

GENERAL NOTES

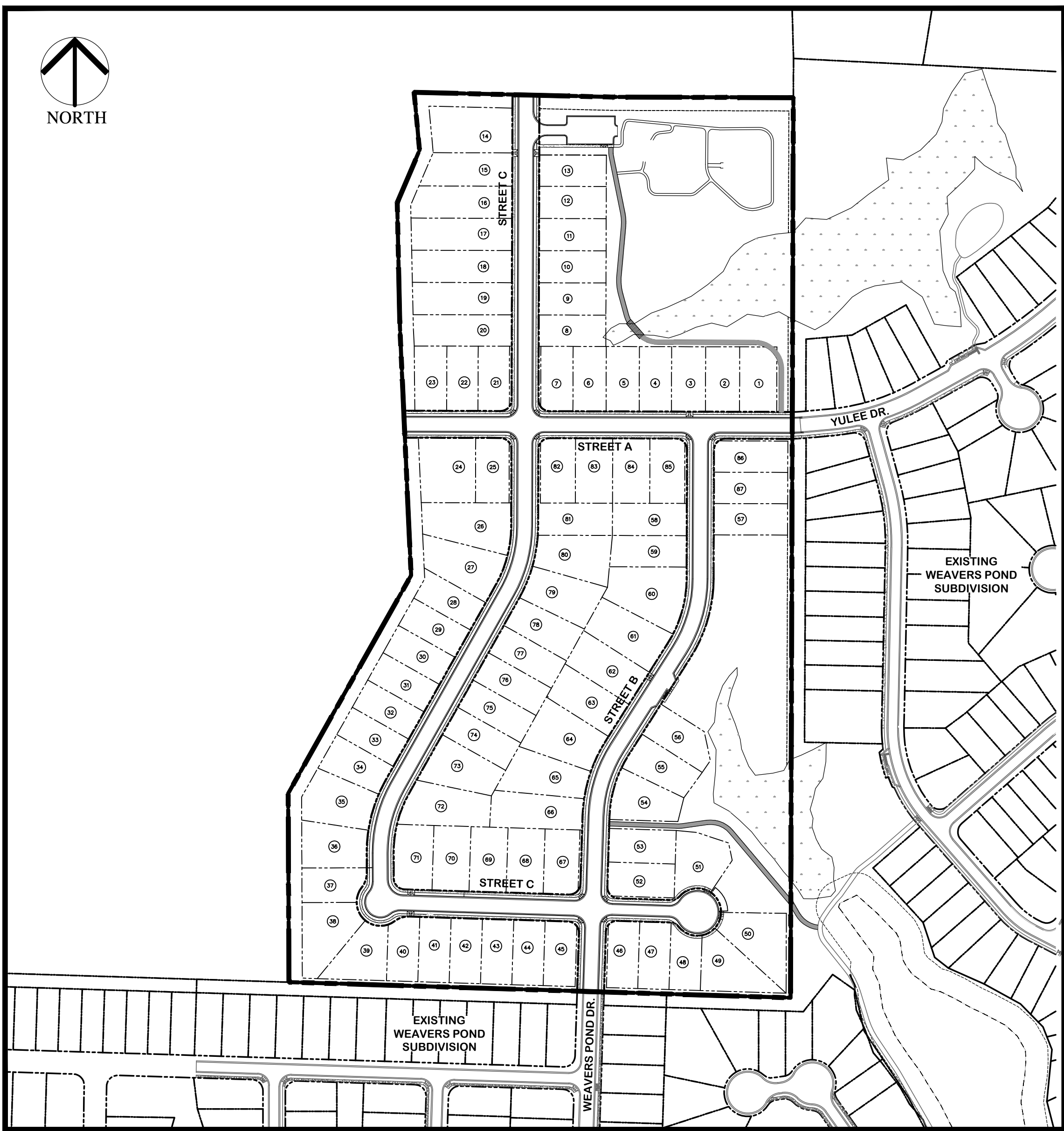
1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO TOWN OF ZEBULON ENGINEERING DESIGN SPECIFICATIONS AND CONSTRUCTION STANDARDS, AND CITY OF RALEIGH FOR WATER AND SANITARY SEWER.
2. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
4. BOUNDARY SURVEY PROVIDED BY CAWTHORNE, MOSS & PANCIERA, P.C. PROFESSIONAL LAND SURVEYORS OF WAKE FOREST NC.
5. EXISTING TOPOGRAPHY WAS PROVIDED BY GEODATA CORP DIGITAL MAPPING SERVICES OF ZEBULON NC.
6. WETLAND SURVEY WAS PROVIDED BY JOYNER KEENY, PLLC PLANNING, SURVEYING & ENGINEERING OF ROCKY MOUNT NC.
7. ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS
8. PLAN IS SUBJECT TO REVISIONS DURING CONSTRUCTION DRAWING APPROVAL PROCESS.
9. CONSTRUCTION DRAWING APPROVAL IS REQUIRED BEFORE CONSTRUCTION ON THIS PROJECT MAY BEGIN. THE DEVELOPER SHALL BE RESPONSIBLE FOR PAYING ALL APPLICABLE DEVELOPMENT FEES PRIOR TO CONSTRUCTION DRAWING APPROVAL.
10. ALL ROADWAY INFRASTRUCTURE CONSTRUCTION SHALL CONFORM TO THE TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS.
11. CONTRACTOR SHALL CONTACT THE TOWN OF ZEBULON TO SCHEDULE A PRE-CONSTRUCTION MEETING PRIOR TO BEGINNING CONSTRUCTION.
12. ALL ROADWAY, SIDEWALK AND STORM DRAINAGE IMPROVEMENTS IN ROW OR DEDICATED PUBLIC EASEMENTS WILL BE REQUIRED TO BE DEDICATED TO THE TOWN OF ZEBULON AT COMPLETION OF THE PROJECT.
13. AS-BUILT SITE PLANS FOR ROADWAY AND UTILITY WORK MUST BE SUBMITTED AND APPROVED PRIOR TO FINAL ACCEPTANCE. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RED-LINE LINE DRAWINGS.
14. DEVELOPER/OWNER IS RESPONSIBLE FOR CONTRACTING WITH THIRD PARTY NCDOT CERTIFIED TESTING FIRM. THE FIRM MUST BE APPROVED BY TOWN OF ZEBULON. MATERIAL TESTING IS REQUIRED FOR ALL ROADWAY WORK. FINAL REPORTING AND CERTIFICATION (SEALED) IS REQUIRED AT COMPLETION OF THE PROJECT BY THE GEO-TECHNICAL ENGINEER. TESTING IS REQUIRED FOR SUBGRADE, ROADWAY STONE, ASPHALT AND CURB AND GUTTER PER TOWN OF ZEBULON SPECS.
15. ALL CURB AND GUTTER REQUIRES CONCRETE TESTING FOR THE FOLLOWING REQUIREMENTS (SECTION 2.1.1):
 - i. 4" CONCRETE SLUMP
 - ii. TEMPERATURE - 50 AND 90 DEGREES
 - iii. AIR MIXTURE RANGE 3.5% TO 6.5%
 - iv. STRUCTURAL BREAK TEST - 7,14,28 DAYS @ 3,000PSI @ 28 DAYS
 - v. SAMPLES EVERY 1,000 LF OF CURB AND GUTTER TO ENSURE QUALITY
 - vi. MAX WATER-CEMENT RATIO BY WEIGHT: 0.594
 - vii. MINIMUM CEMENT CONTENT (LBS/CY): 602
23. CONCRETE SIDEWALK TESTING IS NOT REQUIRED; UNLESS CONSTRUCTION INSPECTOR DETERMINES THAT QUALITY IS INFERIOR AND DOES NOT MEET INDUSTRY STANDARDS. CONTRACTOR MUST MAINTAIN A 4" SLUMP FOR ALL SIDEWALK WORK. AIR TEMPERATURES AT PLACEMENT MUST BE 40 DEGREES AND RISING. SURFACE TEMPERATURES SHALL BE 50 DEGREES OR GREATER. (SECTION 2.2.2 E)
24. ASPHALT CORE SAMPLES SHOULD BE SELECTED EVERY 300 FEET OR MINIMUM OF TWO CORES PER ROADWAY FOR ANALYSIS OF THICKNESS AND DENSITY. ASPHALT MIX 9.5 G SHOULD BE COMPACTED TO A MINIMUM OF 90% OF THE MAXIMUM SPECIFIC GRAVITY. ASPHALT MIX OF 9.5 A SHOULD BE COMPACTED TO A MINIMUM OF 90% OF THE MAXIMUM SPECIFIC GRAVITY. THE CONTRACTOR IS RESPONSIBLE FOR DEVELOPING/CREATING A CHART/MAP OF THE CORED LOCATIONS FOR SUBMITTAL WITH THE TESTING. CORES WILL BE RANDOMLY TAKEN ALONG THE LONGITUDINAL DIRECTIONS ACROSS THE ROADWAY BUT NOT WITHIN ONE FOOT OF THE EDGE OF PAVEMENT. THE RESULTS OF THE SAMPLES GREATER THAN TEN FEET APART WILL NOT BE AVERAGED AND USED TO VERIFY COMPLIANCE WITH THE TOWN OF ZEBULON SPECIFICATIONS. (SECTION 2.6.H)
25. ROADWAY SUB-GRADE TESTING/INSTALLATION REQUIREMENTS: 98% STANDARD PROCTOR ON ALL SOILS EVERY 300'. ALL LOCATIONS TESTED SHALL MEET 98% TESTING REQUIREMENTS. AVERAGING OF DENSITY SCORES TO MEET STANDARD IS NOT ALLOWED. SUCCESSFUL PROOF ROLLS REQUIRED FOR ALL SUB-GRADE SOILS. (SECTION 2.5.2 A)
26. ROADWAY ABC STONE TESTING/INSTALLATION REQUIREMENTS: 98% STANDARD PROCTOR ON ALL ROADWAY ABC EVERY 150 FEET. ALL LOCATIONS TESTED SHALL MEET THE 98% TESTING REQUIREMENTS. AVERAGING OF DENSITY SCORES TO MEET STANDARDS IS NOT ALLOWED. SUCCESSFUL PROOF ROLLS REQUIRED FOR ALL ROADWAY ABC STONE. (SECTION 2.5.3 A)
27. IF THE ROADWAY SUBGRADE OR ROADWAY STONE IS EXPOSED TO PRECIPITATION (RAIN, SNOW, ICE, ETC.) GREATER THAN 0.10 OF AN INCH BEFORE IT IS COVERED WITH ABC STONE OR ASPHALT THE EXPOSED SUBGRADE OR ABC STONE MUST PASS AN ADDITIONAL PROOF ROLL. ADDITIONAL DENSITY IS NOT REQUIRED.
28. IMPERVIOUS SURFACE COVERAGE SHALL NOT EXCEED IMPERVIOUS SHOWN ON THE LOT. IMPERVIOUS SURFACE LIMITS WILL BE STRICTLY ENFORCED INTO PERPETUITY.
29. PRIOR TO BUILDING PERMITS A PLAT MUST BE RECORDED AT THE WAKE COUNTY REGISTER OF DEEDS OFFICE FOR ALL UTILITY EASEMENT DEDICATIONS.

ZONING CONDITIONS

1. ALL LOTS SHALL BE A MINIMUM OF 8,700 SQUARE FEET.
2. ALL LOT WIDTHS SHALL BE A MINIMUM OF 70'
3. ALL DWELLINGS WILL HAVE A MINIMUM TWO-CAR GARAGE.
4. GARAGE DOORS WILL HAVE WINDOWS AND CARRIAGE HARDWARE.
5. GARAGES: GARAGE DOORS SHALL BE RECESSED BEHIND THE FRONT PLANE OF THE HOME A MINIMUM OF 8" WHERE A HOME PROVIDES A FRONT PORCH. THE GARAGE MAY EXTEND BEYOND THE FRONT PLANE OF THE HOME, PROVIDED THE FRONT PORCH EXTENDS BEYOND THE FRONT PLANE OF THE GARAGE A MINIMUM OF 1'.
6. THE HOMES CONSTRUCTED SHALL HAVE A MINIMUM OF 30% THAT WILL CONTAIN EITHER FRONT PORCHES THAT WRAP AROUND THE CORNER OF THE FRONT FACADE OR SIDE-LOADED GARAGES. THE HOMES CONSTRUCTED WITH SIDE-LOADED GARAGES AND "T" DRIVEWAYS SHALL BE ALLOWED A SIDE SETBACK OF 5'.
7. FOR ALL LOTS, THE ENTIRE YARD WILL BE SODDED.
8. EXTERIOR BUILDING MATERIALS: EXTERIOR SIDING WILL BE PRIMARILY FIBER CEMENT WITH BRICK OR STONE ACCENTS. THE USE OF VINYL SIDING SHALL BE PROHIBITED EXCEPT FOR TRIM ELEMENTS OF THE DWELLING UNIT FACADE. SIDING STYLES WILL INCLUDE HORIZONTAL, SHAKE, OR BOARD AND BATTEN DESIGN. AT LEAST TWO (2) OF THE FOLLOWING MATERIALS SHALL BE USED ON EACH UNIT: FIBER-CEMENT, MASONRY BRICK, BRICK VENEER, MASONRY STONE, STONE VENEER, OR SYNTHETIC STONE.
9. FOUNDATIONS: FOUNDATIONS SHALL BE RAISED ABOVE THE FINISHED GRADE - AS MEASURED ALONG THE FRONT STREET FACING FINISHED GRADE OF THE BUILDING PAD - A MINIMUM OF 18". FOUNDATION TYPES MAY INCLUDE: STEM WALL, RAISED SLAB, OR CRAWL SPACE.
10. AMENITIES WILL INCLUDE A DOG PARK, WALKING TRAILS, AND MAINTAINED OPEN SPACE. ALL OPEN SPACE AND AMENITIES WILL BE MAINTAINED BY THE HOA.
11. A MINIMUM OF 8" ROOF OVERHANG SHALL BE PROVIDED ALONG THE FRONT AND BACK OF EACH DWELLING UNIT.
12. A 10 FOOT UNDISTURBED BUFFER WILL BE MAINTAINED AROUND THE DEVELOPMENT, WHERE EXISTING PLANTS DO NOT MEET THE REQUIREMENTS OF THE UDO, PLANTINGS WILL BE SUPPLEMENTED TO MEET THE REQUIREMENT.
13. THE REQUIRED DECORATIVE FEATURES FOR EACH HOME CONSTRUCTED SHALL CONTAIN AT LEAST ONE OF THE FOLLOWING: A DECORATIVE FRONT DOOR (MINIMUM 25% GLAZING); WINDOW TRANSOM, DOOR SIDELIGHTS, OR DOOR TRANSOM.
14. WINDOW TREATMENTS: WINDOWS ON FRONT ELEVATIONS SHALL OFFER EITHER TRIM OR SHUTTERS. TRIM ALONG HEADERS AND SILLS SHALL BE A MINIMUM OF 3" WIDE. SHUTTERS ARE DECORATIVE AND MAY OR MAY NOT BE "OPERATIONAL". SHUTTERS SHALL HAVE A MINIMUM WIDTH OF 18".
15. PORCHES: FRONT PORCHES SHALL EXTEND BEYOND THE FRONT PLAIN OF THE GARAGE ON 30% OF THE HOMES CONSTRUCTED. FRONT PORCHES SHALL BE ALLOWED TO EXTEND BEYOND THE FRONT SETBACK OF THE BUILDING ENVELOP A MAXIMUM OF 10'.
16. ALL HOMES WILL HAVE A REAR PATIO OR DECK OF AT LEAST 100 SQUARE FEET.
17. ACCESSORY BUILDINGS SHALL BE CONSTRUCTED OF MATERIALS THAT MATCH THE SINGLE-FAMILY DWELLING.
18. IN ORDER TO PROMOTE VARIATION IN HOME APPEARANCE, NO FRONT ELEVATION OR PRIMARY SIDING COLOR SHALL BE CONSTRUCTED WITHIN TWO HOUSES OF AN IDENTICAL ELEVATION OR PRIMARY SIDING COLOR ON THE SAME SIDE OF THE STREET OR ACROSS THE STREET. FOR CORNER LOTS, NO IDENTICAL ELEVATION OR PRIMARY SIDING COLOR WILL BE CONSTRUCTED DIAGONALLY ACROSS AN INTERSECTION.
19. HOMEOWNERS ASSOCIATION WILL NOT ALLOW ANY RENTAL HOMES. THIS RESTRICTION SHALL BE RECORDED IN HOA COVENANTS, CONDITIONS AND RESTRICTIONS. HOA SHALL BE REQUIRED TO ANNUALLY REPORT HOMEOWNER STATUS TO THE TOWN OF ZEBULON.
20. HOMEOWNERS ASSOCIATION SHALL BE OPERATIONAL PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.
21. HOMEOWNERS ASSOCIATION SHALL APPOINT ONE RESIDENT TO THE ADVISORY BOARD AT 25% RESIDENT OCCUPIED, ONE RESIDENT AT 50% OCCUPIED AND ONE RESIDENT AT 75% OCCUPIED.
22. ALL INDIVIDUAL WATER BOOSTER PUMPS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS MANUAL.
23. ALL HOME DESIGN AND CONSTRUCTION SHALL CONFORM TO SECTION 5.2 OF THE TOWN OF ZEBULON'S UNIFIED DEVELOPMENT ORDINANCE.
24. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED FOR ANY NEW RESIDENCES LOCATED NORTH OF YULEE DRIVE (AS EXTENDED THROUGH THE PROPERTY) UNTIL THE EARLIER OF (i) THE TOWN OPENS A PROPOSED NEW FIRE STATION AT W. JUDD STREET; OR, (ii) SEVEN (7) YEARS FROM THE DATE OF THE APPROVAL OF THE REZONING.

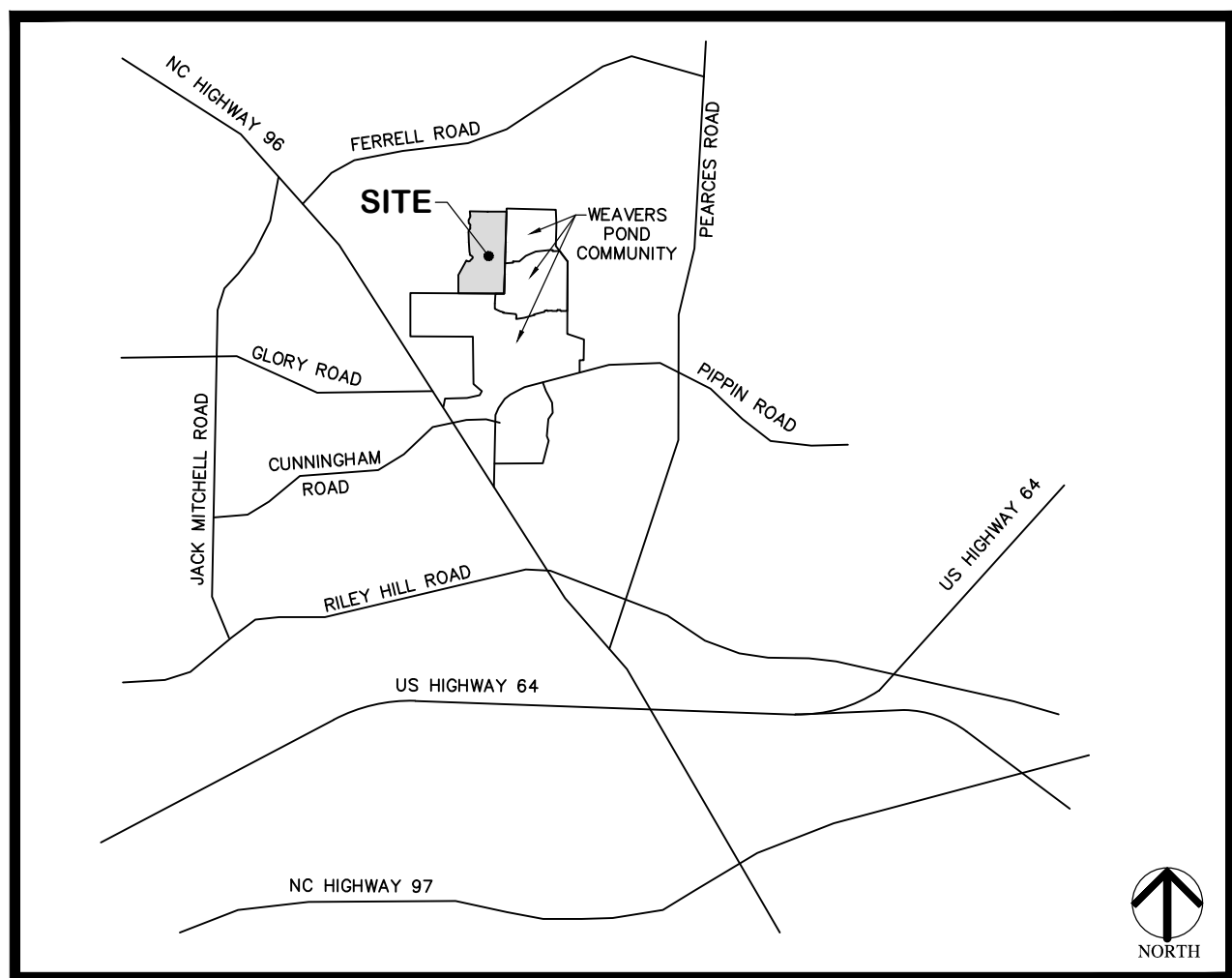
WEAVER'S POINTE CONSTRUCTION PLANS

ZEBULON, NC
WAKE COUNTY



VICINITY MAP

SCALE: 1"=200'



VICINITY MAP NTS

SUBDIVISION PLAN INFORMATION

1. DEVELOPMENT NAME:	WEAVER'S POINTE
2. WAKE COUNTY P.I.N.s:	1797701367
3. TOTAL NUMBER OF LOTS:	87 SINGLE FAMILY LOTS (2.0 UNITS/ACRE)
4. TRACT AREA:	43.10 AC
5. ZONING:	R4-C
6. INSIDE TOWN LIMITS:	YES
7. WATERSHED:	NEUSE RIVER BASIN
8. DEDICATED STREET RIGHT OF WAY:	6.57 AC.
9. DISTURBED AREA:	38.0 AC.
10. OPEN SPACE PROVIDED	11.9 ACRES
11. PROPOSED IMPERVIOUS SURFACE	STREETS/SIDEWALKS = 4.95 AC (INCLUDES GREENWAY, MAIL KIOSK AND AMENITIES) LOTS = 6.99 AC± (3,500 SF/LOT) TOTAL = 11.94 AC±
12. FEMA INFORMATION	THE SITE IS NOT WITHIN A FEMA FLOOD ZONE PER MAPS # 3720179700K - PANEL 1797 EFFECTIVE DATE 07/19/2022
13. DEVELOPER:	GREYHILL DEVELOPMENT, LLC 9381 BARTONS CREEK RD RALEIGH NC 27615-9705 (919)606-8956 (PHONE) ATTN: GREY BERRY - FUTRELL DEVELOPMENT, LLC.
14. OWNER:	GREYHILL DEVELOPMENT, LLC 9381 BARTONS CREEK RD RALEIGH NC 27615-9705 (919)606-8956 (PHONE) ATTN: GREY BERRY - FUTRELL DEVELOPMENT, LLC.
15. CONTACT PERSON	PIEDMONT LAND DESIGN, LLP c/o MIKE SCHNEIDER 8522-204 SIX FORKS ROAD RALEIGH, NORTH CAROLINA 27615 (919) 845-7703 (PHONE) (919) 845-7703 (FAX) MikeS@piedmontlanddesign.com (E-MAIL)

DRAWING INDEX

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SITE 2	EXISTING CONDITIONS PLAN
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L4.02	PARKING LOT AND SCM LANDSCAPING NORTH
L9.01	LANDSCAPE DETAILS
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SITE 21	SCM 1 DETAILS & PLANTING PLAN
SITE 22	SCM 2 DETAILS & PLANTING PLAN
SITE 23-33	DETAILS

BUILDING SETBACKS

STREET SETBACK: 30' - SEE ZONING CONDITION #15.
SIDE YARD: 10' - SEE ZONING CONDITION #6.
REAR YARD: 25'

Water and Sewer Permits (If Applicable)

The City of Raleigh consents to the connection and extension of the City's **Public Sewer System** as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # _____

The City of Raleigh consents to the connection and extension of the City's **Public Water System** as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # _____

The City of Raleigh consents to the connection to its **Public Sewer System** and extension of the private sewer collection system as shown on this plan. The material and constructions methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # _____

Public Water Distribution / Extension System

The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh Public Utilities Department Permit # **W-4115**
Authorization to Construct See digital signature

Public Sewer Collection / Extension System

The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh Public Utilities Department Permit # **S-5459**
Authorization to Construct See digital signature

LOT QUANTITIES

LOTS	QUANTITY
SINGLE FAMILY	87 LOTS

PUBLIC STREET QUANTITIES

STREET	LENGTH
STREET A	885 LF
STREET B	1,329 LF
STREET C	2,589 LF

STREET LIGHT QUANTITIES

TYPE	QUANTITY
STREET LIGHTS	19

PUBLIC STORM QUANTITIES

SIZE	LENGTH
15"	875 LF
18"	347 LF
24"	1,277 LF
30"	537 LF
TOTAL	3,036 LF

HOA STORM QUANTITIES

SIZE	LENGTH
15"	1,752 LF
18"	566 LF
24"	295 LF
30"	229 LF
TOTAL	2,842 LF

PUBLIC WATER QUANTITIES

SIZE	LENGTH
8" DIP	1,883 LF
12" DIP	2,898 LF

NUMBER OF SERVICE CONNECTIONS = 87
NUMBER OF STUBS = 2
NUMBER OF MAIN TIE-IN POINTS = 2
NUMBER OF SERVICE ABANDONMENTS = 0

PUBLIC SEWER QUANTITIES

SIZE	PHASE	LENGTH
8" DIP		1,425 LF
8" PVC		2,773 LF
TOTAL		4,198 LF

NUMBER OF SERVICE CONNECTIONS = 87
NUMBER OF STUBS = 0
NUMBER OF MAIN TIE-IN POINTS = 2
NUMBER OF SERVICE ABANDONMENTS = 0

SEWER FLOW DATA

NUMBER OF BEDROOMS=348
PROPOSED SEWER FLOW=348 X 75 GPD/BR=26,100 GPD

EROSION CONTROL, STORMWATER AND FLOODPLAIN MANAGEMENT

APPROVED
EROSION CONTROL SEC-
STORMWATER MGMT. SWF-
FLOOD STUDY SWF-
DATE _____



ENVIRONMENTAL CONSULTANT SIGNATURE

ATTENTION CONTRACTORS

The Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Utilities Inspector at 919-996-3245 or <https://cityworks.raleighnc.gov/pucontractors/New> and schedule a Pre-construction meeting prior to beginning any construction. Raleigh Water must be contacted at (919) 996-4540 at least twenty-four hours prior to beginning any work activity around critical water and sewer infrastructure.

Failure to notify the Divisions in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a downstream plug, have permitted plans on the jobsite, or any other violation of City of Raleigh Standards will result in a fine and possible exclusion from future work in the City of Raleigh.

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

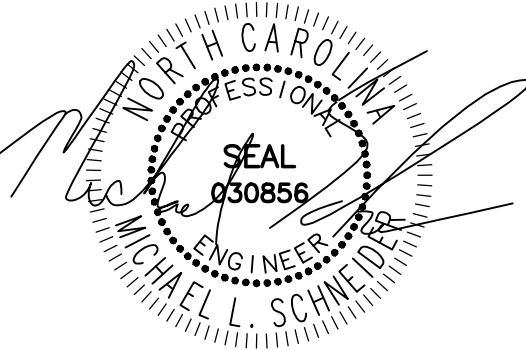
Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.

City of Raleigh Development Approval _____
Raleigh Water Review Officer _____



PIEDMONT LAND DESIGN PLLC

8522-204 SIX FORKS ROAD
RALEIGH, NORTH CAROLINA 27615
919.845.7600 PHONE
919.845.7703 FAX
ENGR. FIRM LICENSE NO. F-0843



06-08-24

WEAVER'S POINTE SUBDIVISION

0 WEAVERS POND DRIVE
ZEBULON, NC

ISSUED: 02 FEB 2024

REVISIONS:

- 17 APRIL 2024 PER TOWN/WAKE COUNTY REVIEW
- 08 JUNE 2024 PER TOWN/WAKE COUNTY REVIEW

DRAWN BY: JET
CHECKED BY: MLS

PROJECT: FDCWP9

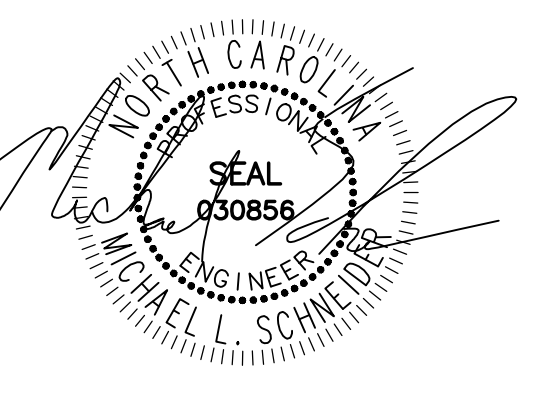
COVER SHEET

DWG. NO. SITE 1



HELMUTH & BOND DESIGN PLLC

8522-204 SIX FORKS ROAD
RALEIGH, NORTH CAROLINA 27615
919.845.7600 PHONE
919.845.7703 FAX
ENGR. FIRM LICENSE NO. F-0843



04-17-24

WEAVER'S POINTE SUBDIVISION

0 WEAVERS POND DRIVE
ZEBULON, NC

ISSUED: 14 FEB 2024

REVISIONS:
17 APRIL 20124
PER TOWN/WAKE COUNTY REVIEW

DRAWN BY: JET
CHECKED BY: MLS
PROJECT: FDCWP9

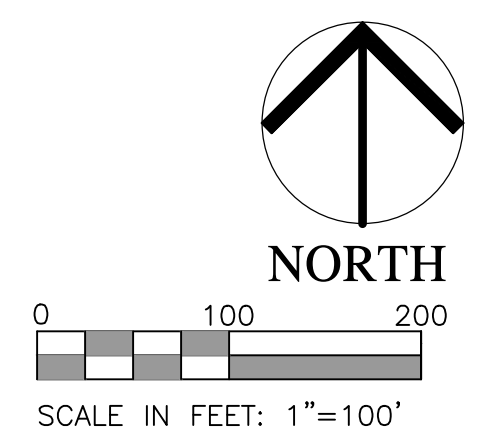
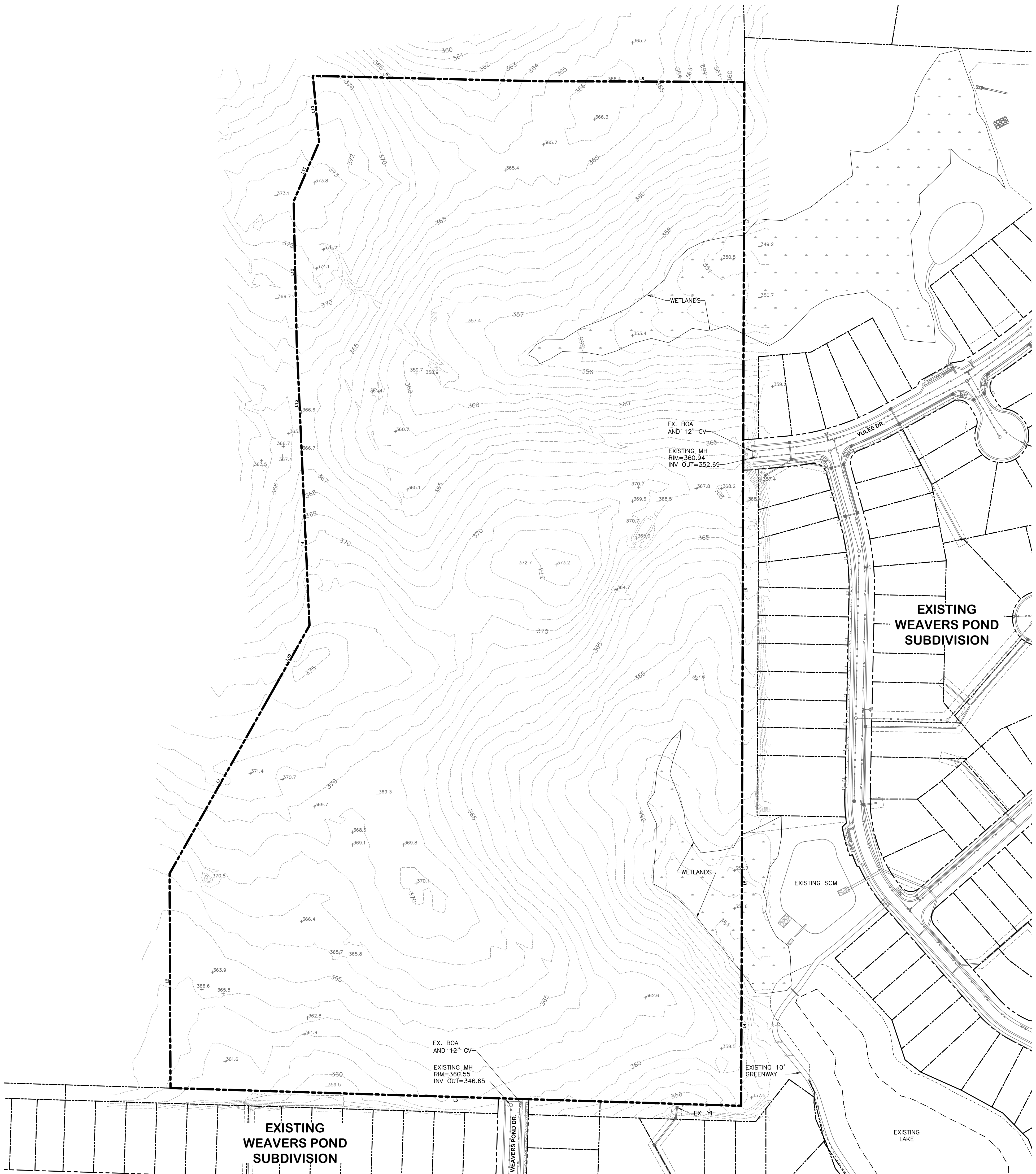
EXISTING
CONDITIONS

DWG. NO. SITE 2

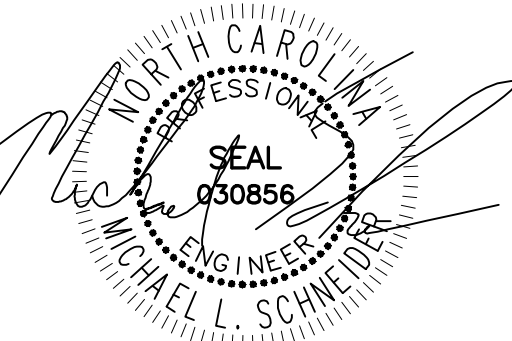
EXIST. CONDITIONS/DEMOLITION NOTES

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3. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
4. CONTRACTOR IS RESPONSIBLE FOR REMOVING OR RELOCATING ALL UTILITIES IN CONFLICT WITH NEW CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO DISTURBANCE.
5. CONTRACTOR SHALL DISPOSE OF ALL MATERIALS IN ACCORDANCE WITH ALL LOCAL AND STATE REGULATIONS.

PROPERTY LINE TABLE		
LINE	BEARING	DISTANCE
L1	S29°25'35"W	410.17'
L2	S0°13'56"E	421.29'
L3	S88°12'45"E	1121.08'
L4	N0°10'44"E	314.71'
L5	N0°10'44"E	247.07'
L6	N0°10'44"E	902.26'
L7	N0°10'44"E	546.54'
L8	N89°49'16"W	402.92'
L9	N88°38'39"W	444.40'
L10	S5°21'34"E	130.41'
L11	S23°12'17"W	126.59'
L12	S1°13'47"E	277.68'
L13	S2°35'08"E	238.30'
L14	S2°35'08"E	317.62'
L15	S29°25'35"W	148.88'



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06-08-24

WEAVER'S POINTE SUBDIVISION

**0 WEAVERS POND DRIVE
ZEBULON, NC**

ISSUED: 14 FEB 2024

REVISIONS:

- ▲ 17 APRIL 2024
PER TOWN/WAKE COUNTY REVIEW
- ▲ 08 JUNE 2024
PER TOWN/WAKE COUNTY REVIEW

DRAWN BY: JET

CHECKED BY: MLS

PROJECT: FDCWP9

**OVERALL
SITE PLAN**

DWG. NO. **SITE 3**

GENERAL NOTES

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5. ALL GREENWAYS ARE TO BE PRIVATE.

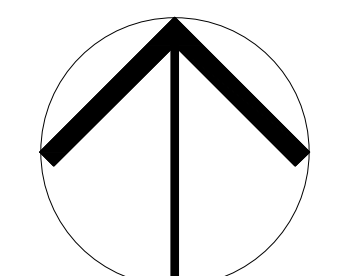
STRIPING NOTES

1. ALL STRIPING SHALL BE THERMOPLASTIC.

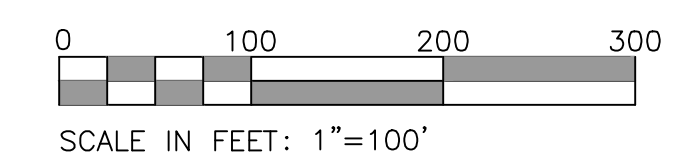
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**TEMPORARY FIRE-TRUCK TURN
AROUND SPECIFICATIONS**

THE TURNAROUND SHALL CONSIST OF 8" CABC. THE CABC SHOULD BE COMPACTED TO 100 PERCENT OF AASHTO T-180 AS MODIFIED BY NCDOT. PRIOR TO PLACEMENT OF THE STONE, SUBGRADE SHOULD BE COMPACTED TO AT LEAST 98 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY WITH COMPACTION MOISTURE WITHIN 2 PERCENT OF OPTIMUM MOISTURE CONTENT. A NON-WOVEN SEPARATOR FABRIC EQUIVALENT TO MIRA1140N SHOULD BE PLACED ON THE SUBGRADE PRIOR TO PLACEMENT OF THE STONE.



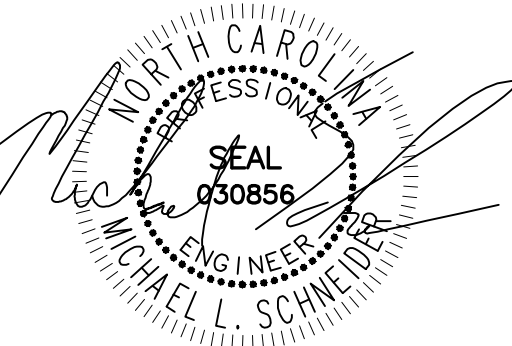
NORTH





HELMINTLANDDESIGN PLLC

8522-204 SIX FORKS ROAD
RALEIGH, NORTH CAROLINA 27615
919.845.7600 PHONE
919.845.7703 FAX
ENGR. FIRM LICENSE NO. F-0843



06-08-24

WEAVER'S POINTE SUBDIVISION

0 WEAVERS POND DRIVE
ZEBULON, NC

ISSUED: 14 FEB 2024

REVISIONS:

- 17 APRIL 2024
PER TOWN/WAKE COUNTY REVIEW
- 08 JUNE 2024
PER TOWN/WAKE COUNTY REVIEW

DRAWN BY: JET
CHECKED BY: MLS

PROJECT: FDCWP9

DETAILED
SITE PLAN
SHEET 1 OF 2

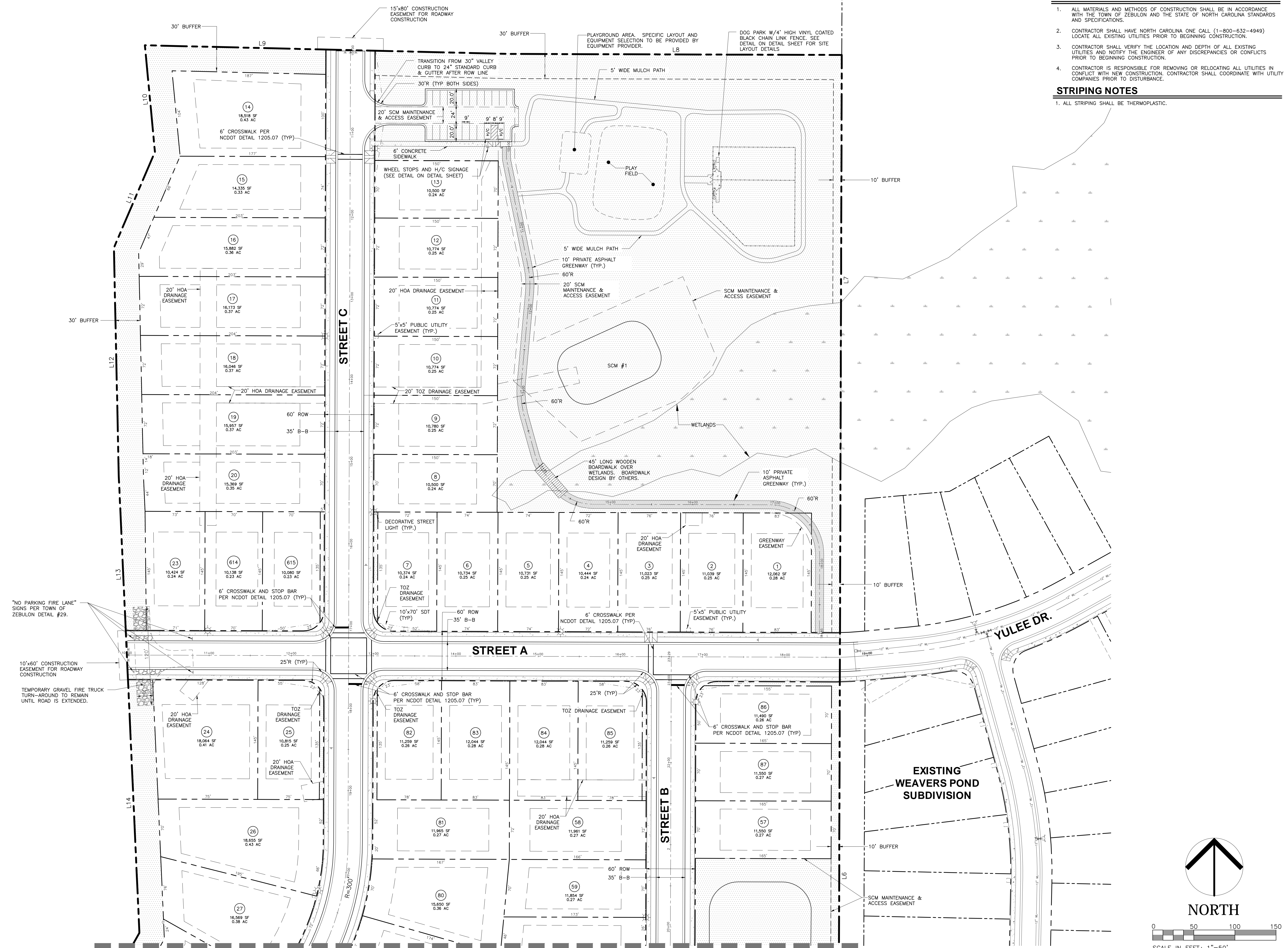
DWG. NO. SITE 4

GENERAL NOTES

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- CONTRACTOR IS RESPONSIBLE FOR REMOVING OR RELOCATING ALL UTILITIES IN CONFLICT WITH NEW CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO DISTURBANCE.

STRIPING NOTES

- ALL STRIPING SHALL BE THERMOPLASTIC.



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WEAVER'S POINTE SUBDIVISION
0 WEAVER'S POND DRIVE
ZEBULON, NC

ISSUED: 14 FEB 2024

REVISIONS:

- ▲ 17 APRIL 2024
PER TOWN/WAKE COUNTY REVIEW
- ▲ 08 JUNE 2024
PER TOWN/WAKE COUNTY REVIEW

DRAWN BY: JET
 CHECKED BY: MLS
 PROJECT: FDCWP9

**DETAILED
 SITE PLAN
 SHEET 2 OF 2**

DWG. NO. **SITE 5**

GENERAL NOTES

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STRIPING NOTES

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HELMUTH & BOND DESIGN PLLC

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919.845.7600 PHONE
919.845.7703 FAX
ENGR. FIRM LICENSE NO. F-0843



06-08-24

WEAVER'S POINTE SUBDIVISION

0 WEAVERS POND DRIVE
ZEBULON, NC

ISSUED: 14 FEB 2024

REVISIONS:
▲ 17 APRIL 2024
PER TOWN/WAKE COUNTY REVIEW
▲ 08 JUNE 2024
PER TOWN/WAKE COUNTY REVIEW

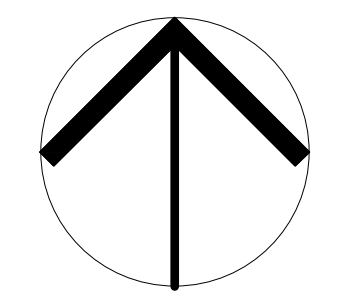
DRAWN BY: JET
CHECKED BY: MLS
PROJECT: FDCWP9

OVERALL
GRADING PLAN

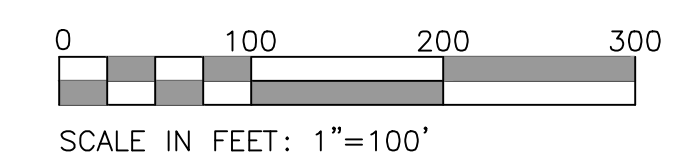
DWG. NO. SITE 6.0

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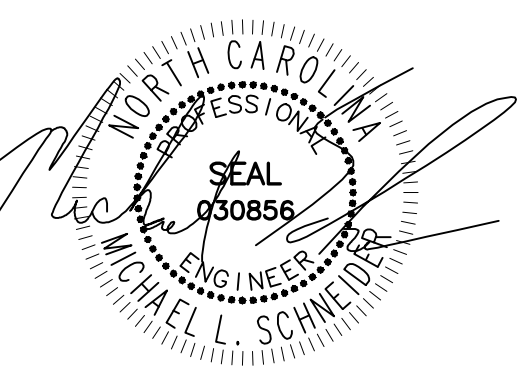
NORTH



F:\Projects\FDCWP9\Drawings\Site\FDCWP9_Base.dwg - 6-OVERALL GRADING Jun 07, '24 - 10:18am



HELMUTH & BOND
 8522-204 SIX FORKS ROAD
 RALEIGH, NORTH CAROLINA 27615
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 919.845.7703 FAX
 ENGR. FIRM LICENSE NO. F-0843



06-08-24

WEAVER'S POINTE SUBDIVISION

**0 WEAVERS POND DRIVE
 ZEBULON, NC**

ISSUED: 14 FEB 2024

- REVISIONS:
- ▲ 17 APRIL 2024
PER TOWN/WAKE COUNTY REVIEW
 - ▲ 08 JUNE 2024
PER TOWN/WAKE COUNTY REVIEW

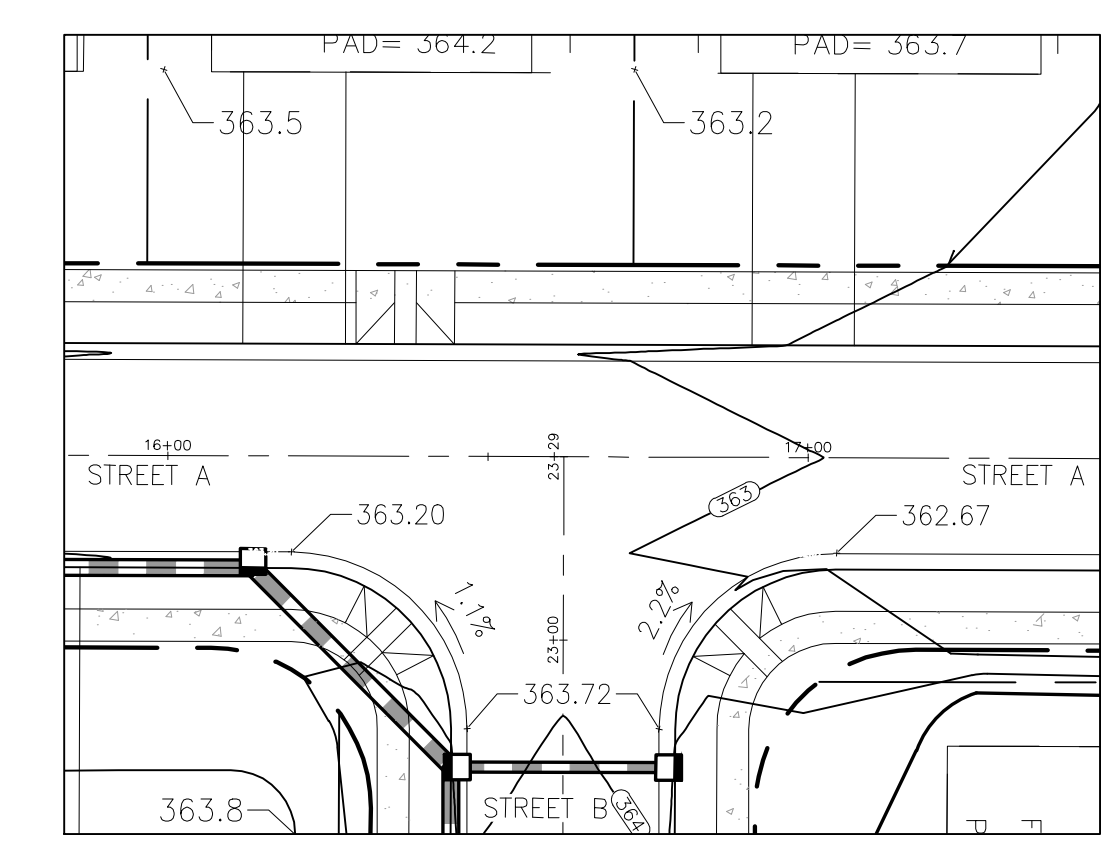
DRAWN BY: JET
 CHECKED BY: MLS
 PROJECT: FDCWP9

**DETAILED
 GRADING PLAN
 SHEET 1 OF 2**

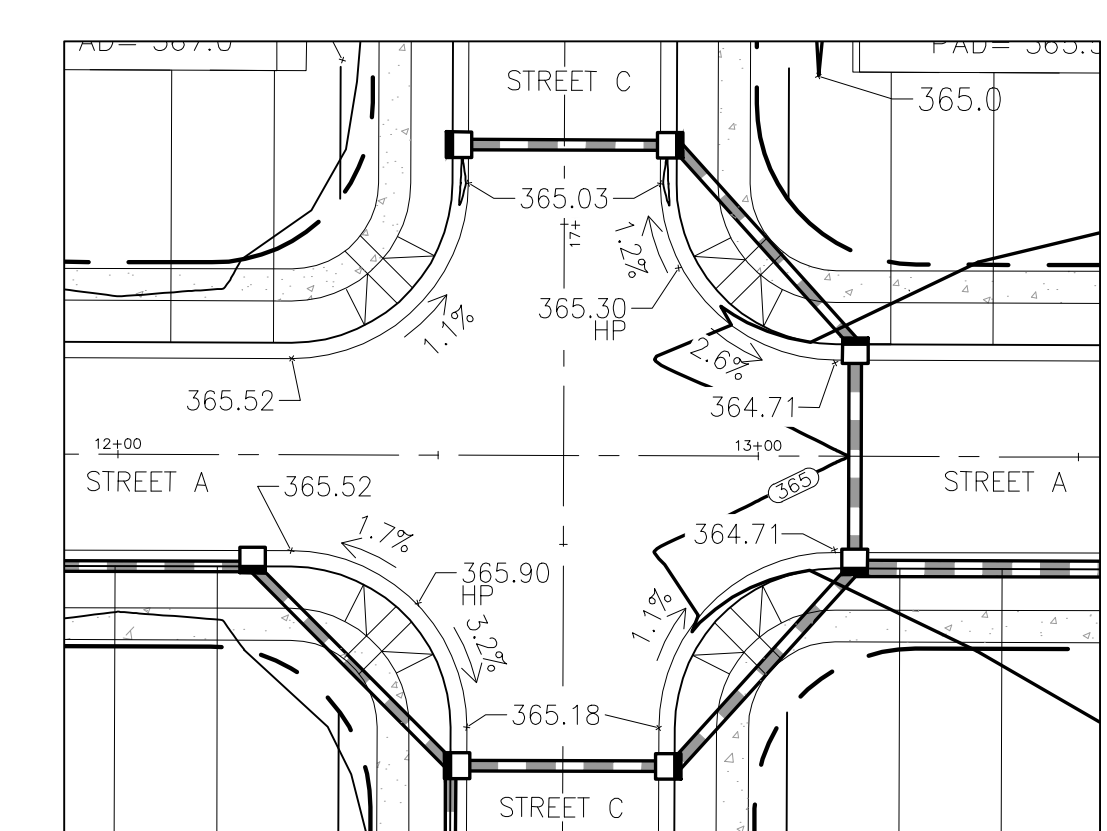
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GENERAL NOTES

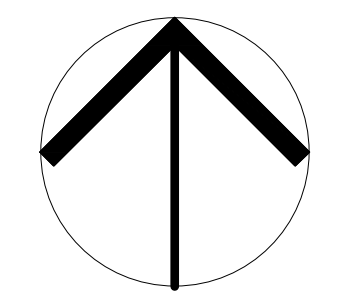
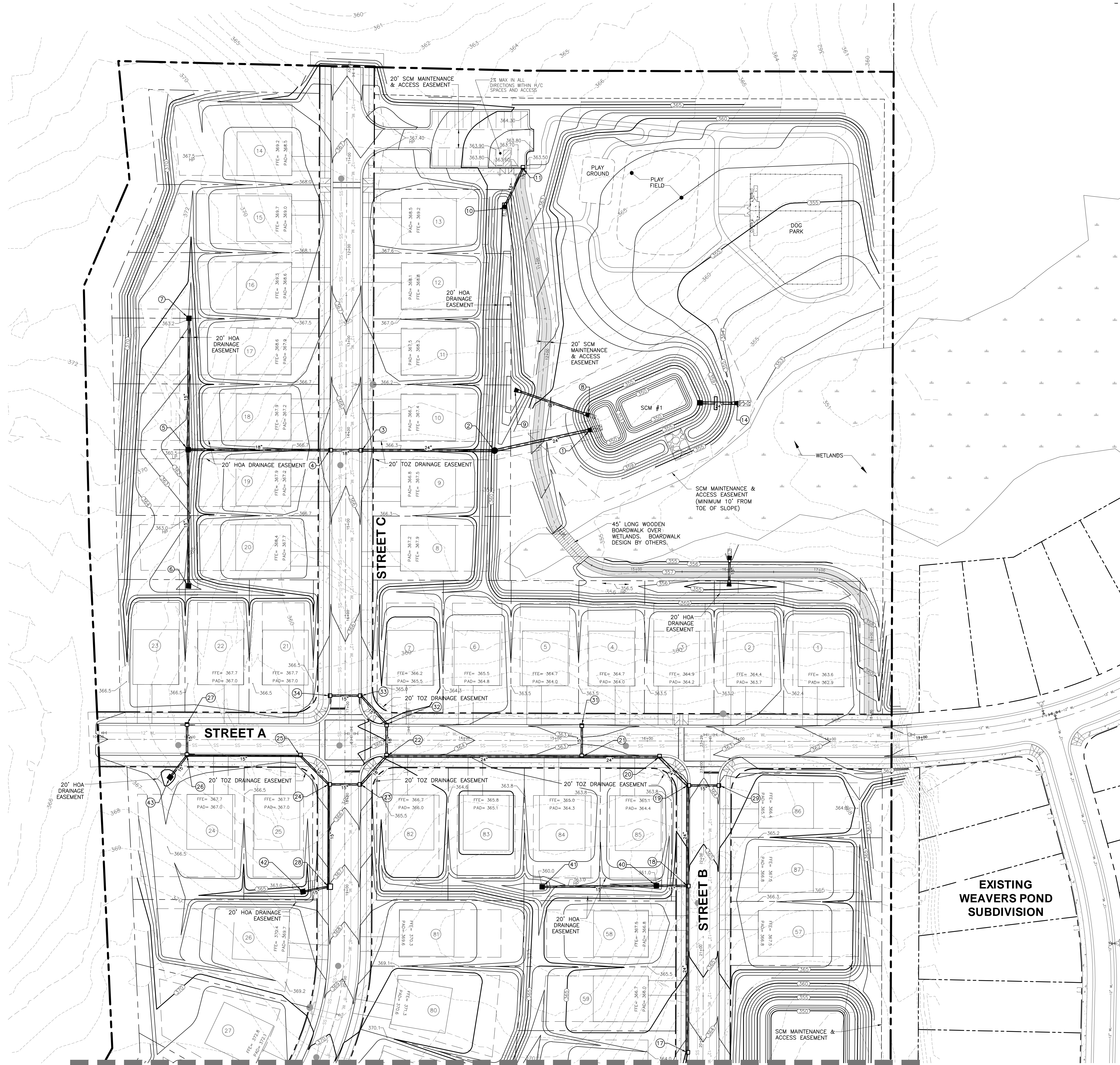
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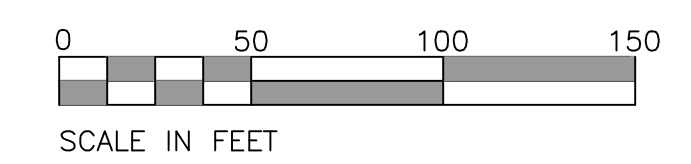
**SPOT ELEVATIONS FOR
 STREET 'A' & STREET 'B' INTERSECTION**
 SCALE: 1"=30'



