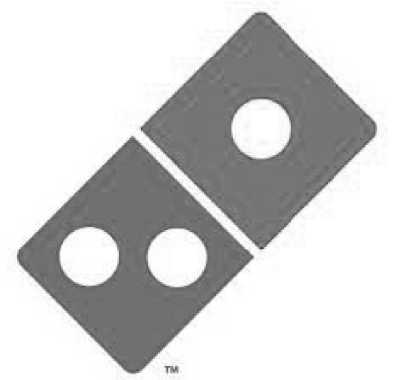


02 REAR ELEVATION
 SCALE: 1/4" = 1'-0"



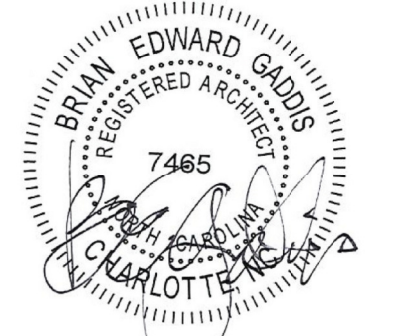
01 FRONT (HENDRICKS DRIVE) ELEVATION
 SCALE: 1/4" = 1'-0"

NEW FACILITY FOR



DOMINO'S
 STORE #8976

ZEBULON, NORTH CAROLINA



06.07.23
 10.05.23

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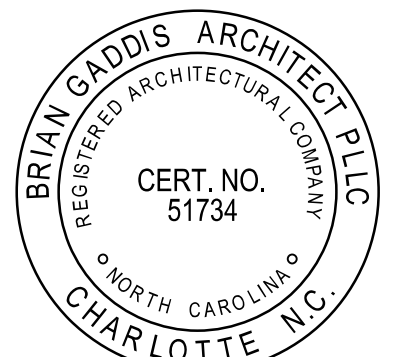
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Issue Dates:

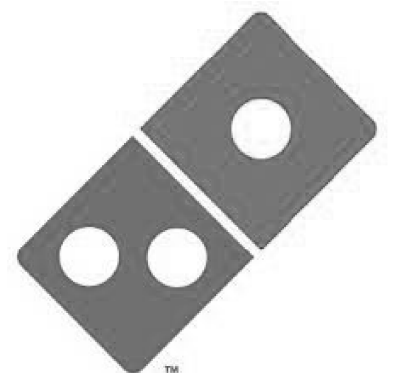
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10.05.23 TOWN OF ZEBULON ZONING REVISIONS