**SPOT ELEVATIONS FOR
 STREET 'A' & STREET 'C' INTERSECTION**
 SCALE: 1"=30'



NORTH



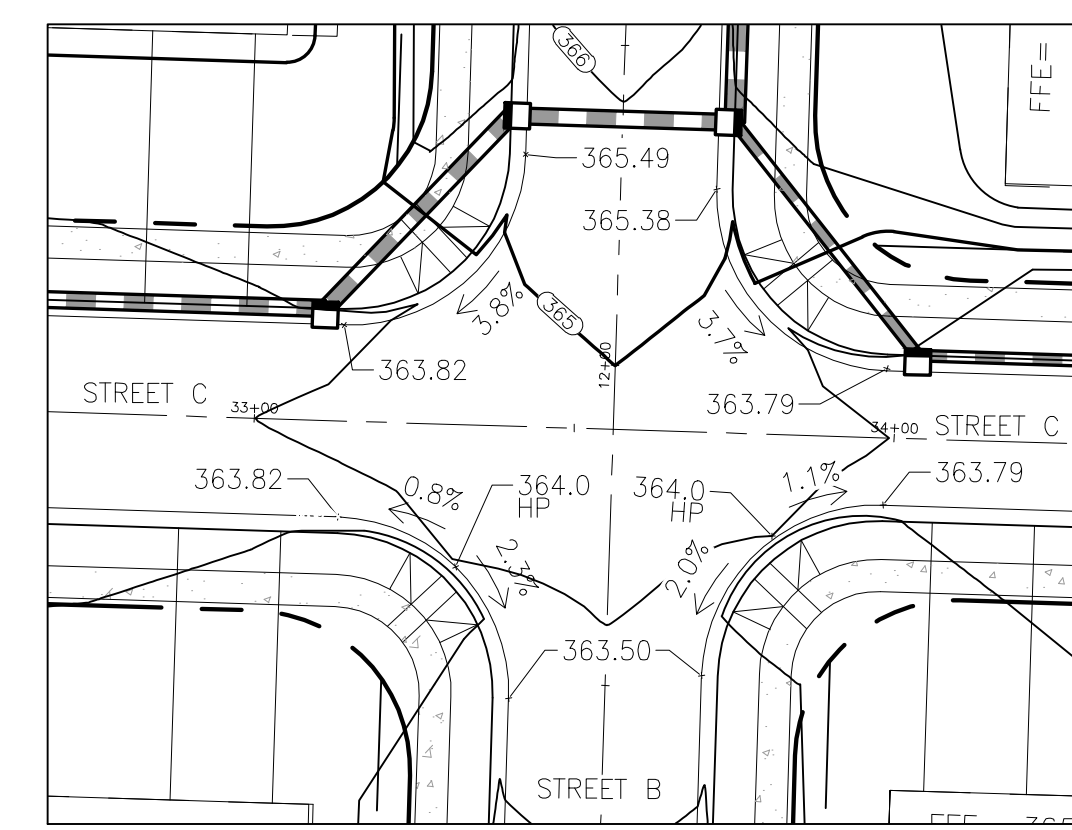
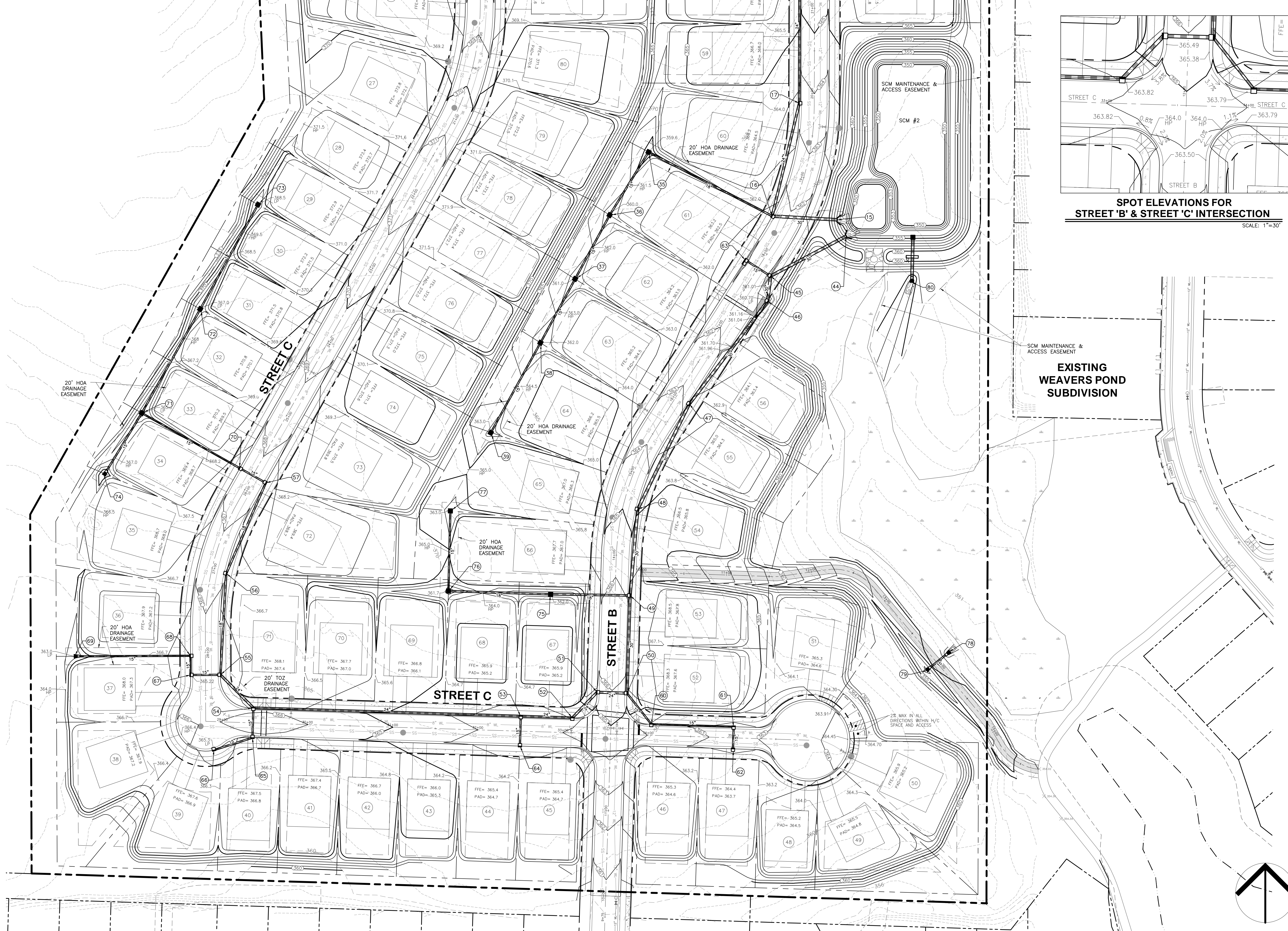
SEE NEXT SHEET

SEE NEXT SHEET

F:\Projects\FDCWP9\Drawings\Site\FDCWP9_Base.dwg - 7-8 DETAILED GRADING Jun 07, '24 - 10:19am

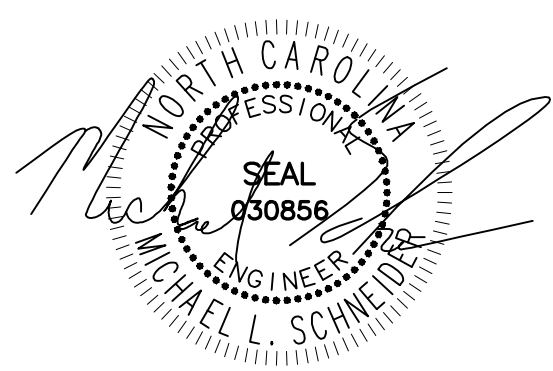
SEE PREVIOUS SHEET

SEE PREVIOUS SHEET



SPOT ELEVATIONS FOR STREET 'B' & STREET 'C' INTERSECTION
SCALE: 1"=30'

PID
HEMPTIANDSIGN PLLC
 8522-204 SIX FORKS ROAD
 RALEIGH, NORTH CAROLINA 27615
 919.845.7600 PHONE
 919.845.7703 FAX
 ENGR. FIRM LICENSE NO. F-0843



06-08-24

WEAVER'S POINTE SUBDIVISION

**0 WEAVERS POND DRIVE
ZEBULON, NC**

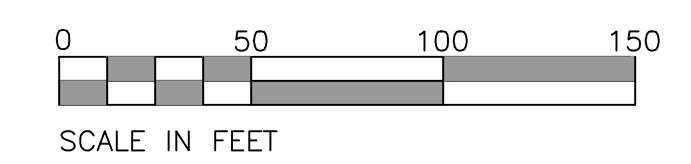
ISSUED: 14 FEB 2024

- REVISIONS:
- ▲ 17 APRIL 2024
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 - ▲ 08 JUNE 2024
PER TOWN/WAKE COUNTY REVIEW

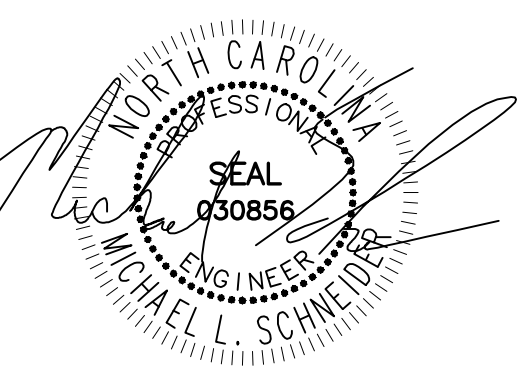
DRAWN BY: JET
 CHECKED BY: MLS
 PROJECT: FDCWP9

**DETAILED
GRADING PLAN
SHEET 2 OF 2**

DWG. NO. **SITE 8**



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06-08-24

WEAVER'S POINTE SUBDIVISION

0 WEAVERS POND DRIVE
ZEBULON, NC

ISSUED: 14 FEB 2024

REVISIONS:
 17 APRIL 2024
 PER TOWN/WAKE COUNTY REVIEW
 08 JUNE 2024
 PER TOWN/WAKE COUNTY REVIEW

DRAWN BY: JET
 CHECKED BY: MLS
 PROJECT: FDCWP9

OVERALL
 UTILITY PLAN

DWG. NO. SITE 9

STANDARD UTILITY NOTES

- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition)
- Utility separation requirements:
 - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to watertight specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well.
 - When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
 - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to watertight specifications.
 - 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer
 - Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 18" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49).
 - All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
- Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.
- Developer shall provide 30 days advance written notice to owner for any work required within an existing City of Raleigh Utility Easement traversing private property.
- Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24-hour advance notice to the City of Raleigh Public Utilities Department.
- SEWER BYPASS PUMPING - A bypass plan sealed by an NC Professional Engineer shall be provided to Raleigh Water prior to pumping operations for approval. The operations and equipment shall comply with the Public Utilities Handbook.
- 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all reuse mains.
- It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure.
- Install 3/4" copper* water services with meters located at ROW or within a 2'x2' Waterline Easement immediately adjacent. NOTE: It is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.
- Install 4" PVC* sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum.
- Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole.
- All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
- NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction.
- Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the RW FOG Program Coordinator prior to issuance of a UC and/or Building Permit. Contact (919) 996-4516 or rog@raleighnc.gov for more information.
- Cross-connection control protection devices are required based on the degree of health hazard involved as listed in Appendix B of the Rules Governing Public Water Systems in North Carolina.
- The devices shall meet the American Society of Sanitary Engineering (ASAE) standards and be on the University of Southern California approval list.
- The device and installation shall meet the guidelines of Appendix A - Guidelines and Requirements for the Cross Connection Program in Raleigh's Service Area.
- The devices shall be installed and tested (both, initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross connection control program, whichever is more stringent. Contact Cross.Connection@raleighnc.gov for more information.
- NOTICE for projects that involve an oversized main or urban main replacement. Any City reimbursement greater than \$250,000.00 must undergo the public bidding process.
- Any water meter installed outside of the ROW will need a CORWLE dedicated with the plot.

GENERAL NOTES

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- AN INDIVIDUAL BOOSTER PUMP TANK SHALL BE INSTALLED ON ANY LOT HAVING WATER SERVICE PRESSURES BELOW 40 PSI.
- ALL SANITARY SEWER SHOWN ON PLAN IS 8" DIAMETER UNLESS OTHERWISE NOTED.

ATTENTION CONTRACTORS

The Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Utilities Inspector at 919-996-3245 or <https://cityworks.raleighnc.gov/contractors/New> and schedule a Pre-construction meeting prior to beginning any construction.

Raleigh Water must be contacted at (919) 996-4540 at least twenty-four hours prior to beginning any work activity around critical water and sewer infrastructure.

Failure to notify the Divisions in advance of beginning construction, will result in the issuance of monetary fines, and require reinstatement of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a downstream plug, have permitted plans on the jobsite, or any other violation of City of Raleigh Standards will result in a fine and possible exclusion from future work in the City of Raleigh.

Public
Water Distribution / Extension System
 The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
 Public Utilities Department Permit # **W-4115**
 Authorization to Construct [See digital signature](#)

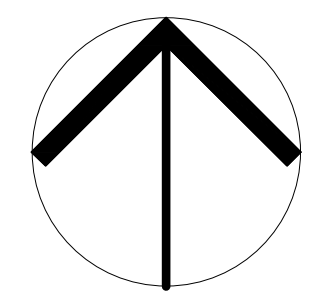
Public
Sewer Collection / Extension System
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City of Raleigh
 Public Utilities Department Permit # **S-5459**
 Authorization to Construct [See digital signature](#)

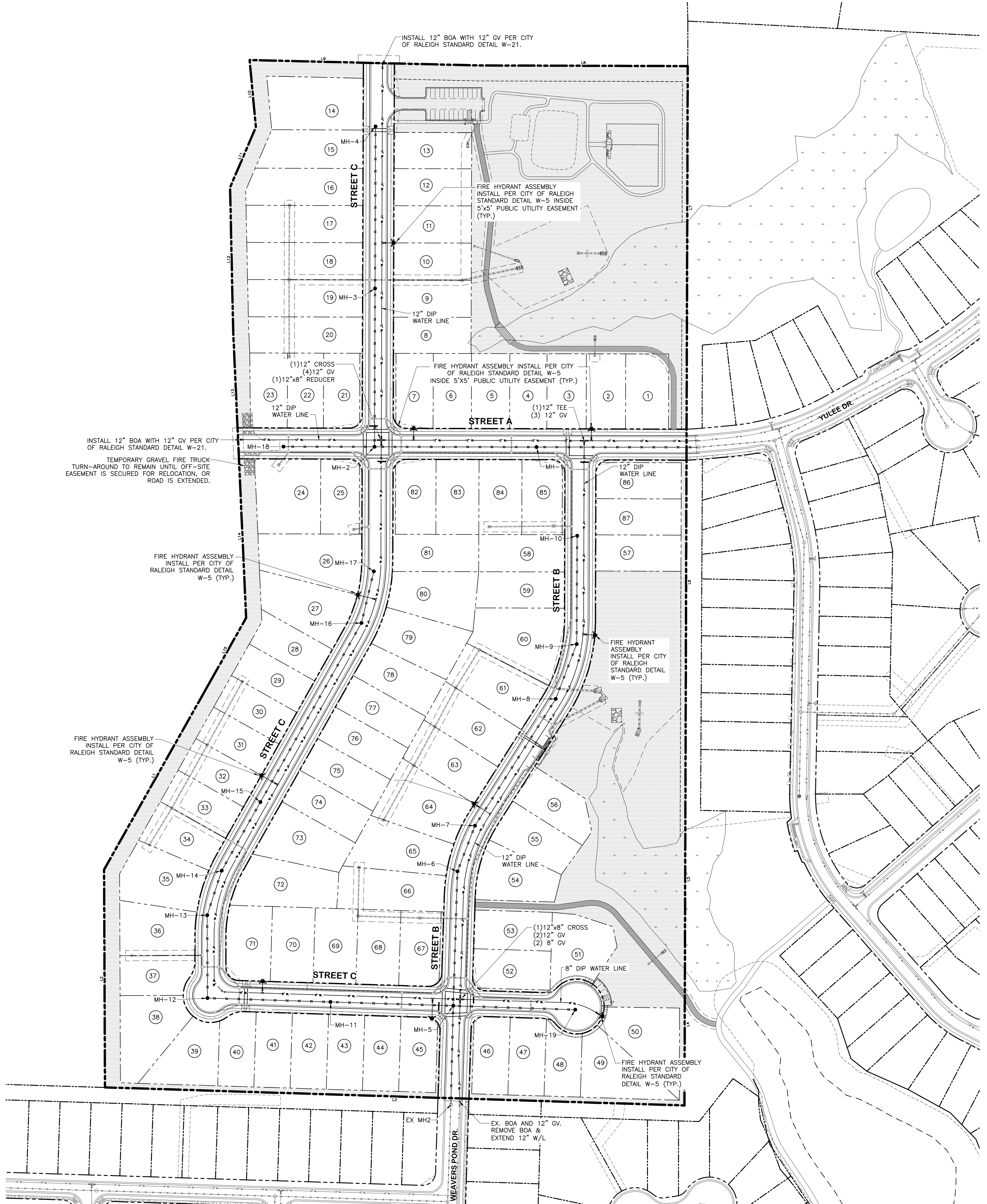
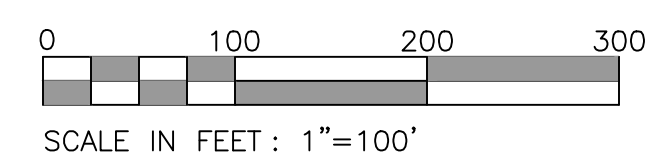
INFRASTRUCTURE CONSTRUCTION PLAN APPROVAL
 CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

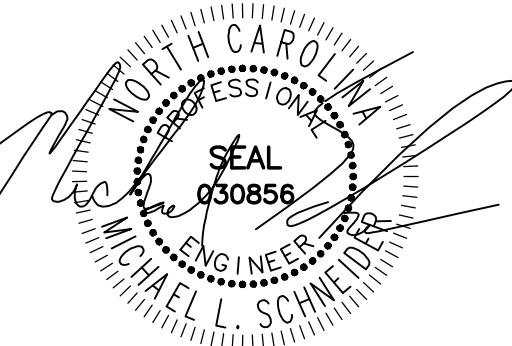
All Construction must be in accordance with all Local, State, and Federal Rules and Regulations.

PUBLIC UTILITIES _____



NORTH





06-08-24

WEAVER'S POINTE SUBDIVISION

0 WEAVERS POND DRIVE
ZEBULON, NC

ISSUED: 14 FEB 2024

REVISIONS:

- ▲ 17 APRIL 2024
PER TOWN/WAKE COUNTY REVIEW
- ▲ 08 JUNE 2024
PER TOWN/WAKE COUNTY REVIEW

DRAWN BY: JET

CHECKED BY: MLS

PROJECT: FDCWP9

DETAILED
UTILITY PAN
SHEET 1 OF 2

DWG. NO. SITE 10

GENERAL NOTES

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Sewer Collection / Extension System

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City of Raleigh
Public Utilities Department Permit # S-5459

Authorization to Construct _____

Date _____

Public
Water Distribution / Extension System

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City of Raleigh
Public Utilities Department Permit # W-4115

Authorization to Construct _____

Date _____

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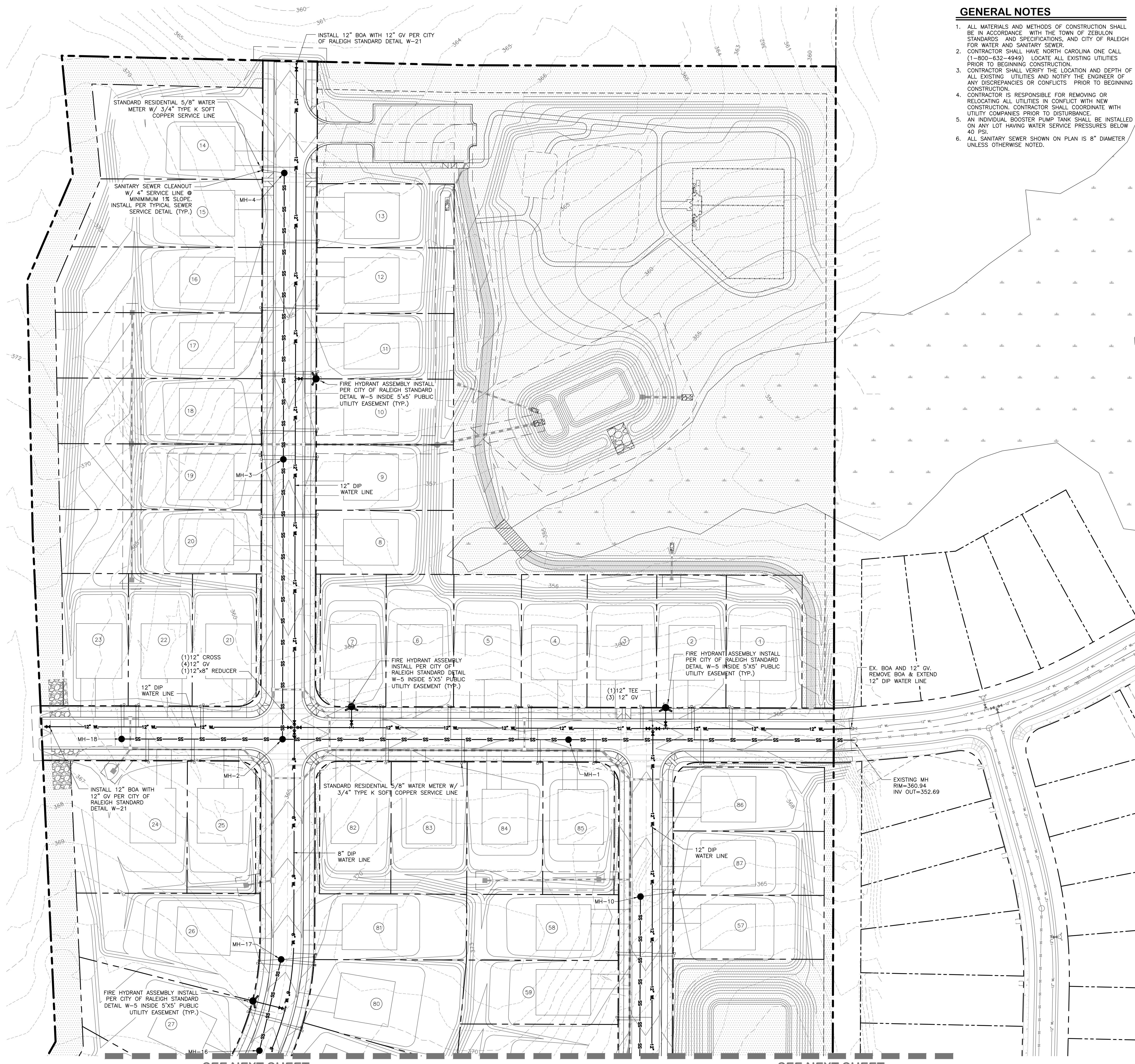
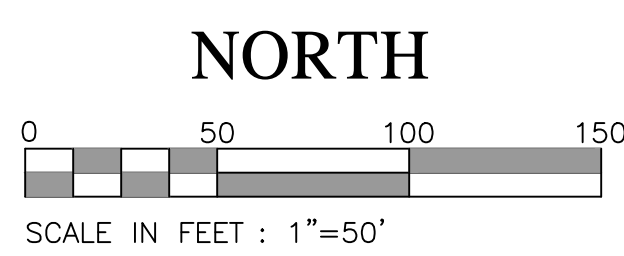
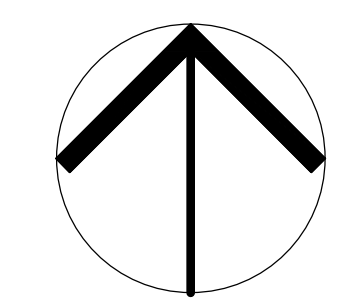
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INFRASTRUCTURE CONSTRUCTION PLAN APPROVAL

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

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PUBLIC UTILITIES _____



SEE NEXT SHEET

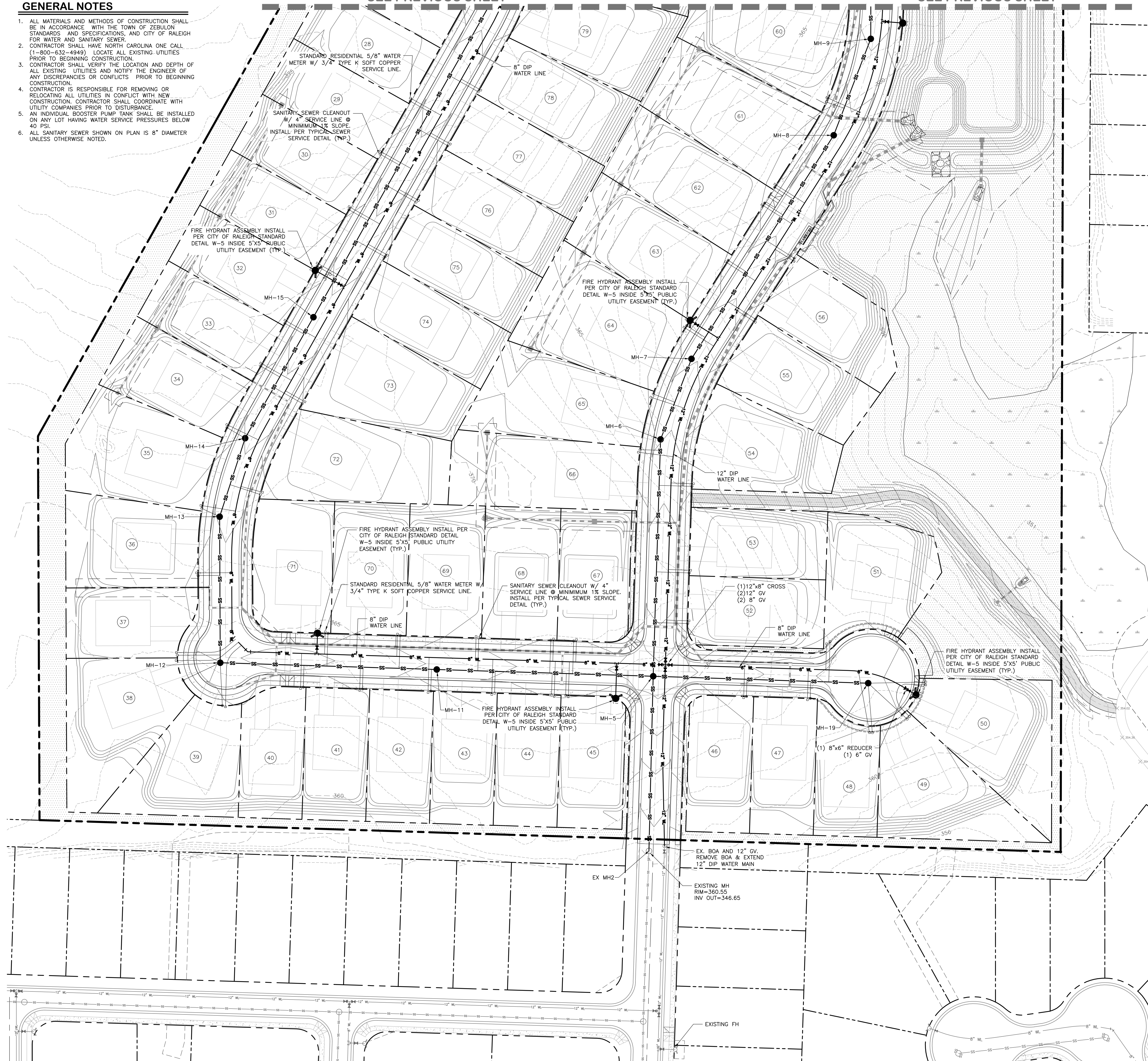
SEE NEXT SHEET

GENERAL NOTES

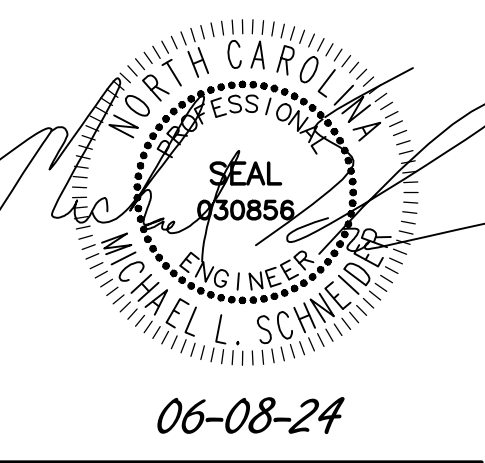
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SEE PREVIOUS SHEET

SEE PREVIOUS SHEET



PID
HELMUTH AND DESIGN PLLC
 8522-204 SIX FORKS ROAD
 RALEIGH, NORTH CAROLINA 27615
 919.845.7600 PHONE
 919.845.7703 FAX
 ENGR. FIRM LICENSE NO. F-0843



Public
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City of Raleigh
 Public Utilities Department Permit # **S-5459**

Authorization to Construct _____
 Date _____

Public
Water Distribution / Extension System

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City of Raleigh
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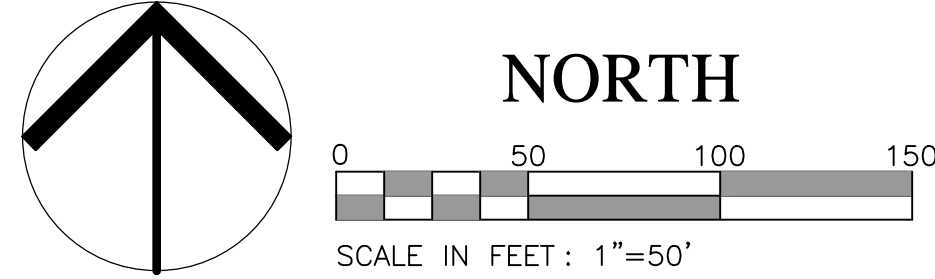
Failure to call for Inspection, install a downstream plug, have permitted plans on the jobsite, or any other violation of City of Raleigh Standards will result in a fine and possible exclusion from future work in the City of Raleigh.

INFRASTRUCTURE CONSTRUCTION PLAN APPROVAL

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

All Construction must be in accordance with all Local, State, and Federal Rules and Regulations.

PUBLIC UTILITIES _____



WEAVER'S POINTE SUBDIVISION
0 WEAVER'S POND DRIVE
ZEBULON, NC

ISSUED: 14 FEB 2024

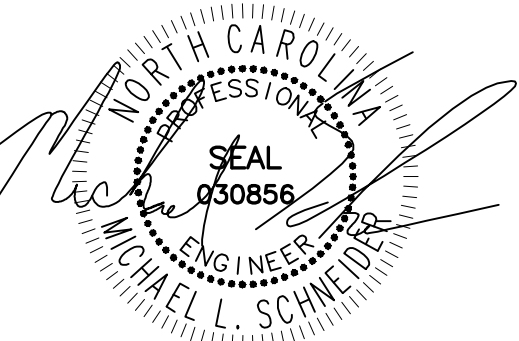
- REVISIONS:
- 17 APRIL 2024 PER TOWN/WAKE COUNTY REVIEW
 - 08 JUNE 2024 PER TOWN/WAKE COUNTY REVIEW

DRAWN BY: JET
 CHECKED BY: MLS
 PROJECT: FDCWP9

**DETAILED
 UTILITY PLAN
 SHEET 2 OF 2**

DWG. NO. **SITE 11**

F:\Projects\FDCWP9\Drawings\Site\FDCWP9_Base.dwg - 10-11 DETAILED UTILITY Jun 07 '24 - 10:22am



04-17-24

WEAVER'S POINTE SUBDIVISION

0 WEAVERS POND DRIVE
ZEBULON, NC

ISSUED: 14 FEB 2024

REVISIONS:

17 APRIL 20124
PER TOWN/WAKE COUNTY REVIEW

DRAWN BY: JEB

CHECKED BY: MLS

PROJECT: FDCWP9

STAGE ONE
EROSION CONTROL
PLAN

DWG. NO. SITE 12

Required Wake County Basin Removal Sequence

- Schedule a site meeting with the Environmental Consultant to determine if a basin can be removed. Install silt fencing or other temporary erosion control measures as needed prior to removal of the basin.
- Contact NCDCEQ - Raleigh Regional Office (919) 791-4200 to determine the Division of Energy, Mineral and Land Resources contact person to receive dewatering notifications. At least 10 days prior to beginning dewatering activity, send Email to NCDCEQ-DEMLR contact person and copy Environmental Consultant that met you onsite. The email should include: EASC Jurisdiction: Wake County, Wake County Project: Name, Number, and Location (city/town), Environmental Consultant Name, and address the following: a) Reason for conversion, b) Basin #, c) Dewatering method, and d) all other necessary info from Part II, Section G, Item 4 of the NCG01. (Keep email for your NPDES monitoring documentation)
- After receiving positive confirmation from NCDCEQ-DEMLR that you may remove the basin OR on > Day 11, whichever is sooner. Remove Basin(s) and associated temporary diversion ditches. If pipes need to be extended, perform this operation at this time. Fine grade area in preparation for seeding.
- Perform seedbed preparation, seed, mulch and anchor any resulting bare areas immediately.
- Install velocity dissipators and/or level spreaders as required on the Erosion Control Plan.
- When site is fully stabilized, call Environmental Consultant for approval of removing remaining temporary erosion control measures and advice on when site can be issued a Certificate of Completion. Note: A meeting should also be scheduled with the Environmental Consultant to determine when a basin may be converted for stormwater use. Some municipalities may also require this.

STABILIZATION NOTES

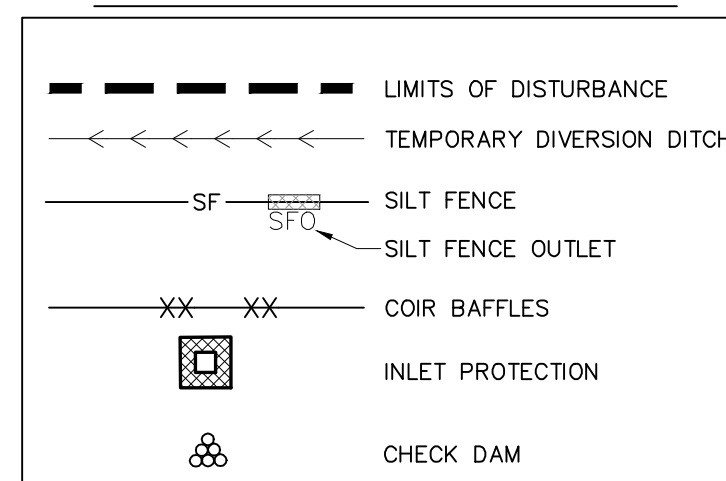
SLOPE	STABILIZATION
3:1 AND FLATTER	GRASS
3:1 TO 2:1 SLOPE	SLOPE ADAPTIVE PLANTS (SHRUBS AND VINES)
2:1 TO 1.5:1	RIP-RAP (OR AS APPROVED BY GEO-TECH)
STEEPER THAN 1.5 TO 1	RETAINING WALL
* SLOPES OF 2:1 OR STEEPER TO BE STABILIZED IMMEDIATELY WITH EXCELSIOR NETTING OR EQUAL	

*EROSION CONTROL MATTING SUFFICIENT FOR STABILIZATION IS REQUIRED FOR ALL SLOPES GREATER THAN 3:1 AND SLOPES GREATER THAN 5' TALL.

D) Ground Stabilization*		
Site Area Description	Stabilization Time Frame	Stabilization Time Frame Exceptions
Perimeter dikes, swales, ditches and slopes	7 days	None
High Quality Water (HQW) Zones	7 days	None
Slopes steeper than 3:1	7 days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed.
Slopes 3:1 or flatter	14 days	7-days for slopes greater than 50 feet in length
All other areas with slopes flatter than 4:1	14 days	None (except for perimeter and HQW Zones)

*"Extensions of time may be approved by the permitting authority based on weather or other site-specific conditions that make compliance impracticable." (Section II.B(2)(b))

EROSION CONTROL LEGEND

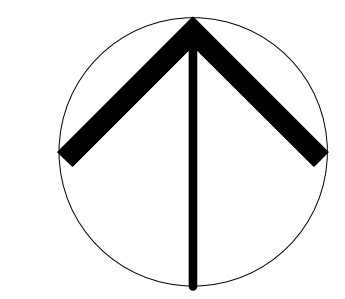
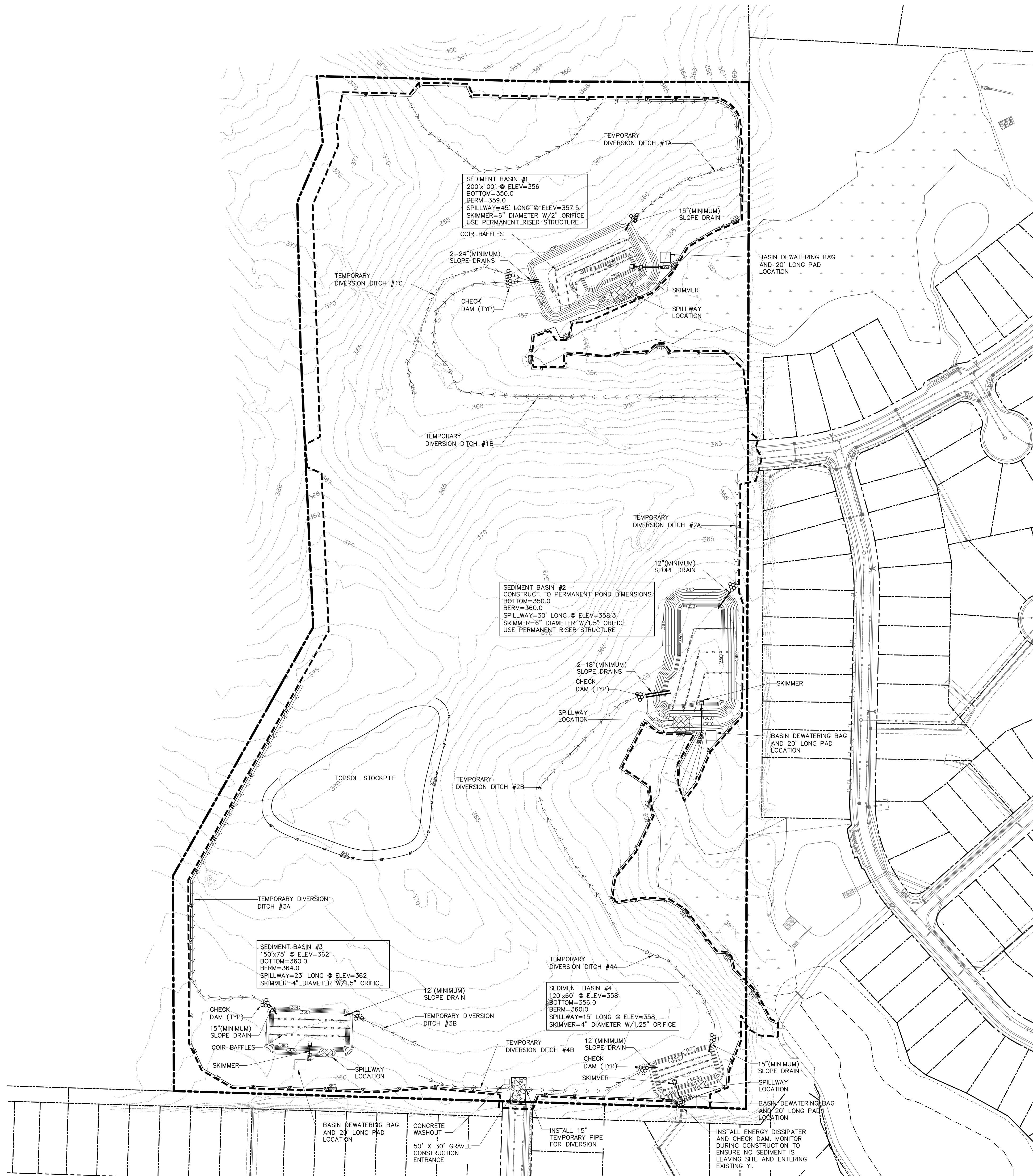


TEMPORARY DIVERSION DITCH DIMENSIONS

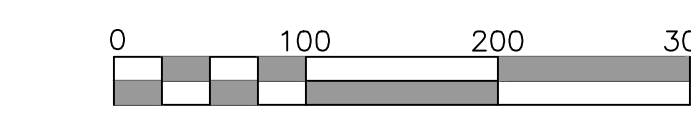
TEMPORARY DIVERSION DITCH #	BOTTOM WIDTH (FT)	DEPTH (FT)	LINING TYPE
1A	2.0	1.0	JUTE MAT
1B	2.0	2.0	JUTE MAT
2A	2.0	1.0	JUTE MAT
2B	2.0	2.0	JUTE MAT
3A	2.0	1.0	JUTE MAT
3B	2.0	1.0	JUTE MAT
4A	2.0	1.0	JUTE MAT
4B	2.0	1.0	JUTE MAT

DISTURBED AREA:

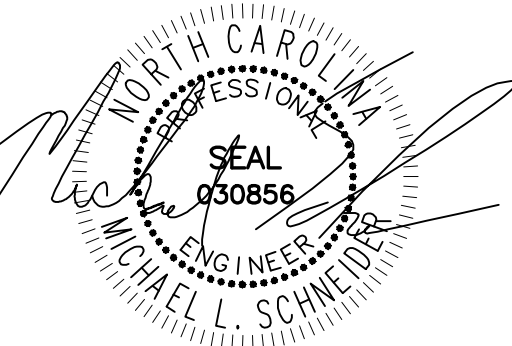
38.0 AC



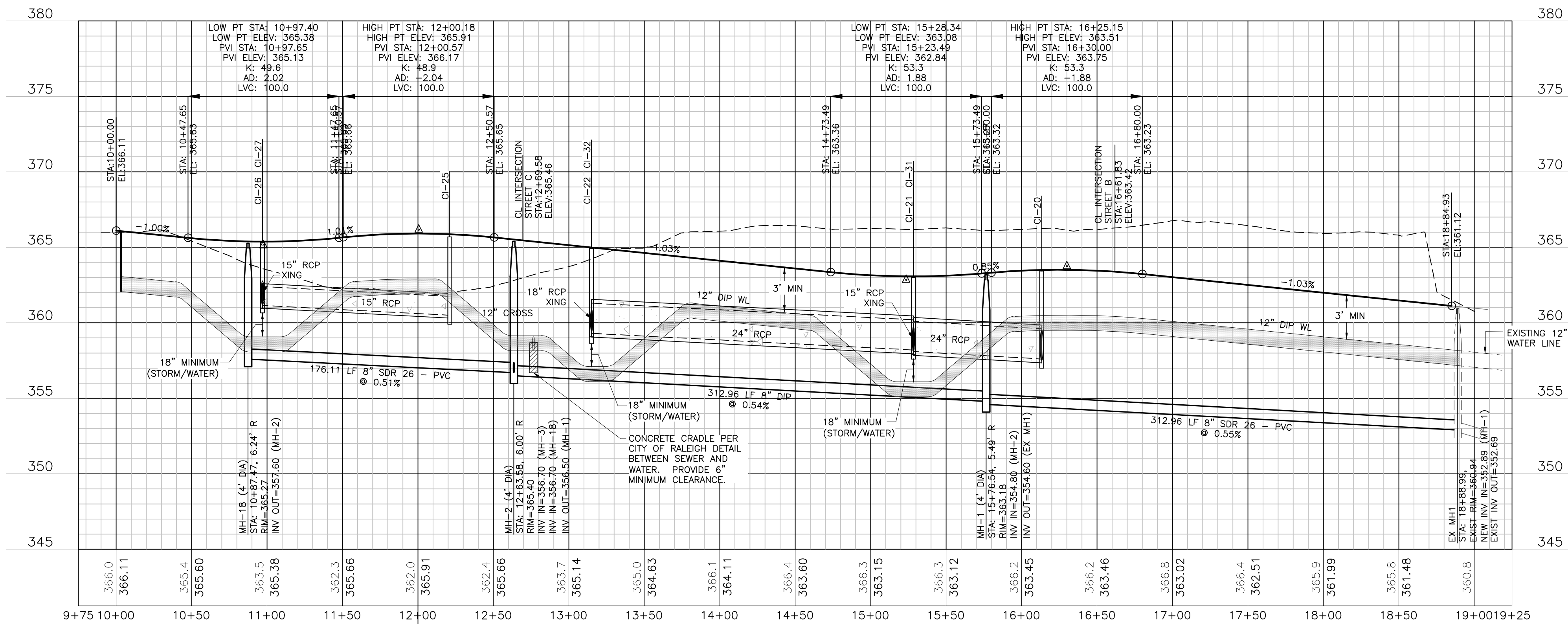
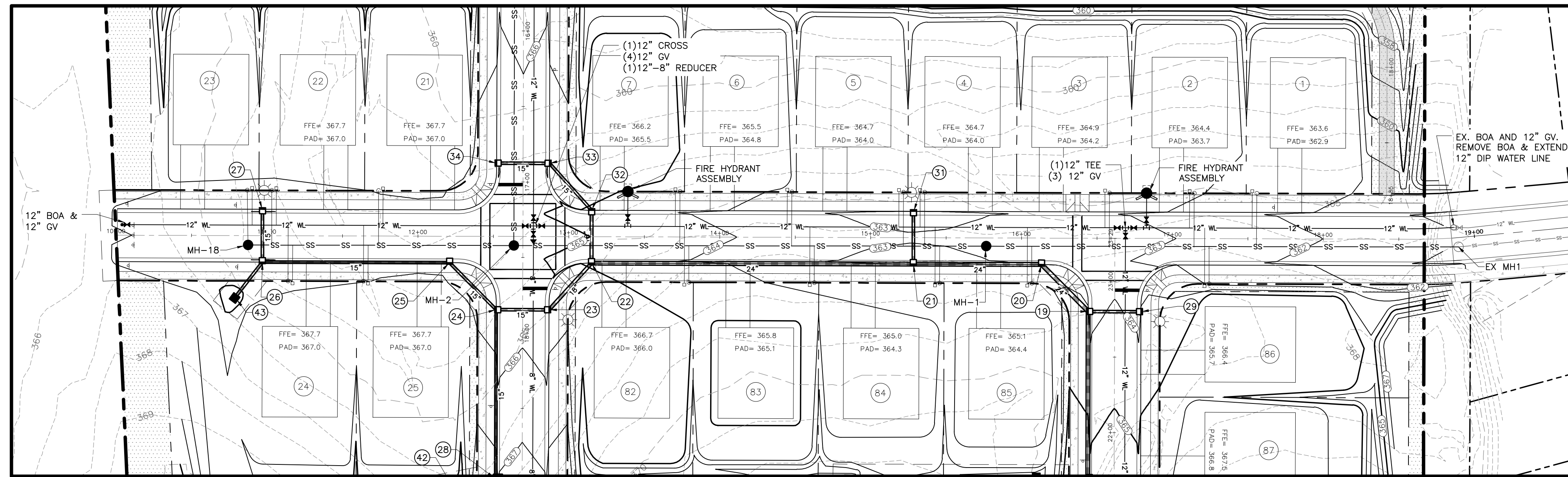
NORTH



SCALE IN FEET : 1"=100'



06-08-24



WEAVER'S POINTE SUBDIVISION

0 WEAVER'S POND DRIVE
ZEBULON, NC

ISSUED: 14 FEB 2024

REVISIONS:

- ▲ 17 APRIL 2024
PER TOWN/WAKE COUNTY REVIEW
- ▲ 08 JUNE 2024
PER TOWN/WAKE COUNTY REVIEW

Public
Sewer Collection / Extension System

The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # **S-5459**

Authorization to Construct _____
Date _____

Public
Water Distribution / Extension System

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City of Raleigh
Public Utilities Department Permit # **W-4115**

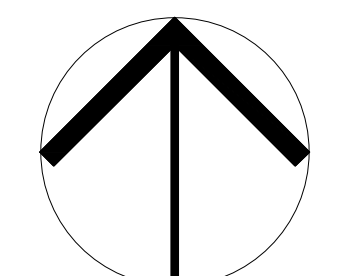
Authorization to Construct _____
Date _____

ATTENTION CONTRACTORS

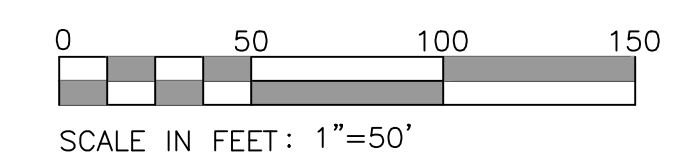
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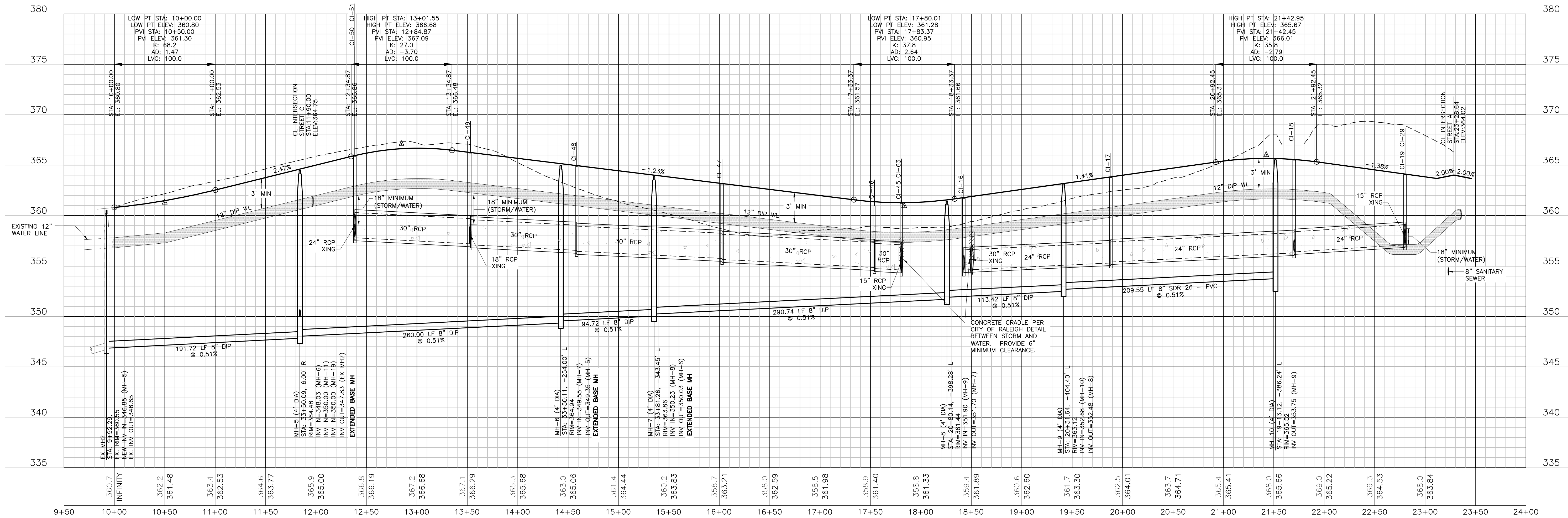
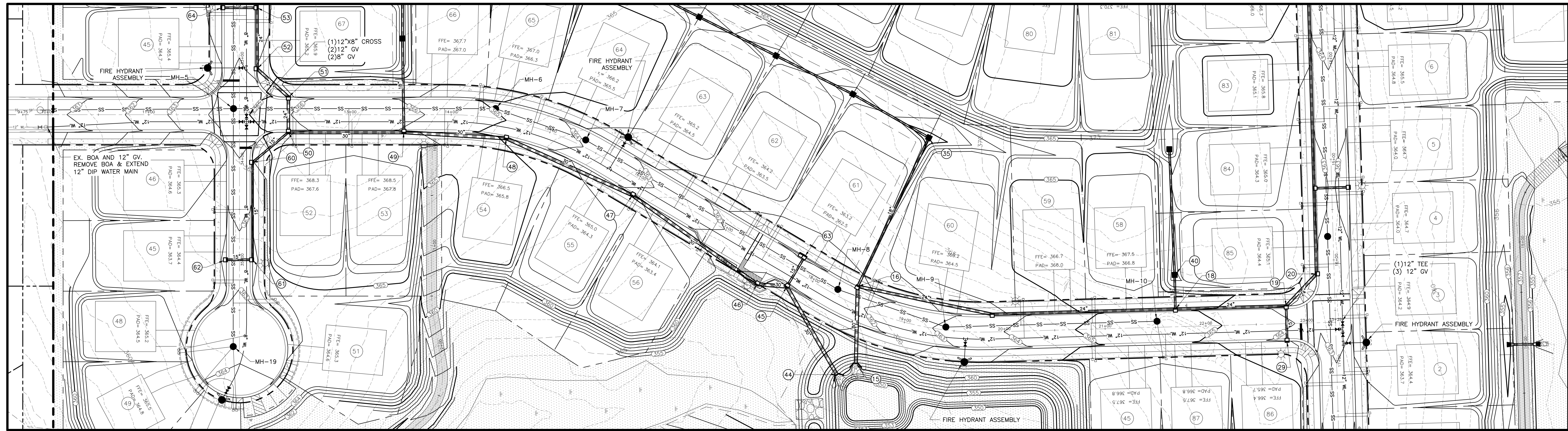
NORTH



DRAWN BY: JET
CHECKED BY: MLS
PROJECT: FDCWP9

STREET A
PLAN & PROFILE

DWG. NO. **SITE 14**



Public
Sewer Collection / Extension System

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City of Raleigh
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Date _____

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City of Raleigh
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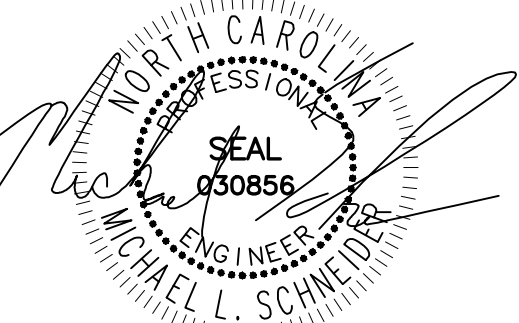
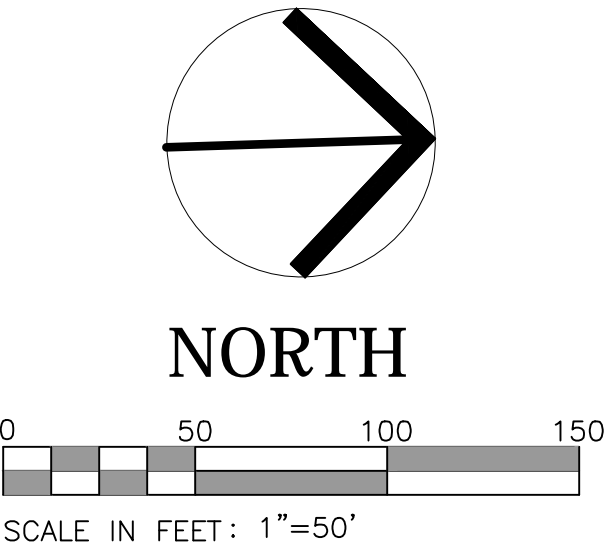
Date _____

ATTENTION CONTRACTORS

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06-08-24

WEAVER'S POINTE SUBDIVISION
0 WEAVERS POND DRIVE
ZEBULON, NC

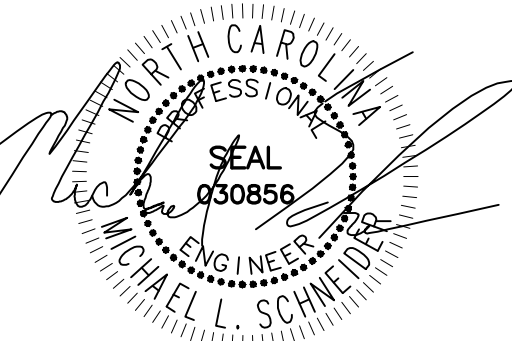
ISSUED: 14 FEB 2024

- REVISIONS:
- ▲ 17 APRIL 2024 PER TOWN/WAKE COUNTY REVIEW
 - ▲ 08 JUNE 2024 PER TOWN/WAKE COUNTY REVIEW

DRAWN BY: JET
CHECKED BY: MLS
PROJECT: FDCWP9

STREET B
PLAN & PROFILE

DWG. NO. **SITE 15.0**



06-08-24

WEAVER'S POINTE SUBDIVISION

0 WEAVERS POND DRIVE ZEBULON, NC

ISSUED: 14 FEB 2024

REVISIONS:

- 17 APRIL 2024
PER TOWN/WAKE COUNTY REVIEW
- 08 JUNE 2024
PER TOWN/WAKE COUNTY REVIEW

DRAWN BY: JET

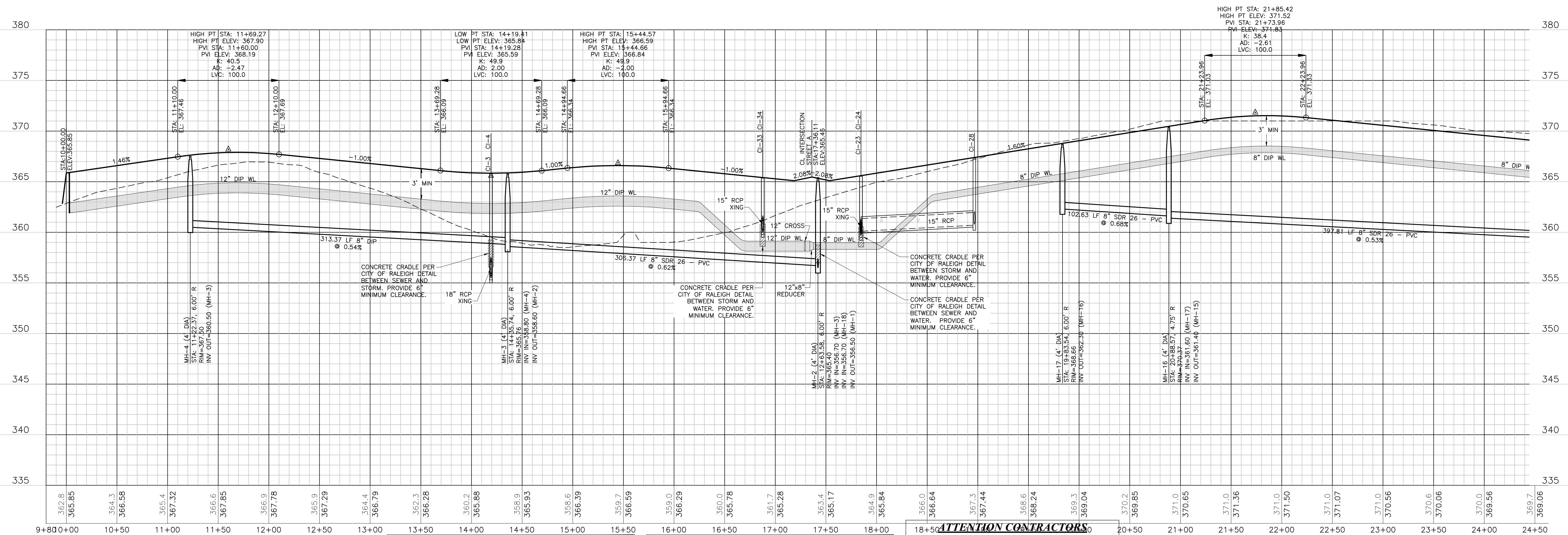
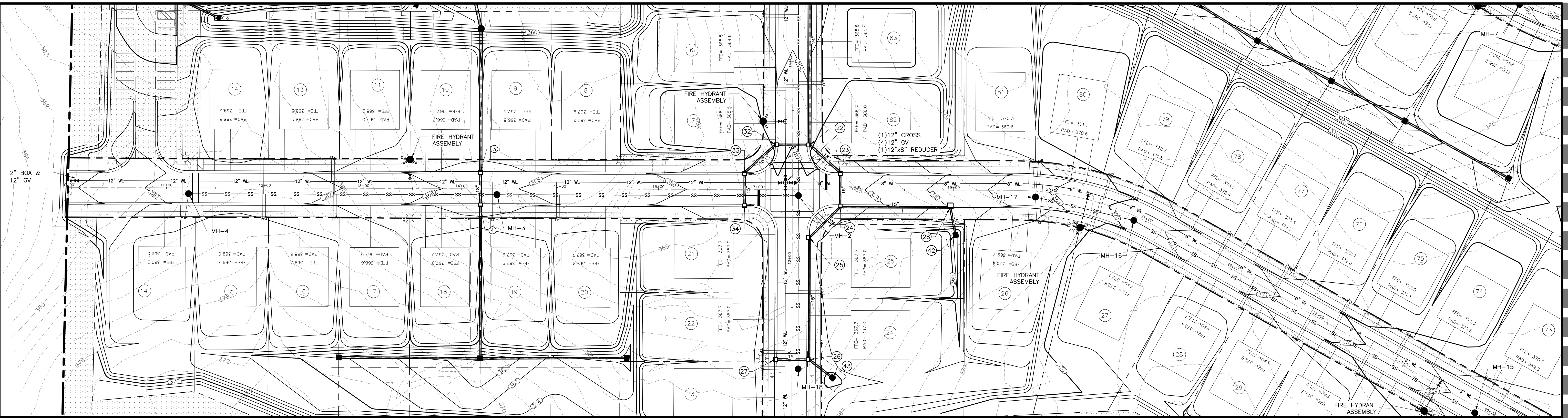
CHECKED BY: MLS

PROJECT: FDCWP9

**STREET C
PLAN & PROFILE
SHEET 1 OF 2**

DWG. NO. **SITE 16**

SEE NEXT SHEET



**Public
Sewer Collection / Extension System**

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City of Raleigh
Public Utilities Department Permit # **S-5459**

Authorization to Construct _____

Date _____

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City of Raleigh
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Authorization to Construct _____

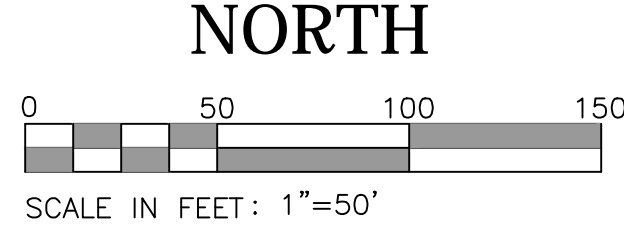
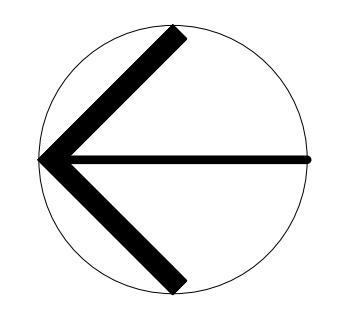
Date _____

ATTENTION CONTRACTORS

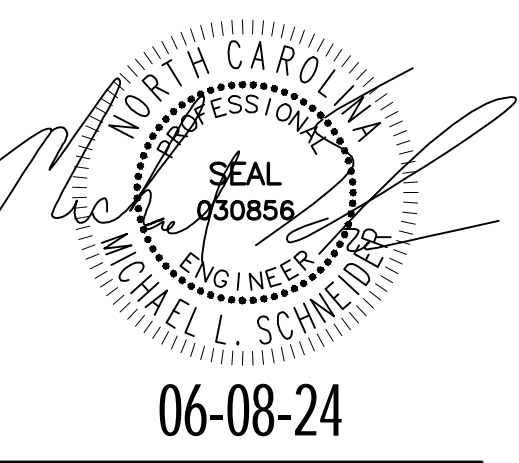
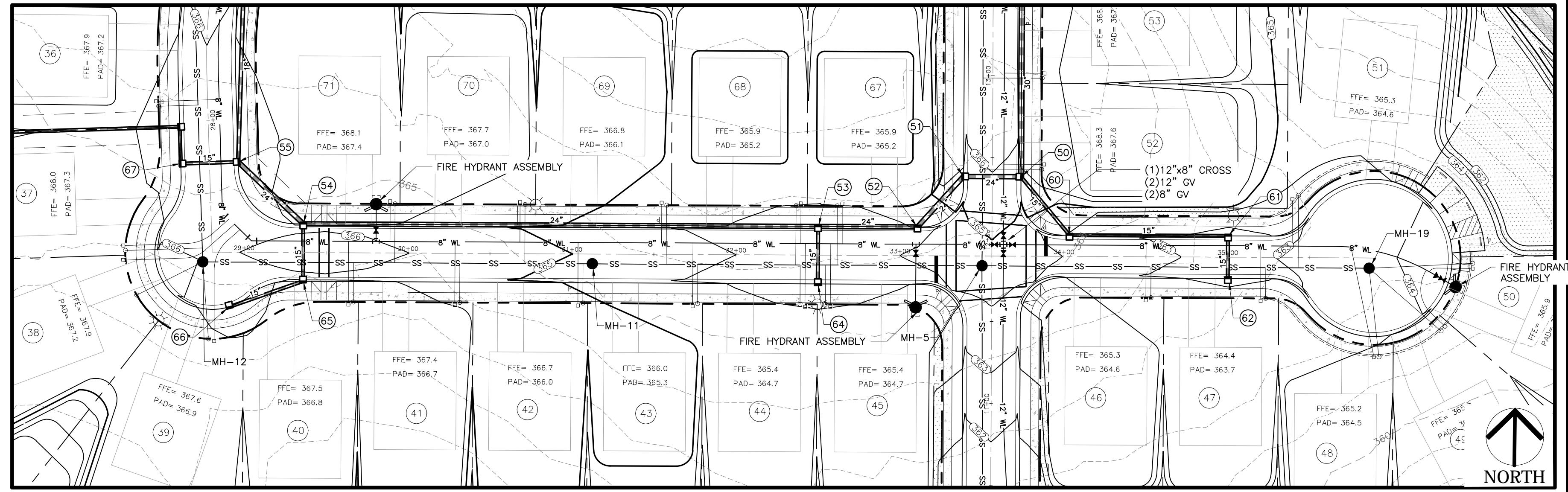
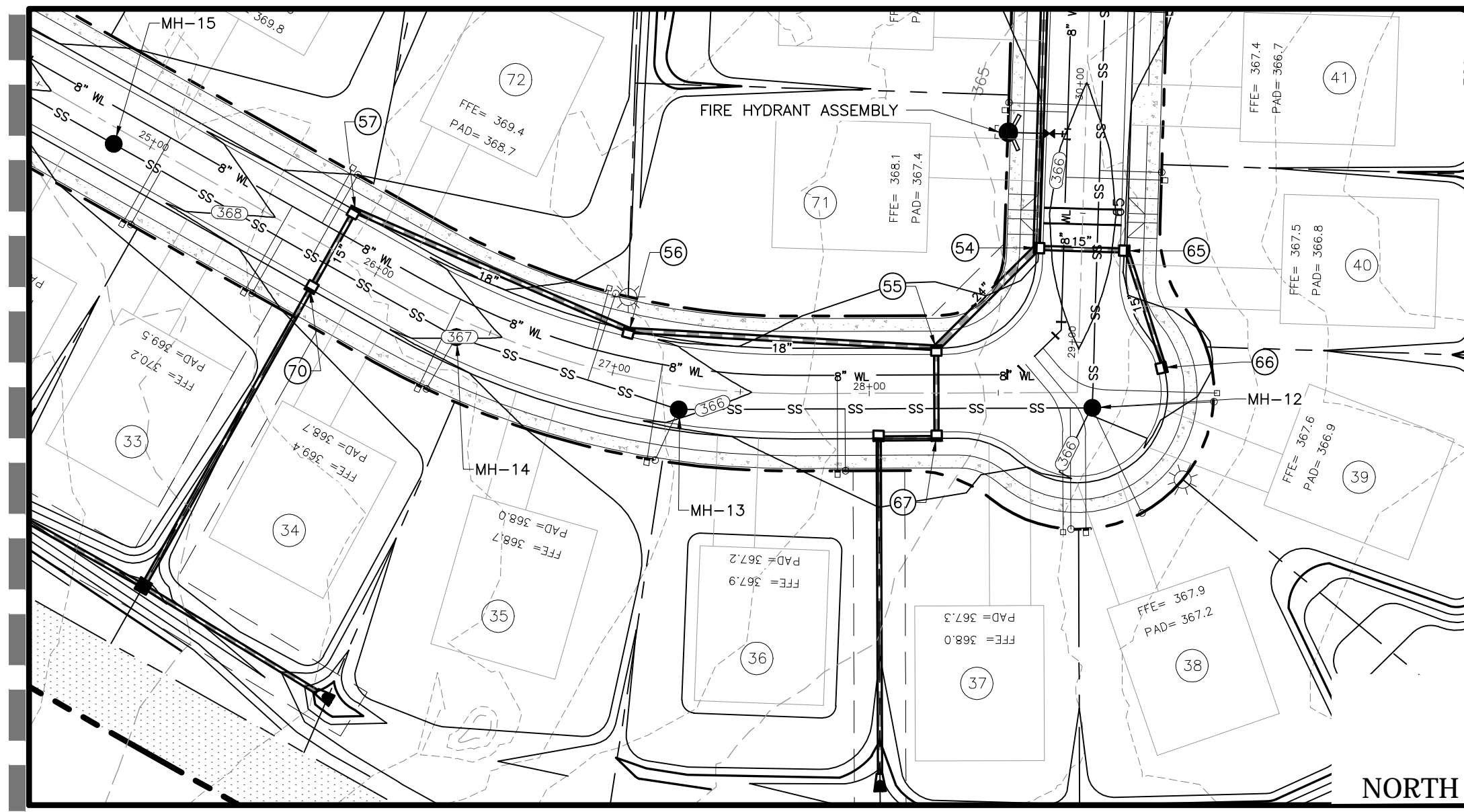
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SEE PREVIOUS SHEET



WEAVER'S POINTE SUBDIVISION
0 WEAVER'S POND DRIVE
ZEBULON, NC

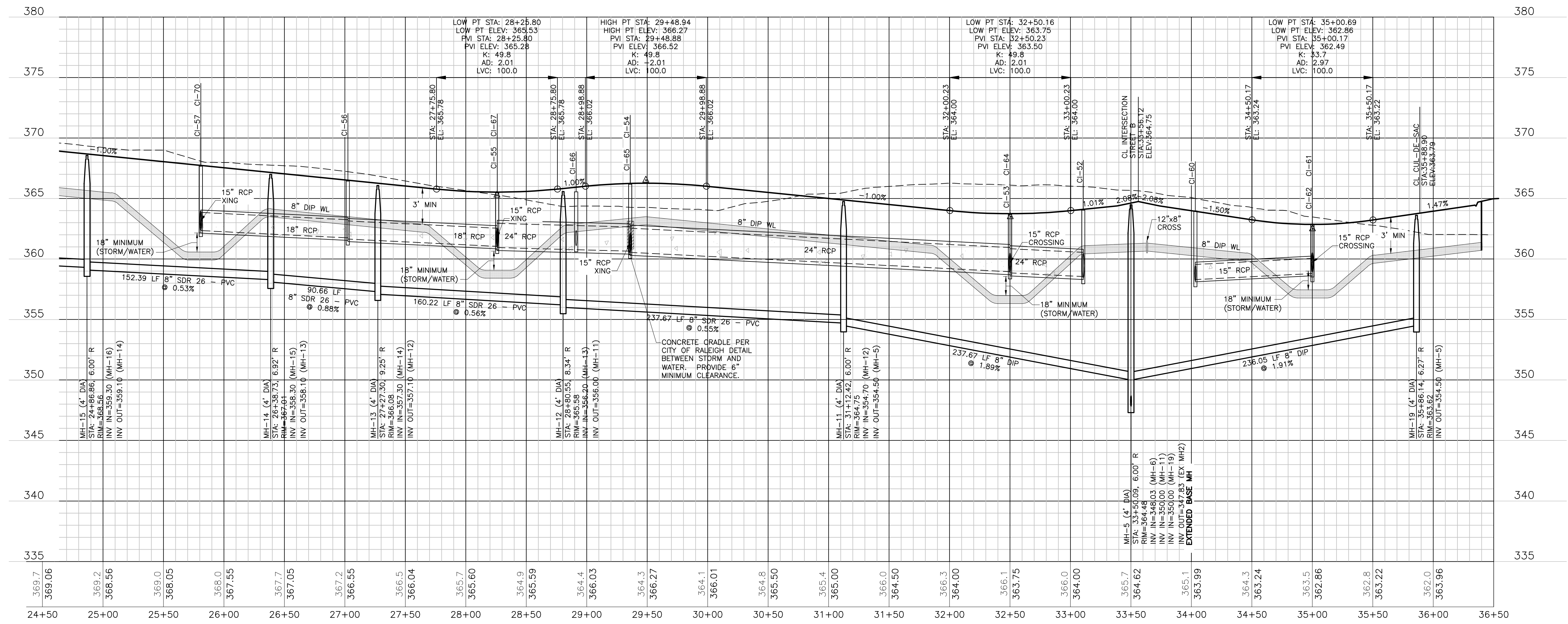
ISSUED: 14 FEB 2024

- REVISIONS:
- 17 APRIL 2024 PER TOWN/WAKE COUNTY REVIEW
 - 08 JUNE 2024 PER TOWN/WAKE COUNTY REVIEW

DRAWN BY: JET
 CHECKED BY: MLS
 PROJECT: FDCWP9

STREET C
PLAN AND PROFILE
SHEET 2 OF 2

DWG. NO. **SITE 17**



Public
Sewer Collection / Extension System
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City of Raleigh
 Public Utilities Department Permit # **S-5459**

Authorization to Construct _____
 Date _____

Public
Water Distribution / Extension System
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City of Raleigh
 Public Utilities Department Permit # **W-4115**

Authorization to Construct _____
 Date _____

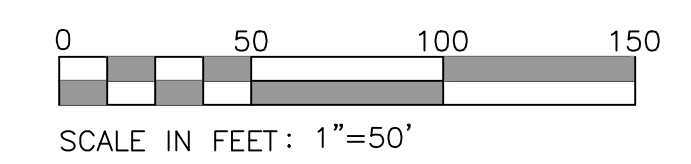
ATTENTION CONTRACTORS

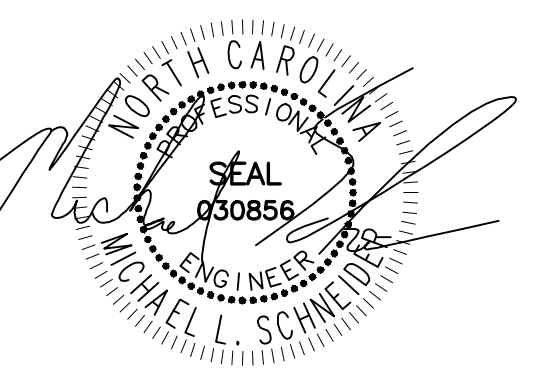
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06-08-24

WEAVER'S POINTE SUBDIVISION

**0 WEAVERS POND DRIVE
ZEBULON, NC**

ISSUED: 14 FEB 2024

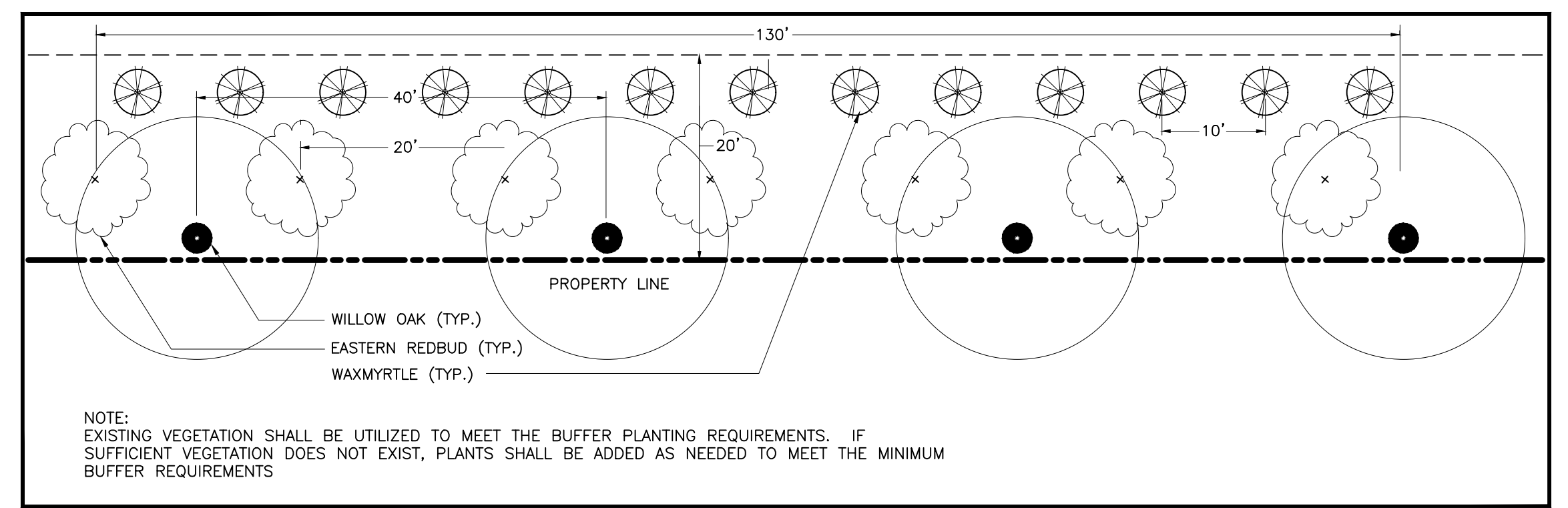
REVISIONS:

17 APRIL 2024	PER TOWN/WAKE COUNTY REVIEW
08 JUNE 2024	PER TOWN/WAKE COUNTY REVIEW

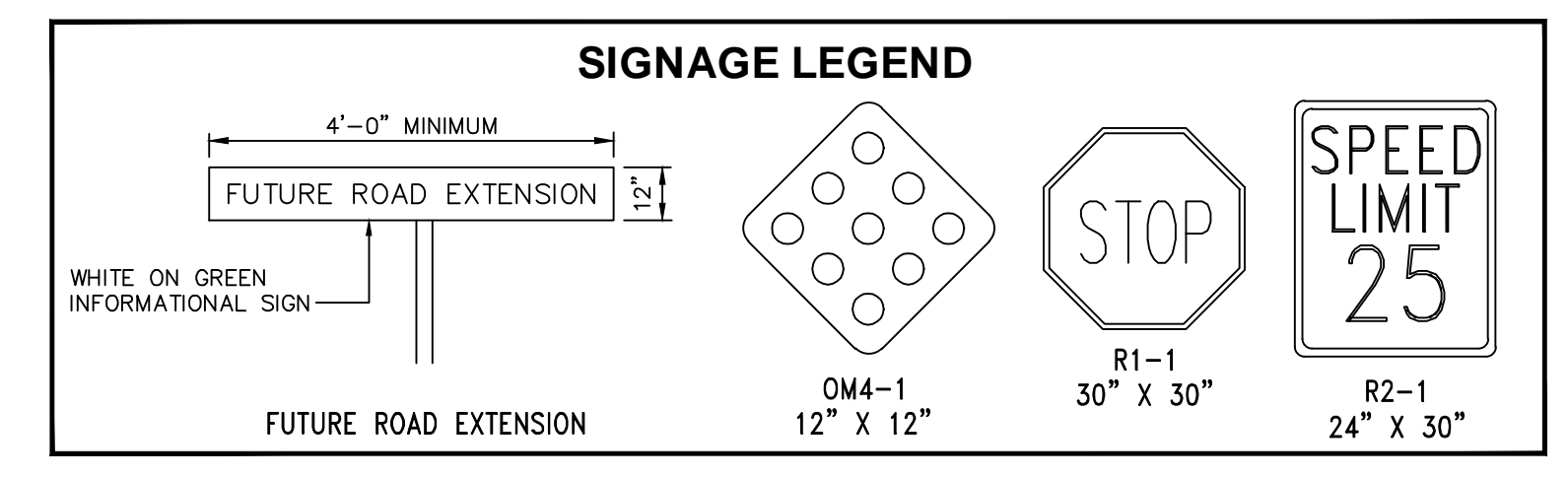
DRAWN BY: JET
 CHECKED BY: MLS
 PROJECT: FDCWP9

**LANDSCAPE,
LIGHTING AND SIGNAGE
SHEET 1 OF 2**

DWG. NO. **SITE 18**



10' AND 30' PERIMETER BUFFER DETAIL



KEY	BOTANICAL NAME	COMMON NAME	QUAN.	CAL.	HT.	ROOT	REMARKS
STREET TREES							
QN	<i>Quercus nuttallii</i>	Nuttall Oak	57	2 1/2"	10-12'	B&B	STREET TREE
QS	<i>Quercus shumardii</i>	Shumard Oak	57	2 1/2"	10-12'	B&B	STREET TREE
UP	<i>Ulmus parvifolia 'Emer II'</i>	Chinese Lacebark Elm	57	2 1/2"	10-12'	B&B	STREET TREE

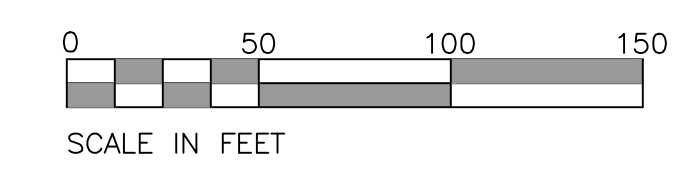
SYMBOLS: B&B = BALLED & BURLAPPED

LIGHTING NOTES

FIXTURE TYPE: LED MITCHELL SERIES - 75 WATT (WITHOUT BANDING OR RIBBON)
 8.19 FIXTURE, 2.71 POLE (16' FIBERGLASS)
 TOTAL # OF FIXTURES = 19

SIGNAGE NOTES

- ALL SIGNS SHALL USE PRISMATIC SHEETING THAT MEETS MINIMUM RETROREFLECTIVITY STANDARDS FOUND IN THE LATEST EDITION OF THE MUTCD.
- ALL SIGNS SHALL HAVE DECORATIVE POST PER DETAIL ON DETAIL SHEET.



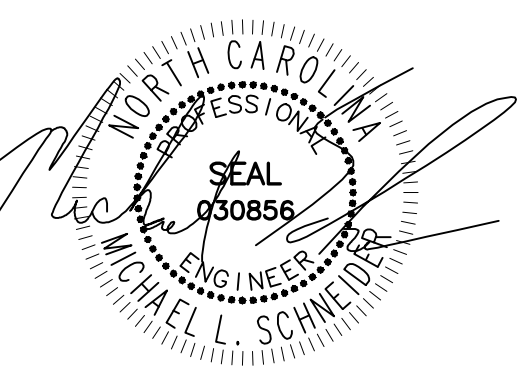
F:\Projects\FDCWP9\Drawings\Site\FDCWP9_Boss.dwg - 18-19-LS-LIGHT-STRIPING Jun 12, '24 - 9:21am

SEE NEXT SHEET

SEE NEXT SHEET



HEMPTLAND DESIGN PLLC
 8522-204 SIX FORKS ROAD
 RALEIGH, NORTH CAROLINA 27615
 919.845.7600 PHONE
 919.845.7703 FAX
 ENGR. FIRM LICENSE NO. F-0843



06-08-24

WEAVER'S POINTE SUBDIVISION

**0 WEAVERS POND DRIVE
ZEBULON, NC**

ISSUED: 14 FEB 2024

REVISIONS:

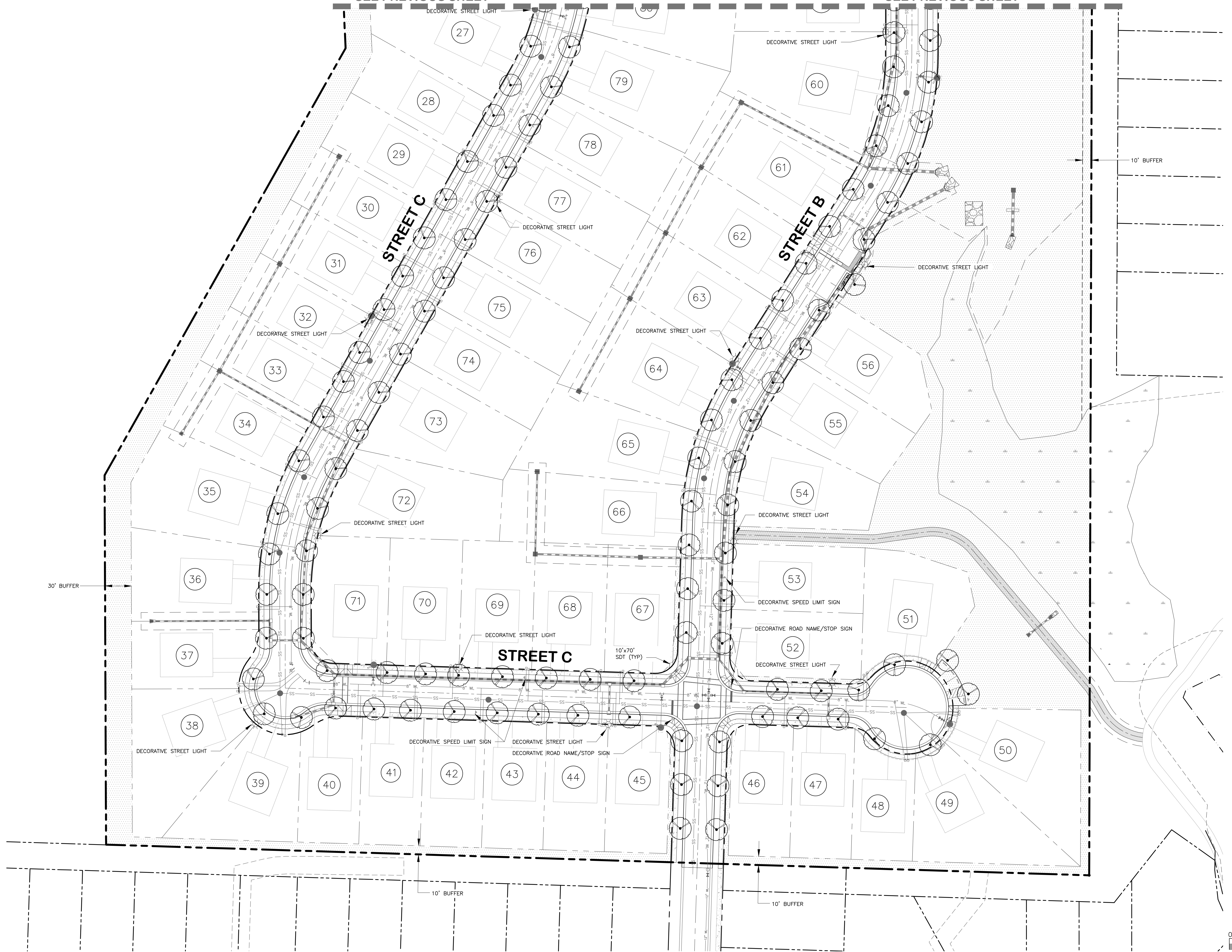
17 APRIL 2024	PER TOWN/WAKE COUNTY REVIEW
08 JUNE 2024	PER TOWN/WAKE COUNTY REVIEW

DRAWN BY: JET
 CHECKED BY: MLS
 PROJECT: FDCWP9

LANDSCAPE,
 LIGHTING AND SIGNAGE
 SHEET 2 OF 2

DWG. NO. **SITE 19**

SEE PREVIOUS SHEET



F:\Projects\FDCWP9\Drawings\Site\FDCWP9_Base.dwg - 18-19- LS-LIGHT-STRIPING Jun 12, '24 - 9:21am

6/7/2024 7:31 AM PLD-24065 - Weavers' Pointe - PLD - Weavers' Pointe - S703.dwg

LANDSCAPE NOTES
SCALE: NTS

- CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF UTILITIES PRIOR TO INSTALLATION
- THE PLAN DEPICTS REQUIRED PLANTINGS REQUIRED BY THE TOWN OF ZEBULON.
- ALL PLANT MATERIAL TO COMPLY WITH AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- ALL PLANTS TO BE COMPACT, UNIFORM AND WELL GROWN.
- LOCATION OF PLANT MATERIAL TO BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL CONSTRUCTION TO CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF RALEIGH.
- ALL PLANTING BEDS ARE TO BE MULCHED TO A DEPTH OF 3 INCHES, WITH AGED TRIPLE SHREDDED HARDWOOD MULCH FROM A SINGLE SOURCE COMMERCIAL VENDOR WITH A MAXIMUM PARTICLE SIZE OF 2 INCHES, FREE OF WEED SEED AND WASTE MATERIALS. NO PINE STRAW PERMITTED. KEEP MULCH 4 TO 6 INCHES AWAY FROM TREE TRUNKS OR STEMS.
- ALL LAWN AREAS TO BE SEEDED OR/AND SODDED AS PER MANUFACTURER'S SPECIFICATIONS. REFER TO LANDSCAPE PLANS. ALL DISTURBED AREA SHALL EITHER BE MULCH OR LAWN.
- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.
- HVAC EQUIPMENT AND UTILITY DEVICES (TO INCLUDE, BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE OR WALL.
- ALL CONFLICTS BETWEEN PROPOSED LANDSCAPE, UTILITIES AND STORMWATER WILL BE RESOLVED PRIOR TO APPLICATION FOR BUILDING PERMITS. UTILITY AND STORMWATER PLANS DEPICTED IN THIS SUBMITTAL ARE PRELIMINARY AND ARE SUBJECT TO CHANGE WITH THE DEVELOPMENT OF CONSTRUCTION DOCUMENTS.
- ALL STREET TREES SHALL BE PLANTED IN ACCORDANCE WITH TOWN OF ZEBULON STANDARDS
- MIN. 20' DISTANCE SHALL BE PROVIDED BETWEEN LIGHT POLES AND TREE TRUNKS.
- TREES SHALL BE 30' MIN FROM STOP SIGNS AND 10' MIN FROM DRIVEWAYS AND UTILITY POLES.
- TREES SHALL NOT BE IN THE CURVE TRANSITIONING FROM ONE STREET TO ANOTHER.
- TREES WITHIN 20 FT. OF OVERHEAD POWER LINE(S) SHOULD BE UNDERSTORY TREES.
- CONTRACTOR SHALL NOT PLANT TREES/SHRUBS AT ANY LOCATION WHERE THEY WILL INTERFERE WITH PEDESTRIANS EXITING AUTOS PARKED IN PARALLEL SPACES.
- A TREE IMPACT PERMIT IS REQUIRED FOR TREES INSTALLED IN THE PUBLIC RIGHT-OF-WAY PRIOR TO ISSUANCE OF ANY BUILDING PERMITS.
- THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).

BED EDGING
SCALE: NTS

B & B SHRUB INSTALLATION
SCALE: NTS

SHRUB PLANTING NOTES

- IF PLANTING HOLES ARE DUG WITH A LARGE AUGER, BREAK DOWN THE SIDES WITH A SHOVEL TO ELIMINATE GLAZING AND CREATE THE SLOPING SIDE PROFILE SHOWN ON THE DETAIL.
- SET SHRUB 2 INCHES HIGHER THAN ABOVE ADJACENT GRADE.
- SYNTHETIC BURLAP SHALL BE REMOVED ENTIRELY FROM ROOT BALL.
- PROVIDE 2 INCH DEEP SAUCER AROUND SHRUB.
- KEEP MULCH AWAY FROM ROOT CROWN.
- THOROUGHLY SOAK THE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE MAINTENANCE PERIOD.

CONTAINER PLANT INSTALLATION
SCALE: NTS

MASS PLANTING NOTES

- PRUNE CROWDED, BROKEN, OR STRAY BRANCHES. CUT FLUSH, LEAVING CAMBIUM EDGE CLEAN.
- CROWN PLANTING BED A MIN. OF 3 INCHES ABOVE ADJACENT GRADE EXCEPT IN COURTYARD SITUATIONS WHERE BEDS SHALL BE SLOPED TO NEAREST DRAIN BASIN.
- KEEP MULCH AWAY FROM ROOT CROWN.

TREE INSTALLATION (NOT FOR STREET TREES)
SCALE: NTS

TREE PLANTING NOTES

- MATCH PLANTING PROCEDURE FOR EVERGREEN TREES.
- DO NOT PRUNE TREE AT PLANTING EXCEPT FOR SPECIFIC STRUCTURAL CORRECTIONS.
- IF TREES ARE PLANTED CLOSE TOGETHER SUCH THAT THEY WILL LIKELY SHARE ROOT SPACE, TILL IN SOIL AMENDMENTS TO A DEPTH OF 4" TO 6" OVER THE ENTIRE BED AREA.
- FOR CONTAINER-GROWN TREES, EXTRACT THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL, THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
- THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE MAINTENANCE PERIOD.
- IF PLANTING HOLES ARE DUG WITH A LARGE AUGER, BREAK DOWN THE SIDES WITH A SHOVEL TO ELIMINATE GLAZING AND CREATE THE SLOPING SIDE PROFILE SHOWN ON THE DETAIL.
- IN MEDIAN ISLANDS, SET PLANT MATERIAL AS CLOSE TO FINISHED GRADE AS POSSIBLE.
- SYNTHETIC BURLAP SHALL BE REMOVED ENTIRELY FROM ROOT BALL.
- KEEP MULCH AWAY FROM ROOT CROWN.

REVISIONS

NO.	REVISION	DATE
1st	Review Comments	04.19.2024
2nd	Review Comments	05.15.2024
3rd	Review comments	06.06.2024

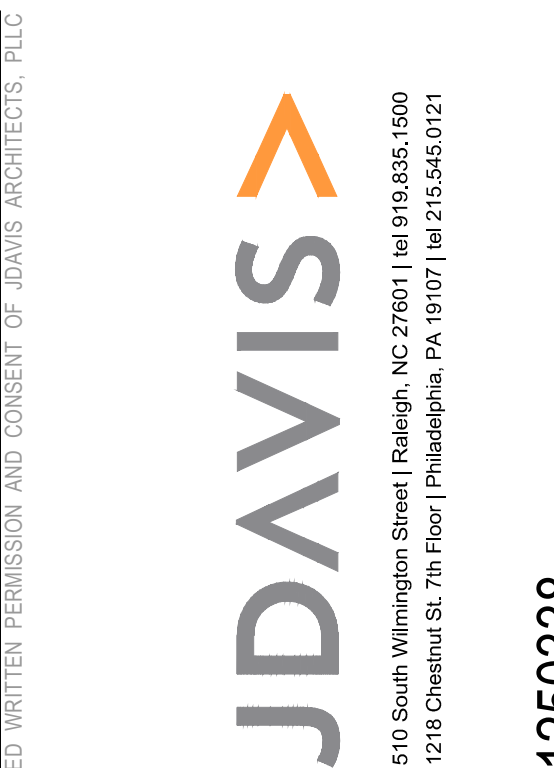
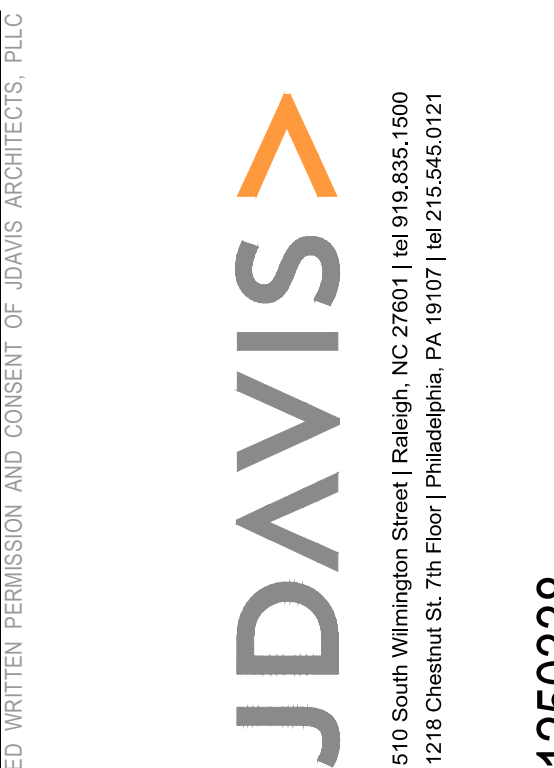
DRAWN BY: MKP
CHECKED BY: KT
CONTENT: LANDSCAPE DETAILS AND NOTES

JDAVIS
510 South Wilmington Street | Raleigh, NC 27601 | tel 919.835.1500
1218 Chestnut St., 7th Floor | Philadelphia, PA 19107 | tel 215.545.0121

Developer
Weaver's Pointe Subdivision
0 Weavers Pond Drive
Zebulon, North Carolina 27597

1250338 (Project ID)

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L9.01

STRUCTURE SCHEDULE				
STRUCTURE	RIM	STRUCTURE TYPE	INV IN	INV OUT
SCM #2 RISER	N/A	YI		353.90 (30")
SCM #1 RISER	N/A	YI		353.90 (24")
1	N/A	FES	354.00 (24")	
2	359.00	JB	354.70 (24")	354.60 (24")
3	365.78	CI	355.60 (18")	355.50 (24")
4	365.78	CI	355.90 (18")	355.80 (18")
5	360.05	YI	356.80 (15") 356.80 (15")	356.70 (18")
6	361.00	YI		357.60 (15")
7	363.00	YI		357.60 (15")
8	N/A	FES	354.00 (15")	
9	N/A	FES		355.00 (15")
10	N/A	FES	360.00 (15")	
11	363.90	CI		360.30 (15")
12	N/A	FES	353.80 (15")	
13	N/A	FES		354.00 (15")
14	N/A	FES	353.60 (24")	
15	N/A	HW	354.00 (30")	
16	361.70	CI	354.60 (24") 354.60 (18")	354.50 (30")
17	363.78	CI	355.40 (24")	355.30 (24")
18	365.49	CI	356.40 (24") 356.40 (15")	356.30 (24")
19	364.05	CI	357.20 (24") 357.20 (15")	357.10 (24")
20	363.43	CI	357.60 (24")	357.50 (24")
21	363.01	CI	358.20 (24") 358.20 (15")	358.10 (24")
22	364.93	CI	359.40 (18") 359.40 (18")	359.30 (24")
23	365.53	CI	359.80 (15")	359.70 (18")
24	365.53	CI	360.10 (15") 360.10 (15")	360.00 (15")
25	365.70	CI	360.50 (15")	360.40 (15")
26	365.32	CI	361.25 (15") 361.20 (15")	361.15 (15")
27	365.32	CI		361.45 (15")
28	367.32	CI	360.80 (15")	360.70 (15")
29	364.05	CI		357.40 (15")
31	363.01	CI		358.40 (15")
32	364.93	CI	359.70 (15")	359.60 (18")
33	365.34	CI	360.10 (15")	360.00 (15")
34	365.34	CI		360.30 (15")
35	359.60	YI	355.60 (15")	355.50 (18")
36	360.00	YI	356.20 (15")	356.10 (15")
37	361.00	YI	356.80 (15")	356.70 (15")
38	362.00	YI	358.00 (15")	357.90 (15")
39	363.00	YI		359.00 (15")
40	361.00	YI	356.70 (15")	356.60 (15")
41	360.00	YI		357.40 (15")
42	365.00	YI		361.00 (15")
43	364.00	YI		361.50 (15")
44	N/A	HW	354.00 (30")	
45	361.22	CI	354.70 (15") 354.60 (30")	354.50 (30")
46	360.94	CI	354.85 (30")	354.75 (30")
47	363.12	CI	355.75 (30")	355.65 (30")
48	364.84	CI	356.55 (30")	356.45 (30")
49	366.19	CI	357.20 (30") 357.20 (18")	357.10 (30")
50	365.88	CI	357.90 (15") 357.90 (24")	357.80 (30")
51	365.88	CI	358.20 (24")	358.10 (24")
52	364.04	CI	358.55 (24")	358.45 (24")
53	363.69	CI	358.95 (24") 358.95 (15")	358.85 (24")
54	366.18	CI	360.65 (24") 360.65 (15")	360.55 (24")

STRUCTURE SCHEDULE				
STRUCTURE	RIM	STRUCTURE TYPE	INV IN	INV OUT
55	365.47	CI	361.05 (18") 361.05 (15")	360.95 (24")
56	366.44	CI	361.75 (18")	361.65 (18")
57	367.68	CI	362.45 (15")	362.35 (18")
60	363.97	CI	358.30 (15")	358.20 (15")
61	362.89	CI	359.00 (15")	358.80 (15")
62	362.89	CI		359.20 (15")
63	361.22	CI		354.90 (15")
64 *	363.69	CI		359.20 (15")
65	366.18	CI	360.85 (15")	360.85 (15")
66	365.55	CI		361.10 (15")
67	365.47	CI	361.35 (15")	361.25 (15")
68	365.53	CI	361.60 (15")	361.50 (15")
69	N/A	FES		363.00 (15")
70	367.68	CI	362.75 (15")	362.65 (15")
71	365.80	YI	363.55 (15") 363.55 (15")	363.45 (15")
72	367.00	YI	364.35 (15")	364.25 (15")
73	368.50	YI		365.05 (15")
74	N/A	FES		364.00 (15")
75	362.00	YI	357.85 (18")	357.75 (18")
76	362.77	YI	358.60 (15")	358.50 (18")
77	363.27	YI		359.10 (15")
78	N/A	FES	352.00 (15")	
79	N/A	FES		353.00 (15")
80	N/A	FES	353.60 (30")	

* CI-64 IS A DOUBLE CURB INLET

PIPE SCHEDULE							
UPSTREAM STRUCTURE	DOWNSTREAM STRUCTURE	UPSTREAM INVERT	DOWNSTREAM INVERT	SIZE (IN)	LENGTH (FT)	SLOPE	MATERIAL
SCM #1 RISER	14	353.90	353.60	24	42	0.72%	CLASS III RCP
SCM #2 RISER	80	353.90	353.60	30	53	0.57%	CLASS III RCP
2	1	354.60	354.00	24	108	0.56%	CLASS III RCP
3	2	355.50	354.70	24	145	0.55%	CLASS III RCP
4	3	355.80	355.60	18	35	0.57%	CLASS III RCP
5	4	356.70	355.90	18	155	0.52%	CLASS III RCP
6	5	357.60	356.80	15	149	0.54%	CLASS III RCP
7	5	357.60	356.80	15	144	0.56%	CLASS III RCP
9	8	355.00	354.00	15	86	1.17%	CLASS III RCP
11	10	360.30	360.00	15	48	0.62%	CLASS III RCP
13	12	354.00	353.80	15	33	0.61%	CLASS III RCP
16	15	354.50	354.00	30	76	0.66%	CLASS III RCP
17	16	355.30	354.60	24	136	0.51%	CLASS III RCP
18	17	356.30	355.40	24	182	0.50%	CLASS III RCP
19	18	357.10	356.40	24	110	0.64%	CLASS III RCP
20	19	357.50	357.20	24	44	0.68%	CLASS III RCP
21	20	358.10	357.60	24	85	0.59%	CLASS III RCP
22	21	359.30	358.20	24	213	0.52%	CLASS III RCP
23	22	359.70	359.40	18	42	0.72%	CLASS III RCP
24	23	360.00	359.80	15	35	0.57%	CLASS III RCP
25	24	360.40	360.10	15	44	0.68%	CLASS III RCP
26	25	361.15	360.50	15	124	0.52%	CLASS III RCP
27	26	361.45	361.25	15	35	0.57%	CLASS III RCP
28	24	360.70	360.10	15	112	0.54%	CLASS III RCP
29	19	357.40	357.20	15	35	0.57%	CLASS III RCP
31	21	358.40	358.20	15	35	0.57%	CLASS III RCP
32	22	359.60	359.40	18	35	0.57%	CLASS III RCP
33	32	360.00	359.70	15	42	0.72%	CLASS III RCP
34	33	360.30	360.10	15	35	0.57%	CLASS III RCP
35	16	355.50	354.60	18	163	0.55%	CLASS III RCP
36	35	356.10	355.60	15	87	0.58%	CLASS III RCP
37	36	356.70	356.20	15	85	0.59%	CLASS III RCP
38	37	357.90	356.80	15	85	1.29%	CLASS III RCP
39	38	359.00	358.00	15	121	0.83%	CLASS III RCP
40	18	356.60	356.40	15	34	0.59%	CLASS III RCP
41	40	357.40	356.70	15	125	0.56%	CLASS III RCP
42	28	361.00	360.80	15	28	0.70%	CLASS III RCP
43	26	361.50	361.20	15	30	1.00%	CLASS III RCP
45	44	354.50	354.00	30	100	0.50%	CLASS III RCP
46	45	354.75	354.60	30	30	0.51%	CLASS III RCP
47	46	355.65	354.85	30	152	0.53%	CLASS III RCP
48	47	356.45	355.75	30	138	0.51%	CLASS III RCP
49	48	357.10	356.55	30	102	0.54%	CLASS III RCP
50	49	357.80	357.20	30	115	0.52%	CLASS III RCP
51	50	358.10	357.90	24	35	0.57%	CLASS III RCP
52	51	358.45	358.20	24	42	0.60%	CLASS III RCP
53	52	358.85	358.55	24	61	0.50%	CLASS III RCP
54	53	360.55	358.95	24	314	0.51%	CLASS III RCP
55	54	360.95	360.65	24	55	0.55%	CLASS III RCP
56	55	361.65	361.05	18	119	0.50%	CLASS III RCP
57	56	362.35	361.75	18	116	0.52%	CLASS III RCP
60	50	358.20	357.90	15	46	0.65%	CLASS III RCP
61	60	358.80	358.30	15	97	0.52%	CLASS III RCP
62	61	359.20	359.00	15	26	0.77%	CLASS III RCP
63	45	354.90	354.70	15	35	0.57%	CLASS III RCP
64	53	359.20	358.95	15	35	0.71%	CLASS III RCP
65	54	360.85	360.65	15	35	0.57%	CLASS III RCP
66	65	361.10	360.85	15	47	0.53%	CLASS III RCP
67	55	361.25	361.05	15	35	0.57%	CLASS III RCP
68	67	361.50	361.35	15	22	0.67%	CLASS III RCP
69	68	363.00	361.60	15	137	1.02%	CLASS III RCP
70	57	362.65	362.45	15	35	0.57%	CLASS III RCP
71	70	363.45	362.75	15	132	0.53%	CLASS III RCP
72	71	364.25	363.55	15	140	0.50%	CLASS III RCP
73	72	365.05	364.35	15	140	0.50%	CLASS III RCP
74	71	364.00	363.55	15	85	0.53%	CLASS III RCP
75	49	357.75	357.20	18	93	0.59%	CLASS III RCP
76	75	358.50	357.85	18	120	0.54%	CLASS III RCP
77	76	359.10	358.60	15	94	0.53%	CLASS III RCP
79	78	353.00	352.00	15	35	2.84%	CLASS III RCP

ENERGY DISSIPATER SCHEDULE				
DOWNSTREAM STRUCTURE	SIZE (IN)	VELOCITY (FPS)	RIP RAP TYPE	L X W X THK
1	24	5.38	CLASS B (D50=6")	12' X 6' X 18"
8	15	5.70	CLASS B (D50=6")	8' X 4' X 18"
10	15	4.15	CLASS B (D50=6")	8' X 4' X 18"
12	15	4.13	CLASS B (D50=6")	8' X 4' X 18"
14	24	6.13	CLASS B (D50=6")	12' X 6' X 18"
15	30	6.80	CLASS B (D50=6")	15' X 8' X 18"
44	30	5.92	CLASS B (D50=6")	15' X 8' X 18"
78	15	8.90	CLASS B (D50=6")	8' X 4' X 18"
80	30	6.31	CLASS B (D50=6")	15' X 8' X 18"

STRUCTURE TYPE NOTES

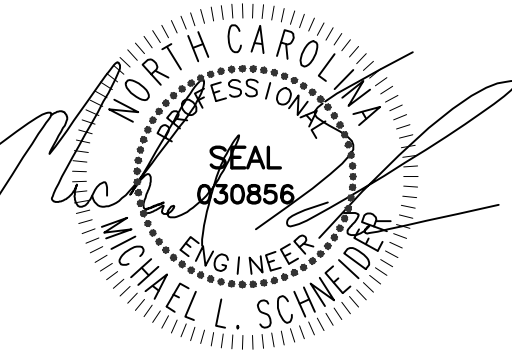
CI STD. CURB INLET PER ZEBULON DETAIL #33, SHEETS 1, 2 AND 3 OF 4

YI YARD INLET PER ZEBULON DETAIL #39

FES FLARED END SECTION PER ZEBULON DETAIL #35

HW CONCRETE HEAD WALL PER NCDOT STANDARD DETAIL

NOTES:
RIM ELEVATION IS AT TOP OF CURB FOR CB'S, AND TOP OF GRATE FOR YI'S



02-17-24

WEAVER'S POINTE SUBDIVISION

0 WEAVERS POND DRIVE
ZEBULON, NC

ISSUED: 14 FEB 2024

REVISIONS:

17 APRIL 20124
PER TOWN/WAKE COUNTY REVIEW

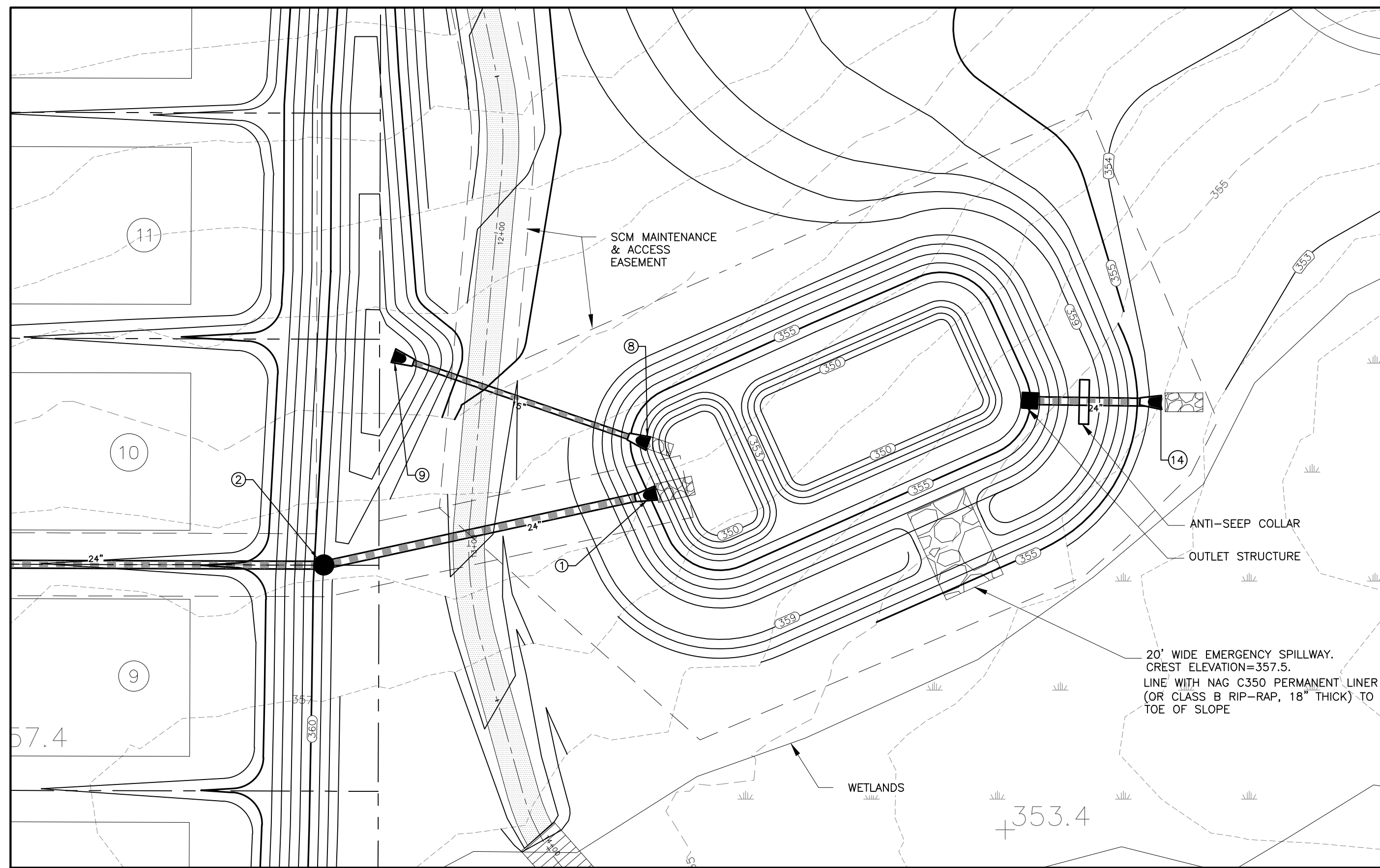
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CHECKED BY: MLS