EXTERIOR ELEVATIONS

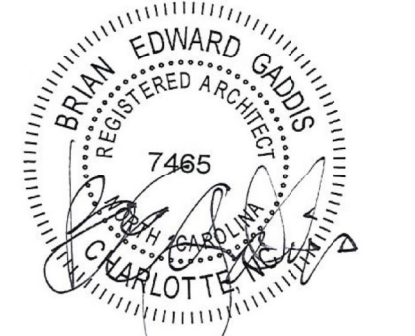


NEW FACILITY FOR



DOMINO'S
STORE #8976

ZEBULON, NORTH CAROLINA



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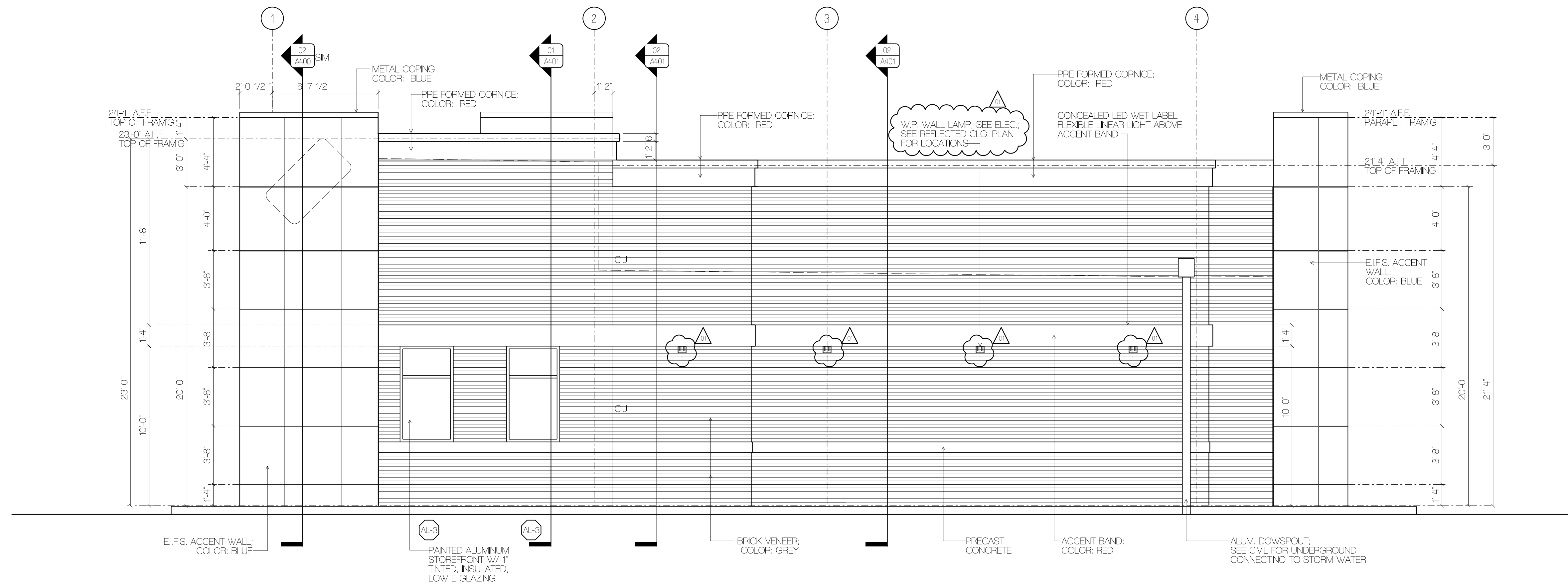
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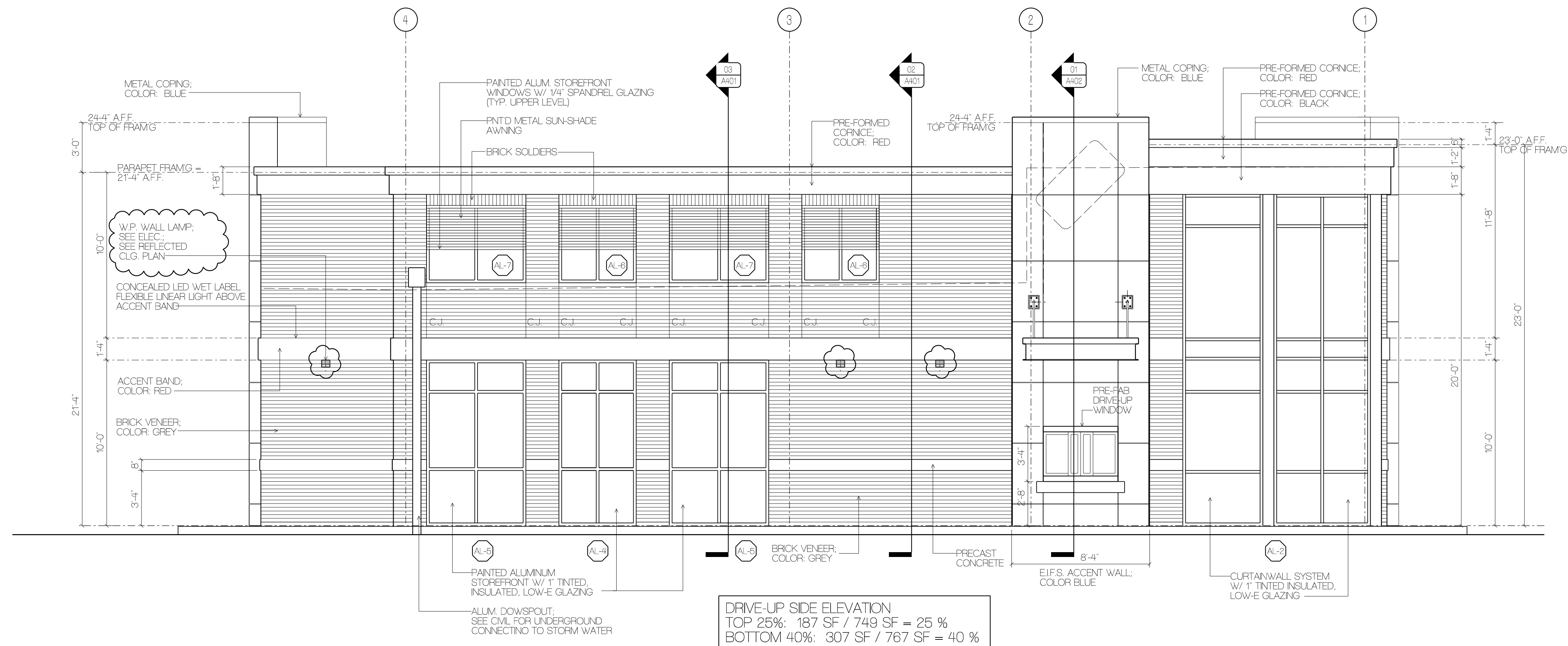
10.05.23 TOWN OF ZEBULON ZONING REVISIONS

EXTERIOR ELEVATIONS

A201



02 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



01 LEFT (DRIVE-UP) ELEVATION
SCALE: 1/4" = 1'-0"