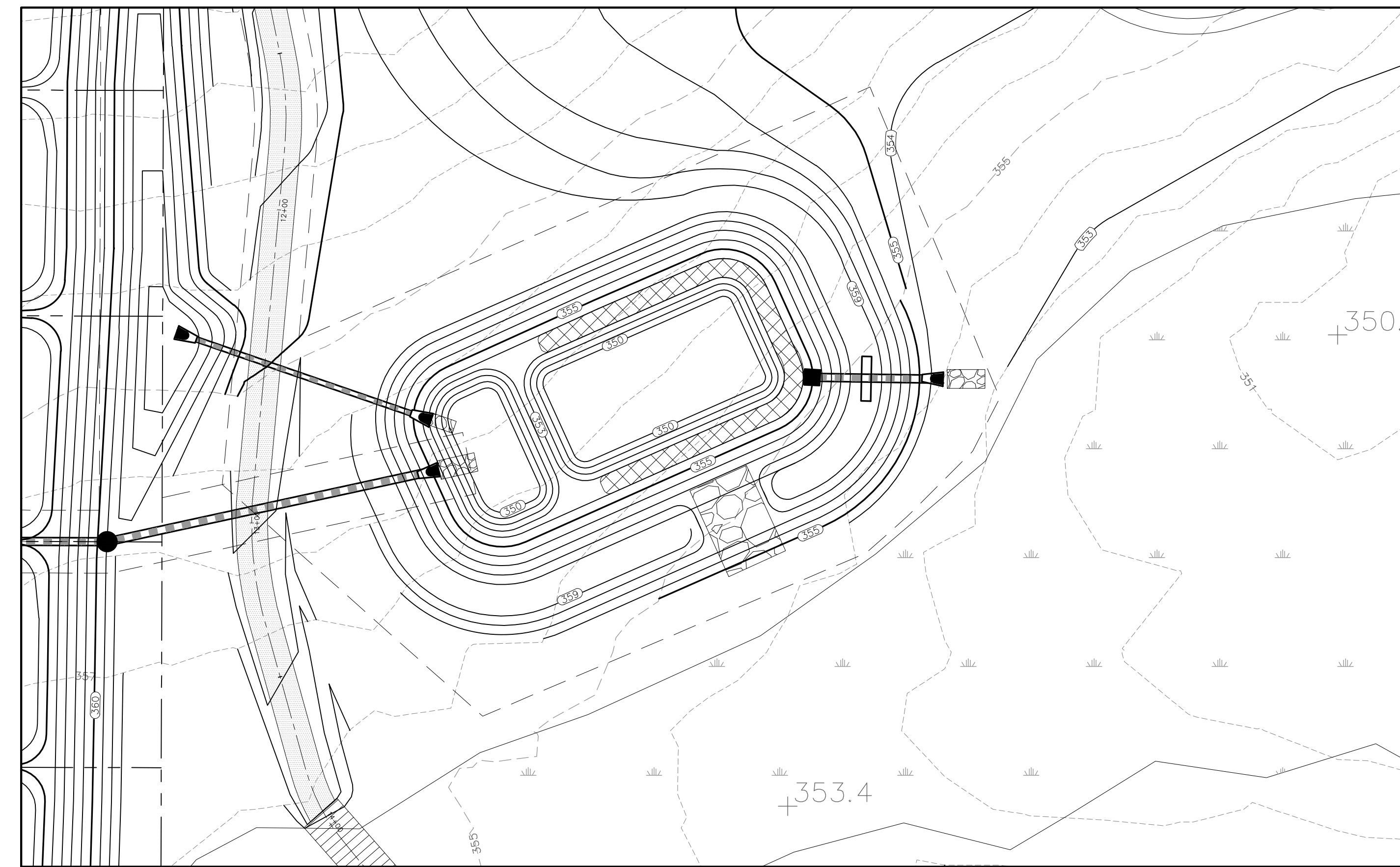
PROJECT: FDCWP9

SCHEDULES

DWG. NO. SITE 20



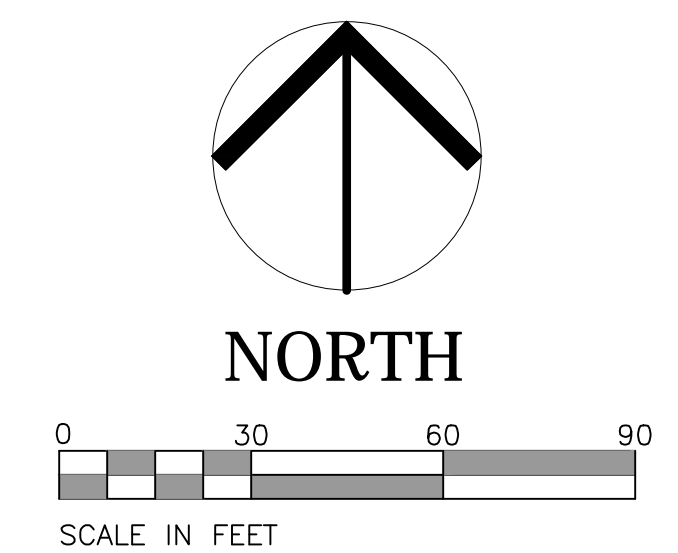
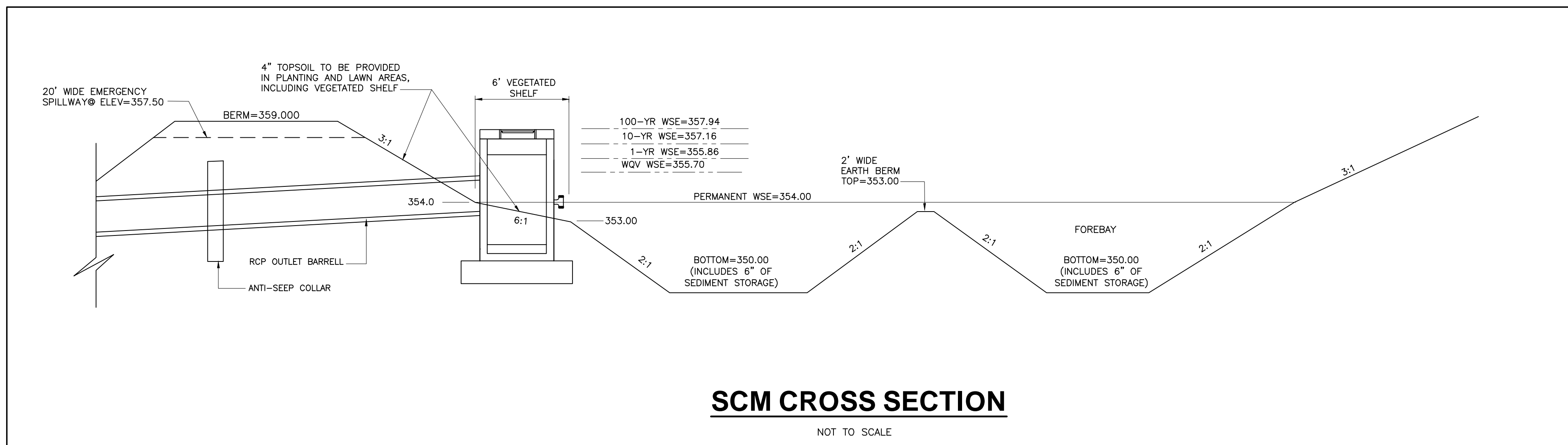
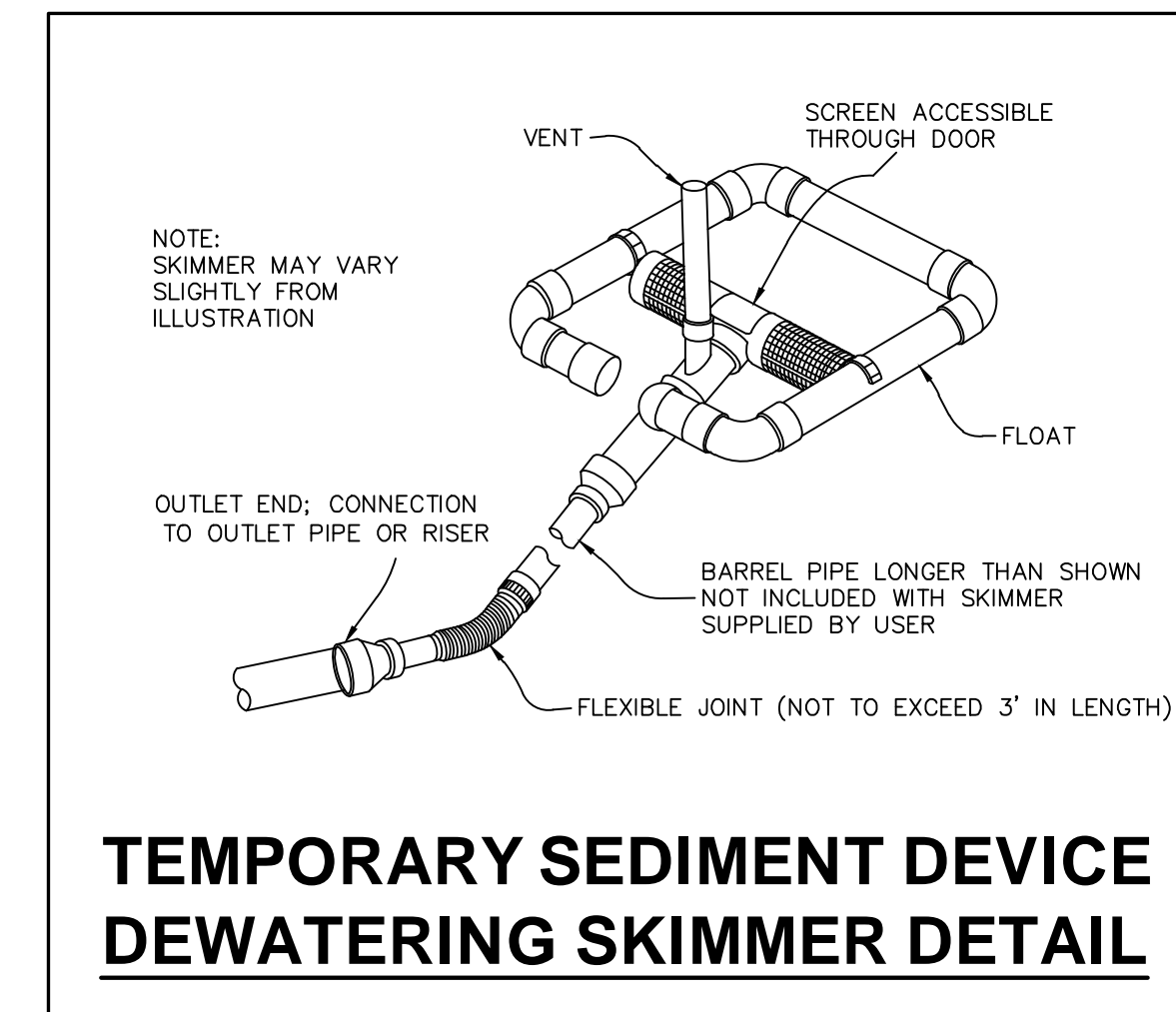
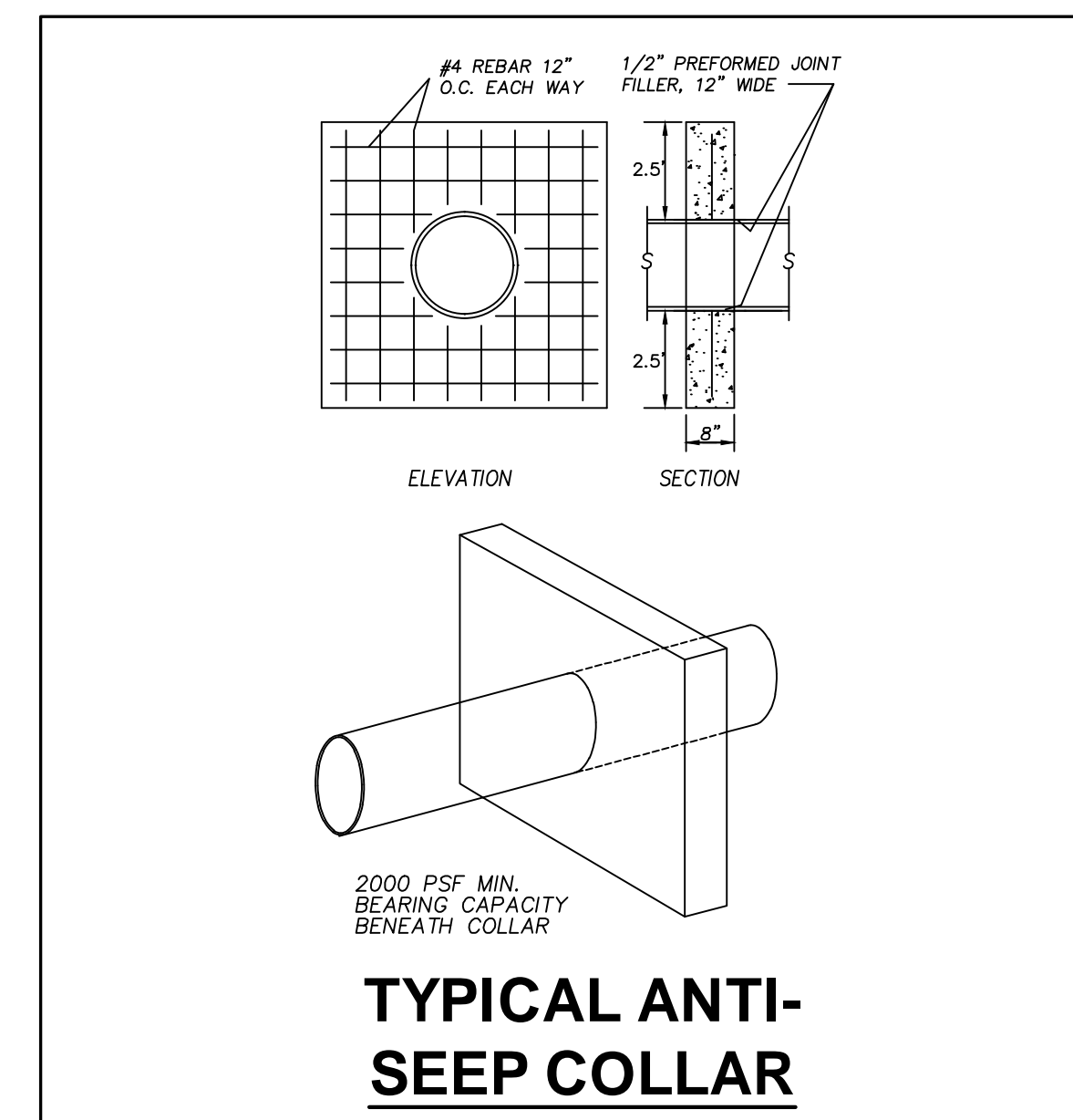
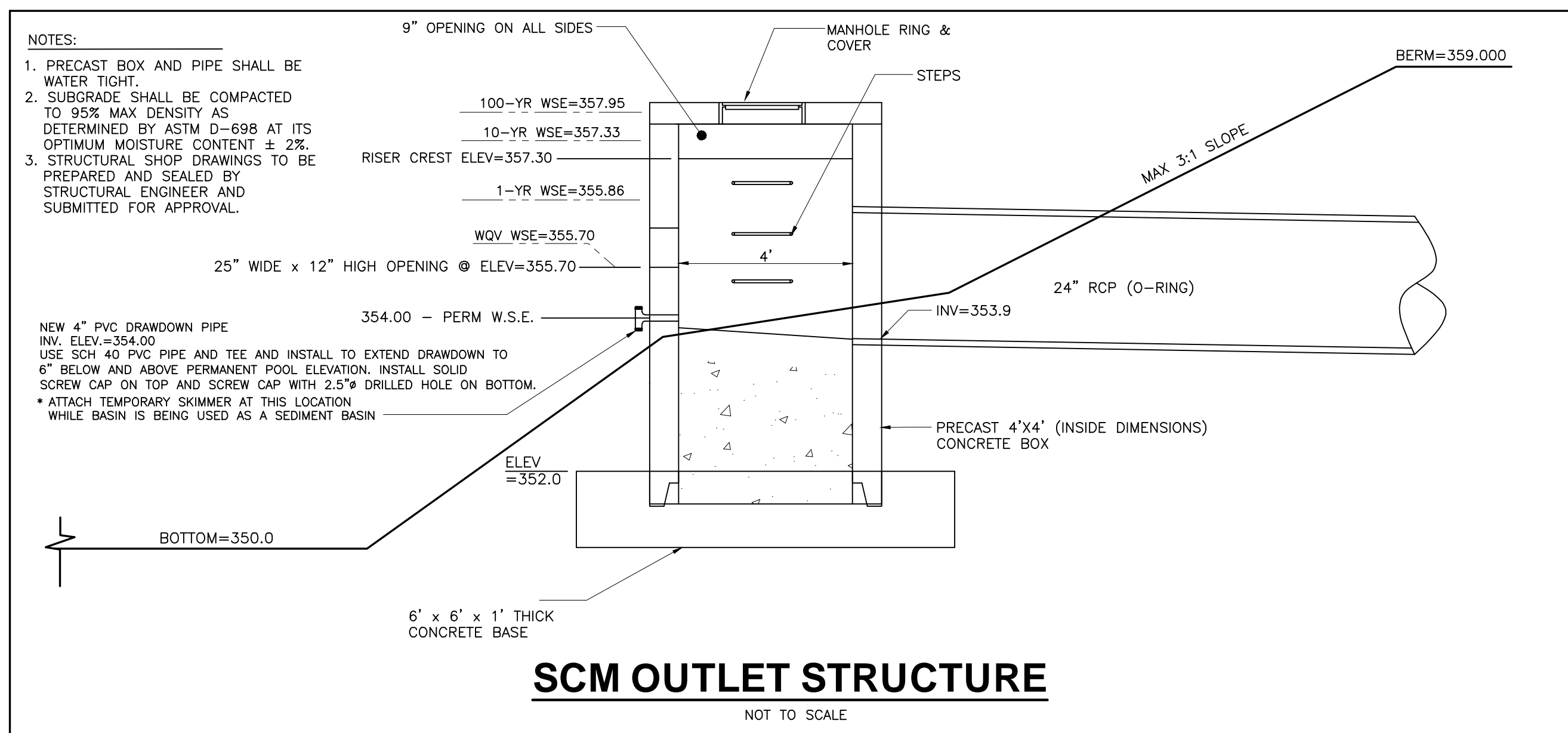
SCM PLAN



SCM PLANTING PLAN
SCM PLANT SCHEDULE

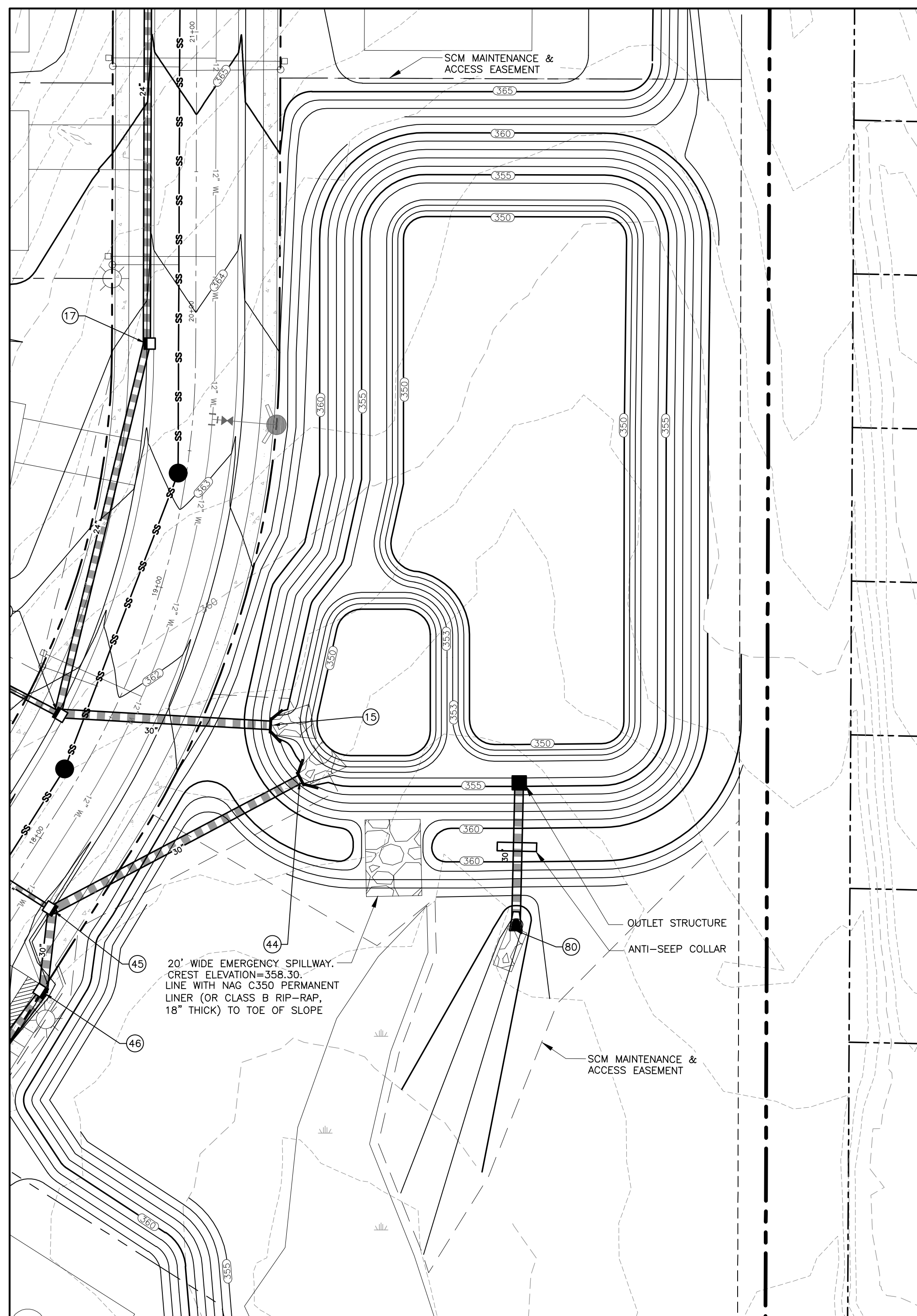
REQUIRED PLANTS BASED ON 1,092 S.F. = 50 PLANTS / 209 S.F. (1,060 S.F.) = 273 PLANTS

PLANT TYPE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SPACING
91	1	ASCLEPIAS INCARNATA	SWAMP MILKWEED	2" PLUG	2' O.C.
91	1	CAREX TENERA	QUILL SEDGE	2" PLUG	2' O.C.
91	1	CHELONE GLABRA	WHITE TURTLEHEAD	2" PLUG	2' O.C.

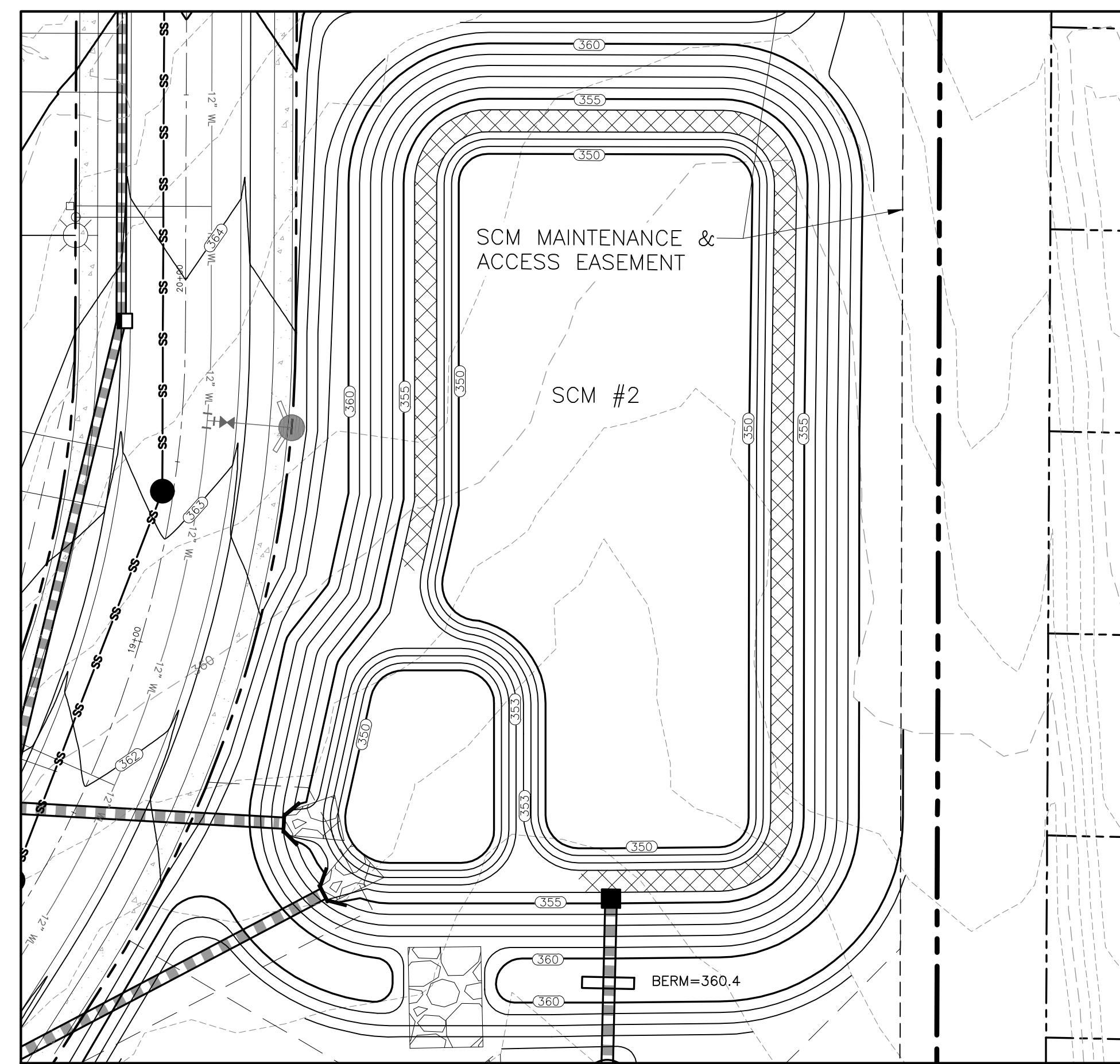


SCM PLANT SCHEDULE

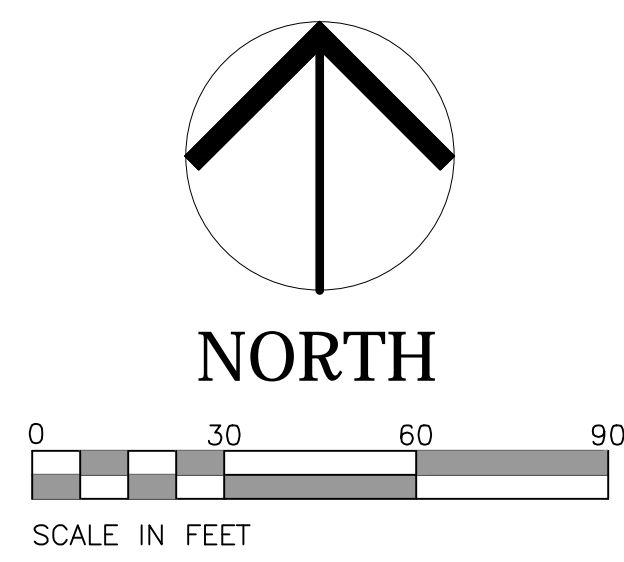
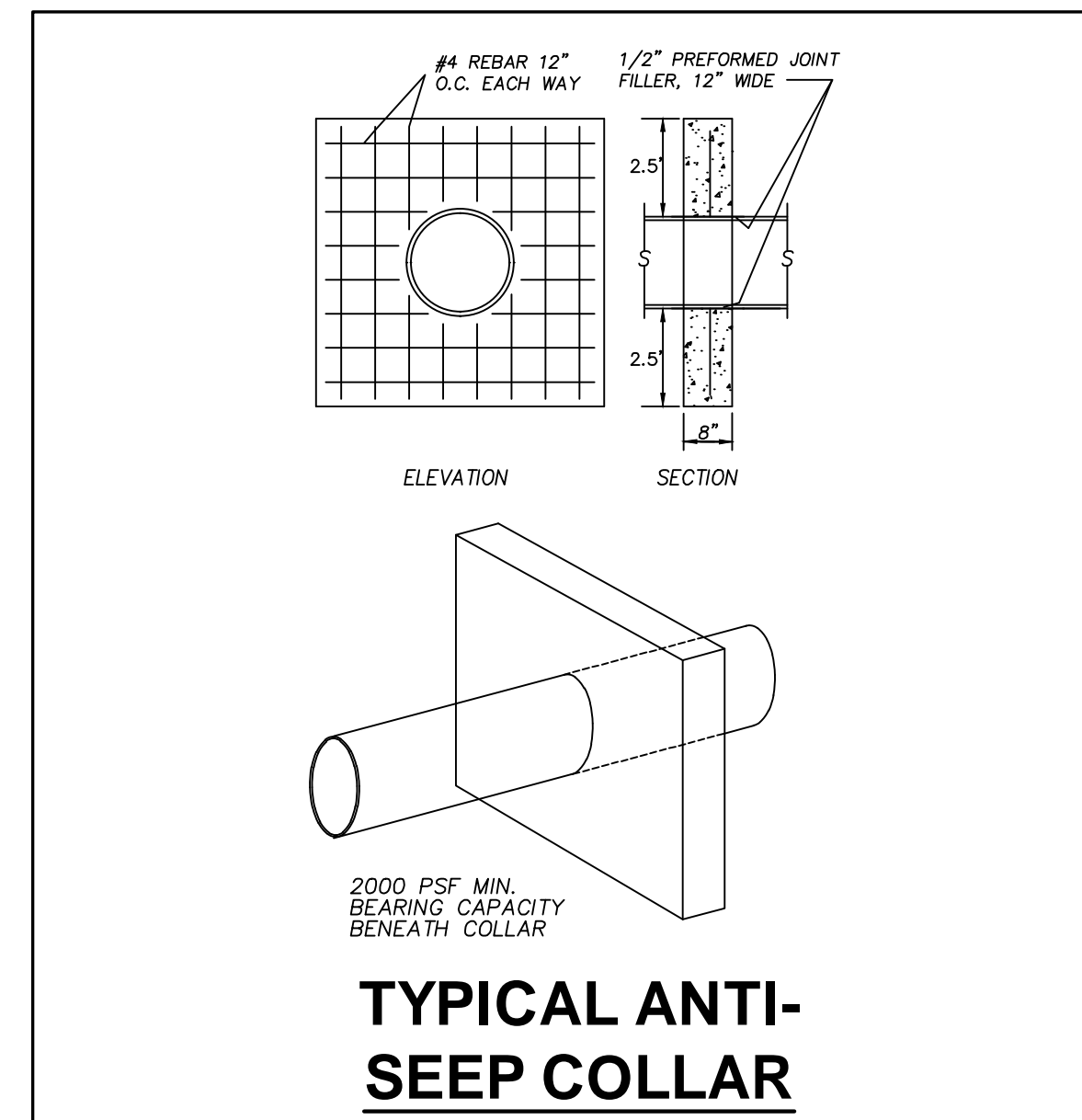
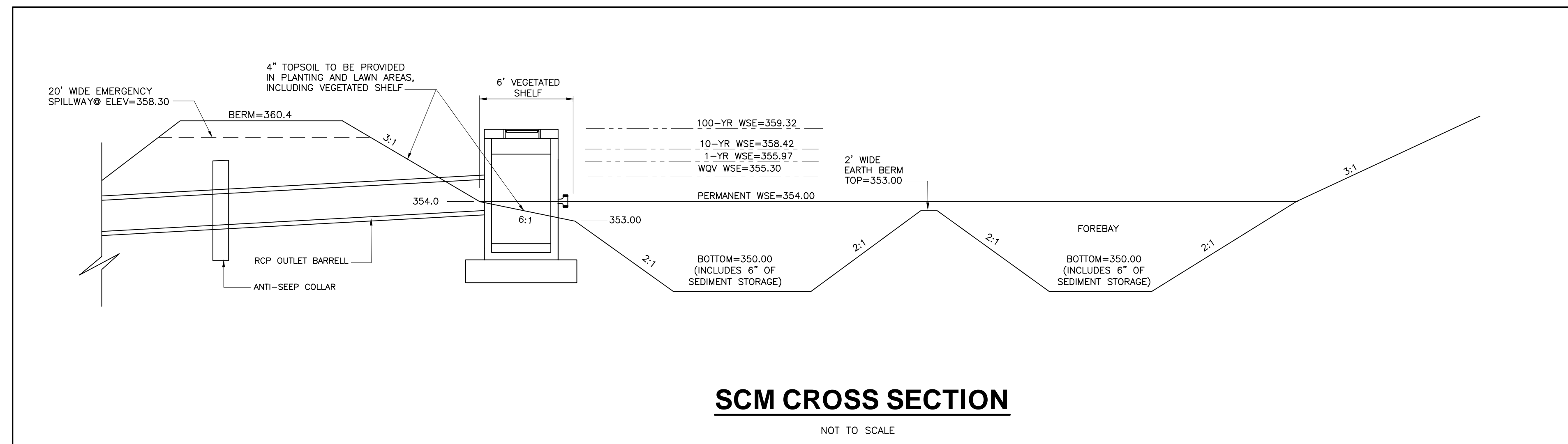
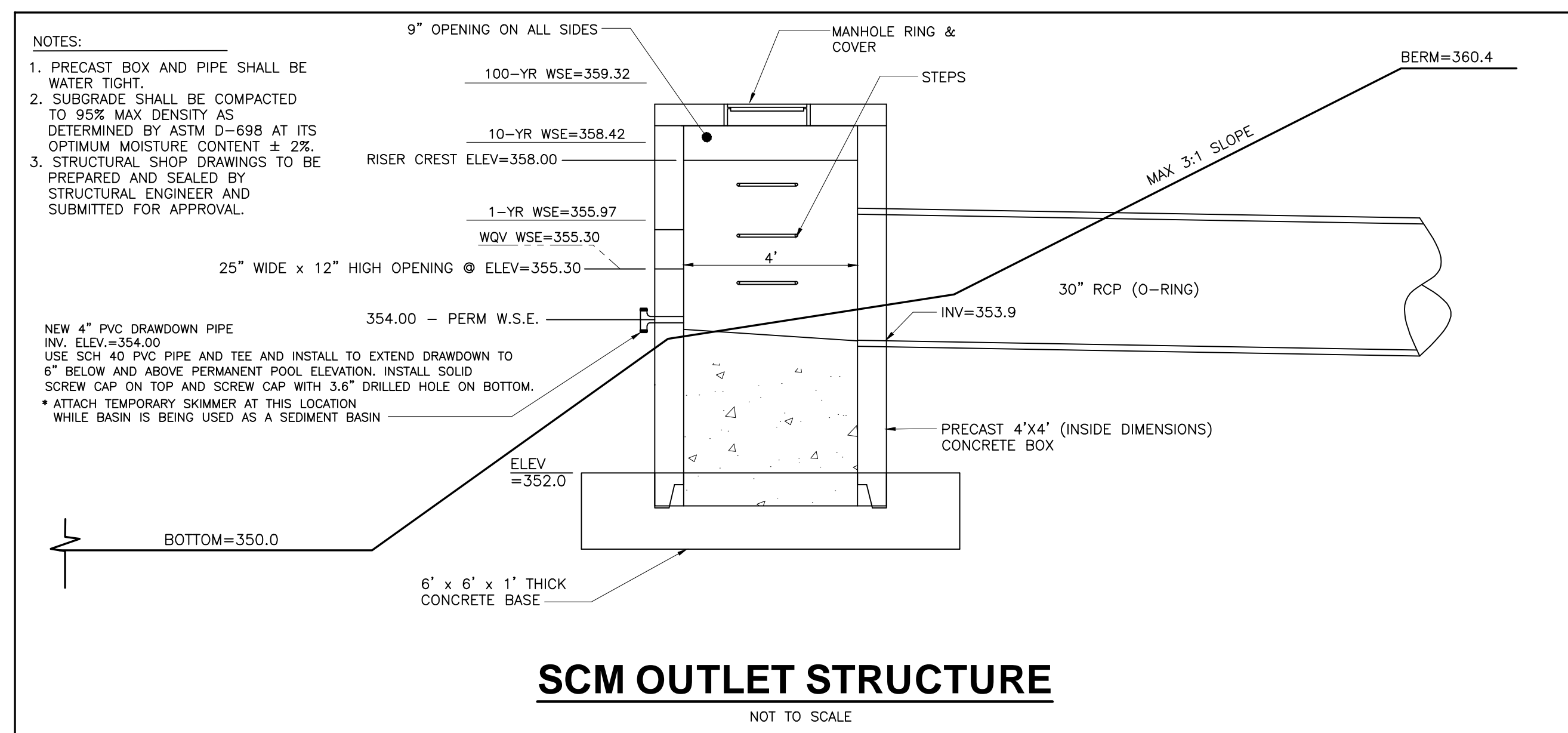
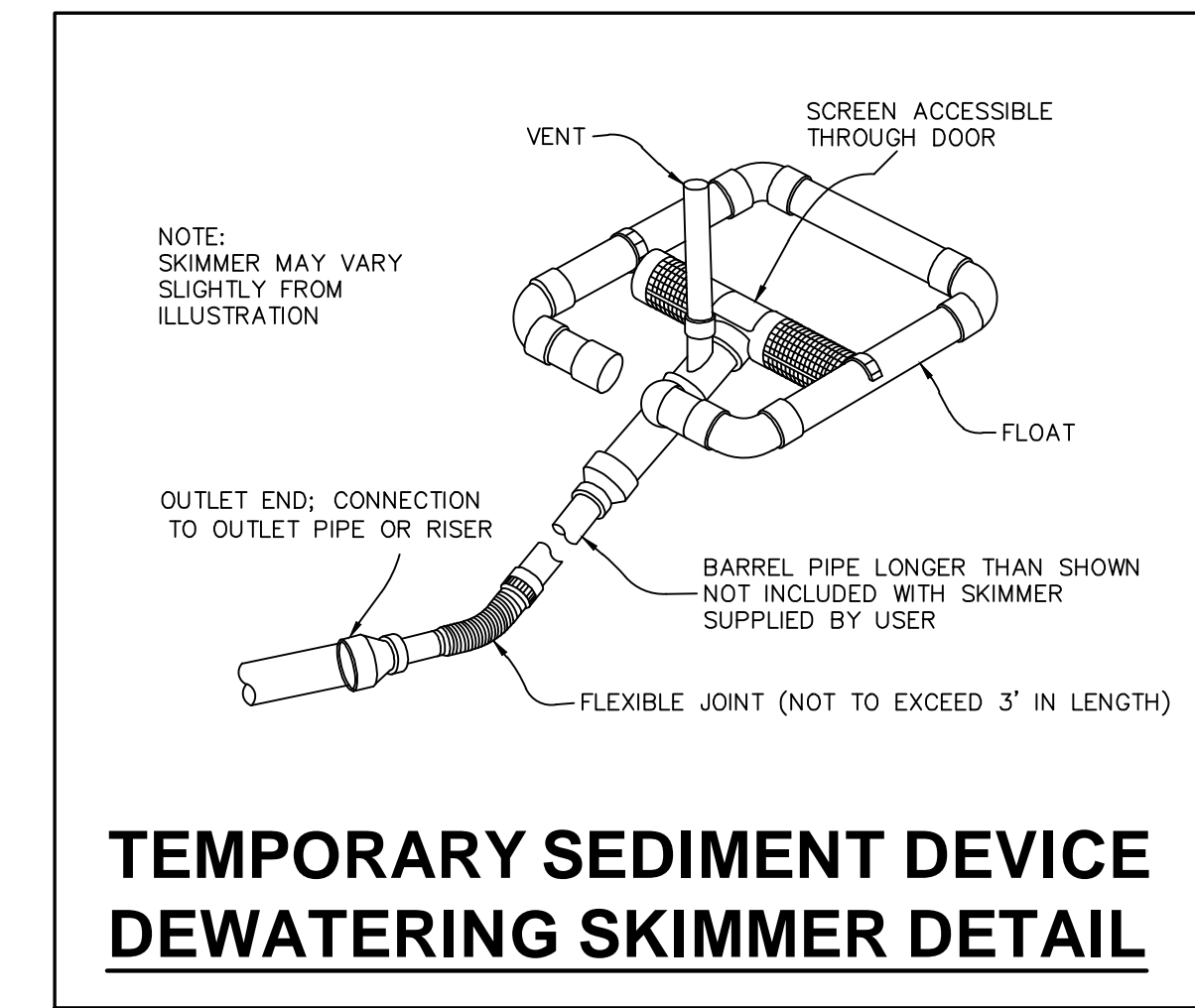
PLANT TYPE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SPACING
230		ASCLEPIAS INCARNATA	SWAMP MILKWEED	2" PLUG	2' O.C.
230		CAREX TENERA	QUILL SEDGE	2" PLUG	2' O.C.
230		CHELONE GLABRA	WHITE TURTLEHEAD	2" PLUG	2' O.C.



SCM PLAN



SCM PLANTING PLAN



PID
HELMUT AND DESIGN PLLC
 8522-204 SIX FORKS ROAD
 RALEIGH, NORTH CAROLINA 27615
 919.845.7600 PHONE
 919.845.7703 FAX
 ENGR. FIRM LICENSE NO. F-0843

SEAL
 050856
 MICHAEL L. SCHMIDT
 02-17-24

WEAVER'S POINTE SUBDIVISION
0 WEAVER'S POND DRIVE
ZEBULON, NC

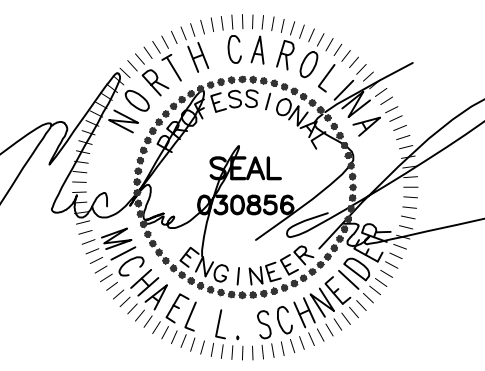
ISSUED: 14 FEB 2024

REVISIONS:
 17 APRIL 20124
 PER TOWN/WAKE COUNTY REVIEW

DRAWN BY: JET
 CHECKED BY: MLS
 PROJECT: FDCWP9

SCM #2 DETAILS

DWG. NO. **SITE 22**



02-17-24

WEAVER'S POINTE SUBDIVISION

0 WEAVERS POND DRIVE
ZEBULON, NC

ISSUED: 02 FEB 2024

REVISIONS:
 17 APRIL 20124
 PER TOWN/WAKE COUNTY REVIEW

DRAWN BY: JET
 CHECKED BY: MLS
 PROJECT: FDCWP9

DETAILS

DWG. NO. SITE 23

TOWN OF ZEBULON
TYPICAL CURB & GUTTER STREET STANDARDS

SECTIONAL VIEW
#2:1 MAX. 3:1 RECOMMENDED

CLASSIFICATION	ROAD TYPE	PAVEMENT TYPE	SECTION	SCALE	
0A-0E-SAC	30"	1/4"	3"	6"	30'
LOCAL STREET	30"	3/4"	3"	6"	30'
RESIDENTIAL COLLECTOR	30"	3/4"	4"	6"	30'
INDUSTRIAL	30"	3/4"	4"	6"	30'

PROJECT SPECIFIC PAVEMENT SPECIFICATIONS

PAVEMENT SECTION	STREET
SEB.2.1 C&G	STREET C 0A-0E-SAC
4"	STREET A
4"	STREET C EXCEPT 0A-0E-SAC

30" VALLEY - STANDARD

30" VALLEY - SPILL

STANDARD

SPILL

NOTES:
 1. SCORE CURB / VALLEY GUTTER AT 15' O.C.
 2. PROVIDE 1/2" EXPANSION JOINTS AT 90' O.C.
 3. FOR TRANSITION OF CURB TO CURB OPENING INLET, SEE STANDARD DETAIL 33.

TOWN OF ZEBULON
STD. CURB & GUTTER & VALLEY GUTTER DETAIL
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 1 OF 1

TOWN OF ZEBULON
CUL-DE-SAC DIMENSIONS

NOTES:
 SIDEWALK REQUIRED ONE SIDE WHEN CUL-DE-SAC LENGTH EXCEEDS 400 FEET DIAMETER USED IN CUL-DE-SAC > 150 FEET IN DEPTH 70 FOOT DIAMETER MAY BE USED FOR CUL-DE-SACS < 150 FEET IN DEPTH

TOWN OF ZEBULON
SECTIONAL VIEW
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 5 OF 1

TOWN OF ZEBULON
FULL DEPTH ASPHALT REPAIR DETAIL FOR UTILITY CUTS

NOTES:
 1. PAVEMENT REPAIRS SHALL HAVE 6" COMPACTED 3" (19.0B AND 3" B25.0B) AND 2" TOPPING OF SFS 5B
 2. TRENCH IS TO BE BACK FILLED IN 6" LIFTS AND COMPACTED TO 98% STANDARD DENSITY AS DETERMINED BY AASHTO TEST METHOD T-99 OR ASTM D-698 BEFORE PAVEMENT REPAIRS ARE MADE
 3. COMPACTION TEST MAY BE REQUIRED AT REQUEST OF INSPECTOR.
 4. ALL EXISTING PAVED STREETS AND SECONDARY ROADS WHICH ARE OPEN CUT TO INSTALL SEWER OR WATER PIPE, MUST BE REPAIRED ACCORDING TO THIS DETAIL.
 5. C&G BACKFILL IS NOT ALLOWED IN ANY PART OF TRENCH WITHIN PAVEMENT.
 6. FIBER OPTIC & GAS: #57 STONE OR FLOWABLE FILL CONCRETE (MINIMUM 50 PSI) BUT MIN. 6" COMPACTED CLASS II OR III (DEFINITION IN SECTION 02210 - PARAGRAPH 3B OF SPECS) FILL OVER TOP OF FIBER OPTIC CABLE OR GAS PIPE.

TOWN OF ZEBULON
SECTIONAL VIEW
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 6 OF 1

TOWN OF ZEBULON
STREET CURB CUT FOR DRIVEWAYS ON C&G STREETS

SECTION A-A
ELEVATION OF SINGLE ACCESS RAMP
NOT TO SCALE

NOTES:
 1. RESIDENTIAL DRIVEWAY TO BE 12' TO 24' IN WIDTH.
 2. COMMERCIAL AND INDUSTRIAL DRIVEWAYS TO BE A MAXIMUM OF 36' WIDE.
 3. ALL CONCRETE SHALL BE 3000 PSI @ 28 DAYS AIR ENTRAINED.
 4. CURB SHALL BE TYPED TO FINISH FLOOR WITH SIDEWALK.
 5. BEHIND RADIUS SHALL NOT ENDOUCH ON ADJACENT PROPERTIES BASED ON A PROJECTION OF PROPERTY LINE FROM THE RIGHT-OF-WAY TO THE CURB LINE.
 6. SIDEWALK SECTION SHALL NOT BE REQUIRED ALONG STREETS WHICH ARE NOT PLANNED FOR SIDEWALK.

TOWN OF ZEBULON
SECTION A-A
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 2 OF 2

TOWN OF ZEBULON
FLARED DRIVEWAY ENTRANCE TO VALLEY GUTTER

SECTION A-A
ELEVATION OF SINGLE ACCESS RAMP
NOT TO SCALE

NOTES:
 1. RESIDENTIAL DRIVEWAY TO BE 12' TO 24' IN WIDTH.
 2. COMMERCIAL AND INDUSTRIAL DRIVEWAYS TO BE A MAXIMUM OF 36' WIDE.
 3. ALL CONCRETE SHALL BE 3000 PSI @ 28 DAYS AIR ENTRAINED.
 4. CURB SHALL BE TYPED TO FINISH FLOOR WITH SIDEWALK.
 5. BEHIND RADIUS SHALL NOT ENDOUCH ON ADJACENT PROPERTIES BASED ON A PROJECTION OF PROPERTY LINE FROM THE RIGHT-OF-WAY TO THE CURB LINE.
 6. SIDEWALK SECTION SHALL NOT BE REQUIRED ALONG STREETS WHICH ARE NOT PLANNED FOR SIDEWALK.

TOWN OF ZEBULON
SECTION A-A
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 3 OF 1

TOWN OF ZEBULON
STD. SUBDRAIN BEHIND CURB & GUTTER

SECTIONAL VIEW

NOTES:
 SUBDRAINS SHALL BE 2" OR 3" IN DIAMETER AND SHALL BE PLACED ON A PERVIOUS STRATA. ONLY NO TES OR CONNECTIONS WILL BE ALLOWED ON A PIPE COURSE OF ANY SIZE.
 SUBSTRATE OR IN SOME CASES IMPERVIOUS STRATA.
 SUBDRAIN PIPE PERFORATIONS DOWN (2" REDUCED).
 #407 OR #67 CRUSHED STONE.
 SUPAC FABRIC OR EQUAL LAP 6" x 9".
 ON ONE PIPE DIAMETER IF PIPE LARGER THAN 6" IS SPECIFIED.

TOWN OF ZEBULON
SECTIONAL VIEW
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 4 OF 1

TOWN OF ZEBULON
TYP SIDEWALK IN CUT OF FILL SECTIONS

SECTIONAL VIEW

NOTES:
 1. PROVIDE 3/4" DEEP TOOLED SCORE AT 5'-0" O.C.
 2. EXPANSION JOINTS TO BE PLACED 30'-0" O.C.
 LONGITUDINALLY, ADJACENT TO CURBS, AND WHEN BUTTING EXISTING STRUCTURES, CONCRETE, OR BUILDINGS.
 3. CONCRETE TO BE 3000 P.S.I. AT 28 DAYS, AIR-ENTRAINED.
 4. SUBGRADE SHOULD NOT CONTAIN ORGANIC MATTER OR PLASTIC CLAYS. WHEN FOUND, REFER TO SPECS OR CONTACT ENGINEER FOR DIRECTIONS.
 5. AREAS OF FILL ARE TO BE COMPACTED TO 95% STANDARD PROCTOR USING MCDOT CLASS III BORROW OR BETTER. REMOVE TOPSOIL BEFORE PLACING BORROW.
 6. SIDEWALK TRANSVERSE SLOPE MAY INCREASE TO 1/2 IN 12 WITH TOWN'S ENGINEER APPROVAL.

TOWN OF ZEBULON
SECTIONAL VIEW
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 5 OF 1

TOWN OF ZEBULON
DOUBLE HANDICAP RAMP DETAIL

SECTION A-A
PUBLIC STREET TIE-IN
NOT TO SCALE

NOTES:
 1. WHEELCHAIR RAMPS SHALL BE PROVIDED AT LOCATIONS AS SHOWN ON THESE PLANS OR AS DIRECTED BY THE ENGINEER. WHEELCHAIR RAMPS SHALL BE LOCATED AT PROJECTIONS WHERE EXISTING LIGHT POLES, FIRE HYDRANTS, DROP INLETS, ETC. AFFECT PLACEMENT. AT THESE LOCATIONS NOT LESS THAN 2 FEET OF FULL HEIGHT CURB SHALL BE PLACED BETWEEN ADJACENT RAMPS.
 2. NO SLOPE ON THE WHEELCHAIR RAMP SHALL EXCEED 17/12" (1:21) IN RELATIONSHIP TO THE GRADE OF THE STREET.
 3. IN NO CASE SHALL THE WIDTH OF THE WHEELCHAIR RAMP BE LESS THAN 40" (3'-4") WIDER, WITH A MAX. EXCEED 40".
 4. USE AIR ENTRAINED 3000 PSI CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NON-SKID TYPE SURFACE.
 5. A 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE CONCRETE WHEELCHAIR RAMP JOINS THE CURB AND AS SHOWN ON STANDARD DRAWINGS.
 6. CURB DEPRESSION MUST GO IN WHETHER OR NOT SIDEWALK IS PLACED.

TOWN OF ZEBULON
SECTION A-A
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 21 OF 3

TOWN OF ZEBULON
DOUBLE HANDICAP RAMP DETAIL

SECTION B-B
NOT TO SCALE

NOTES:
 NO DRIVEWAYS, INCLUDING TRANSITIONS, SHALL ENDOUCH INTO HANDICAP RAMP.
 FIRST TWO FEET SHALL BE HANDICAP PANELS WITH DIMPLES BY ALERT CAST OR APPROVED EQUAL.
 THE REMAINING FOUR FEET SHALL BE DYED CONCRETE WITH FIVE CONTRAST INSTRUCTIONS PER MANUFACTURER'S INSTRUCTIONS.
 *STAMPED CONCRETE NOT ALLOWED.

TOWN OF ZEBULON
SECTION B-B
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 21 OF 3

TOWN OF ZEBULON
STD. C&G INLET W/HOOD DETAIL

PERSPECTIVE

NOTES:
 U.S. FOUNDRY #81 CURB & GUTTER INLET FRAME (SHOWN WITH GRID GRADE). READY CUT FRAME, COVER & HOOD FRAME, COVER & HOOD WEIGHT = 550 LBS. WEIGHT MAY VARY BY MORE THAN -50#.

TOWN OF ZEBULON
PERSPECTIVE
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 33 OF 4

TOWN OF ZEBULON
STD. C&G INLET W/HOOD DETAIL

PERSPECTIVE

NOTES:
 U.S. FOUNDRY #81 CURB & GUTTER INLET FRAME (SHOWN WITH GRID GRADE). READY CUT FRAME, COVER & HOOD FRAME, COVER & HOOD WEIGHT = 550 LBS. WEIGHT MAY VARY BY MORE THAN -50#.

TOWN OF ZEBULON
PERSPECTIVE
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 33 OF 4

TOWN OF ZEBULON
DOUBLE HANDICAP RAMP DETAIL

SECTION A-A
PUBLIC STREET TIE-IN
NOT TO SCALE

NOTES:
 1. WHEELCHAIR RAMPS SHALL BE PROVIDED AT LOCATIONS AS SHOWN ON THESE PLANS OR AS DIRECTED BY THE ENGINEER. WHEELCHAIR RAMPS SHALL BE LOCATED AT PROJECTIONS WHERE EXISTING LIGHT POLES, FIRE HYDRANTS, DROP INLETS, ETC. AFFECT PLACEMENT. AT THESE LOCATIONS NOT LESS THAN 2 FEET OF FULL HEIGHT CURB SHALL BE PLACED BETWEEN ADJACENT RAMPS.
 2. NO SLOPE ON THE WHEELCHAIR RAMP SHALL EXCEED 17/12" (1:21) IN RELATIONSHIP TO THE GRADE OF THE STREET.
 3. IN NO CASE SHALL THE WIDTH OF THE WHEELCHAIR RAMP BE LESS THAN 40" (3'-4") WIDER, WITH A MAX. EXCEED 40".
 4. USE AIR ENTRAINED 3000 PSI CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NON-SKID TYPE SURFACE.
 5. A 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE CONCRETE WHEELCHAIR RAMP JOINS THE CURB AND AS SHOWN ON STANDARD DRAWINGS.
 6. CURB DEPRESSION MUST GO IN WHETHER OR NOT SIDEWALK IS PLACED.

TOWN OF ZEBULON
SECTION A-A
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 21 OF 3

TOWN OF ZEBULON
DOUBLE HANDICAP RAMP DETAIL

SECTION B-B
NOT TO SCALE

NOTES:
 NO DRIVEWAYS, INCLUDING TRANSITIONS, SHALL ENDOUCH INTO HANDICAP RAMP.
 FIRST TWO FEET SHALL BE HANDICAP PANELS WITH DIMPLES BY ALERT CAST OR APPROVED EQUAL.
 THE REMAINING FOUR FEET SHALL BE DYED CONCRETE WITH FIVE CONTRAST INSTRUCTIONS PER MANUFACTURER'S INSTRUCTIONS.
 *STAMPED CONCRETE NOT ALLOWED.

TOWN OF ZEBULON
SECTION B-B
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 21 OF 3

TOWN OF ZEBULON
STD. C&G INLET W/HOOD DETAIL

PERSPECTIVE

NOTES:
 U.S. FOUNDRY #81 CURB & GUTTER INLET FRAME (SHOWN WITH GRID GRADE). READY CUT FRAME, COVER & HOOD FRAME, COVER & HOOD WEIGHT = 550 LBS. WEIGHT MAY VARY BY MORE THAN -50#.

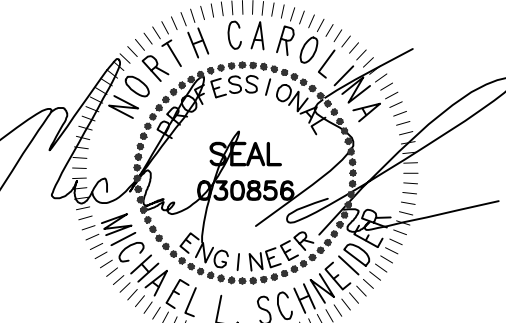
TOWN OF ZEBULON
PERSPECTIVE
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 33 OF 4

TOWN OF ZEBULON
STD. C&G INLET W/HOOD DETAIL

PERSPECTIVE

NOTES:
 U.S. FOUNDRY #81 CURB & GUTTER INLET FRAME (SHOWN WITH GRID GRADE). READY CUT FRAME, COVER & HOOD FRAME, COVER & HOOD WEIGHT = 550 LBS. WEIGHT MAY VARY BY MORE THAN -50#.

TOWN OF ZEBULON
PERSPECTIVE
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 33 OF 4



02-17-24

WEAVER'S POINTE SUBDIVISION 0 WEAVERS POND DRIVE ZEBULON, NC

ISSUED: 02-14-24

REVISIONS:

17 APRIL 20124
PER TOWN/WAKE COUNTY REVIEW

DRAWN BY: JET
CHECKED BY: MLS
PROJECT: FDCWP9

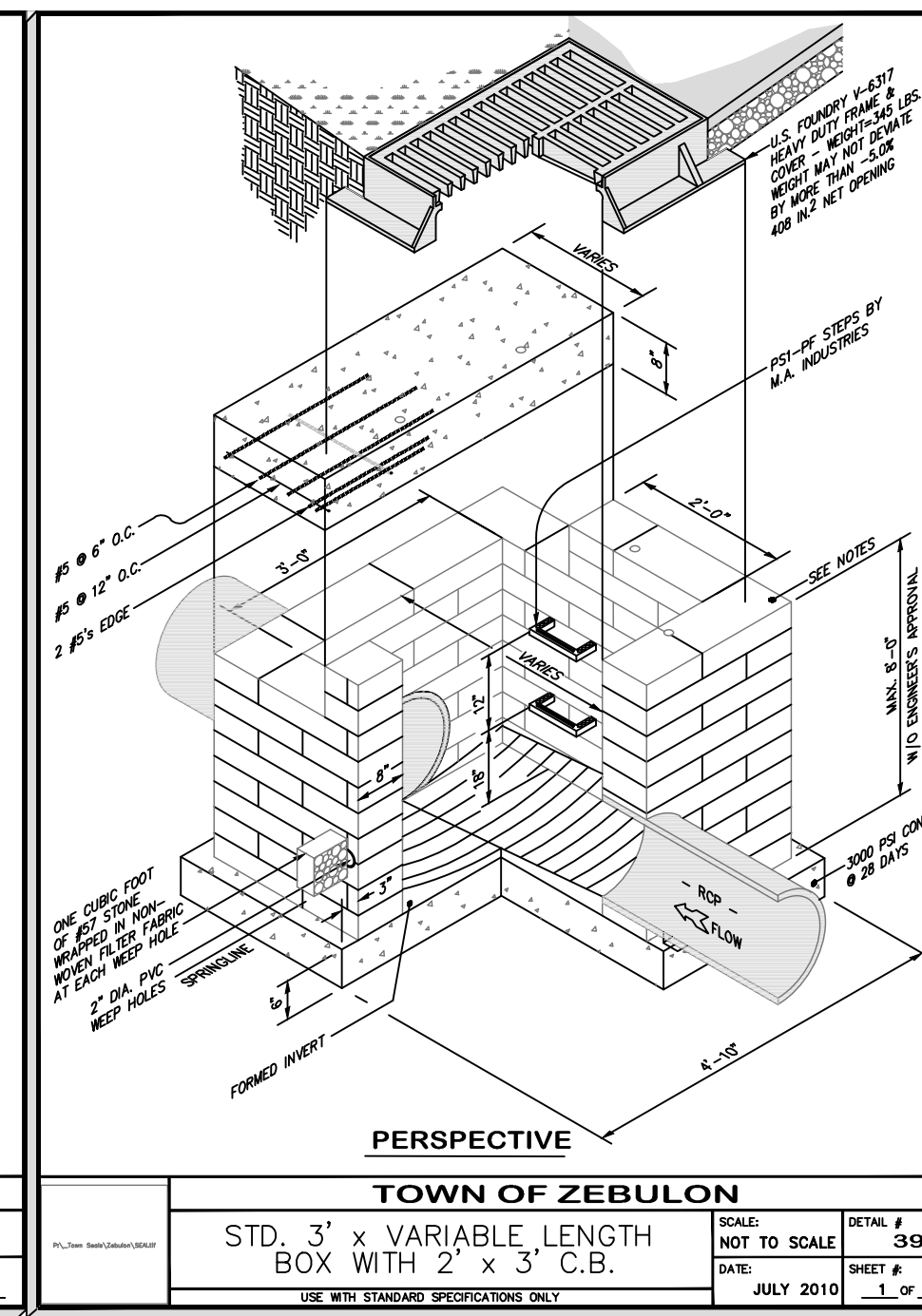
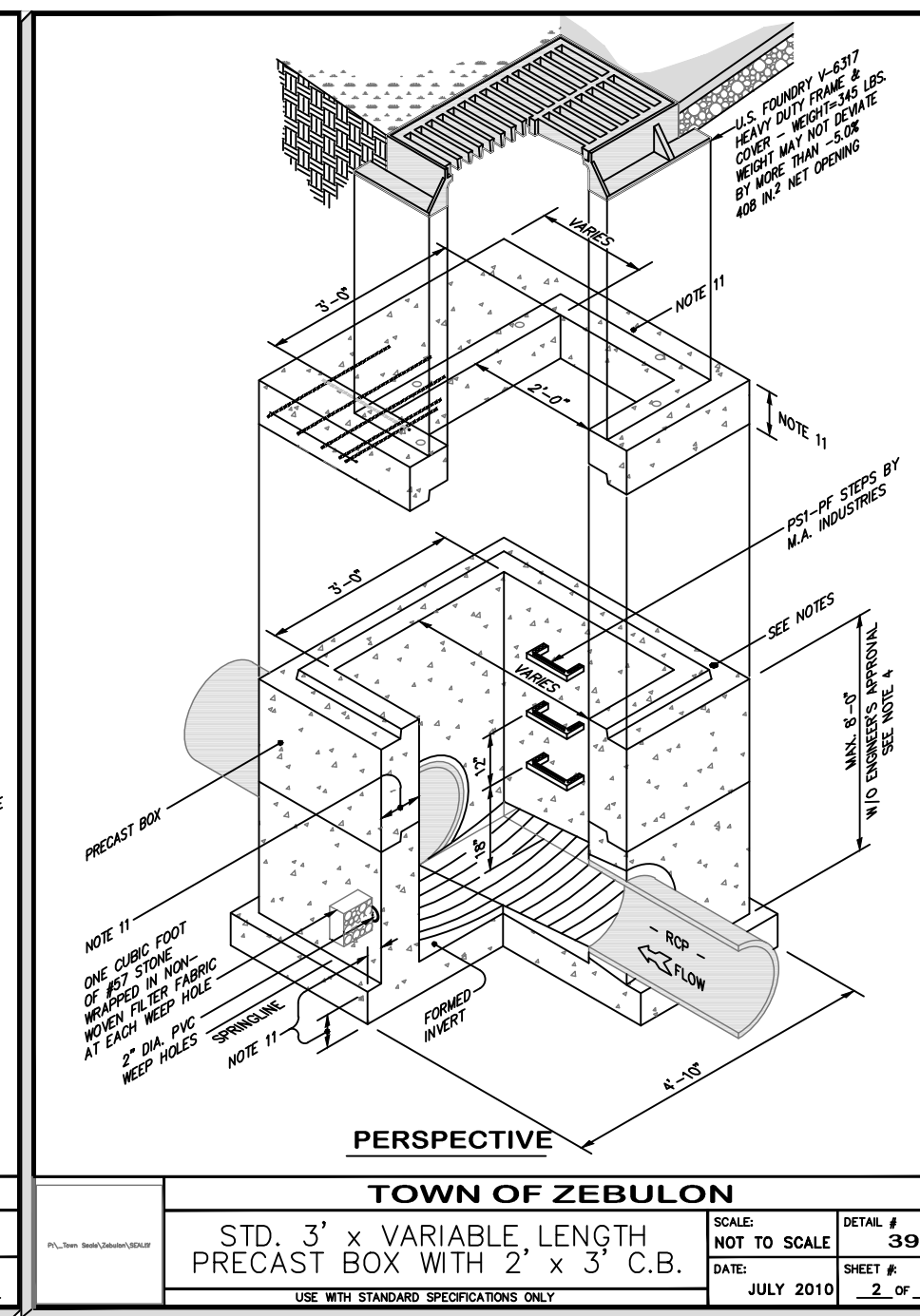
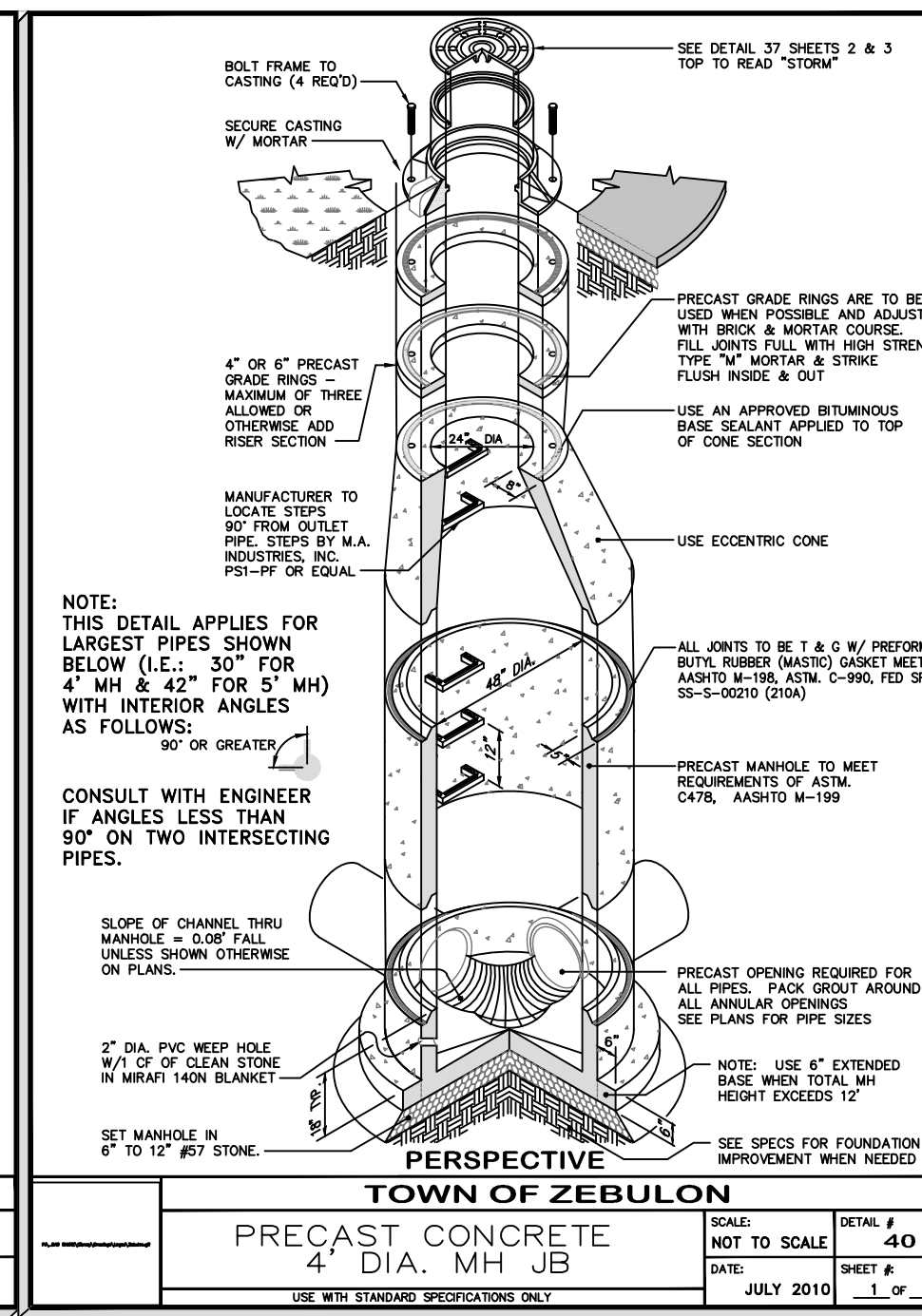
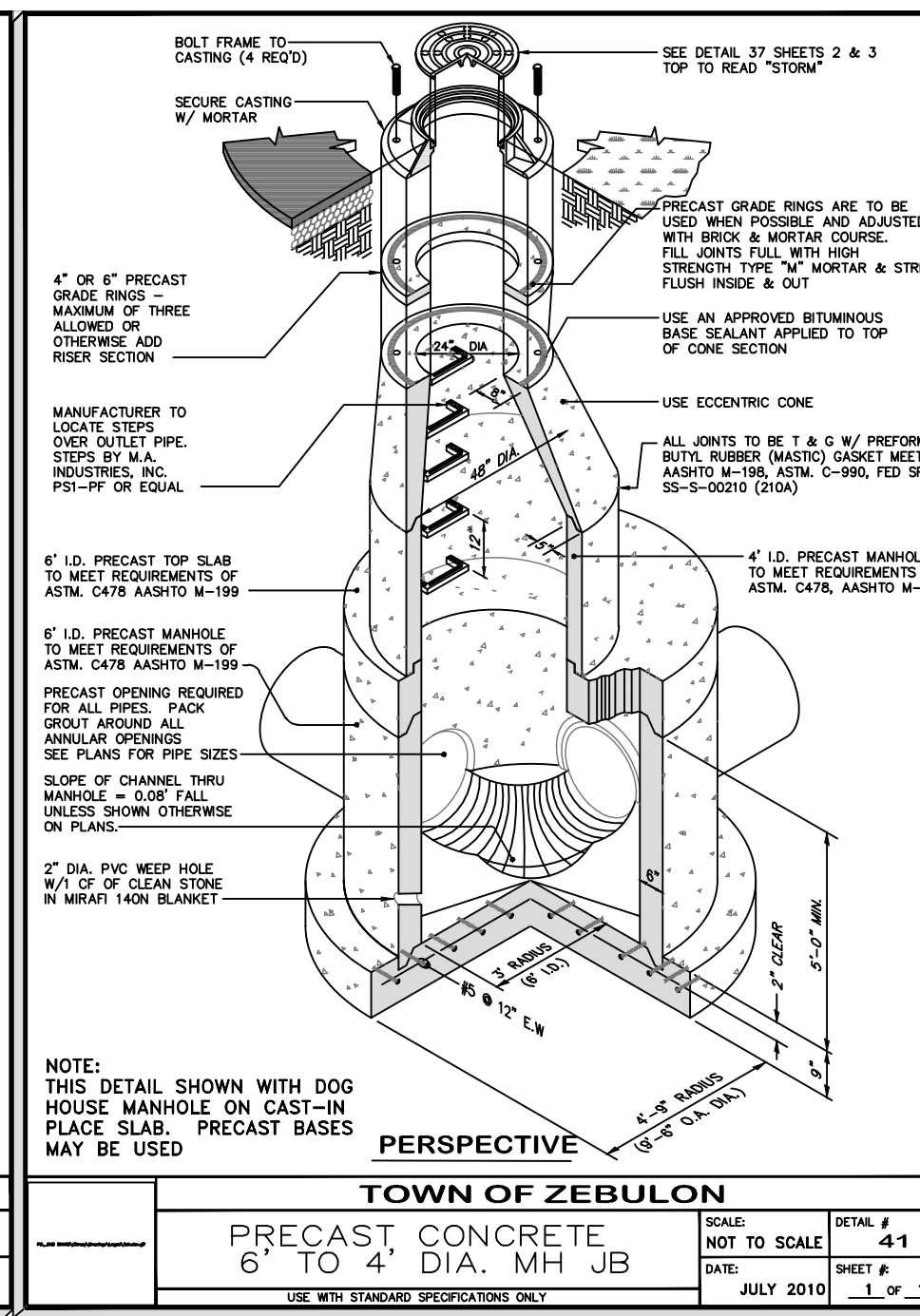
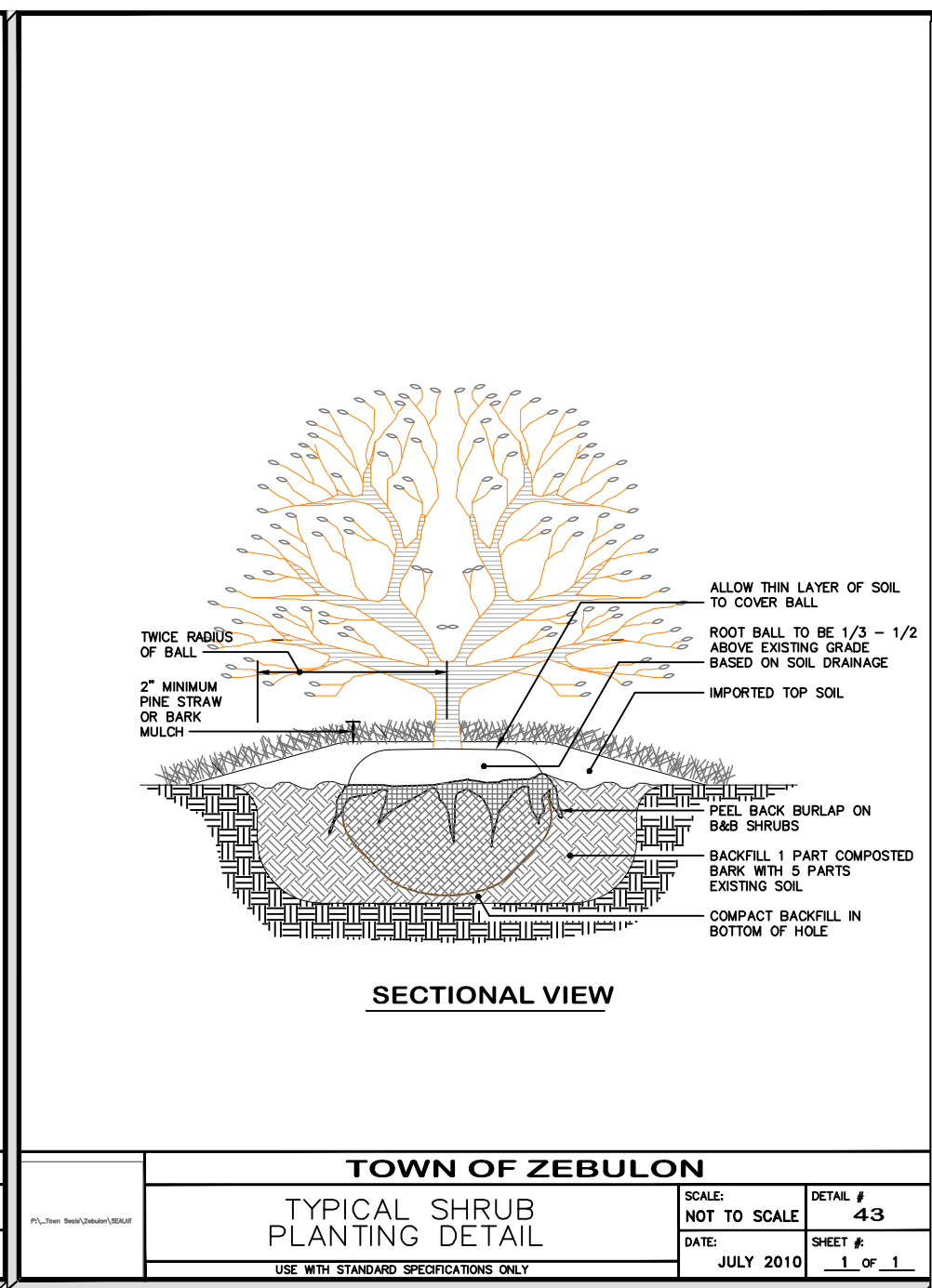
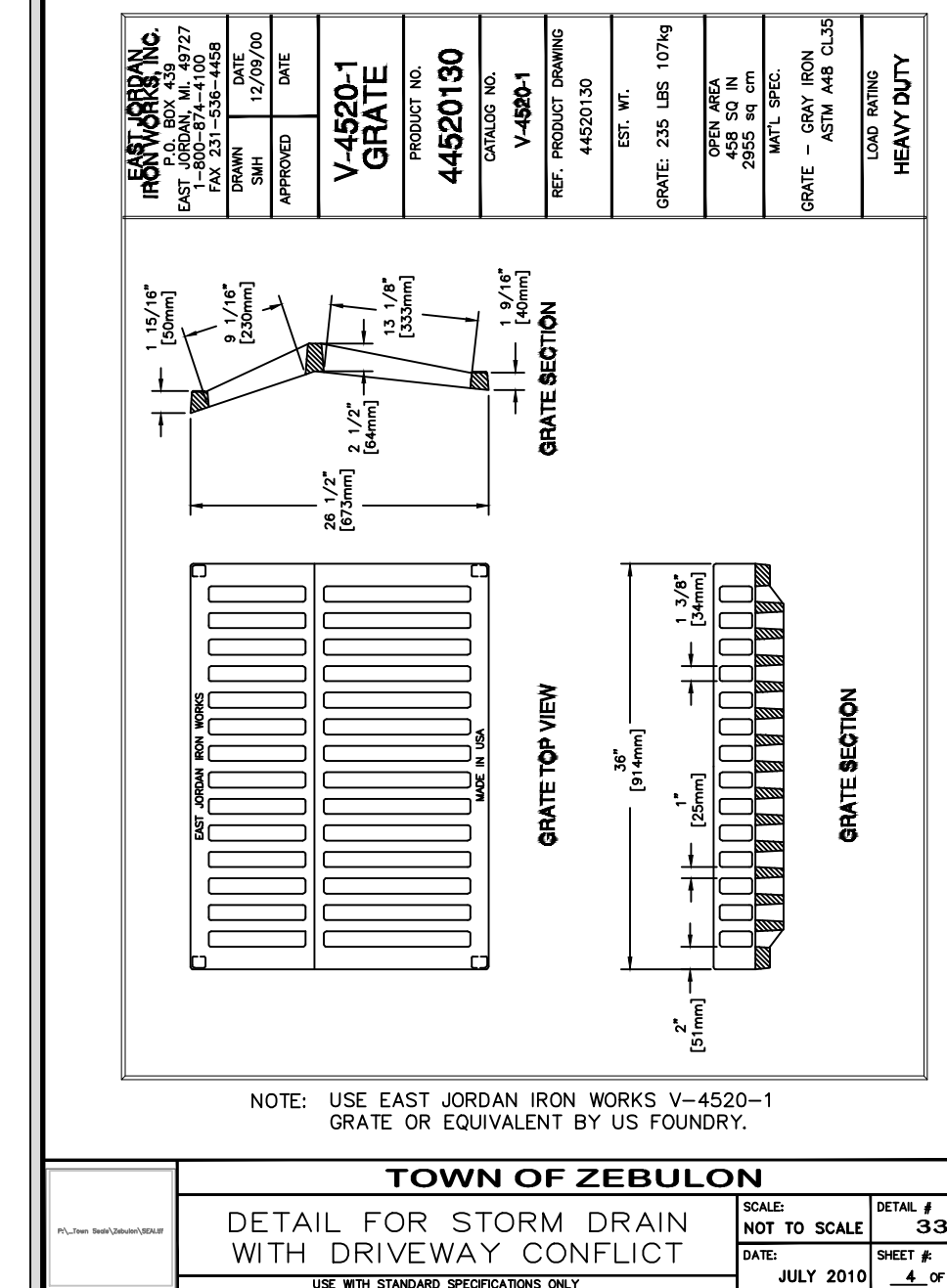
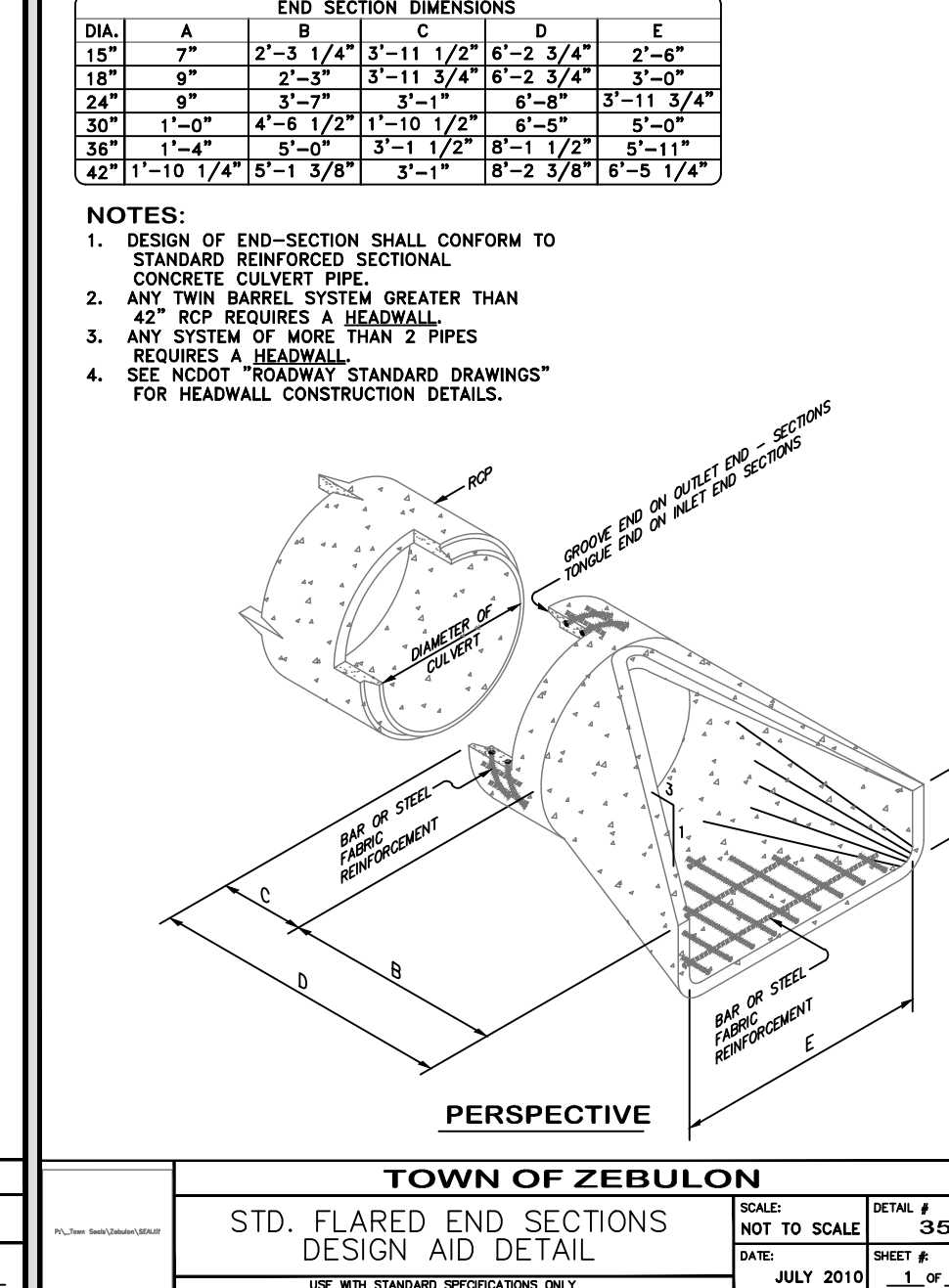
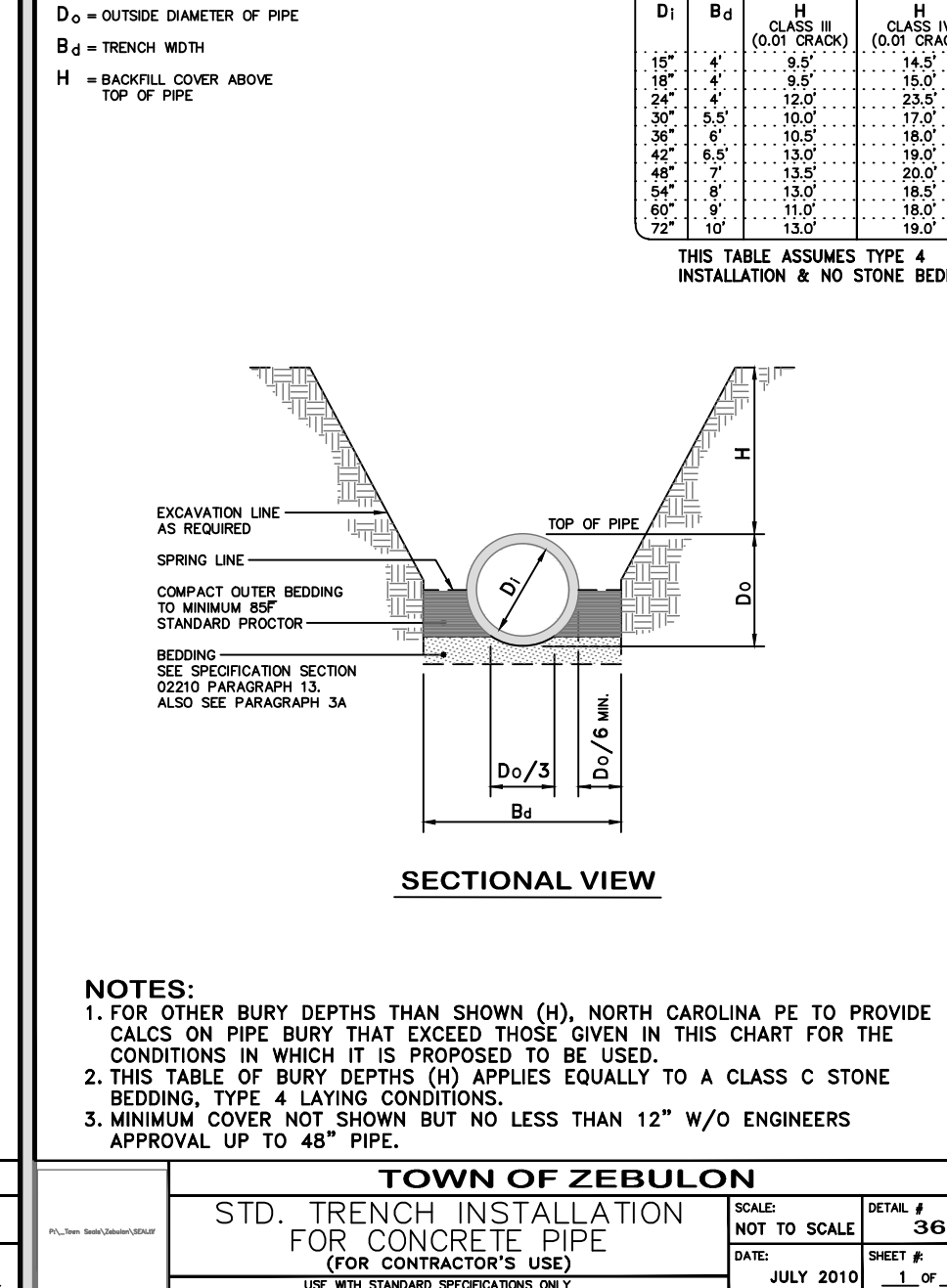
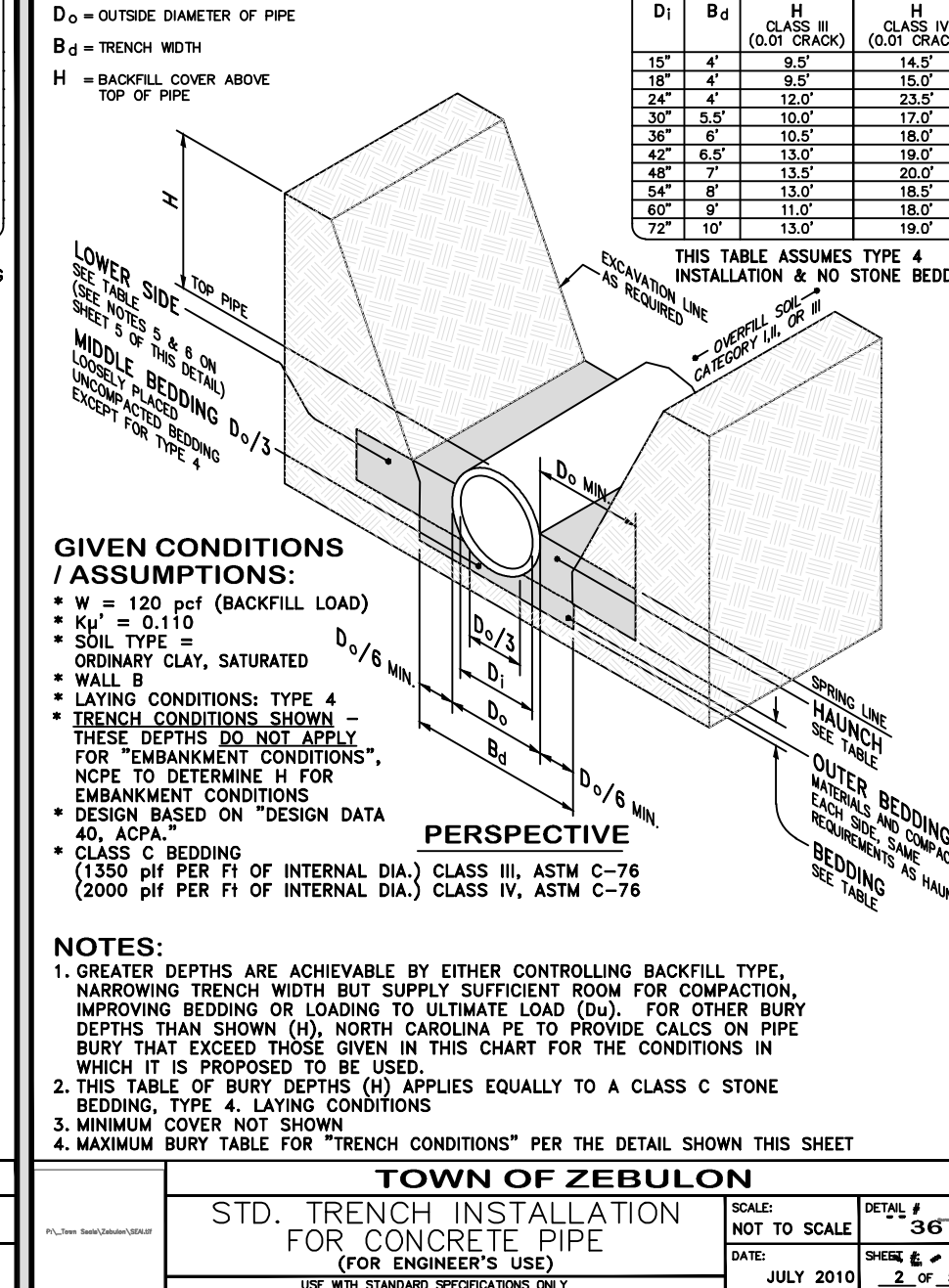
DETAILS

DWG. NO. SITE 24

Installation Type	Bedding Thickness	Haunch and Outer Bedding	Lower Side
Type 1	D ₁₅ /24 minimum, not less than 75 mm (3"), if rock foundation, use D ₁₅ /12 minimum, not less than 150 mm (6").	98% Category I	90% Category I, 95% Category II, 100% Category III
Type 2	D ₁₅ /24 minimum, not less than 75 mm (3"), if rock foundation, use D ₁₅ /12 minimum, not less than 150 mm (6").	90% Category I or 95% Category II	90% Category I, 95% Category II, 95% Category III
Type 3	D ₁₅ /24 minimum, not less than 75 mm (3"), if rock foundation, use D ₁₅ /12 minimum, not less than 150 mm (6").	95% Category I, 95% Category II, or 95% Category III	90% Category I, 95% Category II, 95% Category III
Type 4	D ₁₅ /24 minimum, not less than 75 mm (3"), if rock foundation, use D ₁₅ /12 minimum, not less than 150 mm (6").	No compaction required, except if Category II, use 95% Category II	No compaction required, except if Category II, use 95% Category II

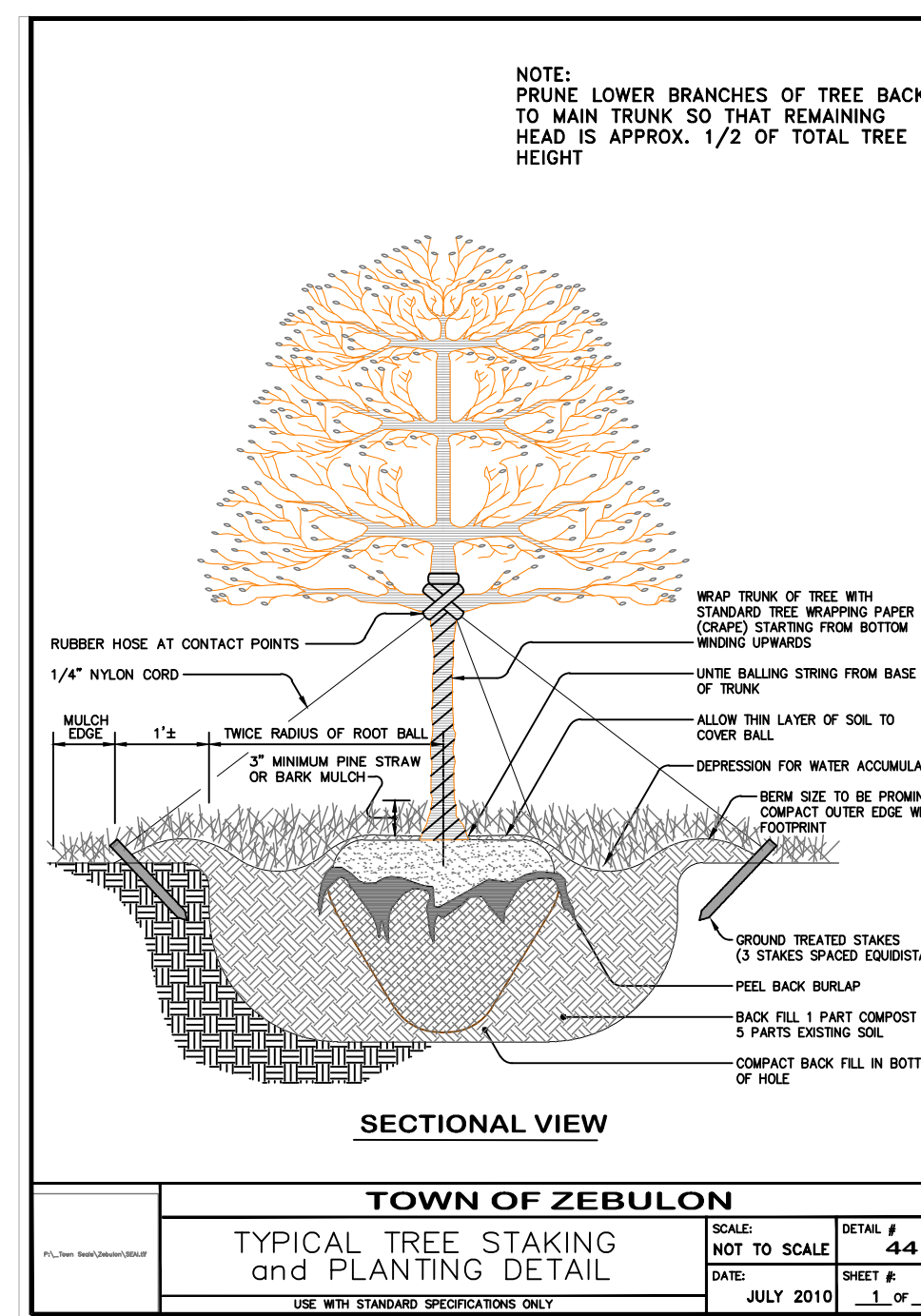
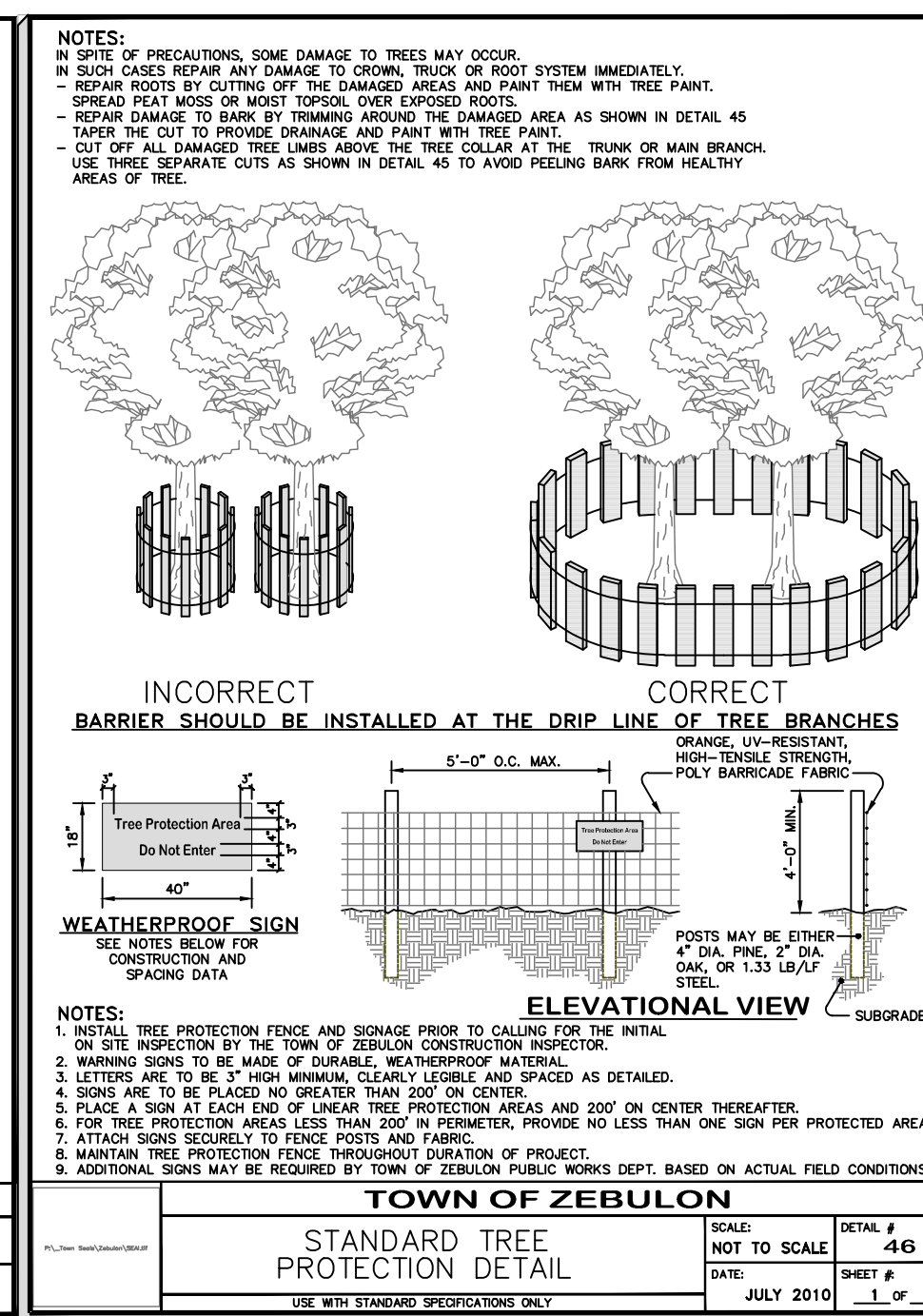
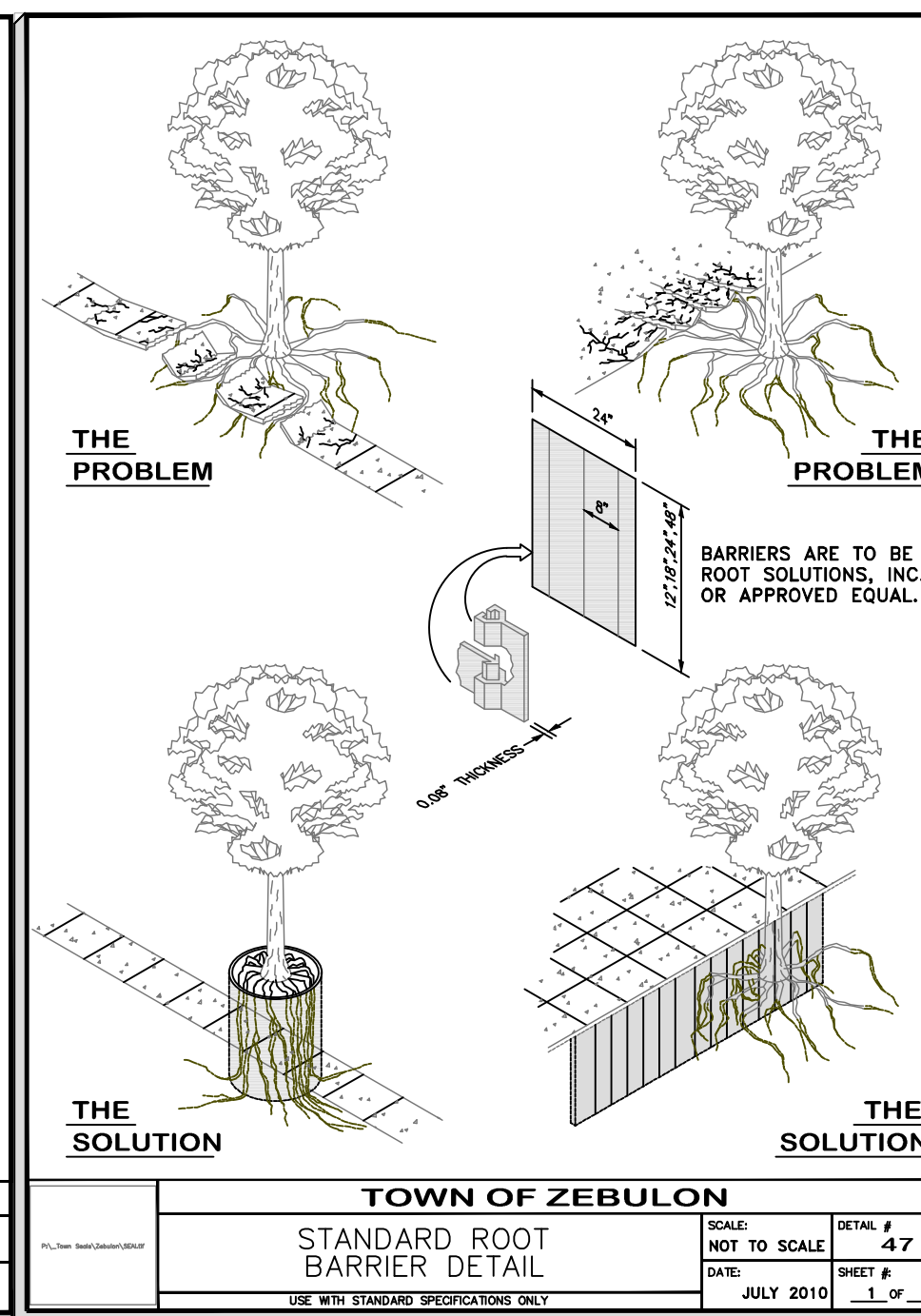
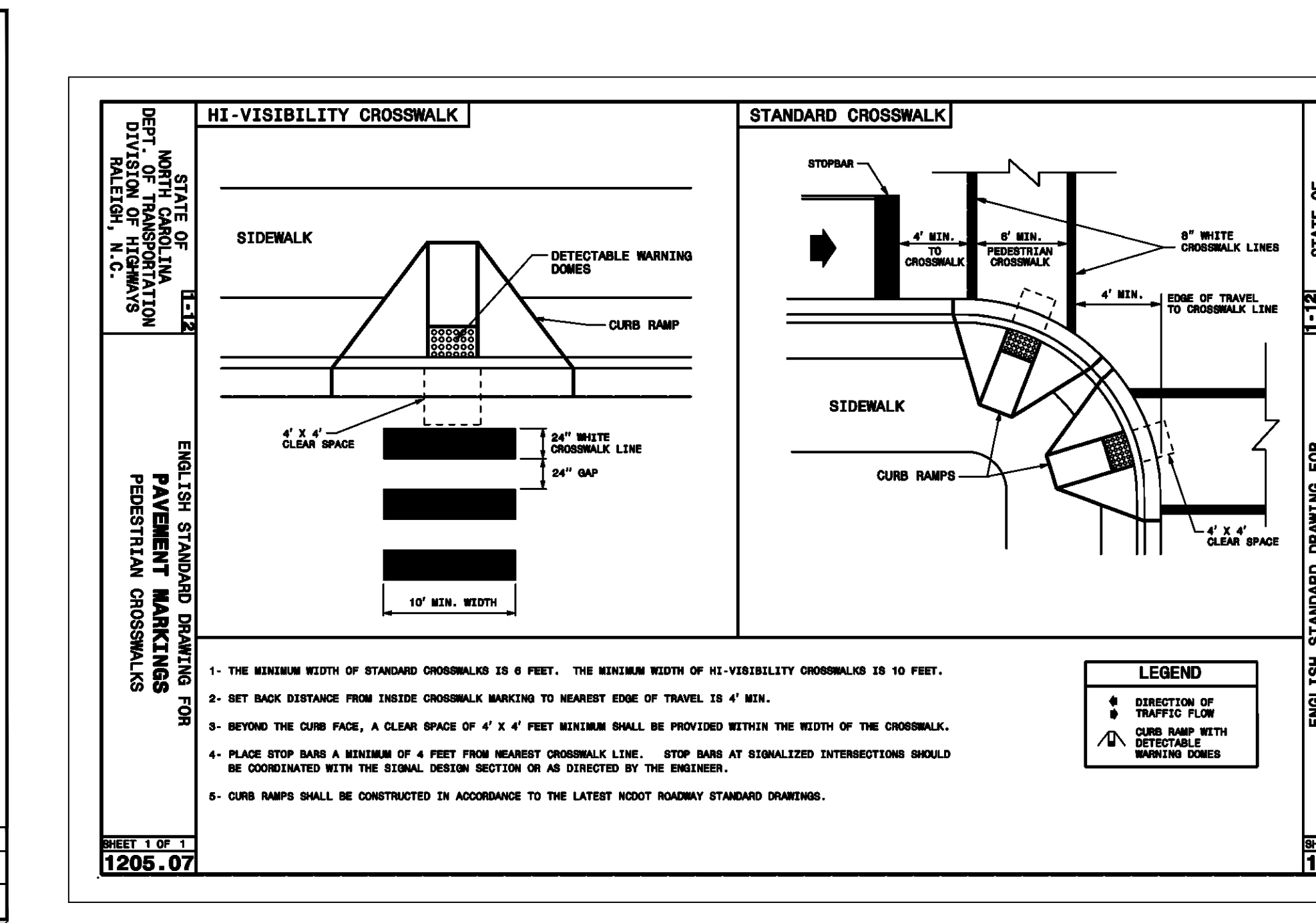
Notes:
1. Compaction and soils symbols - i.e. "98% Category I" refers to Category I soil material with a minimum standard Proctor compaction of 98%. See Table 1 for equivalent modified Proctor values.
2. Soil in the outer bedding, haunch, and lower side zones, except within D₀/3 from the pipe springline, shall be compacted to at least the same compaction as the majority of the soil in the overfill zone.
3. Subdrains
3.1 A subdrain is defined as a trench with its top below finished grade by more than 0.1 H or, for roadways, its top is at an elevation lower than 0.3 m (1') below the bottom of the pavement base material.
3.2 The minimum width of a subdrain shall be 1.33 D₀, or wider if required for adequate space to obtain the specified compaction in the haunch and bedding zones.
3.3 For subdrains with wall of natural soil, any portion of the lower side zone in the subdrain wall shall be at least as firm as an equivalent soil placed to the compaction requirements specified for the lower side zone and as firm as the majority of soil in the overfill zone, or shall be removed and replaced with soil compacted to the specified level.
4. Type 1 installation = relatively high quality material & high compaction effort. Type 4 installation = little or no control over material and compaction.

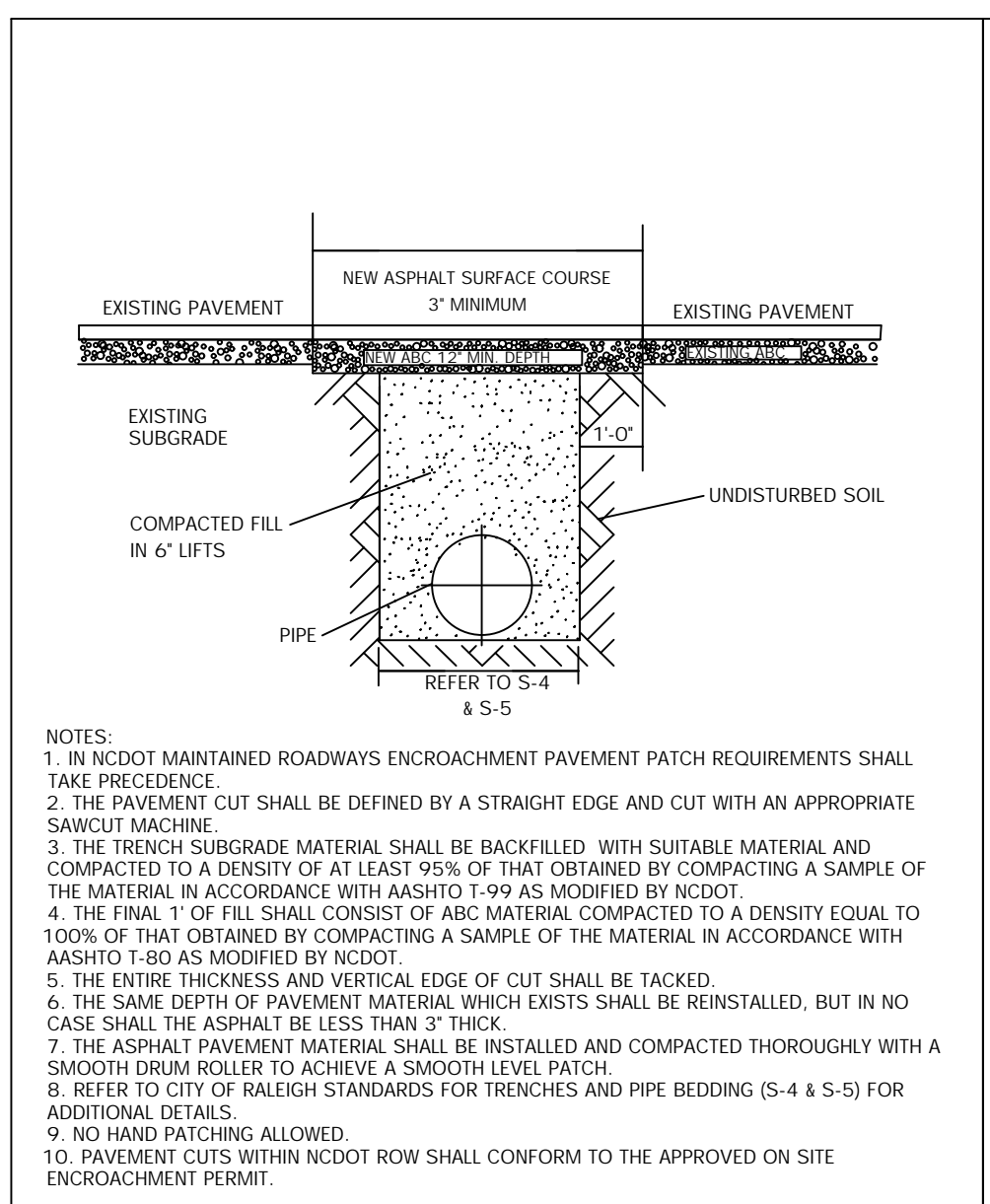
Representative Soil Types	Percent Compaction			
SD Soil	USCS	AASHTO	Standard Proctor	Modified Proctor
Gravelly Sand (Category I)	SR, SP, GR, GP	A1, A3	100	95
			90	80
Sandy Silty (Category II)	SM, SW, ML, AL, CL, SC	A2, A4	100	95
			90	80
Silty Clay (Category III)	CL, MH, SC, CC	A5, A6	100	90
			90	80
			80	70
			70	60
			60	50



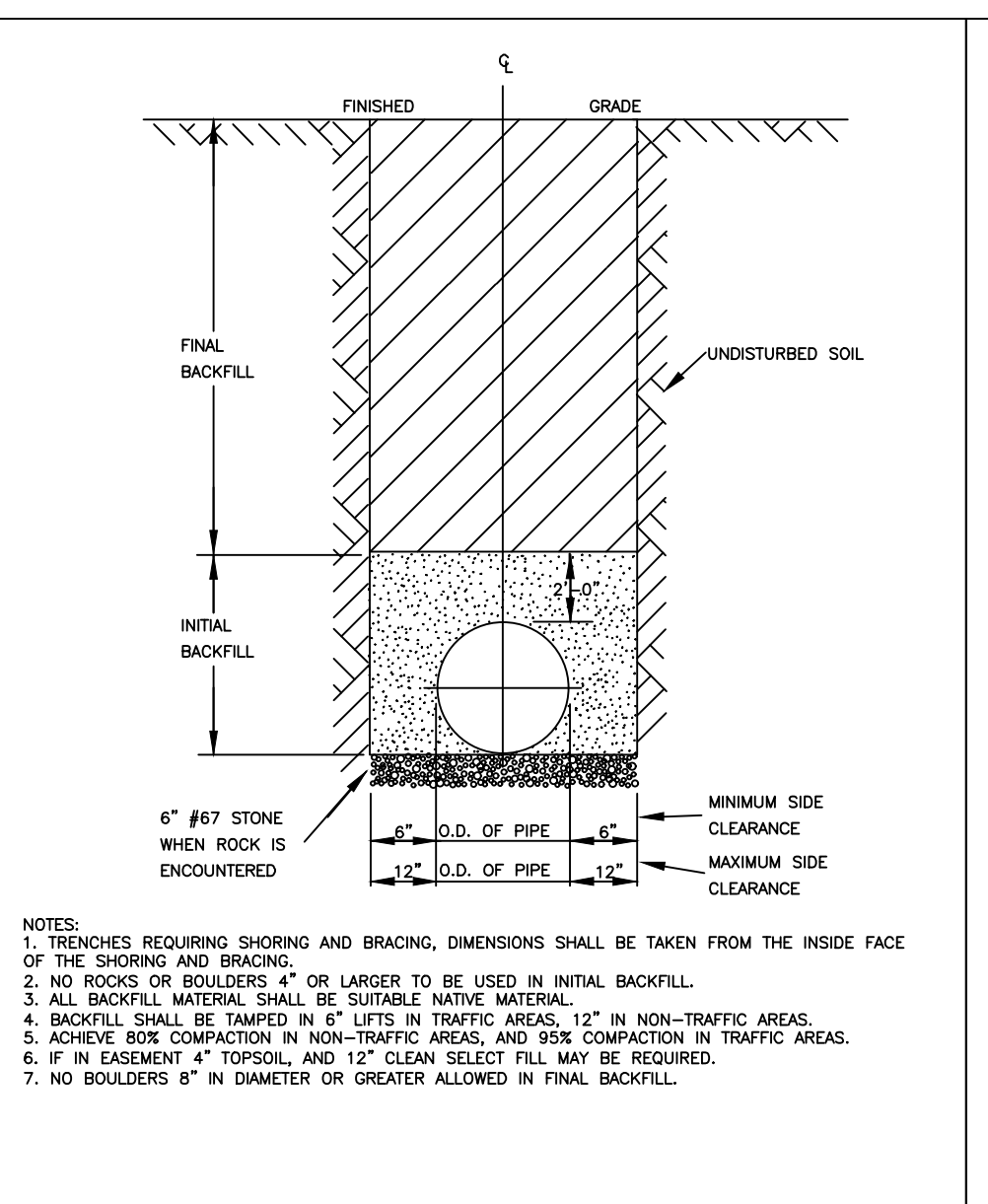
Installation Type	Bedding Thickness	Haunch and Outer Bedding	Lower Side
Type 1	D ₁₅ /24 minimum, not less than 75 mm (3"), if rock foundation, use D ₁₅ /12 minimum, not less than 150 mm (6").	98% Category I	90% Category I, 95% Category II, 100% Category III
Type 2	D ₁₅ /24 minimum, not less than 75 mm (3"), if rock foundation, use D ₁₅ /12 minimum, not less than 150 mm (6").	90% Category I or 95% Category II	90% Category I, 95% Category II, 95% Category III
Type 3	D ₁₅ /24 minimum, not less than 75 mm (3"), if rock foundation, use D ₁₅ /12 minimum, not less than 150 mm (6").	95% Category I, 95% Category II, or 95% Category III	90% Category I, 95% Category II, 95% Category III
Type 4	D ₁₅ /24 minimum, not less than 75 mm (3"), if rock foundation, use D ₁₅ /12 minimum, not less than 150 mm (6").	No compaction required, except if Category II, use 95% Category II	No compaction required, except if Category II, use 95% Category II

Notes:
1. Compaction and soils symbols - i.e. "98% Category I" refers to Category I soil materials with minimum standard Proctor compaction of 98%. See Table 1 for equivalent modified Proctor values.
2. The trench top elevation shall be no lower than 0.1 H below finished grade or, for roadways, its top shall be no lower than an elevation of 0.3 m (1') below the bottom of the pavement base material.
3. Soil in bedding and haunch zones shall be compacted to at least the same compaction as specified for the majority of soil in the backfill zone.
4. The trench width shall be wider than shown if required for adequate space to obtain the specified compaction in the haunch and bedding zone.
5. For trench walls that are within 10 degrees of vertical, the compaction or firmness of the soil in the trench walls and lower side zone need not be considered.
6. For trench walls with greater than 10 degree slopes that consist of embankment, the lower side shall be compacted to at least the same compaction as specified for the soil in the backfill zone.
7. Type 1 installation = relatively high quality material & high compaction effort. Type 4 installation = little or no control over material and compaction.

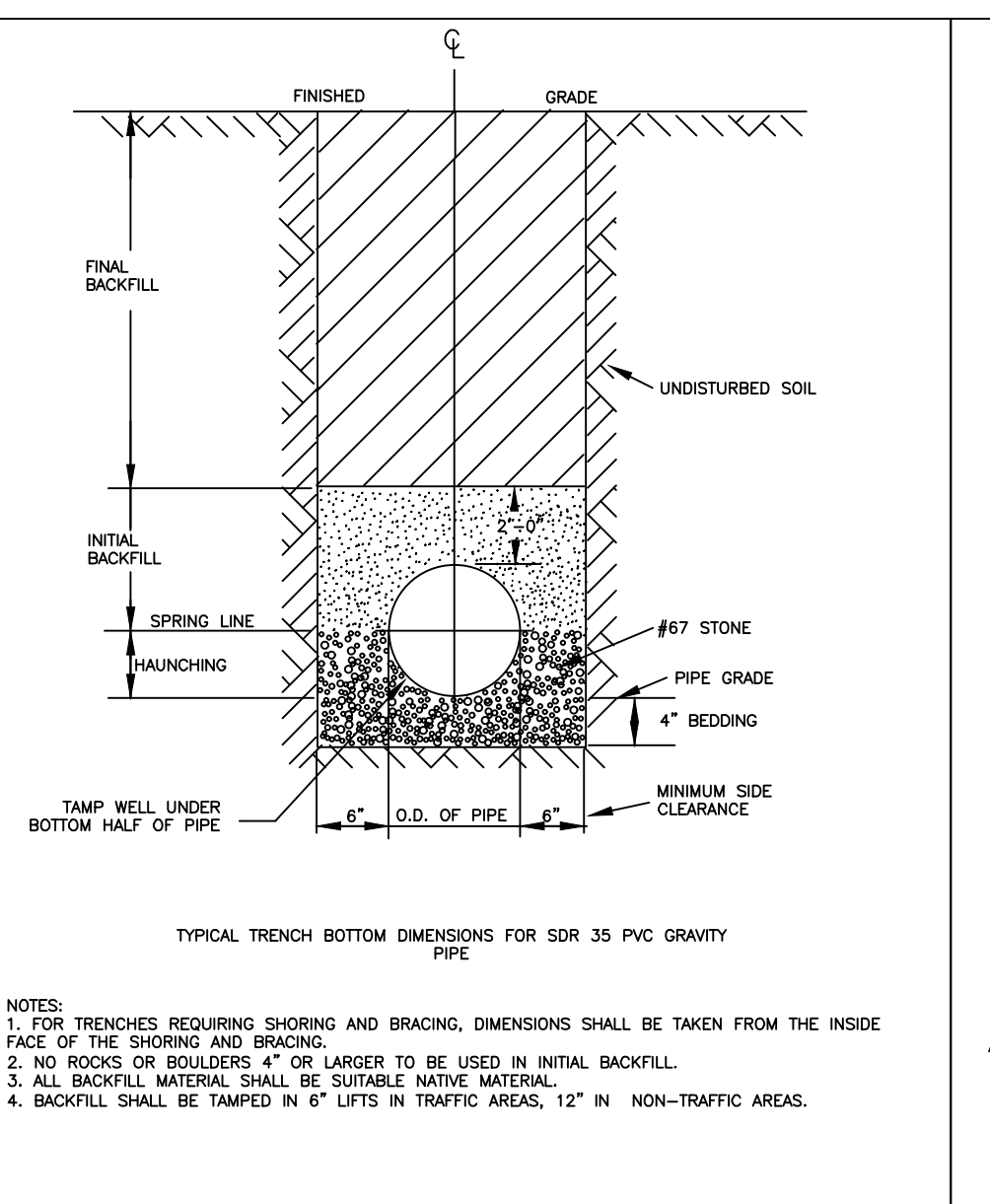




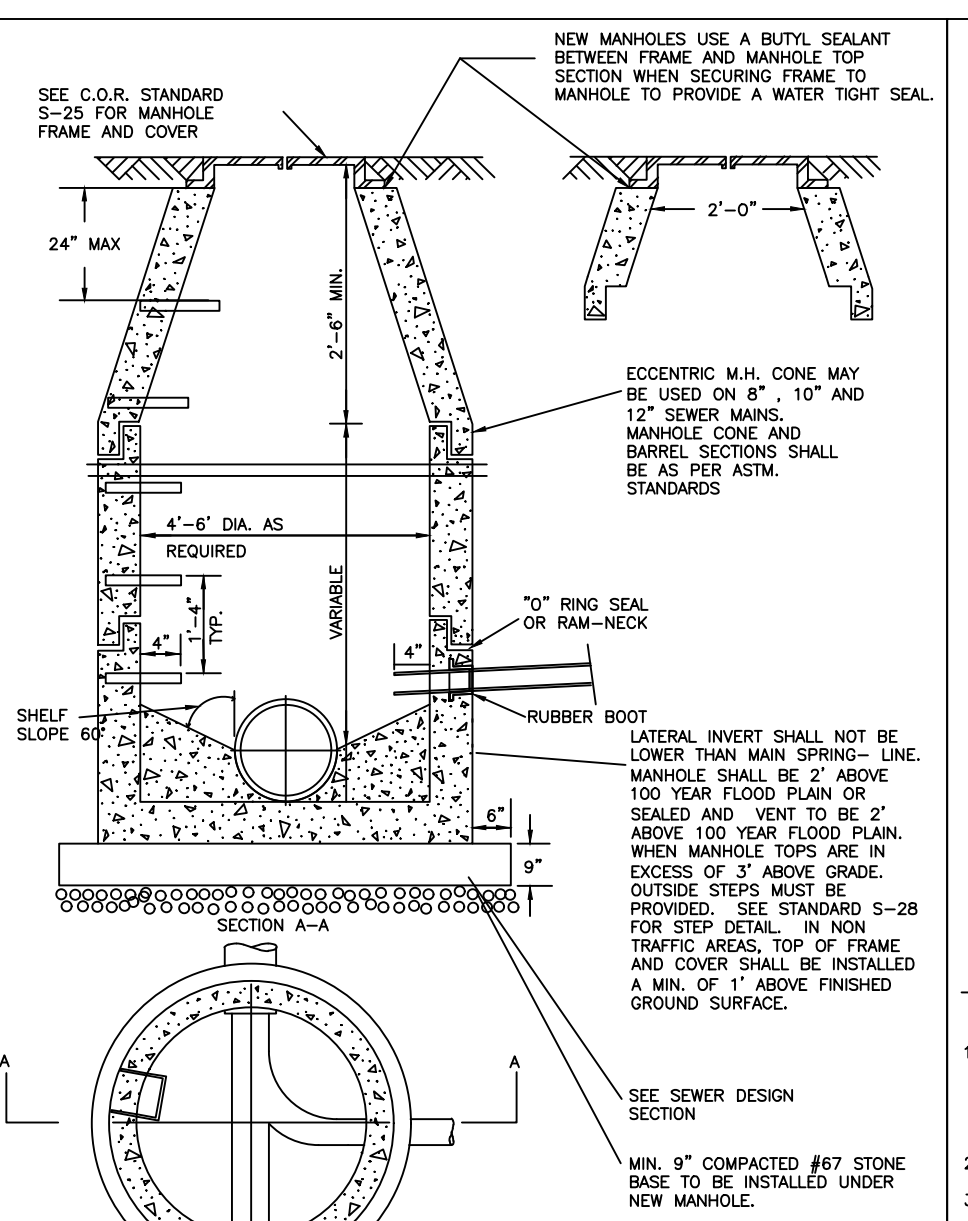
CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
STANDARD ASPHALT PAVEMENT PATCH DETAIL			
DWG. NO.	REVISIONS	DATE	DATE
S-3			
D.W.C.		11-1-99	A.B.S.
RRH		3-30-00	J.P.S.
			10-8-10



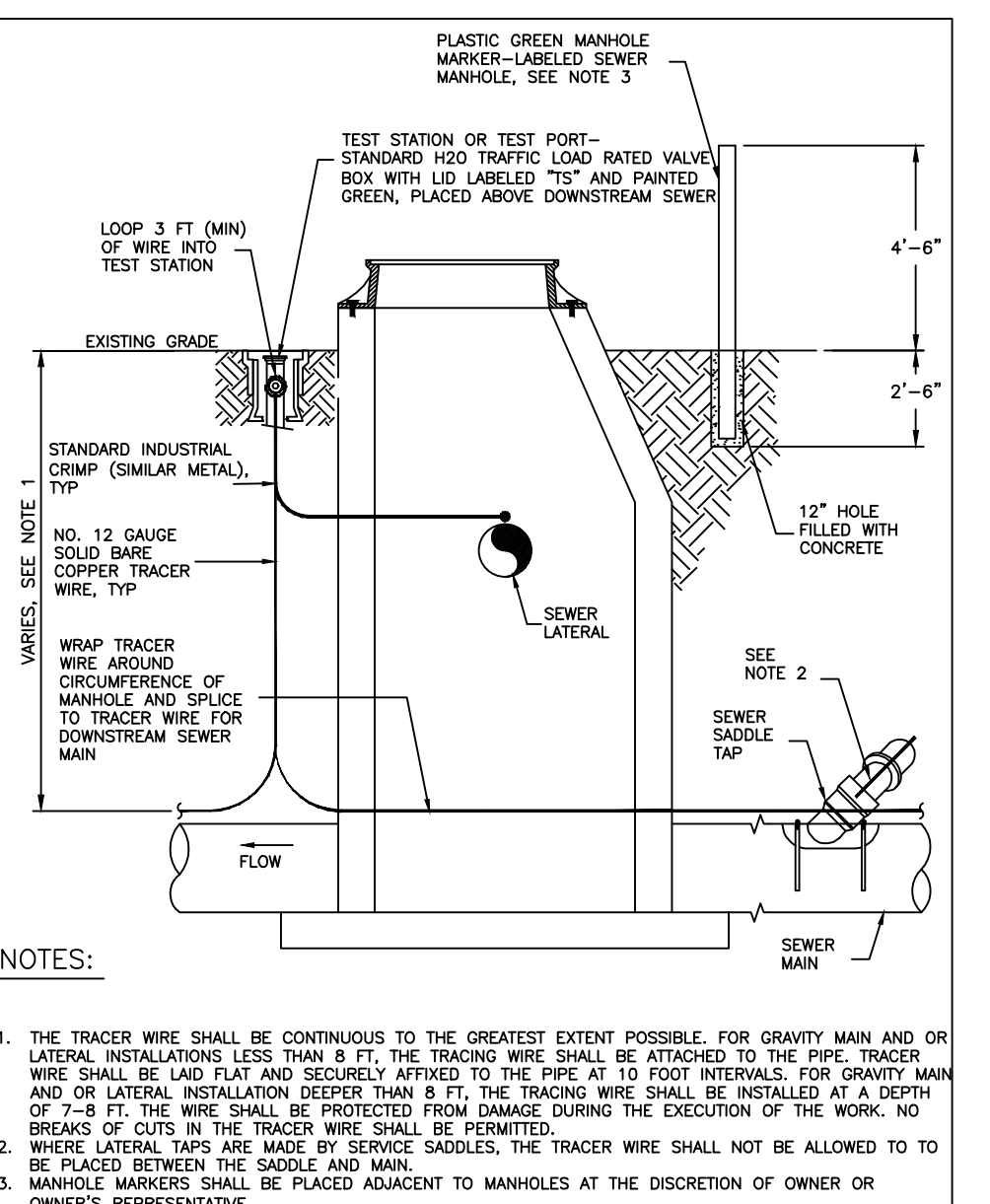
CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
TRENCH BOTTOM DIMENSIONS & BACKFILL REQUIREMENTS FOR DUCTILE IRON			
DWG. NO.	REVISIONS	DATE	DATE
S-4			
D.W.C.		9-3-99	D.K.C.
RRH		3-30-00	D.H.L.
			6-18-10



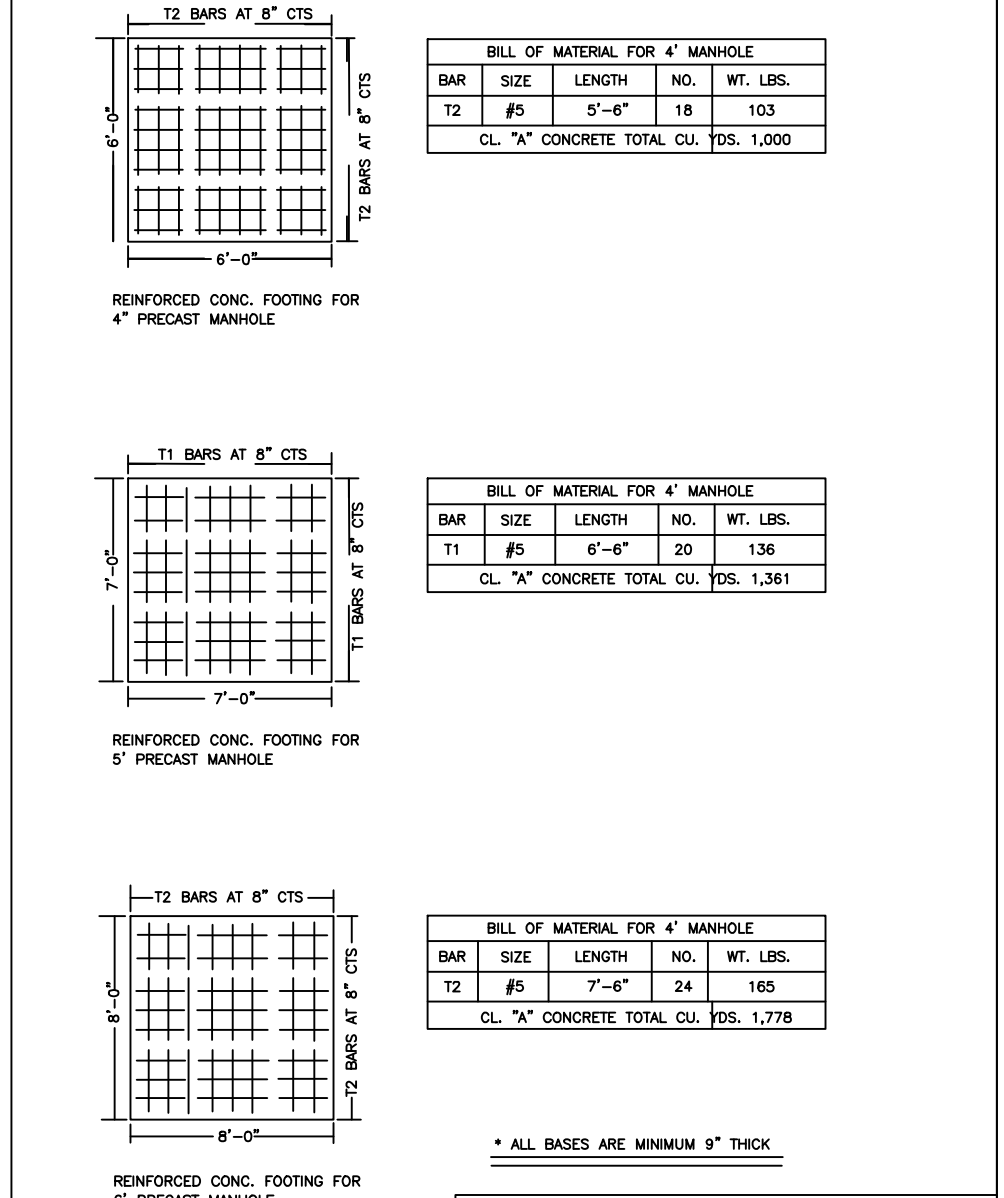
CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
TRENCH BOTTOM DIMENSIONS & BACKFILL REQUIREMENTS FOR PVC GRAVITY SEWER MAIN			
DWG. NO.	REVISIONS	DATE	DATE
S-5			
D.W.C.		12-1-87	D.K.C.
RRH		7-2-82	RRH
			3-30-00



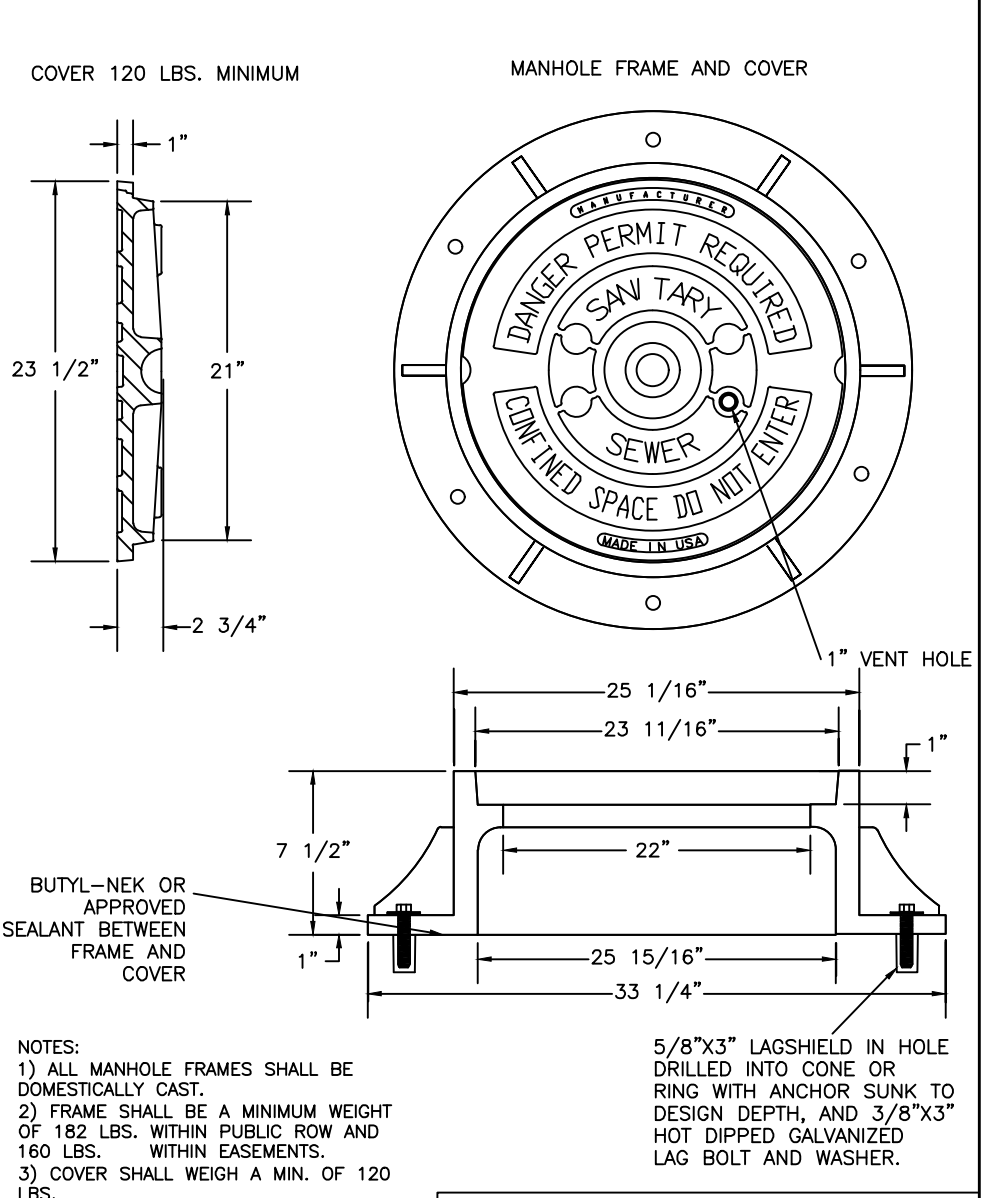
CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
STANDARD PRECAST SANITARY SEWER MANHOLE			
DWG. NO.	REVISIONS	DATE	DATE
S-20			
RRH		1-21-81	D.H.L.
			6-16-00



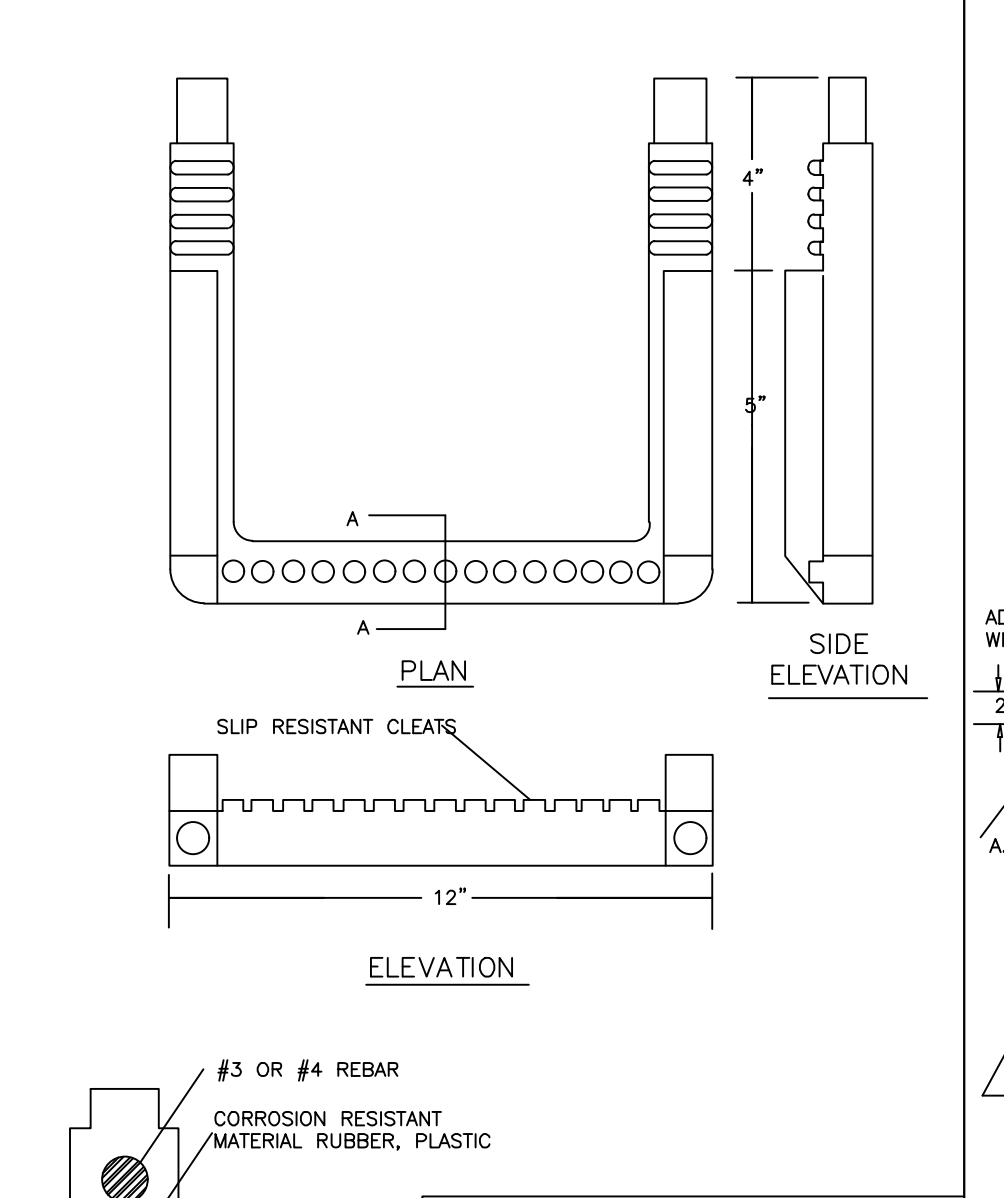
CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
GRAVITY SEWER MAIN TRACER WIRE AND MANHOLE MARKER			
DWG. NO.	REVISIONS	DATE	DATE
S-20A			
RRH		10-14	



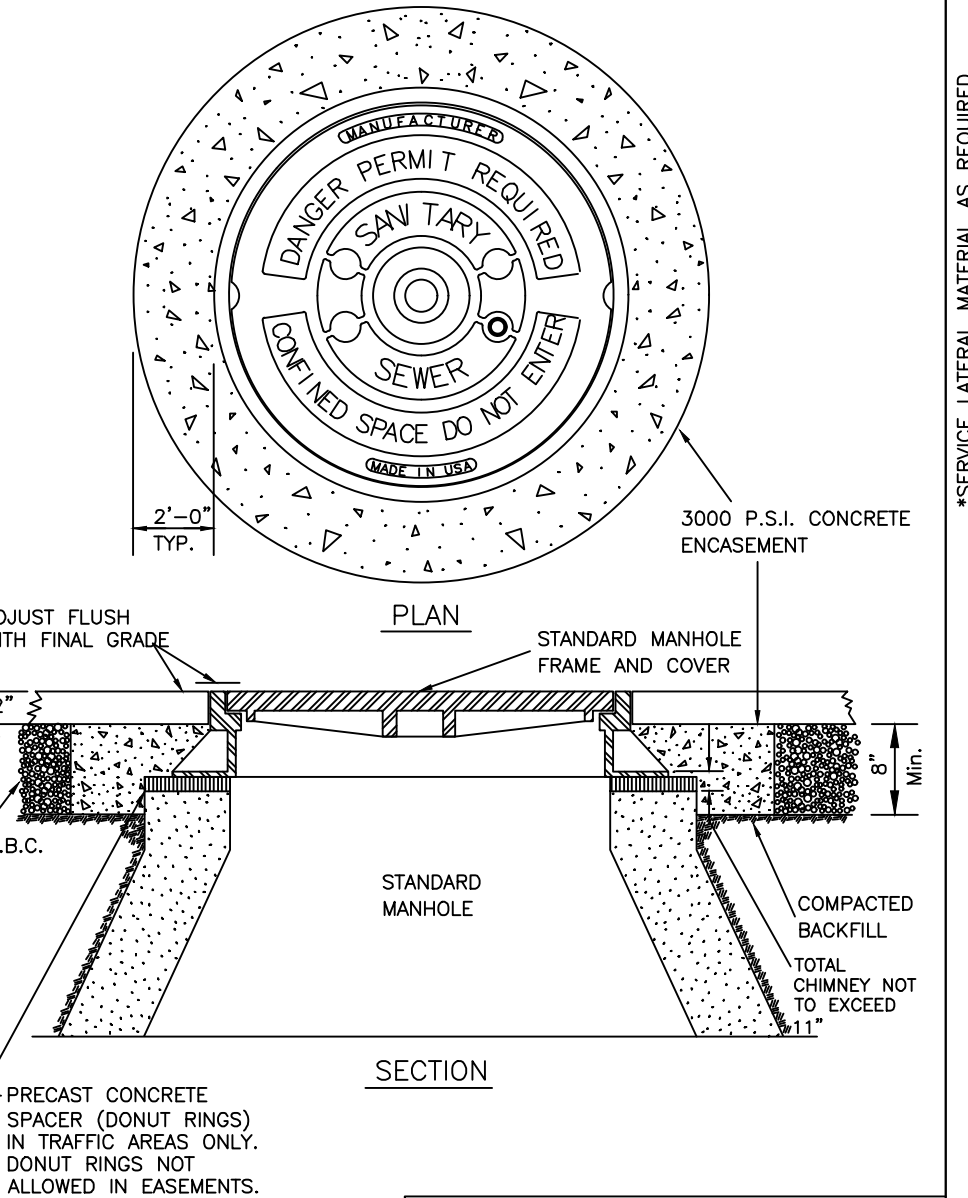
CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
STANDARD MANHOLE COVER			
DWG. NO.	REVISIONS	DATE	DATE
S-21			
RRH		3-30-00	ARR
			2-9-05



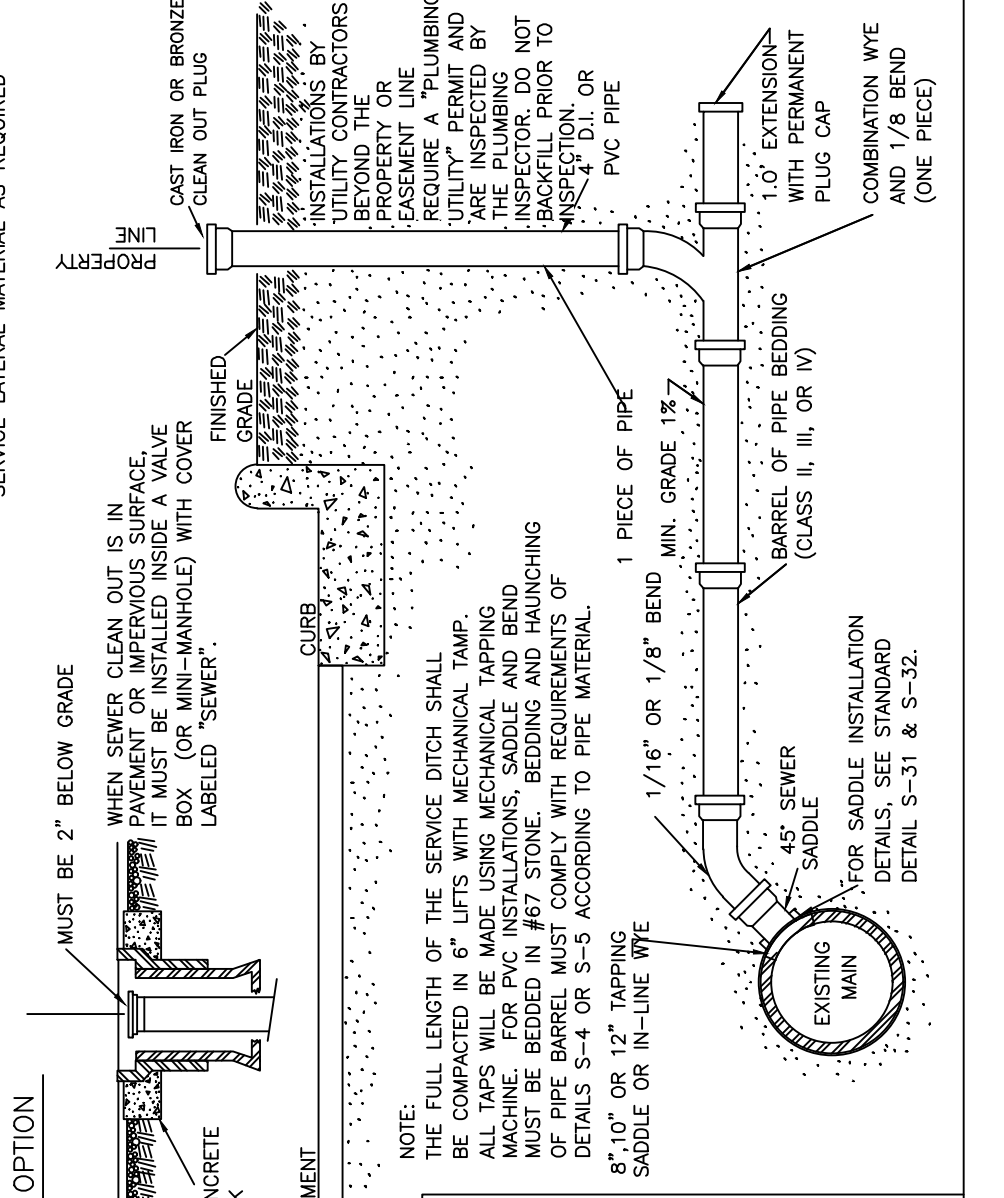
CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
STANDARD SLIP RESISTANT MANHOLE STEP DETAIL			
DWG. NO.	REVISIONS	DATE	DATE
S-28			
RRH		3-30-00	RRH
			6-18-08



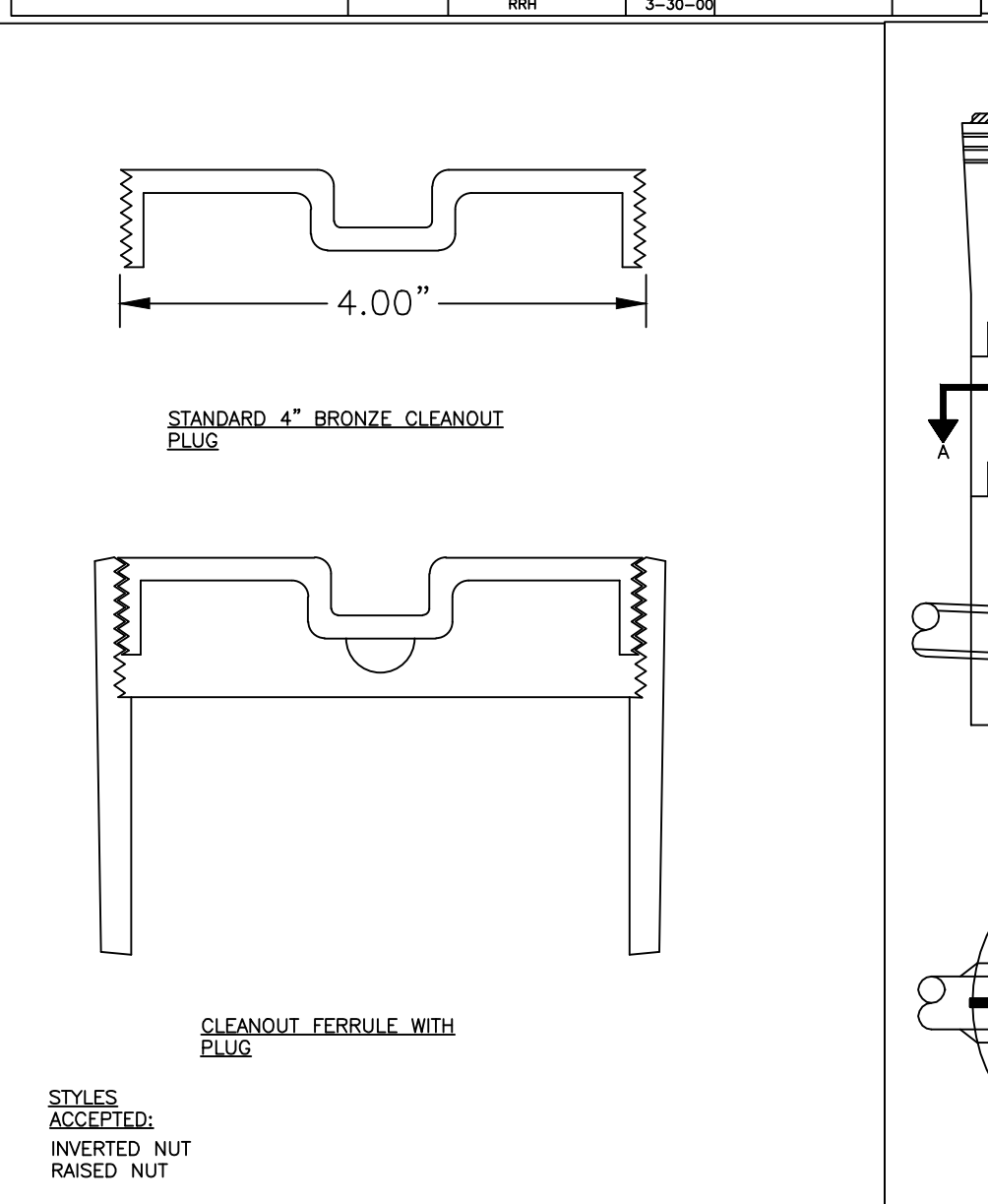
CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
STANDARD MANHOLE FRAME AND COVER DETAIL WITH PAVED SURFACES			
DWG. NO.	REVISIONS	DATE	DATE
S-29			
RRH		12-31-81	ARR
			9-20-04
			11-29-02



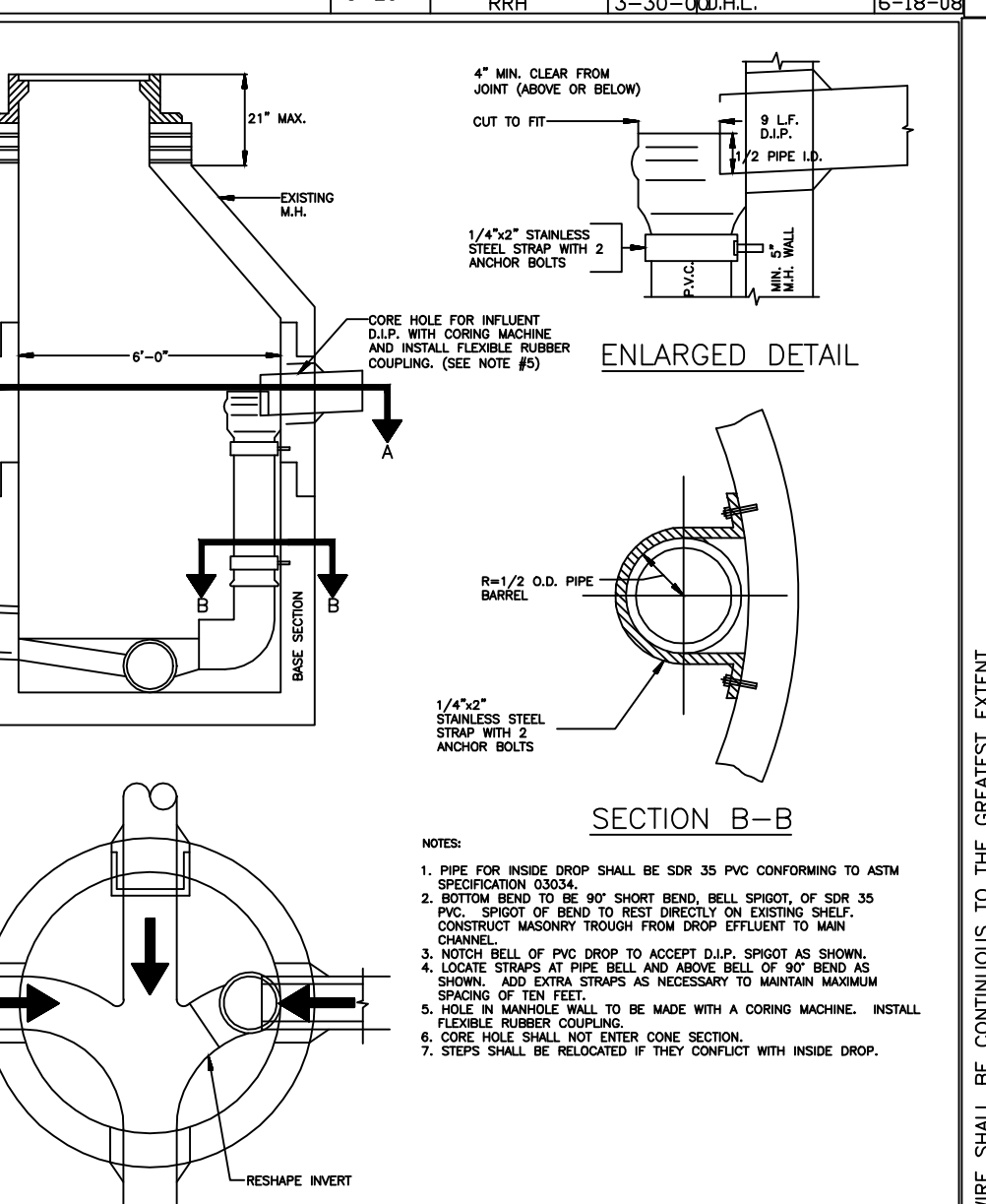
CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
STANDARD MANHOLE FRAME AND COVER DETAIL WITH PAVED SURFACES			
DWG. NO.	REVISIONS	DATE	DATE
S-29			
RRH		12-31-81	ARR
			9-20-04
			11-29-02



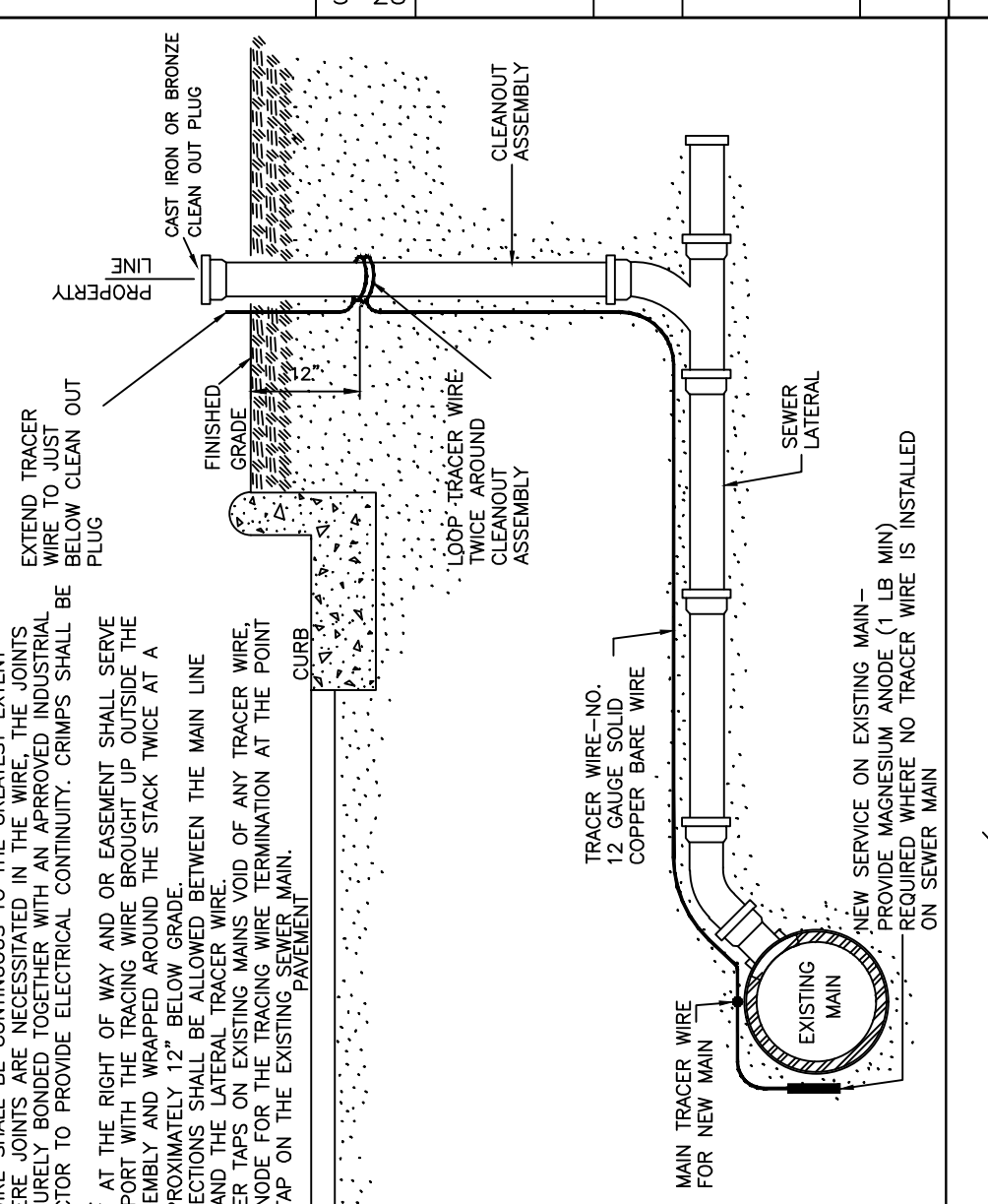
CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
LATERAL SADDLE INSTALLATION DETAIL FOR PVC PIPE			
DWG. NO.	REVISIONS	DATE	DATE
S-30			
RRH		3-20-00	D.H.L.
			8-11-01
			11-18-08



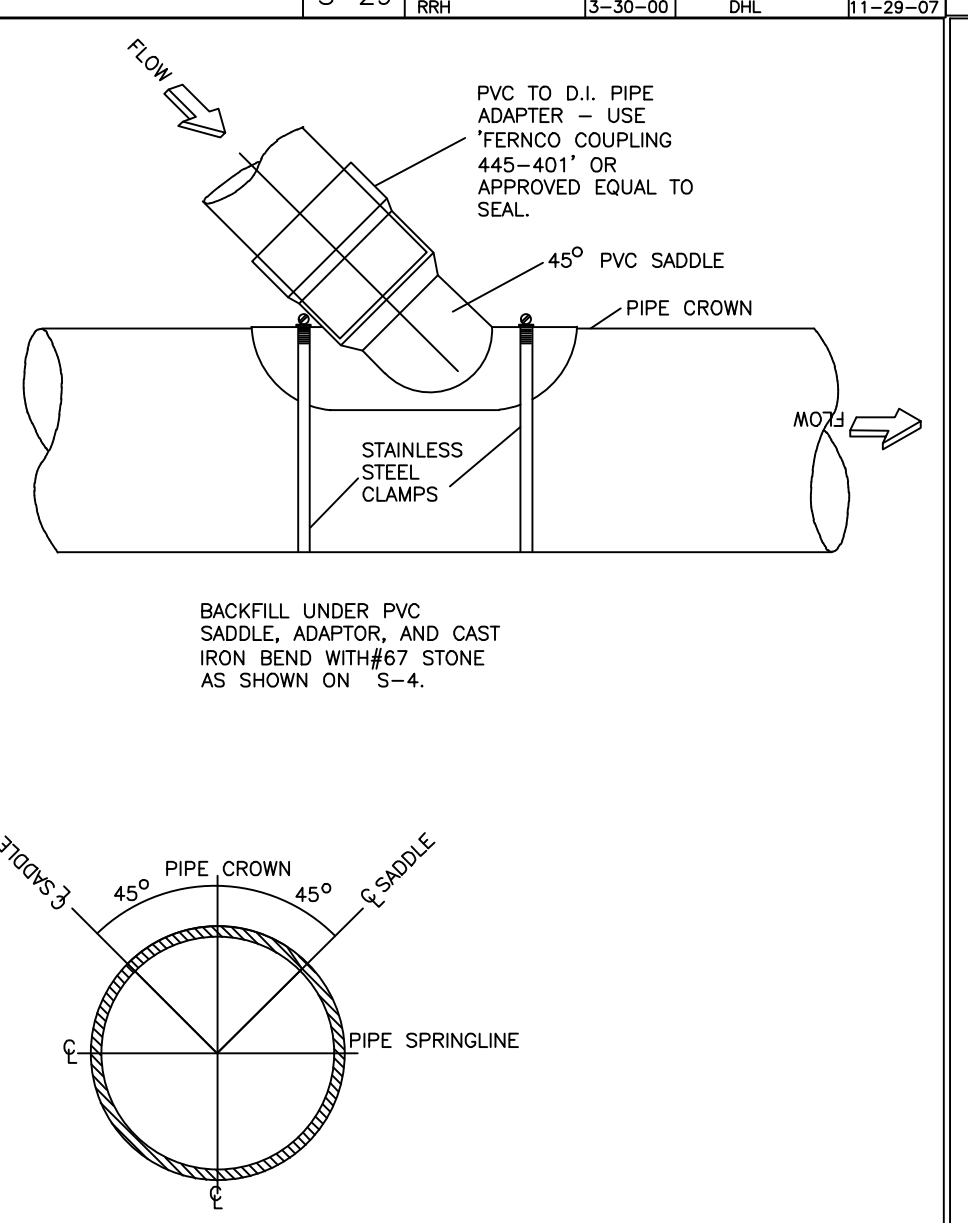
CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
4" CLEANOUT PLUG			
DWG. NO.	REVISIONS	DATE	DATE
S-34			
D.W.C.		3-1-87	RRH
			3-30-00



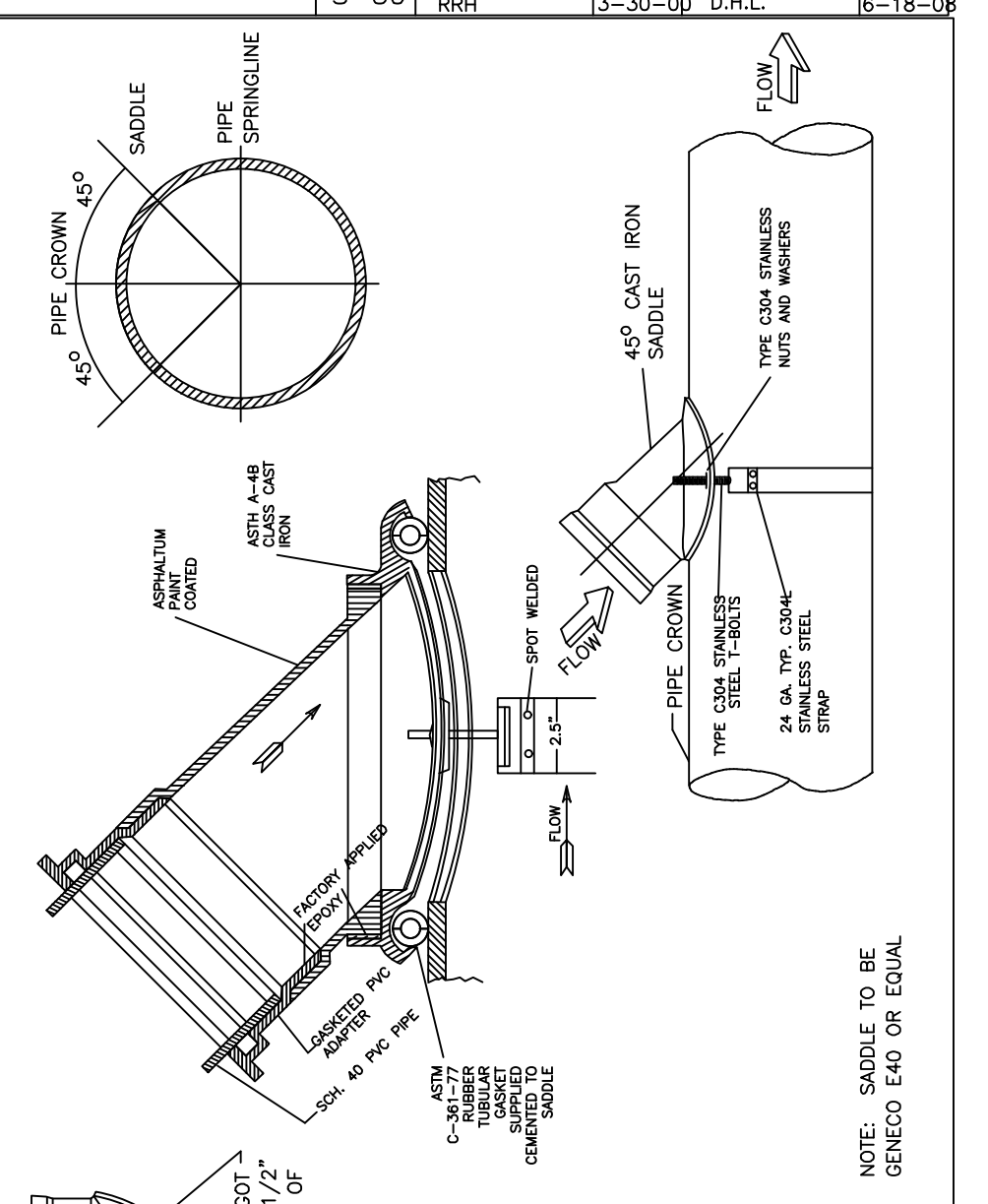
CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
TYPICAL SANITARY SEWER LATERAL TRACER WIRE			
DWG. NO.	REVISIONS	DATE	DATE
S-30A			
RRH		9-14	



CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
LATERAL SADDLE INSTALLATION DETAIL FOR PVC PIPE			
DWG. NO.	REVISIONS	DATE	DATE
S-31			
RRH		3-1-87	RRH
			3-30-00



CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
LATERAL SADDLE INSTALLATION DETAIL FOR VCP AND DUCTILE IRON PIPE			
DWG. NO.	REVISIONS	DATE	DATE
S-32			
RRH		3-1-87	RRH
			3-30-00



CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
LATERAL SADDLE INSTALLATION DETAIL FOR VCP AND DUCTILE IRON PIPE			
DWG. NO.	REVISIONS	DATE	DATE
S-32			
RRH		3-1-87	RRH
			3-30-00

PWD

HELMUTH AND DESIGN LLP

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MICHAEL L. SCHEIDT
ENGINEER

02-17-24

WEAVER'S POINTE SUBDIVISION

0 WEAVERS POND DRIVE
ZEBULON, NC

ISSUED: 02-14-24

REVISIONS:
17 APRIL 20124
PER TOWN/WAKE COUNTY REVIEW

DRAWN BY: JET
CHECKED BY: MLS

PROJECT: FDCWP9

DETAILS

DWG. NO. **SITE 25**

F:\Projects\FDCWP9\Drawings\Site\DETAILS.dwg - ENGR 12 Apr 16, '24 - 3:48pm

STANDARD ASPHALT PAVEMENT PATCH DETAIL

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-2	RRH	3-31-00	A.B.B.	4-12-04
	D.W.C.	11-1-99	J.P.S.	10-29-10

STANDARD FIRE HYDRANT INSTALLATION DETAIL

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-4	RRH	3-31-00	A.B.B.	2-15-05
	D.W.C.	11-1-99	J.P.S.	10-29-10

STANDARD FIRE HYDRANT WITH 5" STORZ PUMPER NOZZLE

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-5	MAB	8-30-14	J.P.S.	9-19-17
	KAT			

REACTION BEARING AREAS FOR HORIZONTAL WATER PIPE BENDS
BASED ON TEST PRESSURE OF 200 P.S.I.

PIPE SIZE	ALL AREAS GIVEN IN SQUARE FEET									
	45°	60°	75°	90°	105°	120°	135°	150°	165°	180°
6"	1,108	1	1	1	1	1	1	1	1	1
11 1/4"	2,207	1	2	2	1	1	1	1	3	1
22 1/2"	4,328	2	3	3	1	1	1	2	5	1
45°	7,996	2	4	5	1	1	1	2	8	1
90°	5,655	2	3	4	1	1	2	6	1	
12"	1,970	1	1	2	1	1	1	1	2	1
22 1/2"	3,822	1	2	3	1	1	1	4	1	
45°	7,694	2	4	5	1	1	1	2	8	1
90°	14,215	4	8	9	2	2	4	15	2	
PLUG	10,053	3	5	6	2	2	3	10	1	
18"	4,433	2	3	3	1	1	1	2	5	1
22 1/2"	8,826	3	5	6	2	2	3	9	1	
45°	17,312	5	9	11	3	3	5	18	2	
90°	31,983	8	16	19	4	4	8	32	4	
PLUG	22,619	6	12	14	3	3	6	23	3	
18"	7,881	2	4	5	1	1	1	2	8	1
22 1/2"	15,891	4	8	10	2	2	4	16	2	
45°	30,779	8	16	19	4	4	8	31	4	
90°	56,861	15	29	35	8	8	15	57	6	
PLUG	40,213	10	21	25	5	5	10	41	5	

REACTION BEARING AREAS FOR HORIZONTAL WATER PIPE BENDS
BASED ON TEST PRESSURE OF 200 P.S.I.

PIPE SIZE	ALL AREAS GIVEN IN SQUARE FEET									
	45°	60°	75°	90°	105°	120°	135°	150°	165°	180°
24"	17,734	5	9	11	3	3	5	18	2	
11 1/4"	35,305	9	18	22	5	5	9	36	4	
22 1/2"	69,252	18	35	42	9	9	18	70	7	
45°	127,936	32	64	77	16	16	32	128	13	
90°	90,478	23	46	55	12	12	23	91	10	
PLUG	62,242	16	32	39	8	8	16	62	7	
30"	27,709	7	14	17	4	4	7	2	3	
11 1/4"	55,163	14	28	34	7	7	14	56	6	
22 1/2"	108,206	28	55	65	14	14	28	109	11	
45°	199,900	50	100	120	25	25	50	200	20	
90°	141,372	36	71	85	18	18	36	142	15	
PLUG	92,242	23	46	55	12	12	23	91	10	
42"	39,901	10	20	24	5	5	10	40	4	
11 1/4"	79,439	20	40	48	10	10	20	80	8	
22 1/2"	158,878	40	80	96	20	20	40	160	16	
45°	317,756	80	160	192	40	40	80	320	32	
90°	211,804	50	100	120	25	25	50	200	20	
PLUG	141,372	36	71	85	18	18	36	142	15	
48"	70,935	18	36	43	9	9	18	71	8	
11 1/4"	141,218	36	71	85	18	18	36	142	15	
22 1/2"	282,436	72	142	170	36	36	72	284	30	
45°	564,872	144	284	340	72	72	144	568	60	
90°	376,581	91	181	216	44	44	88	352	37	
PLUG	251,054	60	120	144	30	30	60	240	25	

STANDARD THRUST BLOCKING VIEWS

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-9	D.W.C.	3-1-87	RRH	3-31-00
		9-7-99	D.H.L.	6-18-08

THRUST BLOCKING DESIGN QUANTITY TABLE

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-10	D.W.C.	6-23-99		

THRUST BLOCKING DESIGN QUANTITY TABLE

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-11	D.W.C.	6-23-99		

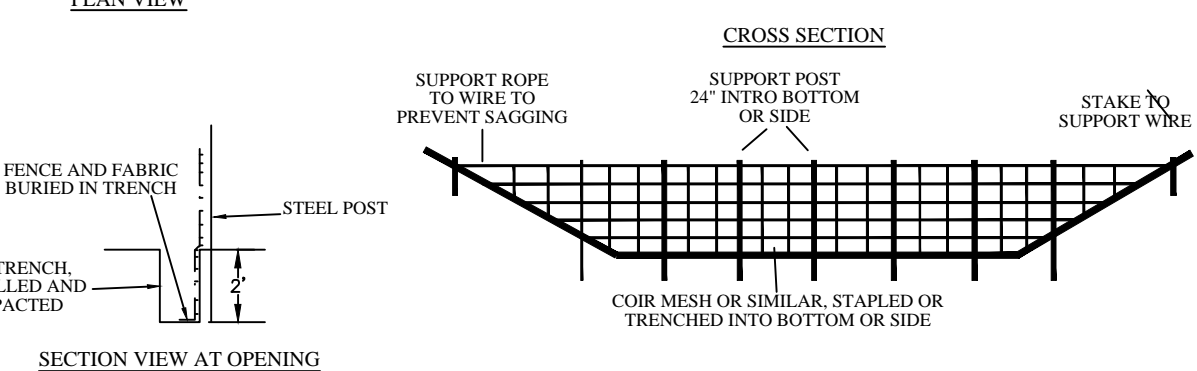
STANDARD VERTICAL BEND

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-12	ABB	4-6-04	J.P.S.	11-1-10
	D.H.L.	6-18-08		

EFFECTIVE: 01/31/08

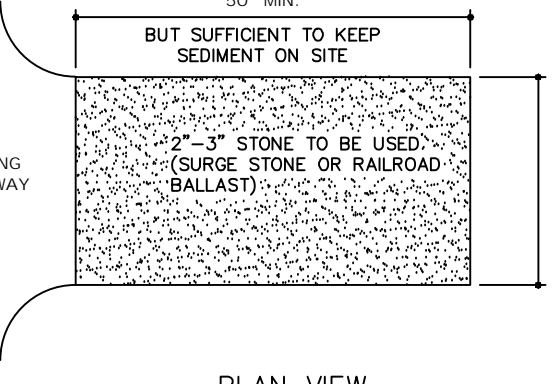


- NOTES:
1. BAFFLE MATERIAL SHOULD BE SECURED AT THE BOTTOM AND SIDES USING STAPLES OR BY TRACING AS FOR SILT FENCE.
 2. MOST OF THE SEDIMENT WILL ACCUMULATE IN THE INLET BAY.
 3. WHICH SHOULD BE READILY ACCESSIBLE FOR MAINTENANCE.
 4. PROVIDE 3 BAFFLES PER 100 FEET OF LENGTH. PROVIDE 5 BAFFLES FOR DRAINAGE AREAS GREATER THAN 10 ACRES.
 5. BAFFLES SHOULD BE 2 INCHES LOWER THAN THE TOP OF THE BERMS.
- MAINTENANCE NOTES:
1. INSPECT BAFFLES FOR REPAIR ONCE A WEEK AND AFTER EACH 1" RAINFALL.
 2. MAINTAIN ACCESS TO BAFFLES AND MAKE ANY REPAIRS IMMEDIATELY.
 3. REMOVE SEDIMENT DEPOSITS WHEN IT REACHES HALF FULL.
 4. AVOID DAMAGING BAFFLES DURING CLEANOUT AND REPLACE IF DAMAGED.
 5. REMOVE BAFFLES AND SEDIMENT DEPOSITS AFTER CONTRIBUTING DRAINAGE AREA HAS BEEN PERMANENTLY STABILIZED.

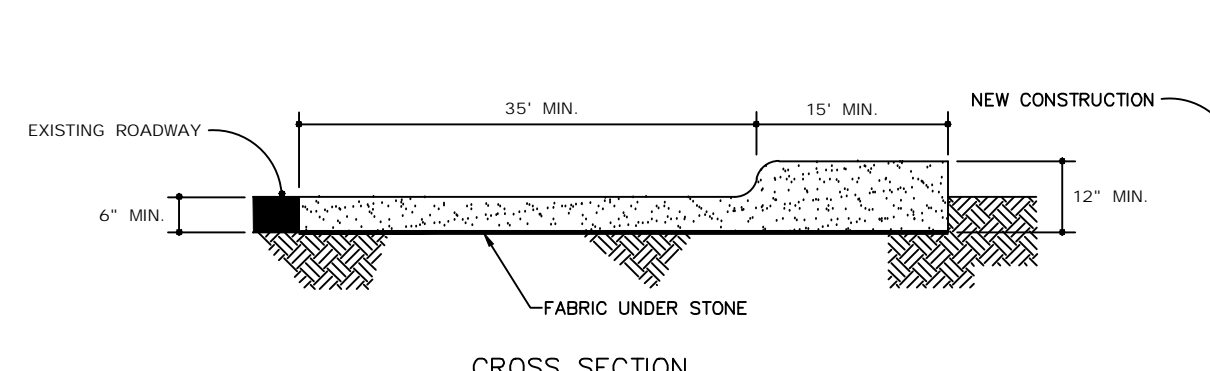


STANDARD BAFFLES DETAIL

EFFECTIVE: 01/31/08



- NOTES:
1. INSTALL SILT FENCE OR TREE PROTECTION FENCE TO ENSURE CONSTRUCTION ENTRANCE IS USED BY VEHICLES.
 2. IF MUD IS NOT REMOVED FROM TIRES AFTER VEHICLE TRAVELS OVER STONE, THE TIRES OF THE VEHICLE MUST BE WASHED BEFORE ENTERING PUBLIC ROADS.
- MAINTENANCE NOTES:
1. THE GRAVEL CONSTRUCTION ENTRANCE MUST BE MAINTAINED IN A CONDITION TO PREVENT TRACKING OR DIRECT FLOW OF MUD ONTO ADJACENT ROADWAYS.
 2. REPLACEMENT OF STONE MAY BE NECESSARY TO ENSURE THE GRAVEL ENTRANCE FUNCTIONS PROPERLY.
 3. REPLENISHMENT OF STONE MAY BE NECESSARY.
 4. FREQUENT CHECKS OF THE DEVICE AND TIMELY MAINTENANCE SHOULD BE COMPLETED.
 5. ANY MATERIAL TRACKED ONTO THE ROADWAY SHALL BE CLEANED UP IMMEDIATELY.

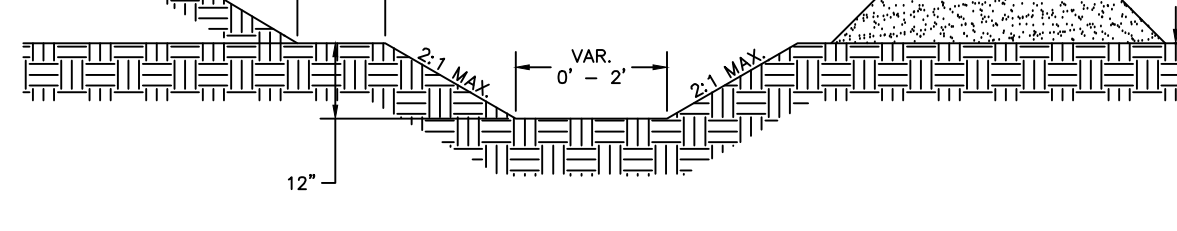


STANDARD CONSTRUCTION ENTRANCE

EFFECTIVE: 01/31/08

NOTES:

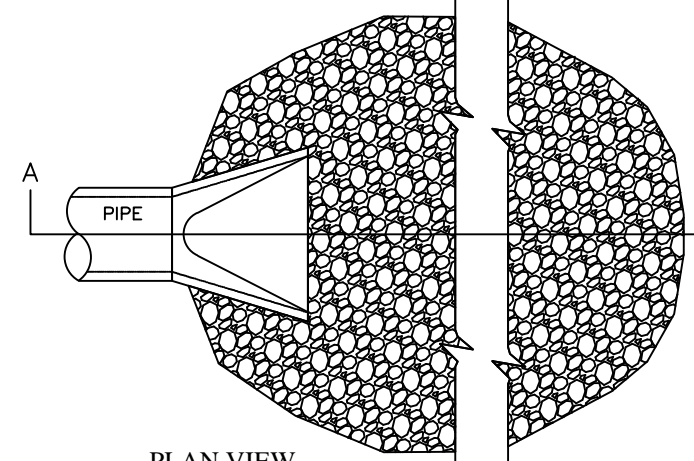
1. TEMPORARY DIVERSION DITCH TO BE USED TO INTERCEPT FLOW AND/OR DIVERT TO A SEDIMENT CONTROL MEASURE OR BMP.
 2. STABILIZE DIVERSION DITCH BERM WITH TEMPORARY SEEDING, MULCH WITH TAC, AND/OR EROSION CONTROL NETTING.
- MAINTENANCE NOTES:
1. INSPECT ONCE A WEEK AND AFTER EVERY 1" RAINFALL.
 2. SILT SHALL BE REMOVED WHEN DITCH IS ONE-HALF FULL.
 3. DITCH SHALL BE RECONSTRUCTED WHEN DAMAGED BY EQUIPMENT OR COVERED BY FILL.
 4. CHECK OUTLETS AND MAKE TIMELY REPAIRS AS NEEDED.
 5. AFTER DRAINAGE AREA IS PERMANENTLY STABILIZED, PLACE WASTE MATERIAL IN DITCH TO BLEND WITH NATURAL GROUND AND STABILIZE.



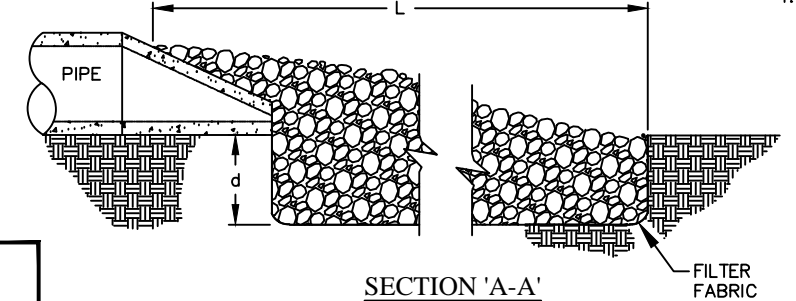
CROSS SECTIONAL VIEW

EFFECTIVE: 01/31/08

STANDARD TEMPORARY DIVERSION DITCH

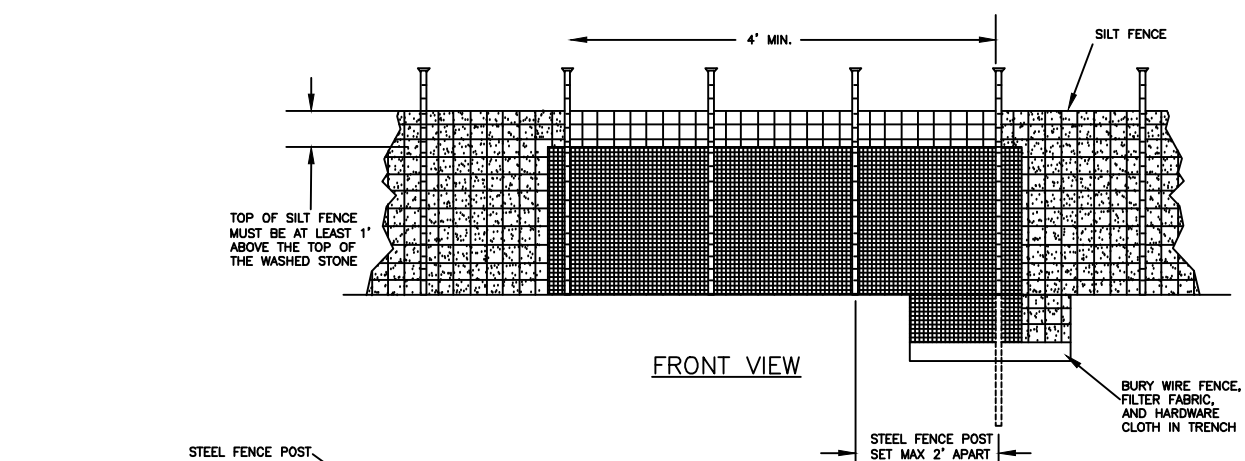


- NOTES:
1. L = LENGTH OF THE RIPRAP APRON.
 2. d = 1.5 TIMES THE MAXIMUM STONE DIAMETER BUT NOT LESS THAN 6" (INCHES).
 3. IN A WELL-DEFINED CHANNEL EXTEND THE APRON UP THE CHANNEL BANKS TO AN ELEVATION OF 6" (INCHES) ABOVE THE MAXIMUM TAILWATER DEPTH OR TO THE TOP OF THE BANK, WHICHEVER IS LESS.
 4. A FILTER BLANKET OR FILTER FABRIC SHOULD BE INSTALLED BETWEEN THE RIPRAP AND SOIL FOUNDATION.
- MAINTENANCE NOTES:
1. INSPECT RIPRAP OUTLET STRUCTURES WEEKLY AND AFTER SIGNIFICANT (1" HIGH OR GREATER) RAINFALL EVENTS TO SEE IF ANY EROSION AROUND OR BELOW THE RIPRAP HAS TAKEN PLACE, OR IF STONES HAVE BEEN DISLOOSED. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE.

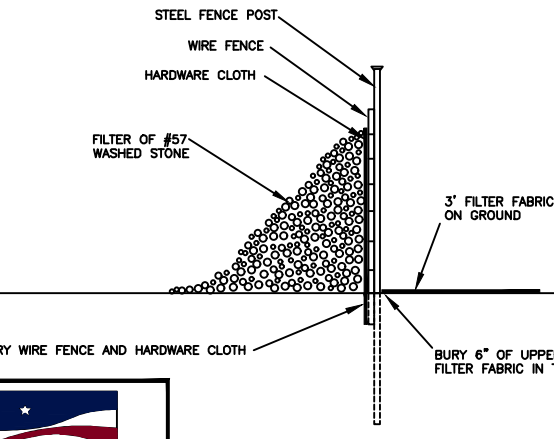


STANDARD PIPE OUTLET TO WELL-DEFINED CHANNEL

EFFECTIVE: 01/31/08



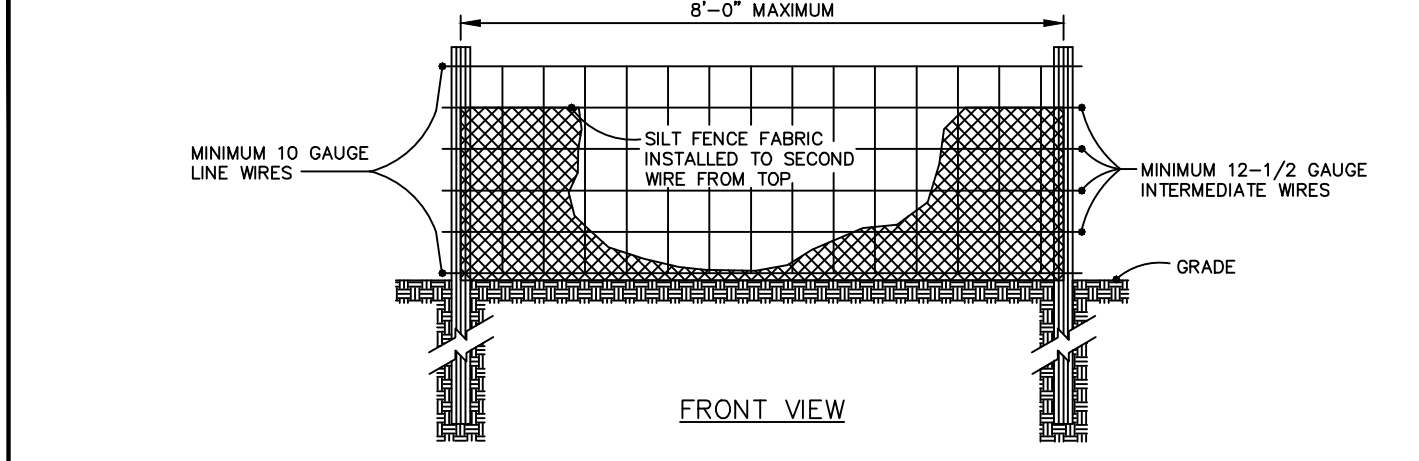
- MAINTENANCE NOTES:
1. INSPECT THE DEVICE PERIODICALLY AND AFTER 1 INCH RAINFALL OVER 24 HOUR PERIOD FOR DAMAGE AND SEDIMENT ACCUMULATION TO CONFIRM THE DEVICE IS FUNCTIONING PROPERLY.
 2. AT A MINIMUM, REMOVE SEDIMENT FROM THE DEVICE WHEN ACCUMULATIONS REACH ONE-HALF THE HEIGHT OF THE SEDIMENT CONTROL STONE.
 3. REPLACE OR CLEAN THE SEDIMENT CONTROL STONE AS NEEDED TO ALLOW WATER TO SEAR THROUGH THE DEVICE BETWEEN RAINFALL EVENTS.
 4. REPAIR AREAS WHERE OUTLET BECOMES UNDERMINED DUE TO CONCENTRATED FLOWS.



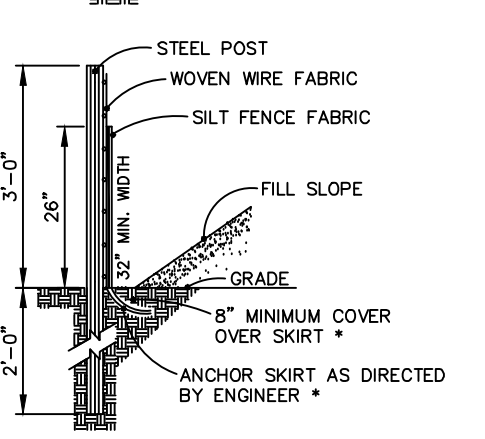
SECTION VIEW

STANDARD SILT FENCE OUTLET

EFFECTIVE: 01/31/08



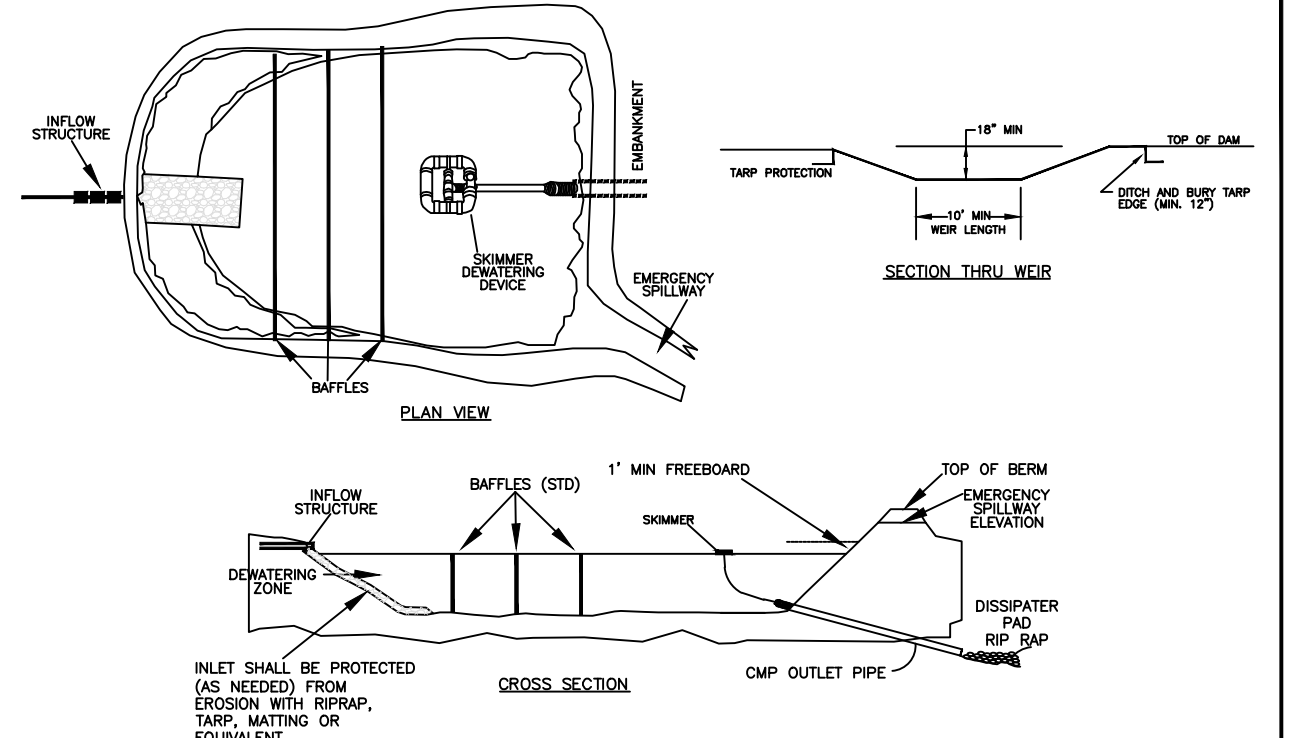
- MAINTENANCE NOTES:
1. INSPECT BAG AFTER EACH SIGNIFICANT RAINFALL OF 1 INCHES OR GREATER. OVER A 24-HOUR PERIOD, MAKE ANY REPAIRS IMMEDIATELY.
 2. INSPECT THE SILT FENCE TO BE SURE THE BOTTOM OF THE GEOTEXTILE IS KEPT IN PROPERLY.
 3. AT A MINIMUM, REMOVE AND DISPOSE OF ALL SILT ACCUMULATIONS WHEN DEPTH REACHES 1/2 THE HEIGHT OF THE GEOTEXTILE. DO NOT UNDERMINE THE FENCE DURING CLEANOUT.
 4. DISPOSE OF SEDIMENT BY HAULING IT TO AN APPROVED WASTE SITE WITH APPROPRIATE PERMETER PROTECTION.
 5. REMOVE AND REPLACE DETERIORATED OR CLOGGED SILT FENCE.
 6. REPLACE SILT FENCE REMOVED FOR ACCESS AT THE END OF EACH DAY'S OPERATION.
 7. INSTALL ADDITIONAL POSTS OR WIRE BACKING IF FENCE IS SAGGING.



SIDE VIEW

STANDARD TEMPORARY SILT FENCE

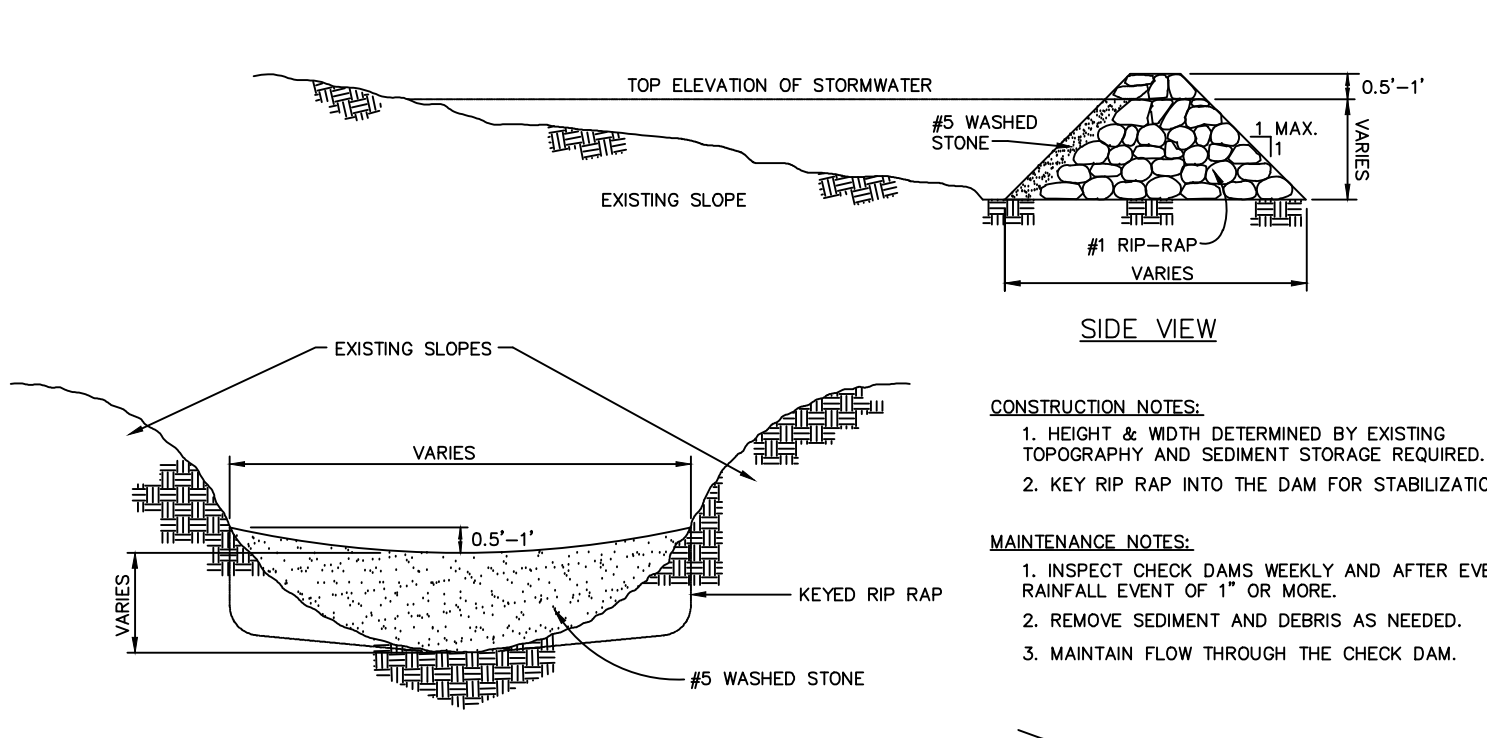
EFFECTIVE: 01/31/08



- MAINTENANCE NOTES:
1. INSPECT THE BASIN ON A REGULAR BASIS AND AFTER EVERY SIGNIFICANT RAINFALL EVENT (1" NOW OR GREATER).
 2. CLEAN OUT THE BASIN WHEN SEDIMENT ACCUMULATIONS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE FIRST OUTLET.
 3. CHECK THE SHOWER TO MAKE SURE THAT IT IS NOT CLOGGED WITH SEDIMENT.
 4. CHECK THE SHOWER LINE FOR ANY DAMAGE.
 5. CHECK THE COMPARTMENT AT THE OUTLET OF THE SHOWER TO DETERMINE IF A REPLACEMENT IS NEEDED.
 6. DRAIN WATERS, SUPPORT THE SHOWER AT ALL TIMES. STOP SHALL NEVER DOES NOT STAY INSIDE THE SHOWER. THIS EQUIPMENT SHALL BE MAINTAINED AT ALL TIMES.
 7. REPAIR SEEDS AND REPLACE MATING ON THE SIDE SLOPE AREAS THAT HAVE DRODGED OR HAVE BECOME DAMAGED BY EQUIPMENT WHEN THEY ARE ACCUMULATED ON THE SHOWER DEVICE.
 8. INSPECT THE BAFFLES AFTER EACH RAIN EVENT FOR EROSION DAMAGE AND SEDIMENT ACCUMULATIONS.

STANDARD SKIMMER BASIN

EFFECTIVE: 01/31/08



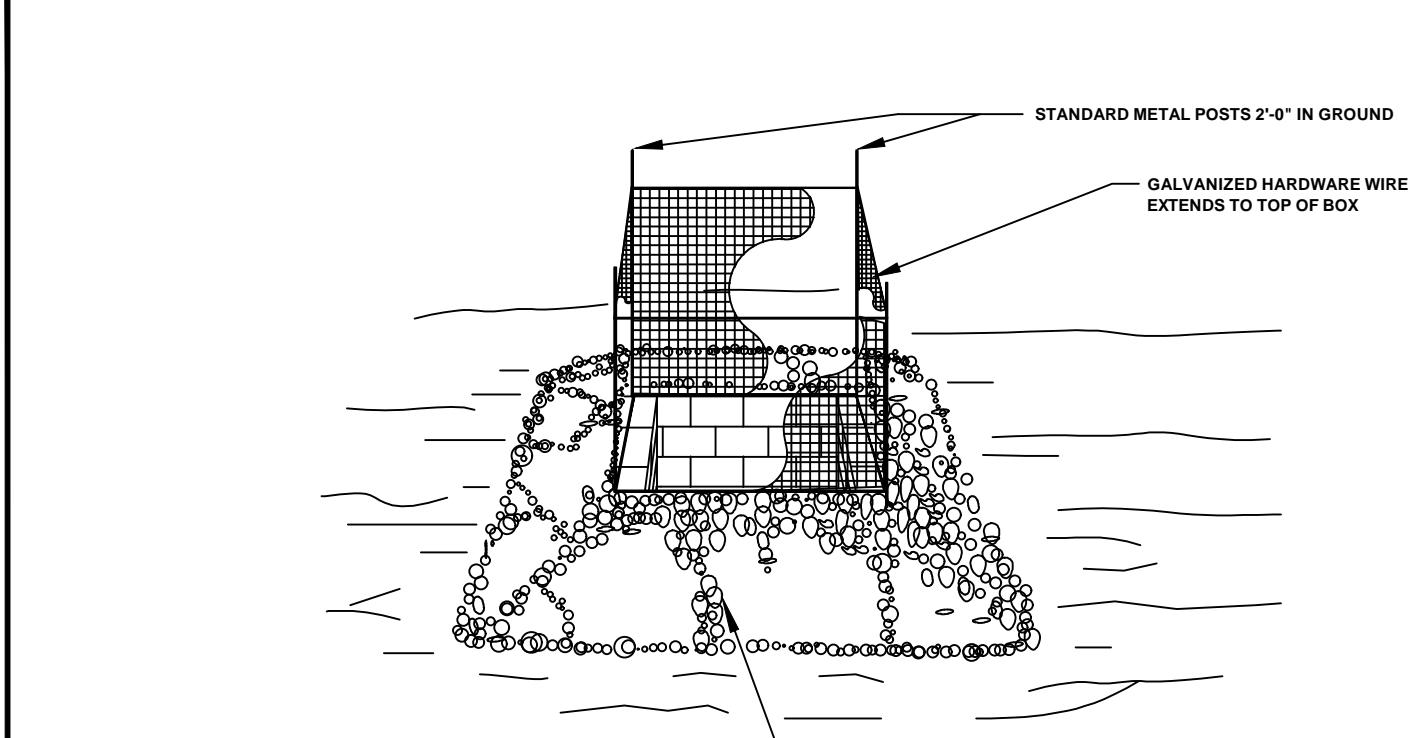
- CONSTRUCTION NOTES:
1. HEIGHT & WIDTH DETERMINED BY EXISTING TOPOGRAPHY AND SEDIMENT STORAGE REQUIRED.
 2. KEY RIP RAP INTO THE DAM FOR STABILIZATION.
- MAINTENANCE NOTES:
1. INSPECT CHECK DAMS WEEKLY AND AFTER EVERY RAINFALL EVENT OF 1" OR MORE.
 2. REMOVE SEDIMENT AND DEBRIS AS NEEDED.
 3. MAINTAIN FLOW THROUGH THE CHECK DAM.

FRONT VIEW

STEP SEQUENCE

STANDARD CHECK DAM

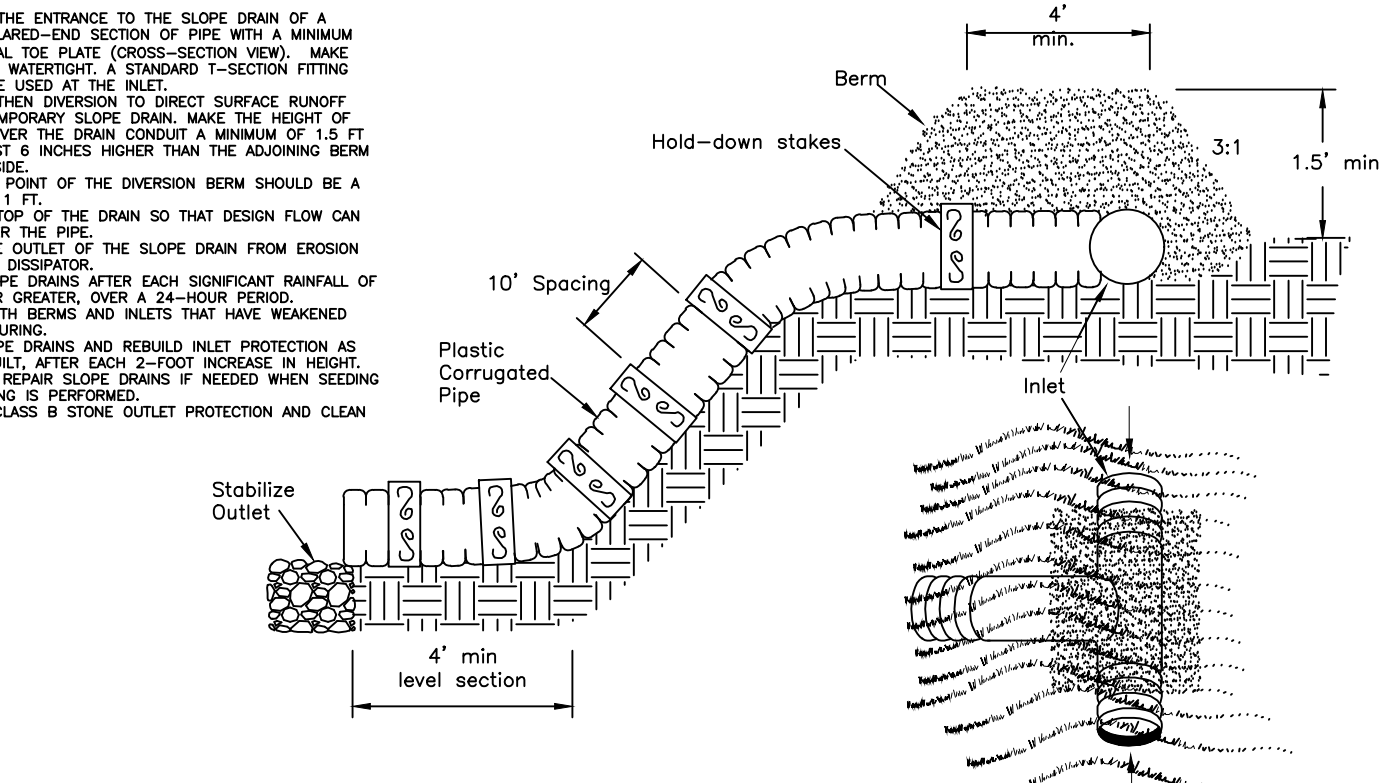
EFFECTIVE: 01/31/08



- MAINTENANCE NOTES:
1. REMOVE SEDIMENT WHEN HALF HEIGHT OF STONE AND CLEAR HARDWARE OF DEBRIS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKING CARE NOT TO DAMAGE OR UNDERCUT HARDWARE DURING SEDIMENT REMOVAL.
 2. REPLACE STONE AS NEEDED.

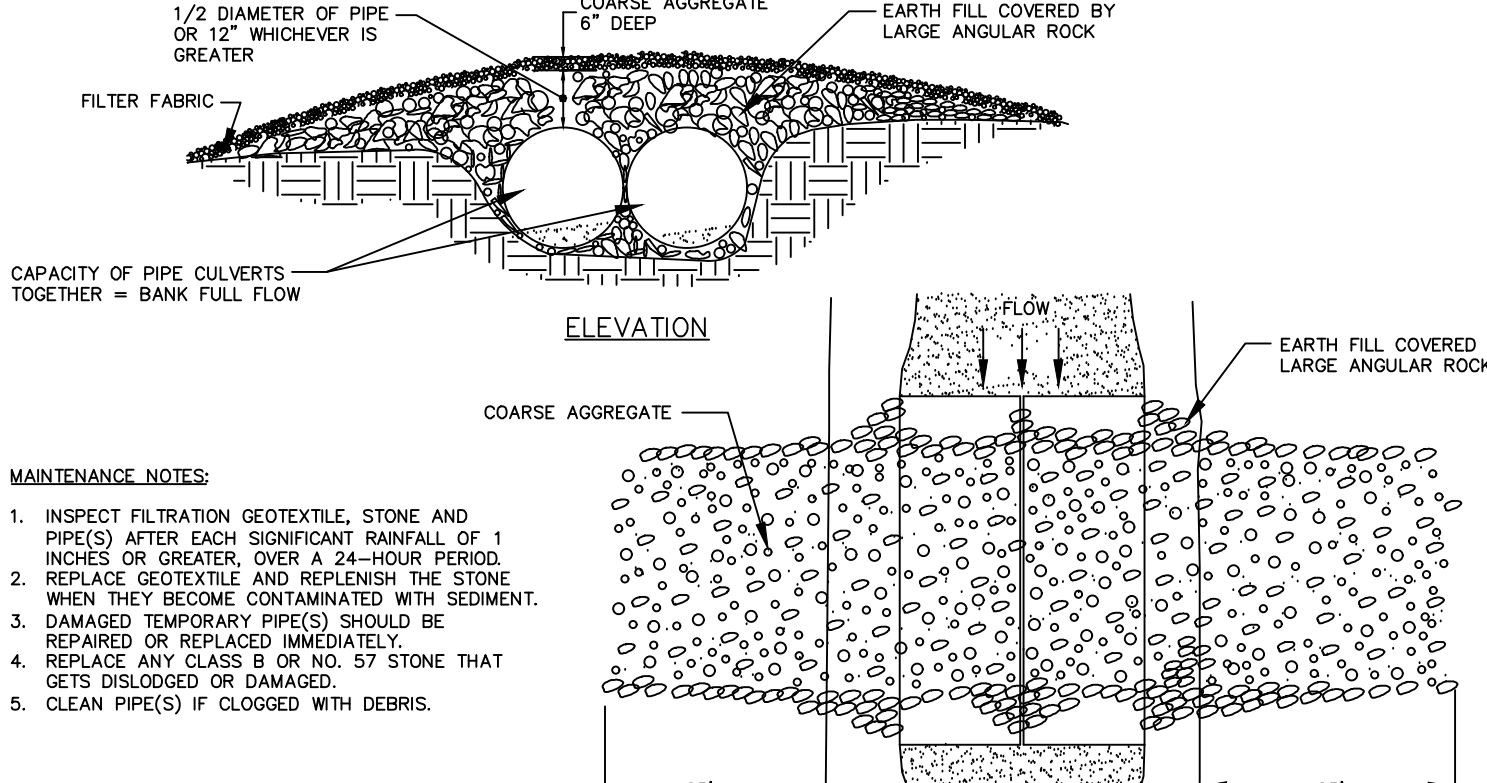
STANDARD GRAVEL YARD INLET PROTECTION

EFFECTIVE: 01/31/08



STANDARD TEMPORARY SLOPE DRAIN

EFFECTIVE: 01/31/08



- MAINTENANCE NOTES:
1. INSPECT FILTRATION GEOTEXTILE, STONE AND PIPE(S) AFTER EACH SIGNIFICANT RAINFALL OF 1 INCHES OR GREATER OVER A 24-HOUR PERIOD.
 2. REPLACE GEOTEXTILE AND REPLENISH THE STONE WHEN THEY BECOME CONTAMINATED WITH SEDIMENT.
 3. DAMAGED TEMPORARY PIPE(S) SHOULD BE REPAIRED OR REPLACED IMMEDIATELY.
 4. REPLACE ANY CLASS B OR NO. 57 STONE THAT GETS DISLOOSED OR DAMAGED.
 5. CLEAN PIPE(S) IF CLOGGED WITH DEBRIS.

STANDARD TEMPORARY STREAM CROSSING

EFFECTIVE: 01/31/08

NPDES Stormwater Discharge Permit for Construction Activities (NCG01)
NCDENR/Division of Water Quality

NEW STABILIZATION TIMEFRAMES (Effective Aug. 3, 2011)		
SITE AREA DESCRIPTION	STABILIZATION TIMEFRAME EXCEPTIONS	
Perimeter dikes, swales, ditches, slopes	7 days	None
High Quality Water (HQP) Zones	7 days	None
Slopes steeper than 3:1	7 days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed.
Slopes 3:1 or flatter	14 days	7 days for slopes greater than 50' in length.
All other areas with slopes flatter than 4:1	14 days	None, except for perimeters and HQW Zones.

Seedbed Preparation:

1. Chisel compacted areas and spread topsoil three inches deep over adverse soil conditions, if available.
2. Rip the entire area to six inches deep.
3. Remove all loose rock, roots and other obstructions, leaving surface reasonably smooth and uniform.
4. Apply agricultural lime, fertilizer and superphosphate uniformly and mix with soil (see mixture below).
5. Continue tillage until a well-pulverized, firm, reasonably uniform seedbed is prepared four to six inches deep.
6. Seed on a freshly prepared seedbed and cover seed lightly with seeding equipment or cultipack after seeding.
7. Mulch immediately after seeding and anchor mulch.
8. Inspect all seeded areas and make necessary repairs or reseedings within the planting season, if possible. If stand should be more than 60% damaged, re-establish following the original lime, fertilizer and seeding rates.
9. Consult S&EC Environmental Engineers on maintenance treatment and fertilization after permanent cover is established.

Mixture

Agricultural Limestone	2 tons/acre (3 tons/acre in clay soils)
Fertilizer	1,000 lbs/acre - 10-10-10
Superphosphate	500 lbs/acre - 20% analysis
Mulch	2 tons/acre - small grain straw
Anchor	Asphalt emulsion at 300 gals/acre

Seeding Schedule

For Shoulders, Side Ditches, Slopes (Max 3:1):

Date	Type	Planting Rate
Aug 15 - Nov 1	Tall Fescue	300 lbs/acre
Nov 1 - Mar 1	Tall Fescue & Abruzzi Rye	300 lbs/acre
Mar 1 - Apr 15	Tall Fescue	300 lbs/acre
Apr 15 - Jun 30	Hulled Common Bermudagrass	25 lbs/acre
Jul 1 - Aug 15	Tall Fescue AND Browntop Millet or Sorghum-Sudan Hybrids***	125 lbs/acre (Tall Fescue); 35 lbs/acre (Browntop Millet); 30 lbs/acre (Sorghum-Sudan Hybrids)

For Shoulders, Side Ditches, Slopes (3:1 to 2:1):

Date	Type	Planting Rate
Mar 1 - Jun 1	Sericea Lespedeza (scarified) and use the following combinations:	50 lbs/acre (Sericea Lespedeza);
Mar 1 - Apr 15	Add Tall Fescue	120 lbs/acre
Mar 1 - Jun 30	Or add Weeping Love grass	10 lbs/acre
Mar 1 - Jun 30	Or add Hulled Common Bermudagrass	25 lbs/acre
Jun 1 - Sept 1	Tall Fescue AND Browntop Millet or Sorghum-Sudan Hybrids***	120 lbs/acre (Tall Fescue); 35 lbs/acre (Browntop Millet); 30 lbs/acre (Sorghum-Sudan Hybrids)
Sept 1 - Mar 1	Sericea Lespedeza (unhulled - unscarified) AND Tall Fescue	70 lbs/acre (Sericea Lespedeza); 120 lbs/acre (Tall Fescue)
Nov 1 - Mar 1	AND Abruzzi Rye	25 lbs/acre

PWD
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919.845.7703 FAX
ENGR. FIRM LICENSE NO. F-0843

SEAL
350856
MICHAEL L. SCHNEIDER
05/24/24

WEAVER'S POINTE SUBDIVISION
0 WEAVERS POND DRIVE
ZEBULON, NC

ISSUED: 02-14-24

REVISIONS:
17 APR 2024
PER TOWN/WAKE COUNTY REVIEW
24 MAY 2024
PER TOWN/WAKE COUNTY REVIEW

DRAWN BY: JET
CHECKED BY: MLS
PROJECT: FDCWP9

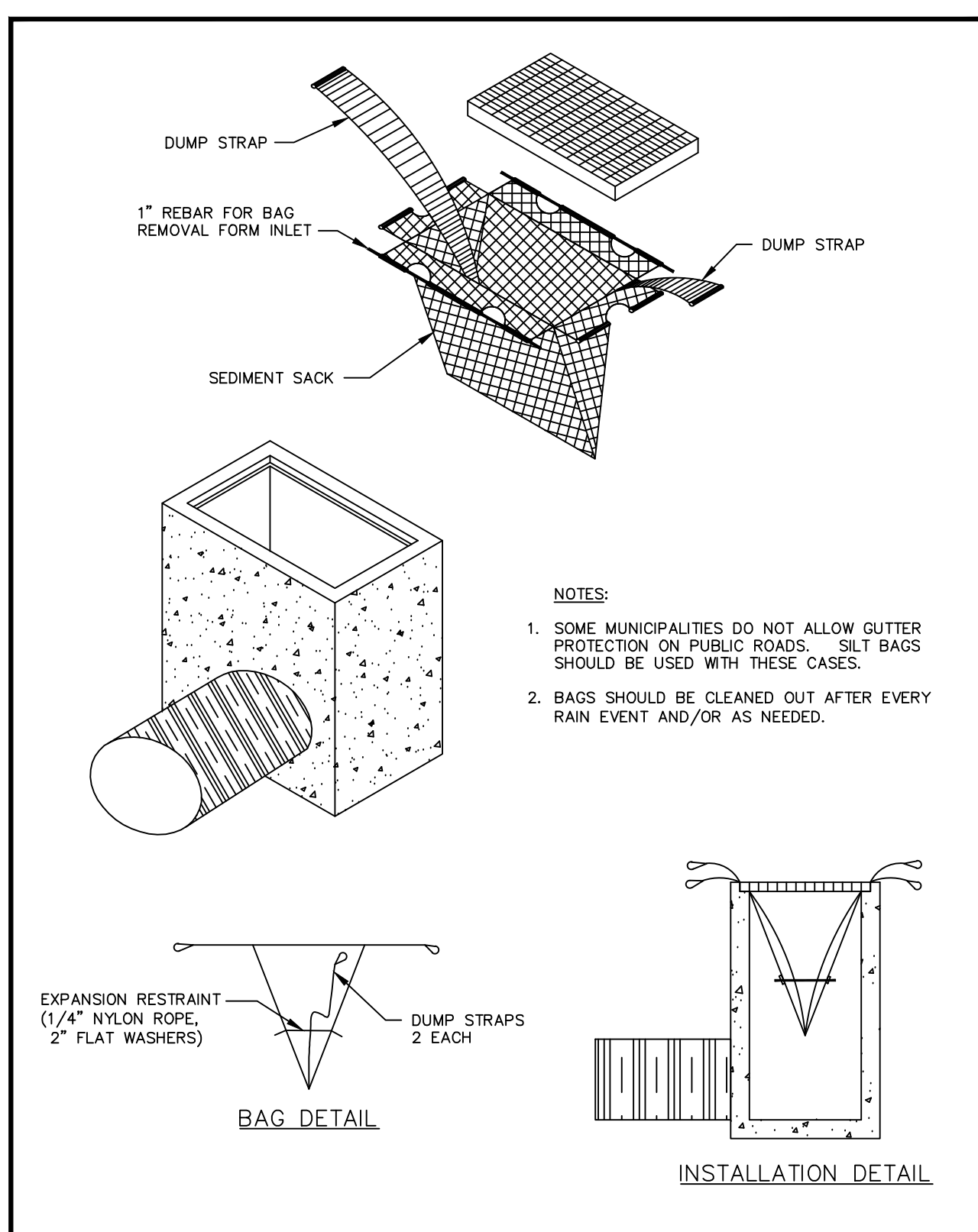
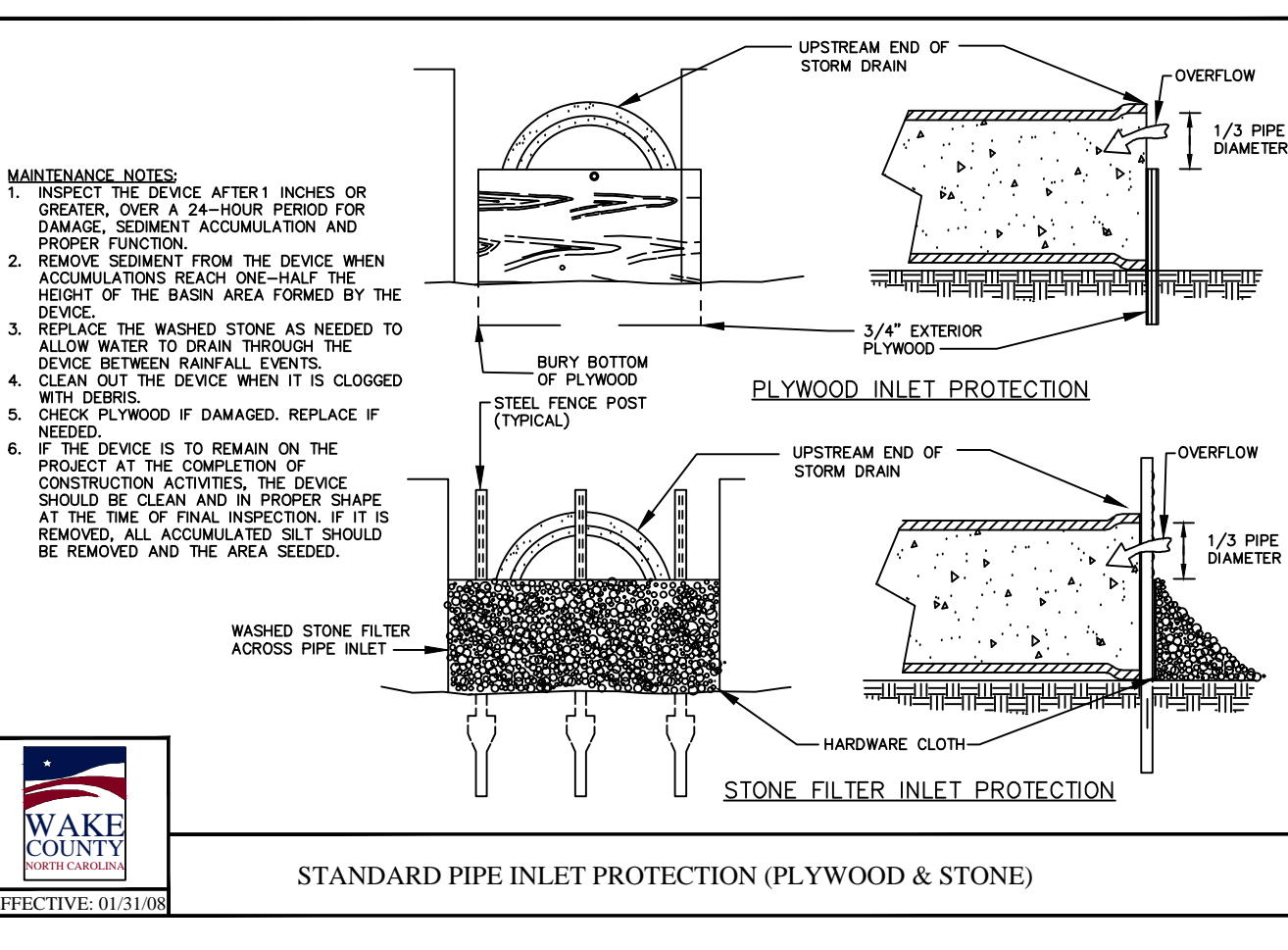
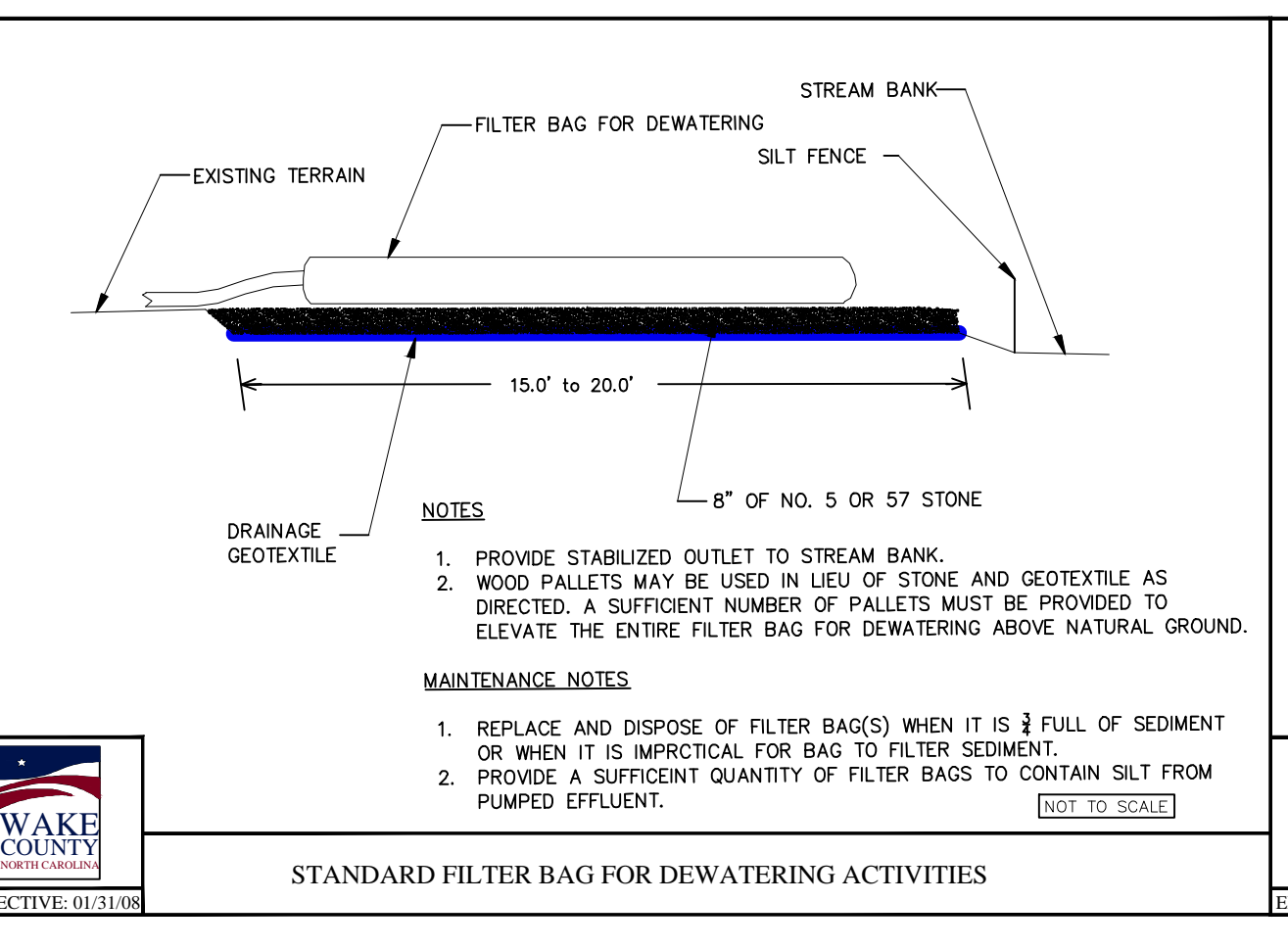
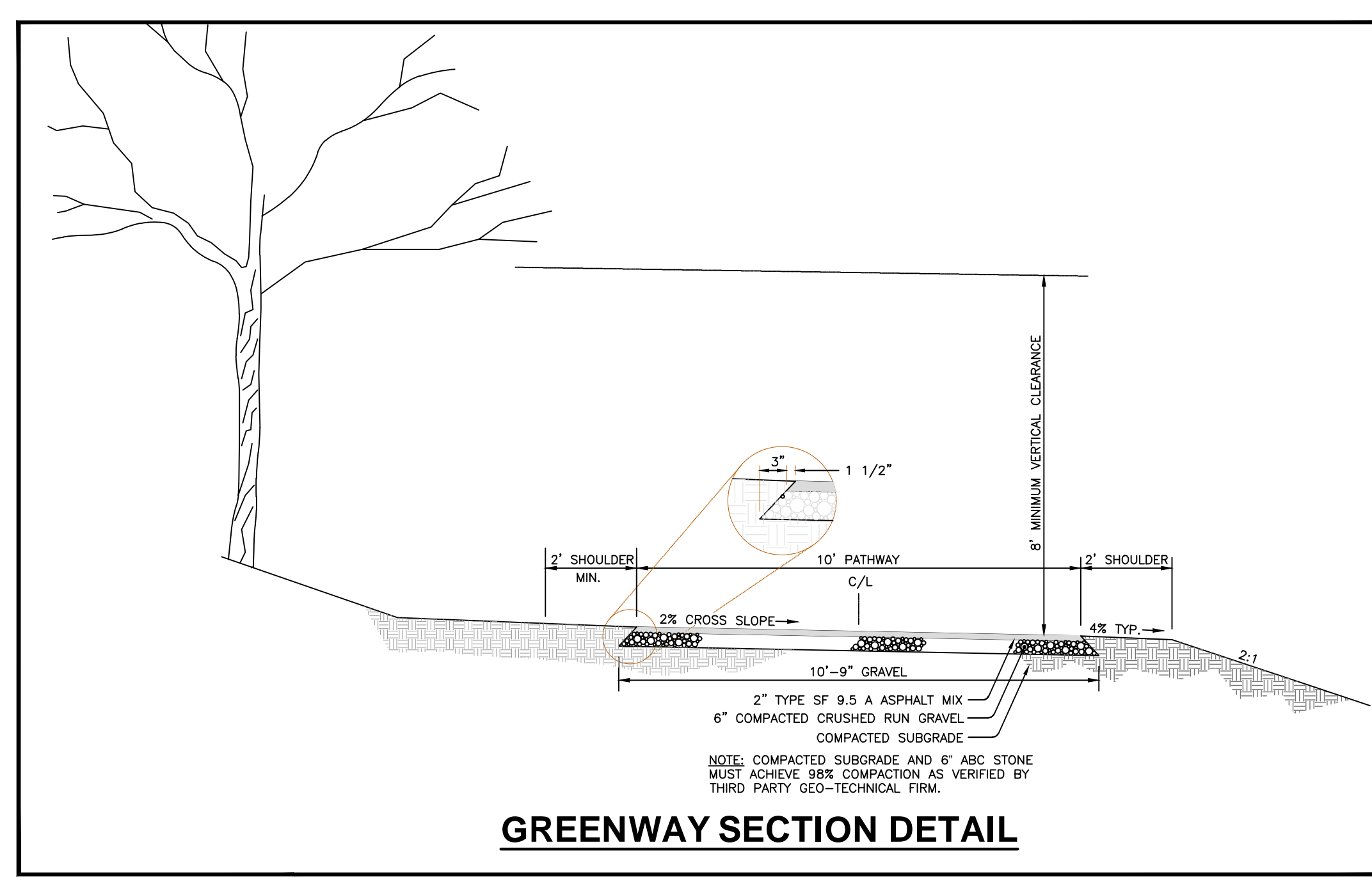
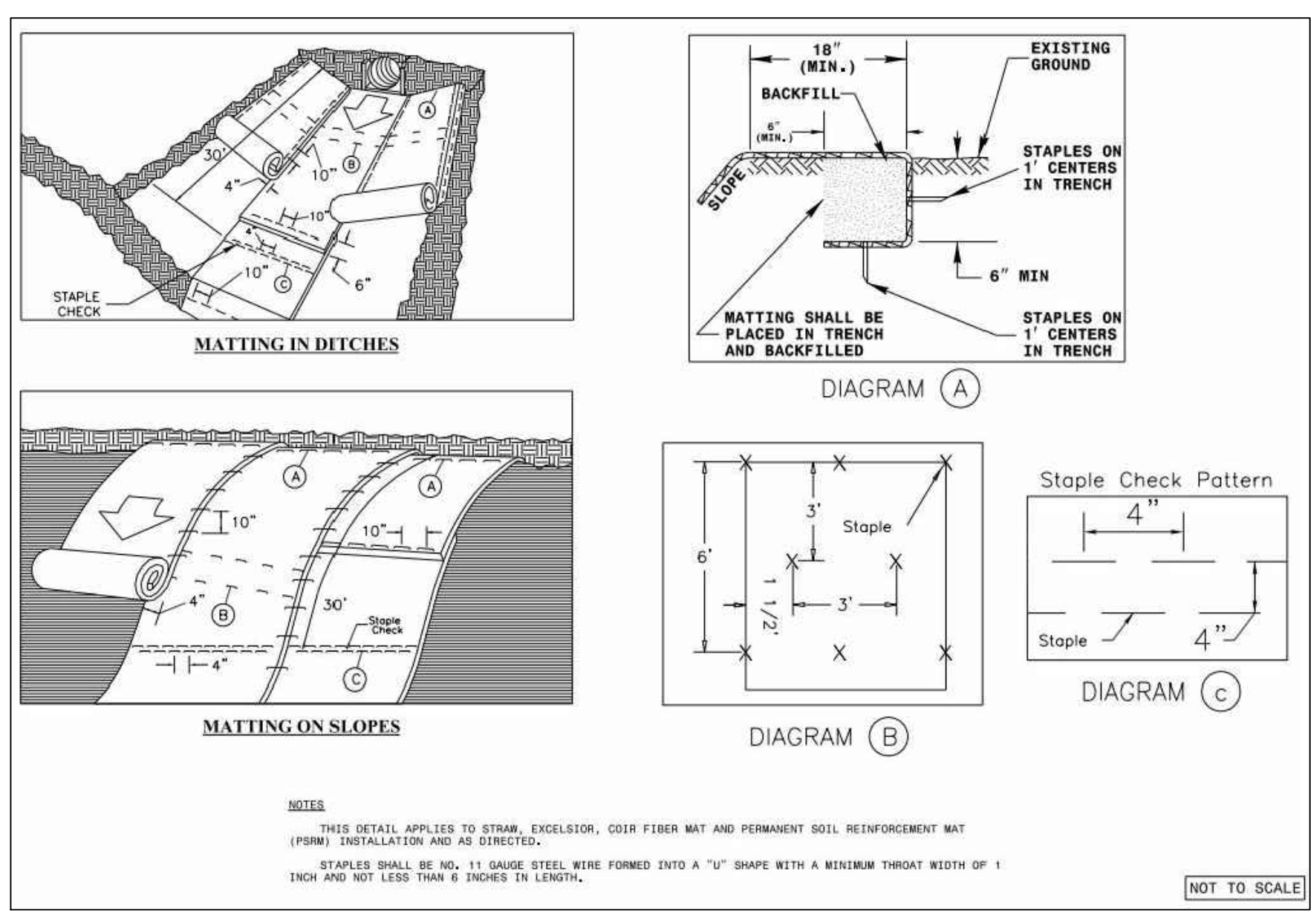
DETAILS

DWG. NO. SITE 28

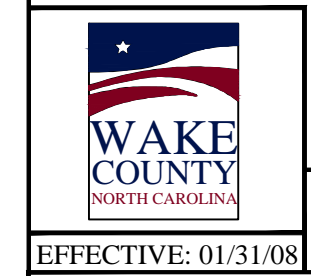
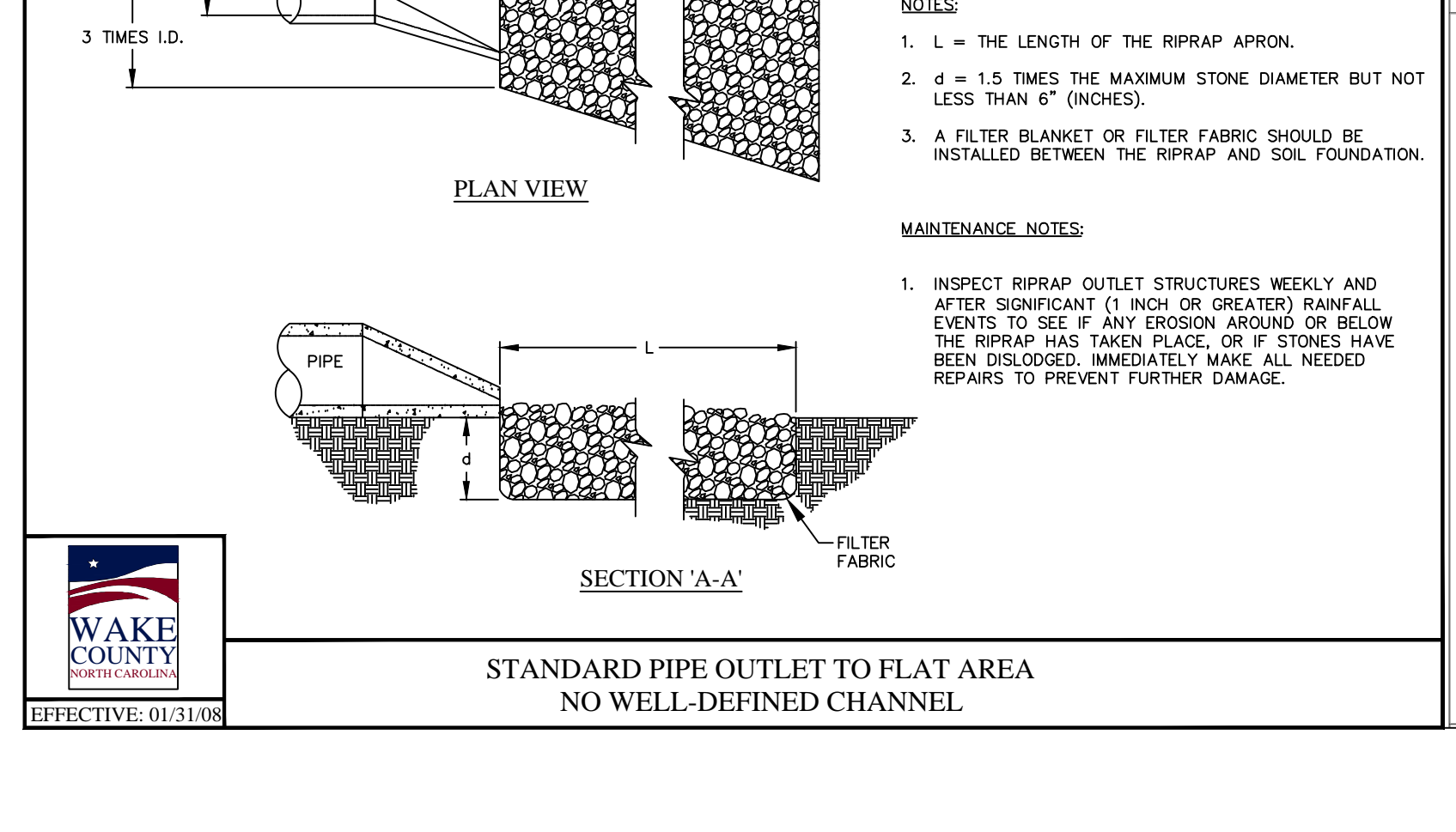
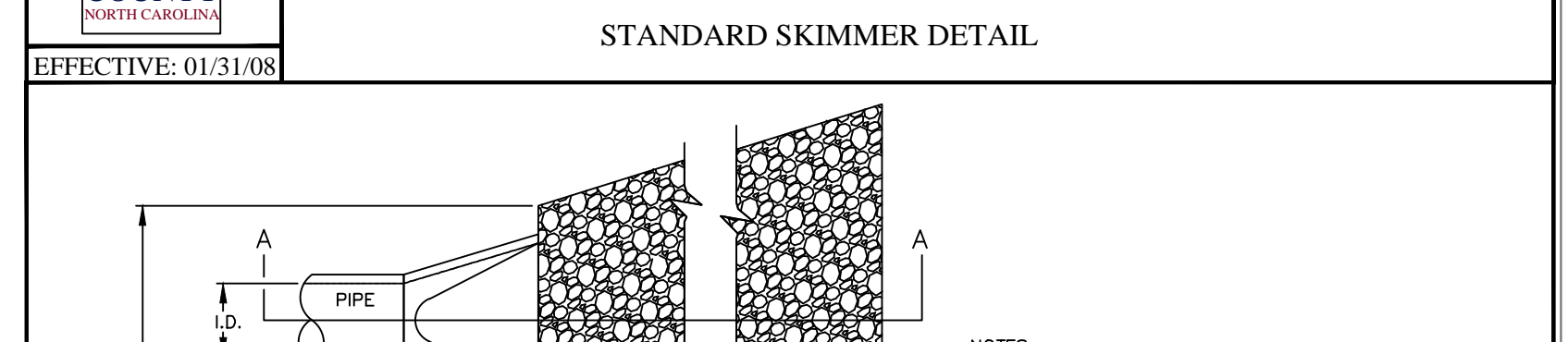
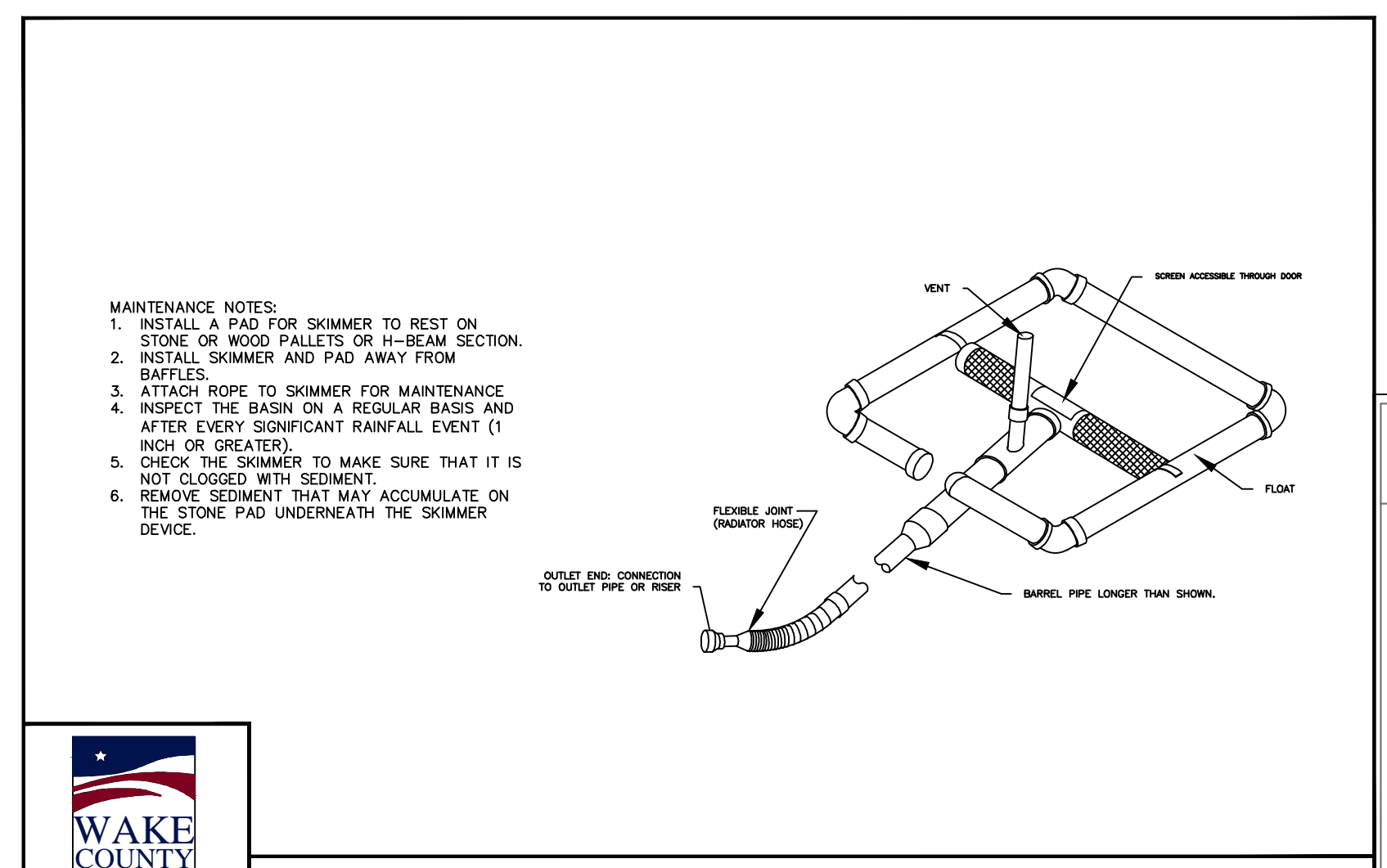
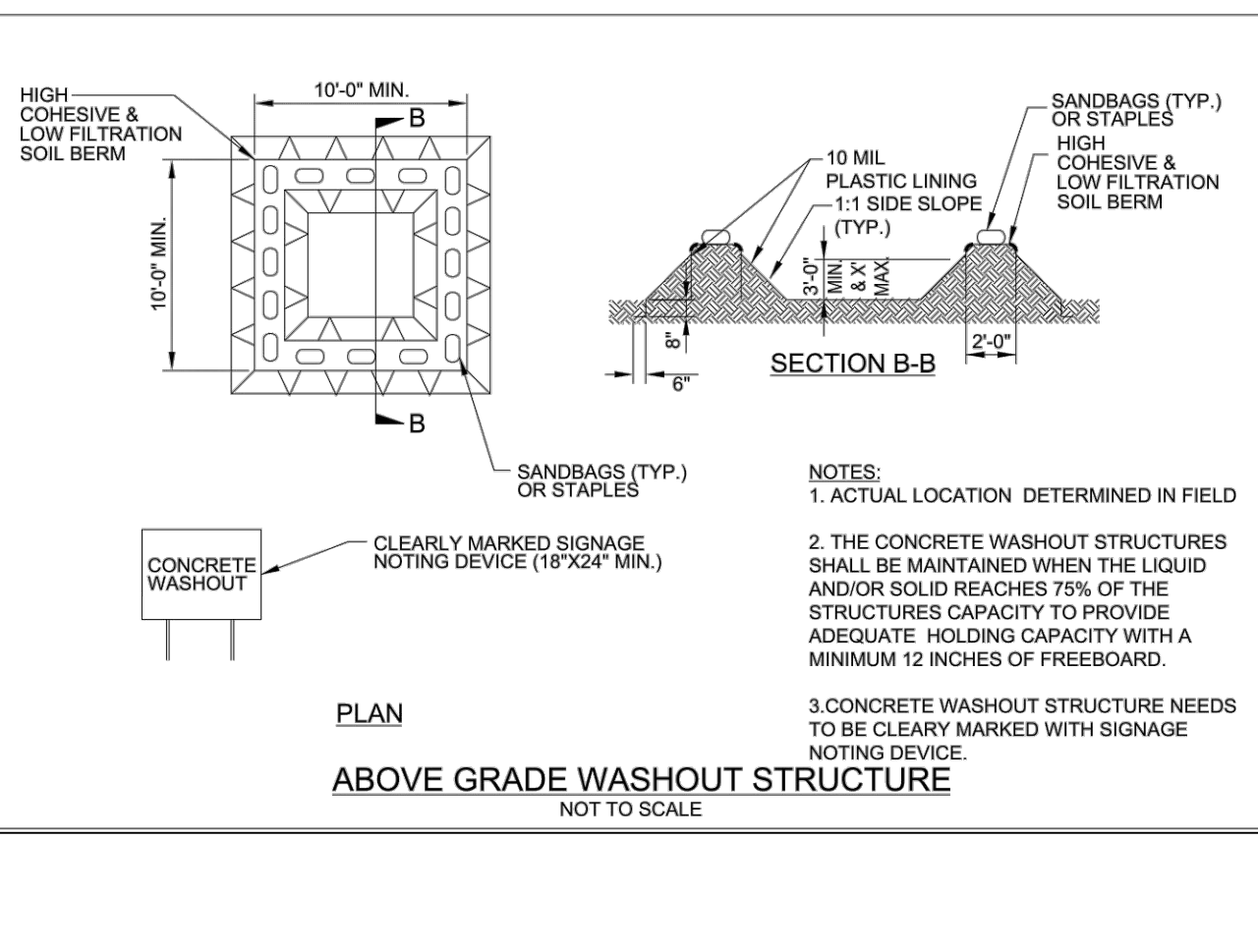
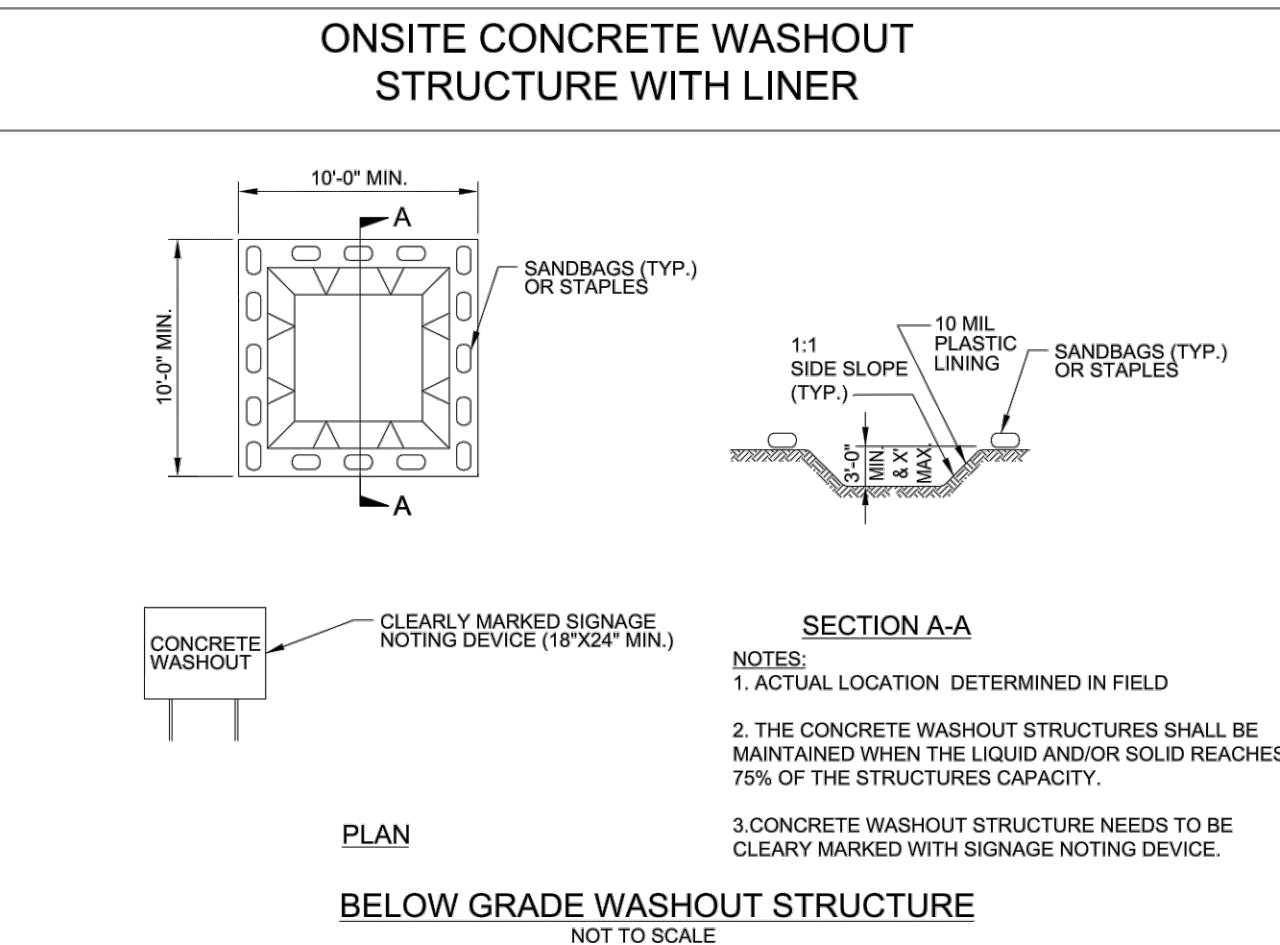
REVISIONS:

17 APRIL 2024	PER TOWN/WAKE COUNTY REVIEW
24 MAY 2024	PER TOWN/WAKE COUNTY REVIEW

DRAWN BY: **JET**
 CHECKED BY: **MLS**
 PROJECT: **FDCWP9**



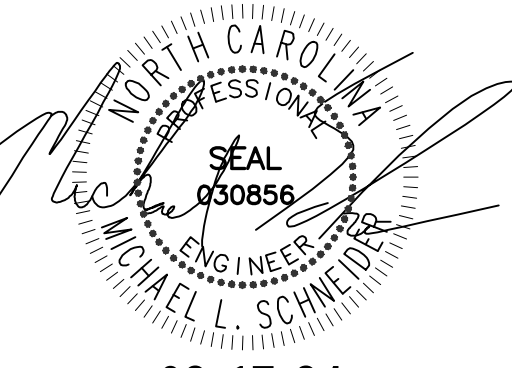
SCALE:	NOT TO SCALE	DETAIL #	50
DATE:	JULY 2010	SHEET #	1 OF 1



EFFECTIVE: 01/31/08



EFFECTIVE: 01/31/08



02-17-24

WEAVER'S POINTE SUBDIVISION

0 WEAVERS POND DRIVE
ZEBULON, NC

ISSUED: 02-14-24

REVISIONS:

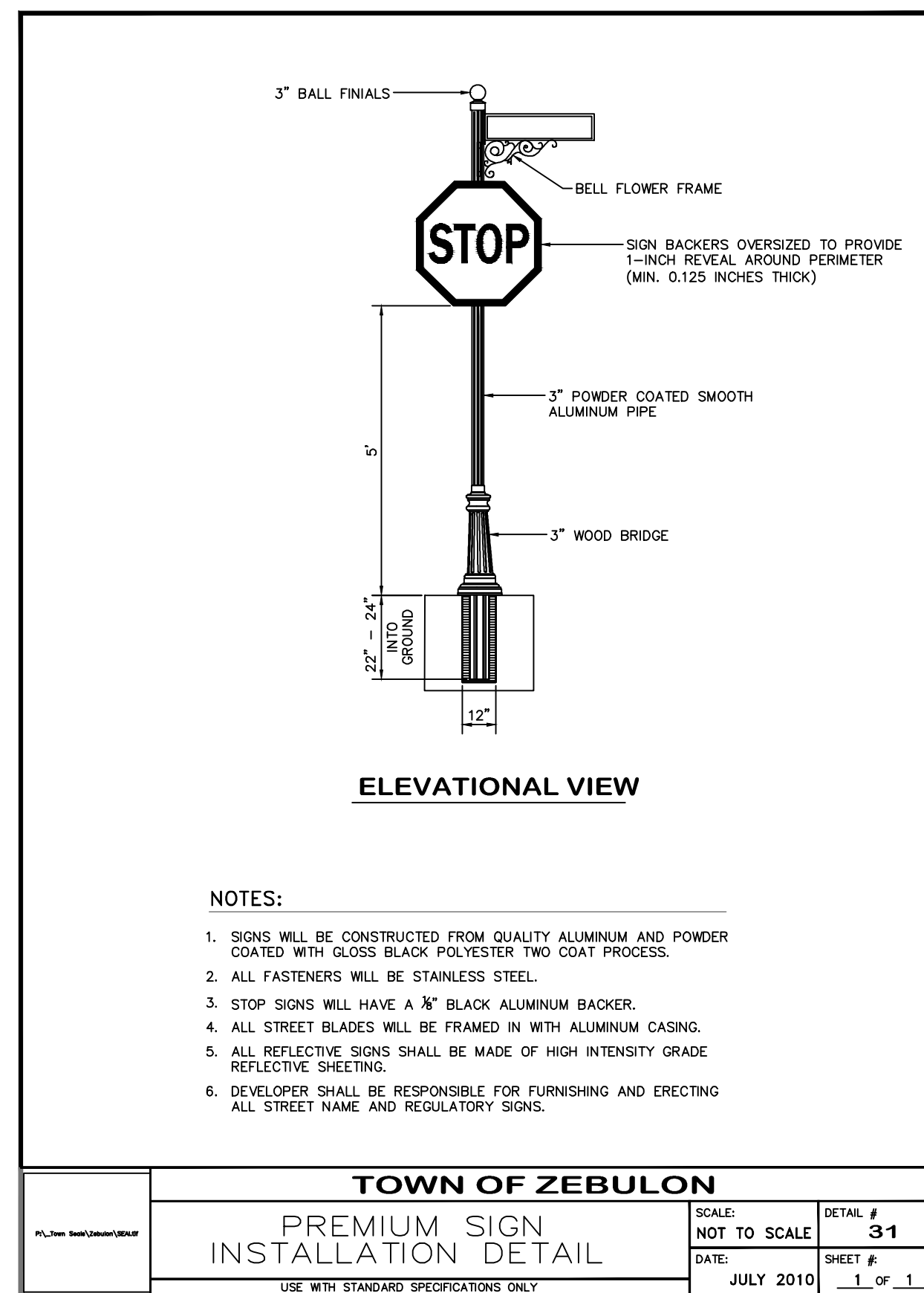
17 APRIL 20124
PER TOWN/WAKE COUNTY REVIEW

DRAWN BY: JET
CHECKED BY: MLS

PROJECT: FDCWP9

DETAILS

DWG. NO. SITE 30



- NOTES:
- SIGNS WILL BE CONSTRUCTED FROM QUALITY ALUMINUM AND POWDER COATED WITH GLOSS BLACK POLYESTER TWO COAT PROCESS.
 - ALL FASTENERS WILL BE STAINLESS STEEL.
 - STOP SIGNS WILL HAVE A 1/2\"/>

TOWN OF ZEBULON	
PREMIUM SIGN INSTALLATION DETAIL	
SCALE: NOT TO SCALE	DETAIL # 31
DATE: JULY 2010	SHEET # 1 OF 1
USE WITH STANDARD SPECIFICATIONS ONLY	

Decorative Aluminum Poles with V-Loc®

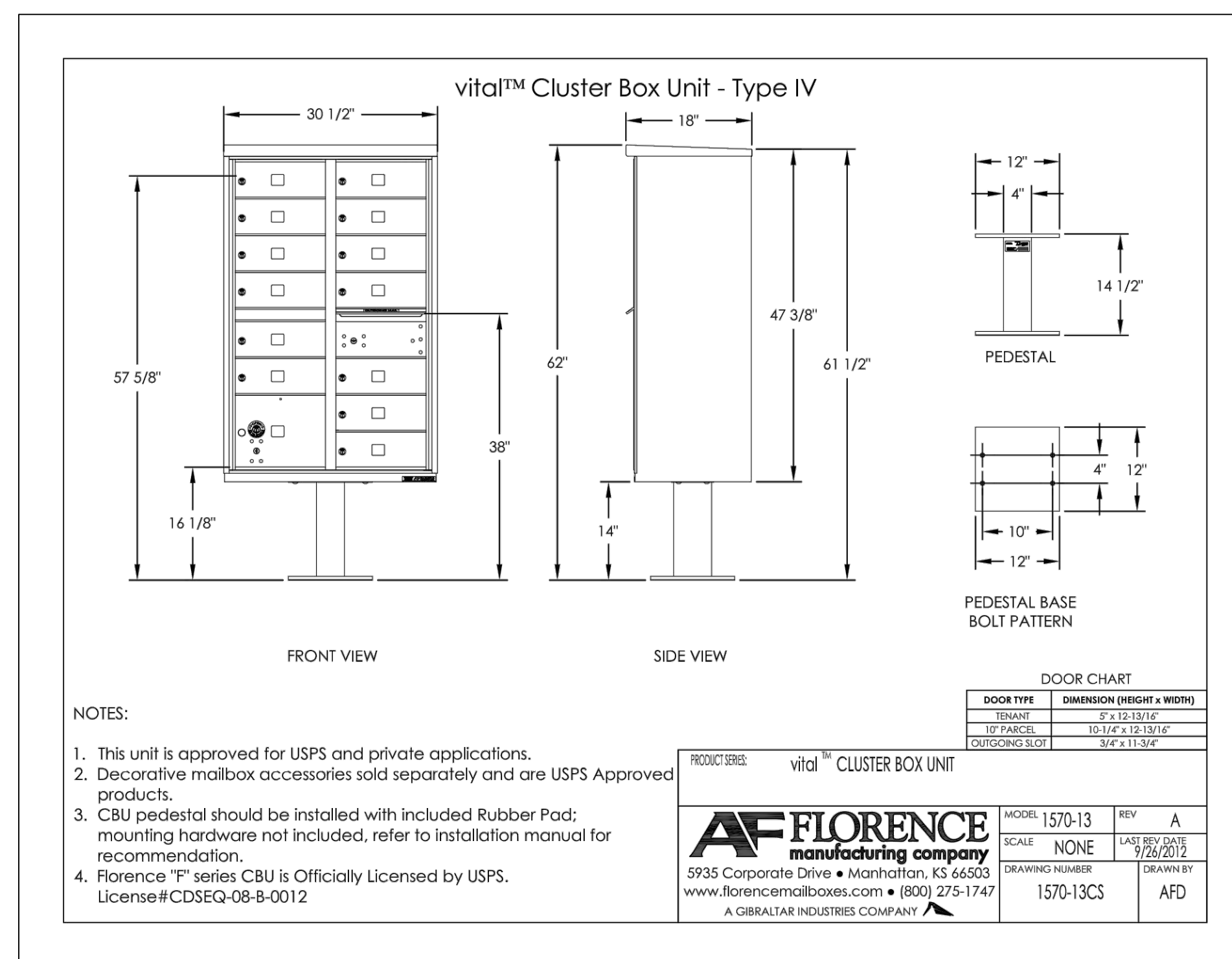
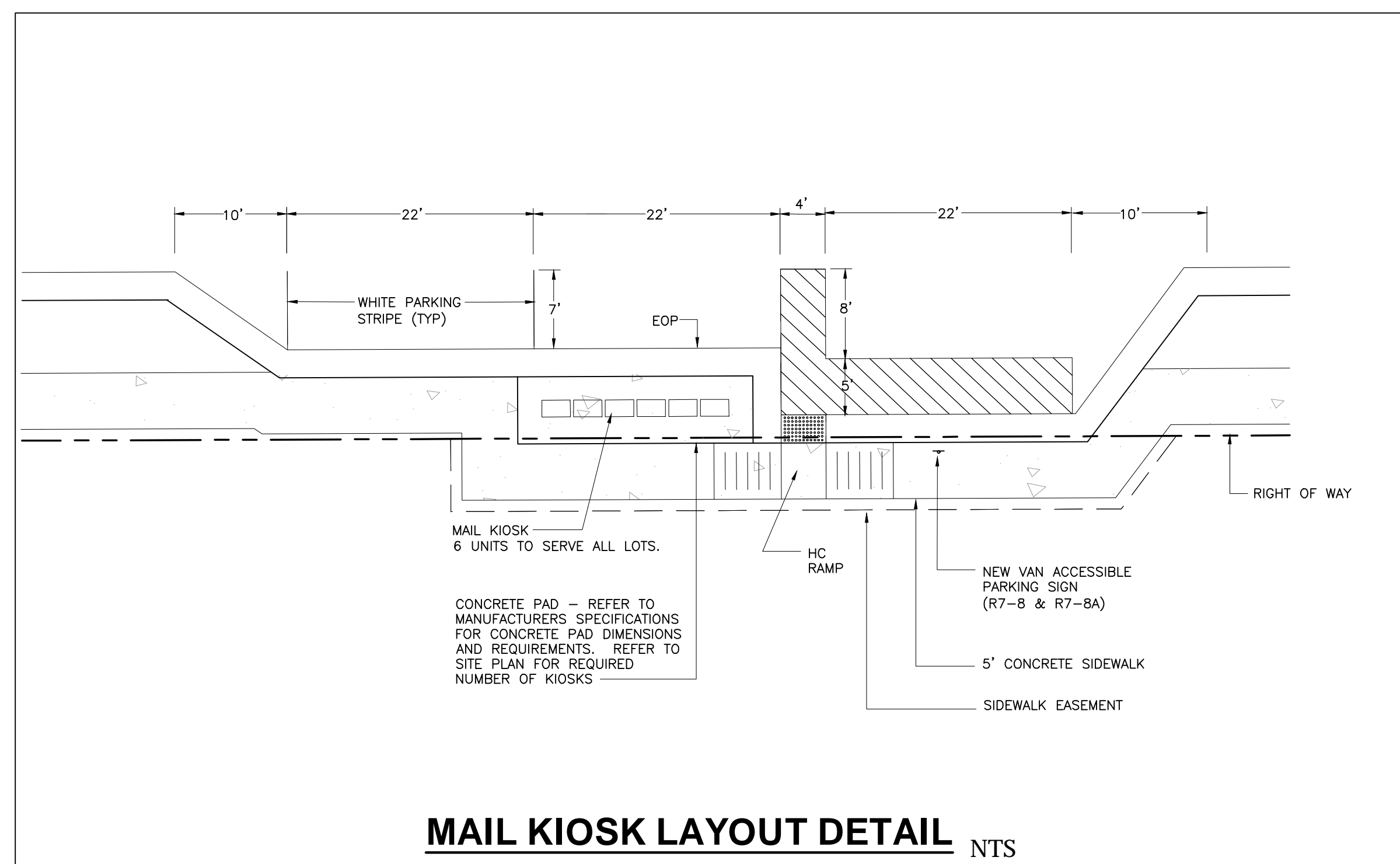
When pairing decorative aluminum poles with TAPCO's V-Loc® anchors, you get both the ease of installation and the safety of an NCHRP 350 approved breakaway anchor system. V-Loc® is the state of the art, reusable breakaway anchor, allowing you to replace posts literally in minutes. It anchors posts for signs, mailboxes and other applications. The V-Loc® anchor socket can be installed in concrete, asphalt or dirt safely by one person in a matter of minutes either by hand or power driver. Once the V-Loc® anchor is installed, you simply insert your post and drive in the patented wedge, locking the post into the anchor without the need for any additional hardware. V-Loc fins require no concrete in soil. It's simple, solid and safe. Each V-Loc includes a locking wedge easily replaced after a vehicle impact. Other diameter post and ground settings are available.

23-VR1, for post with 2 3/8" O.D. (concrete)	034-00012
23-VR3, for post with 2 3/8" O.D. (soil)	034-00014
30-VR1, for post with 3" O.D. (concrete)	034-00116
30-VR3, for post with 3" O.D. (soil)	034-00002
40-VR1, for post with 4" O.D. (concrete)	034-00117
40-VR3, for post with 4" O.D. (soil)	106782



Decorative Breakaway Pole Packages
Fluted decorative poles for decorative way finding signage, BlinkerSign® LED signs. 4" pole required for RFB systems

12" x 3" decorative pole package, anchor bolts (for concrete)	203-00101
12" x 3" decorative pole package, V-Loc® anchor (for soil)	203-00102
12" x 4" decorative pole package, V-Loc® anchor (for soil)	203-00103
12" x 4" decorative pole package, anchor bolts (for concrete)	203-00104
15" x 4" decorative pole package, anchor bolts (for concrete)	203-00105



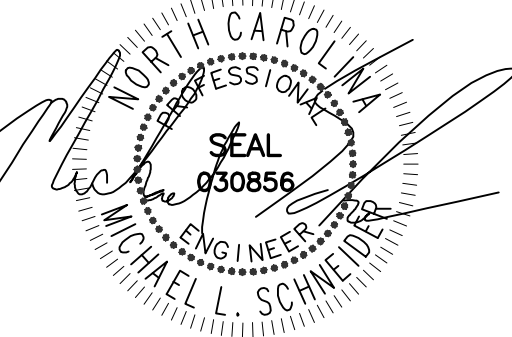
- NOTES:
- This unit is approved for USPS and private applications.
 - Decorative mailbox accessories sold separately and are USPS Approved products.
 - CBU pedestal should be installed with included Rubber Pad; mounting hardware not included, refer to installation manual for recommendation.
 - Florence "F" series CBU is Officially Licensed by USPS. License#CDSEQ-08-8-0012

PRODUCT SERIES: vital™ CLUSTER BOX UNIT

AF FLORENCE
manufacturing company
5935 Corporate Drive • Manhattan, KS 66503
www.florencemailboxes.com • (800) 275-1747
A GIBRALTAIR INDUSTRIES COMPANY

MODEL: 1570-13	REV: A
SCALE: NONE	LAST REV. DATE: 9/26/2012
DRAWING NUMBER: 1570-13CS	DRAWN BY: AFD

MAIL KIOSK AND LIGHT POLE DETAILS



02-17-24

WEAVER'S POINTE SUBDIVISION

**0 WEAVERS POND DRIVE
ZEBULON, NC**

ISSUED: 02-14-24

REVISIONS:

17 APRIL 20124
PER TOWN/WAKE COUNTY REVIEW

DRAWN BY: JET
CHECKED BY: MLS

PROJECT: FDCWP9

DETAILS

DWG. NO. **SITE 31**

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Required Ground Stabilization Timeframes		
Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> Temporary grass seed covered with straw or other mulches and tackifiers Hydroseeding Rolled erosion control products with or without temporary grass seed Appropriately applied straw or other mulch Plastic sheeting 	<ul style="list-style-type: none"> Permanent grass seed covered with straw or other mulches and tackifiers Geotextile fabrics such as permanent soil reinforcement matting Hydroseeding Shrubs or other permanent plantings covered with mulch Uniform and evenly distributed ground cover sufficient to restrain erosion Structural methods such as concrete, asphalt or retaining walls Rolled erosion control products with grass seed

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

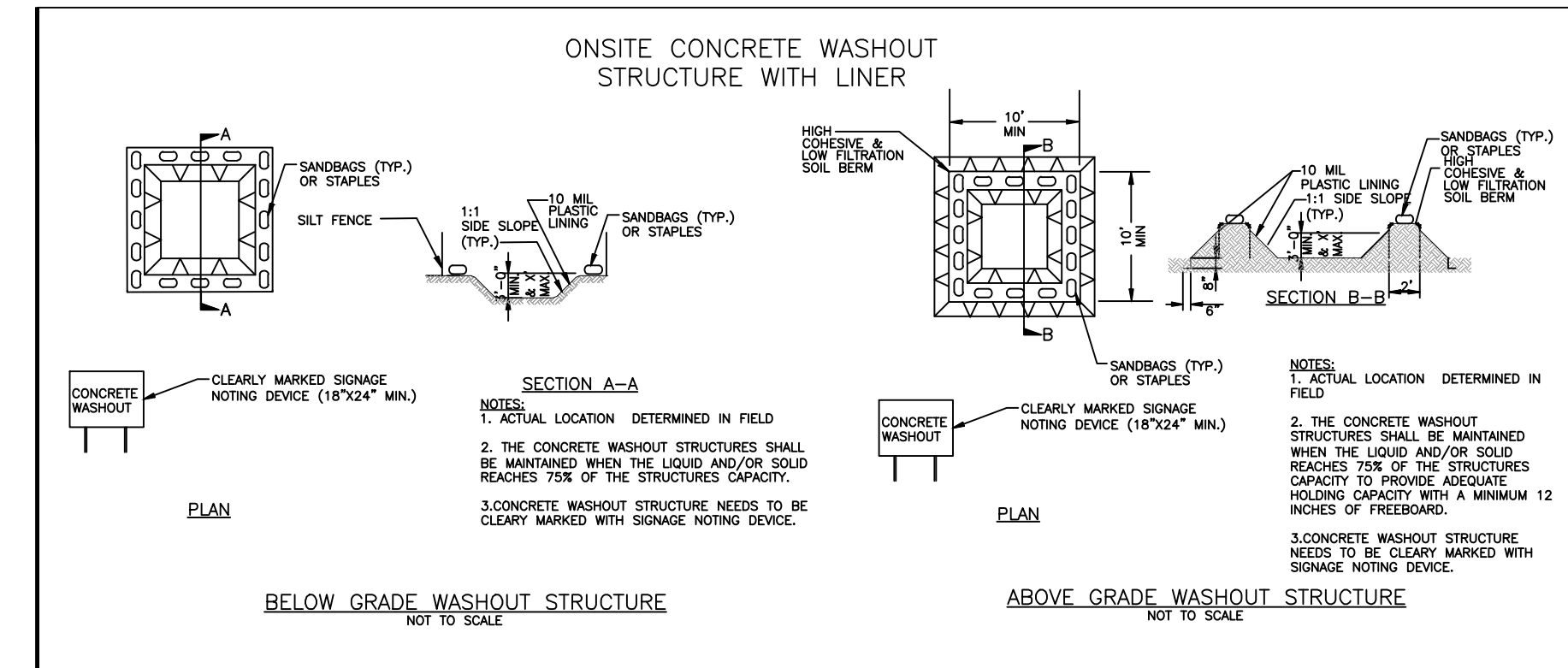
- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



CONCRETE WASHOUTS

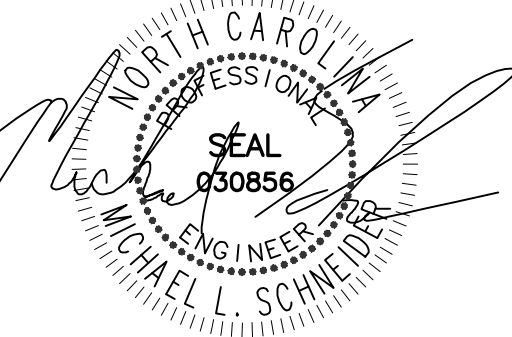
- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

HAZARDOUS AND TOXIC WASTE

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.



02-17-24

WEAVER'S POINTE SUBDIVISION

0 WEAVERS POND DRIVE
ZEBULON, NC

ISSUED: 02-14-24

REVISIONS:

17 APRIL 20124
PER TOWN/WAKE COUNTY REVIEW

DRAWN BY: JET
CHECKED BY: MLS

PROJECT: FDCWP9

DETAILS

DWG. NO. SITE 32

PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those unattended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the measures inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Indication of whether the measures were operating properly, 5. Description of maintenance needs for the measure, 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration, 5. Indication of visible sediment leaving the site, 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits, 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item (2)(a) of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B: RECORDKEEPING

1. E&SC Plan Documentation

The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Documentation Requirements
(a) Each E&SC measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC plan.	Initial and date each E&SC measure on a copy of the approved E&SC plan or complete, date and sign an inspection report that lists each E&SC measure shown on the approved E&SC plan. This documentation is required upon the initial installation of the E&SC measures or if the E&SC measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC plan.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC measures.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation to be Kept on Site

In addition to the E&SC plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- (a) This General Permit as well as the Certificate of Coverage, after it is received.
- (b) Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

3. Documentation to be Retained for Three Years

All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

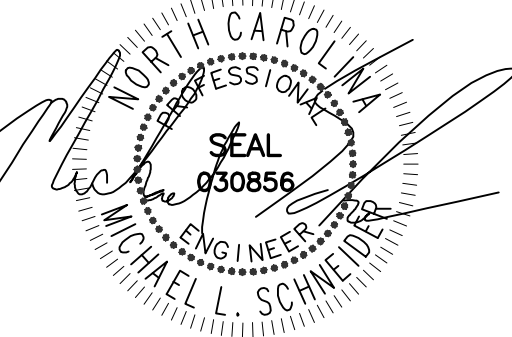
PART II, SECTION G, ITEM (4)
DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

- (a) The E&SC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&SC plan authority has approved these items,
- (b) The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item (2)(c) and (d) of this permit,
- (c) Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems,
- (d) Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in Item (c) above,
- (e) Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and
- (f) Sediment removed from the dewatering treatment devices described in Item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

EFFECTIVE: 04/01/19



02-17-24

WEAVER'S POINTE SUBDIVISION

0 WEAVERS POND DRIVE
ZEBULON, NC

ISSUED: 02-14-24

REVISIONS:

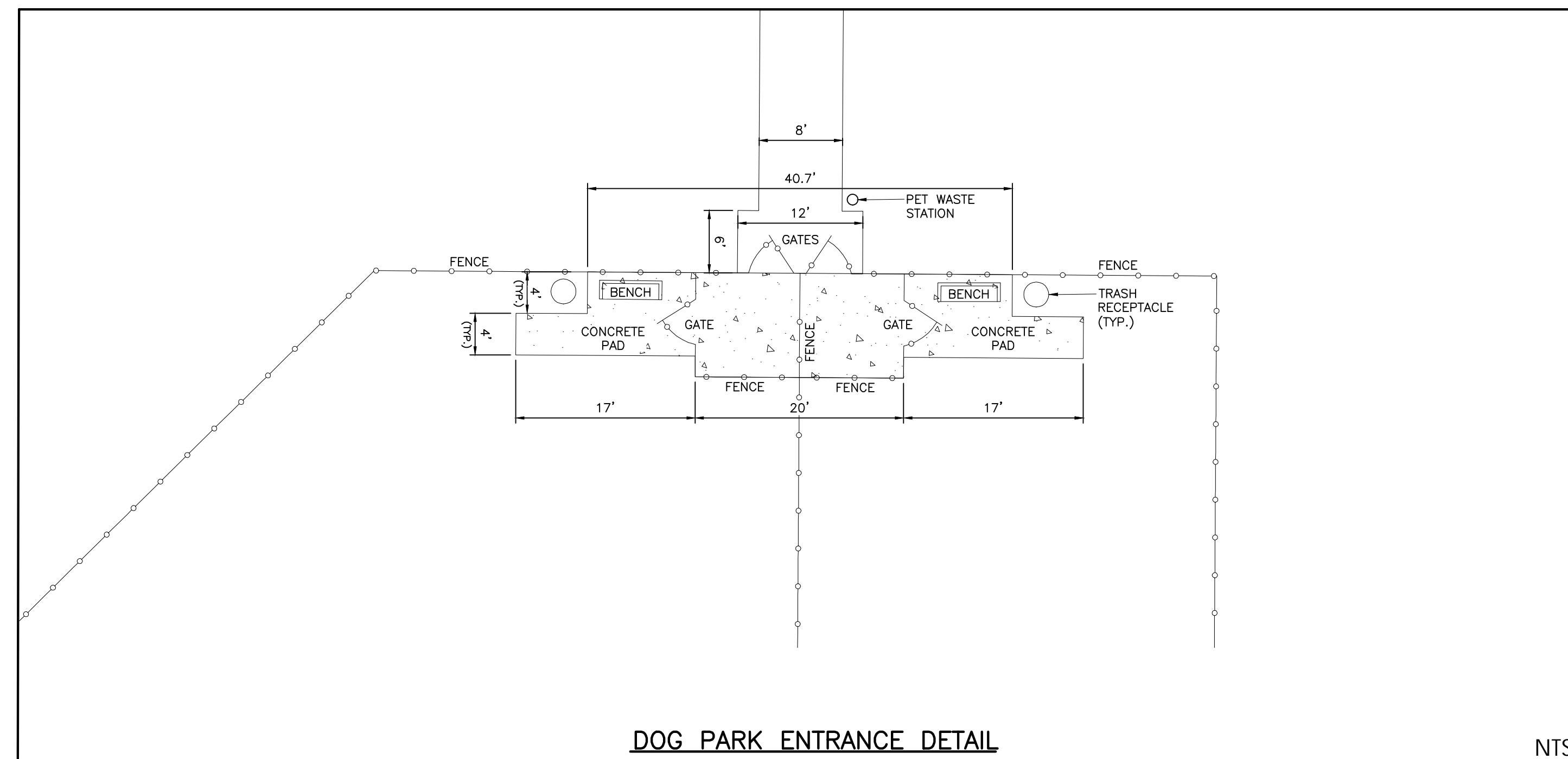
17 APRIL 20124
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DRAWN BY: JET
CHECKED BY: MLS

PROJECT: FDCWP9

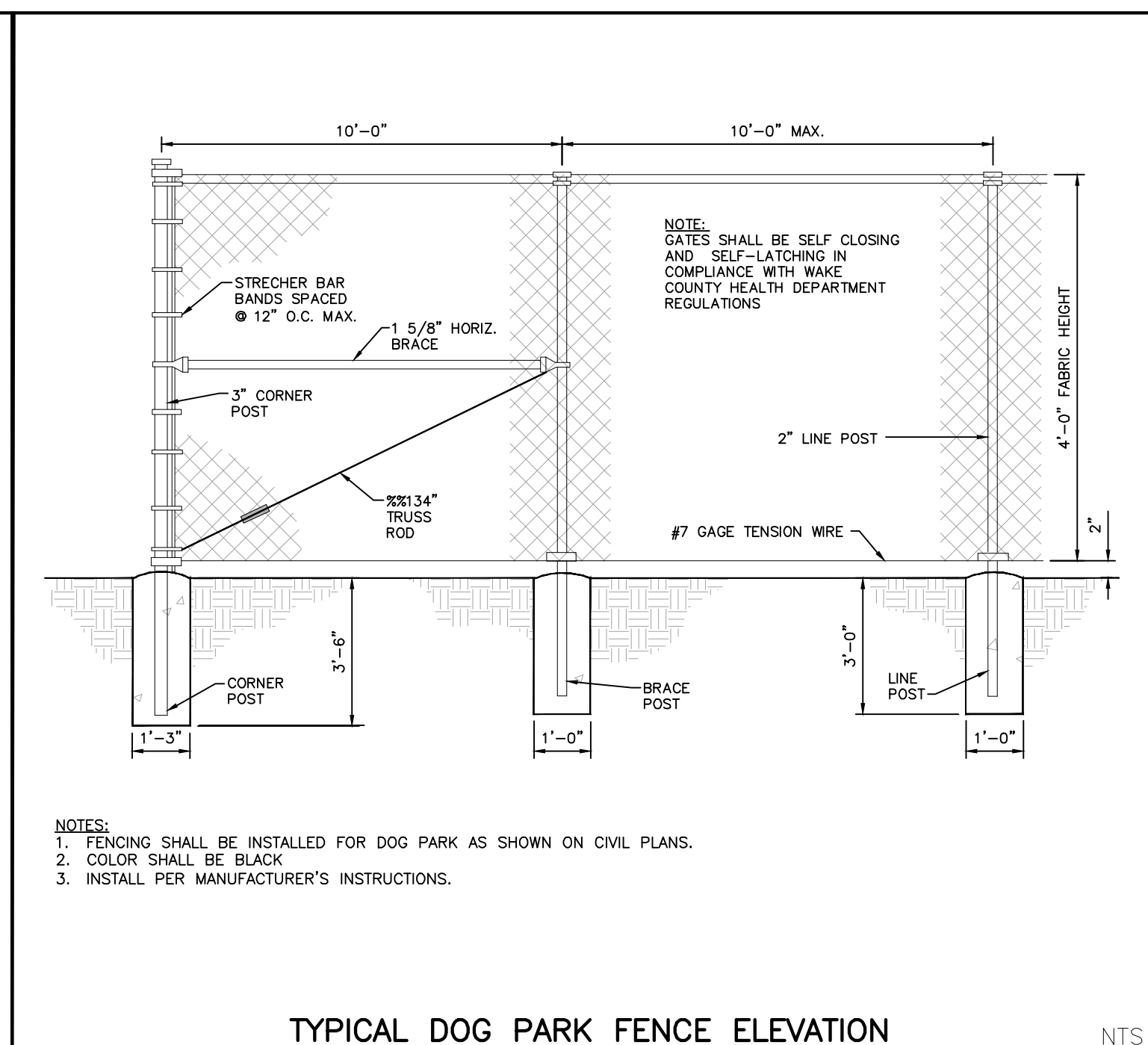
DETAILS

DWG. NO. SITE 33



DOG PARK ENTRANCE DETAIL

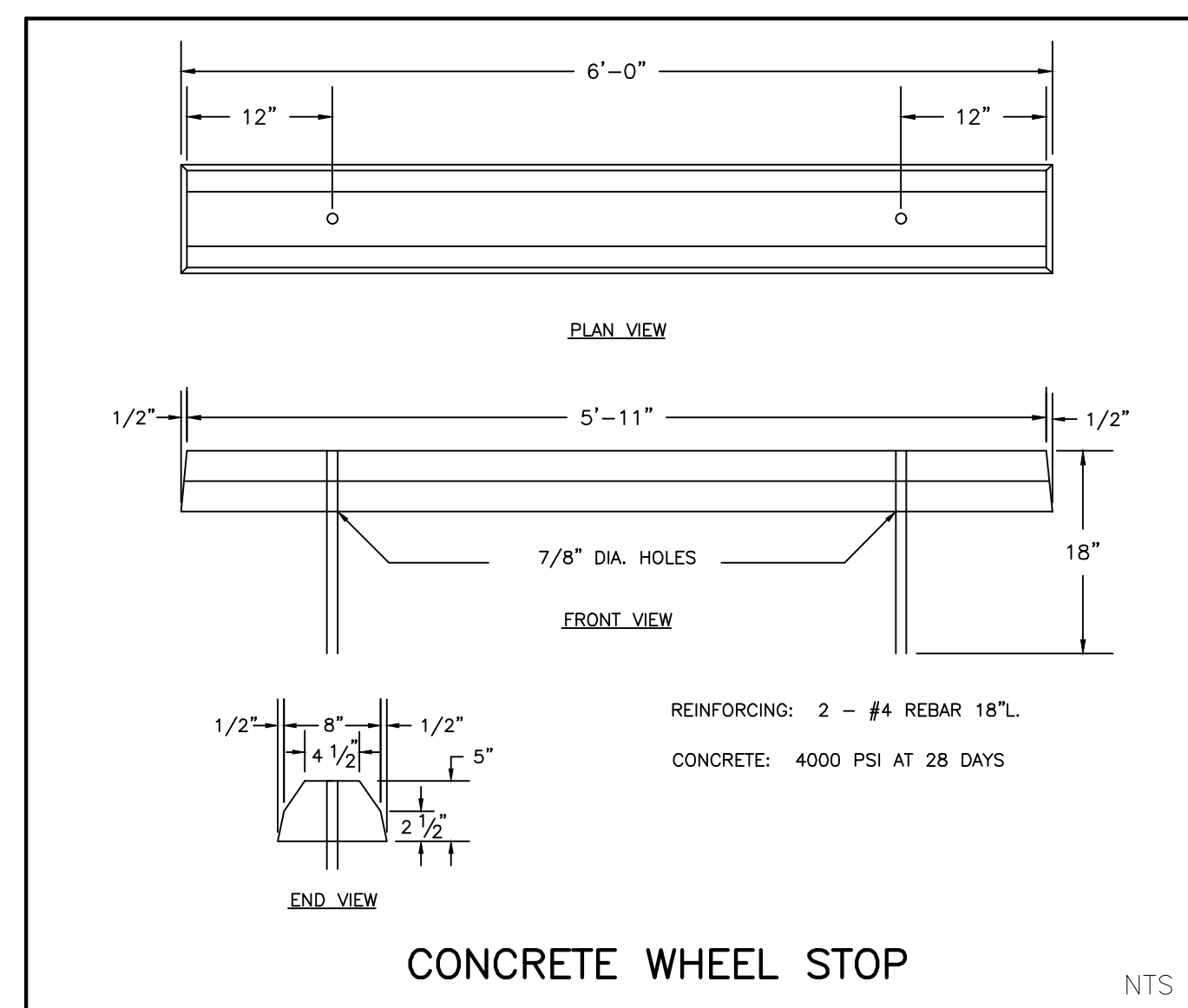
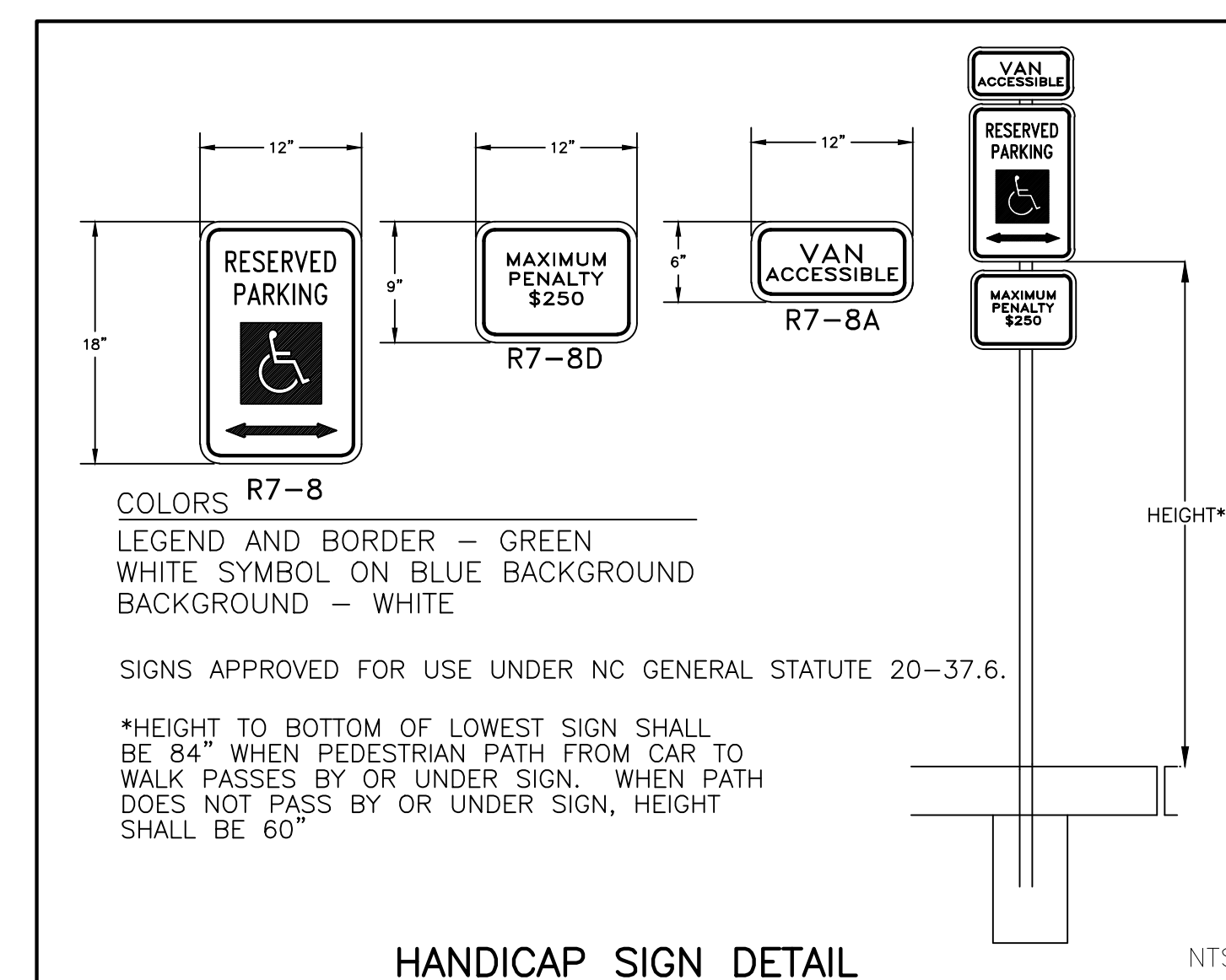
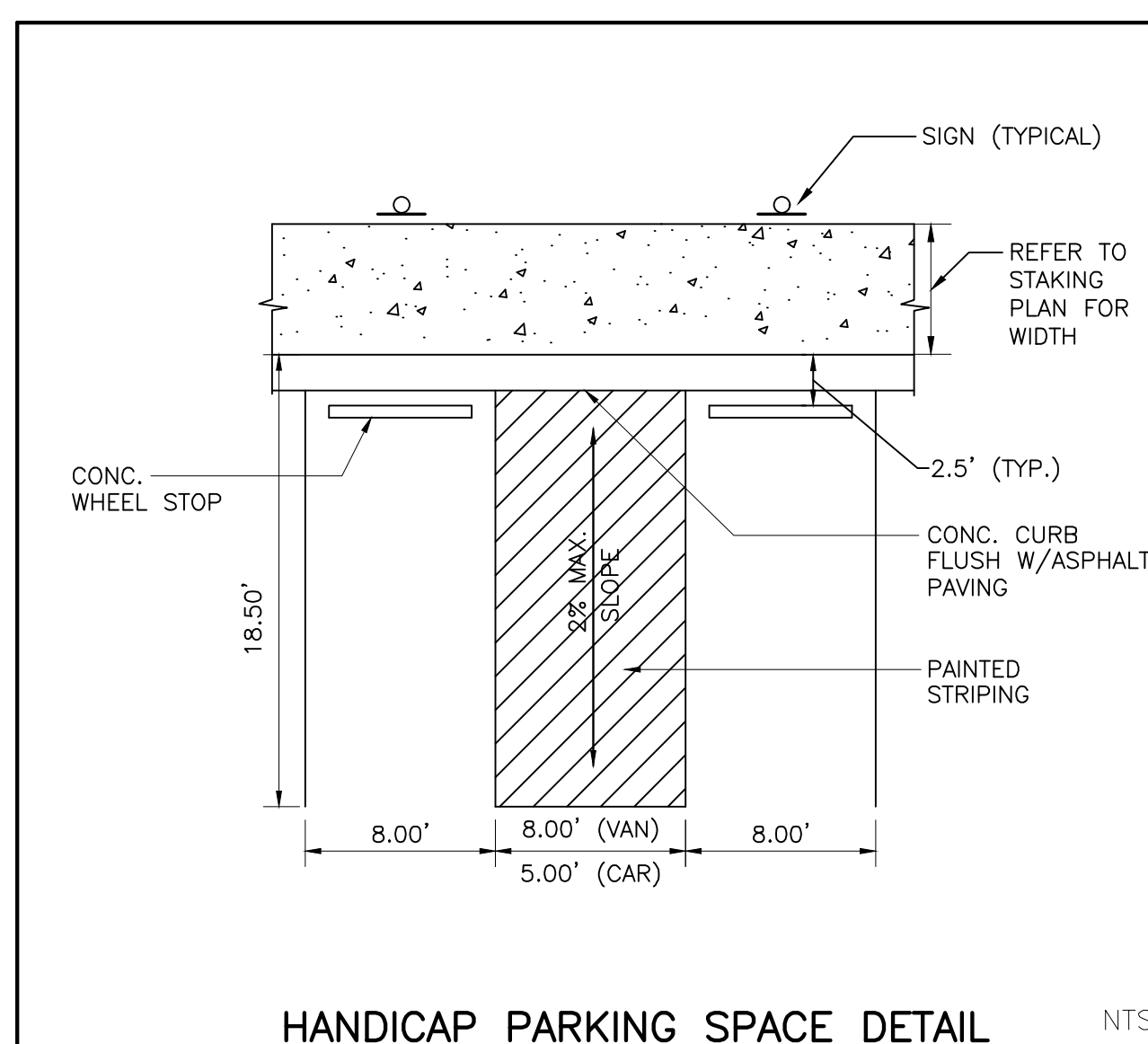
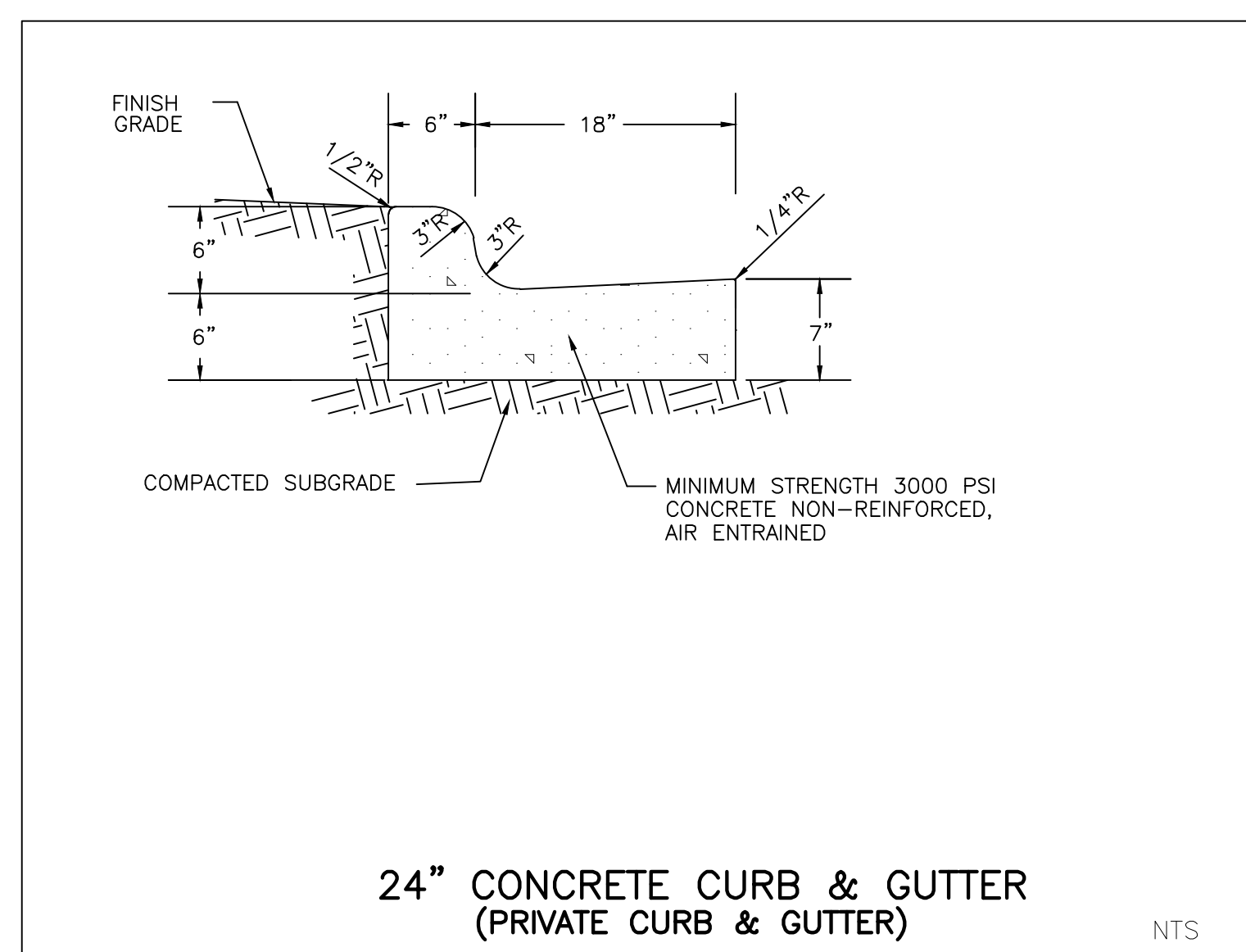
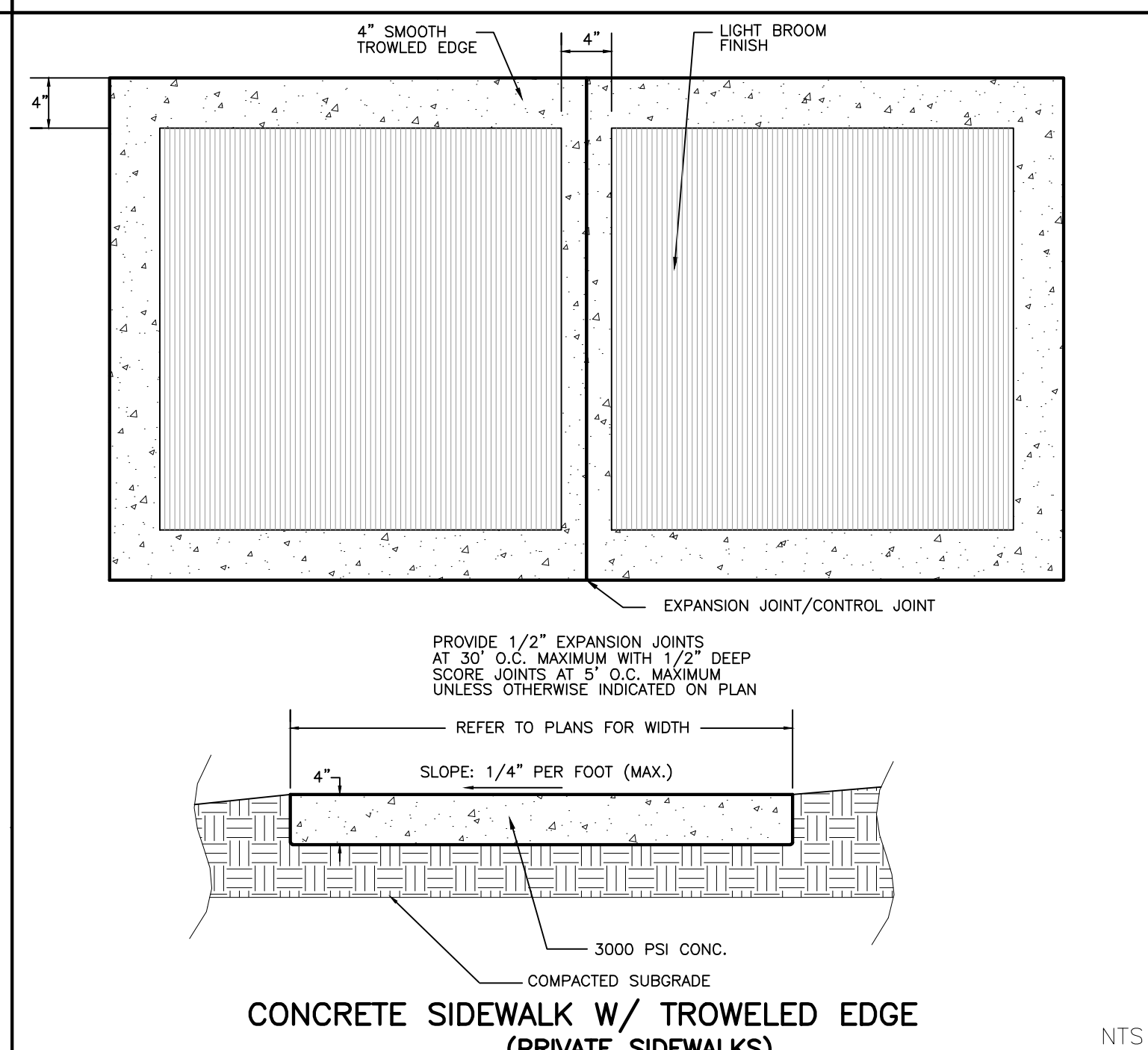
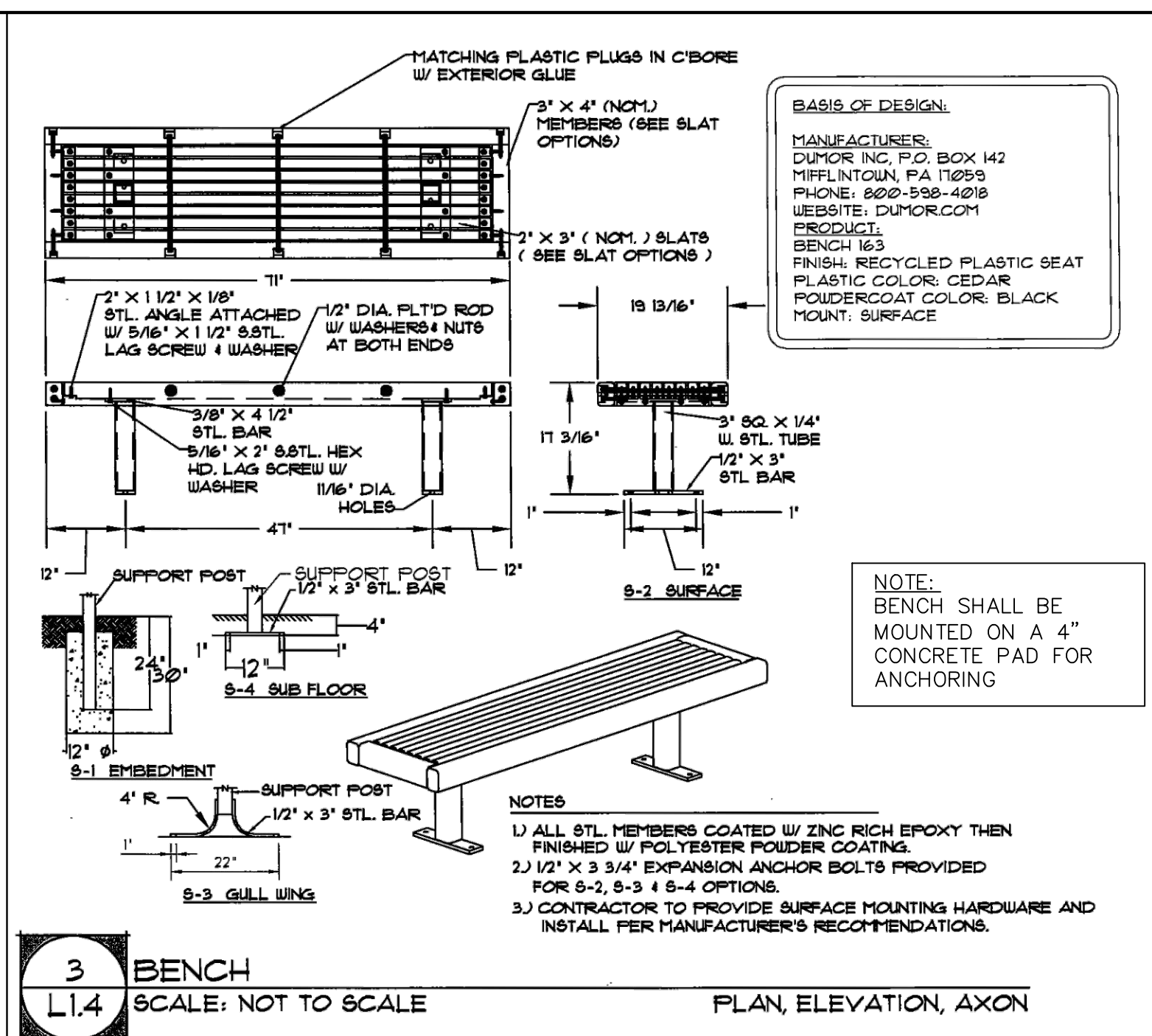
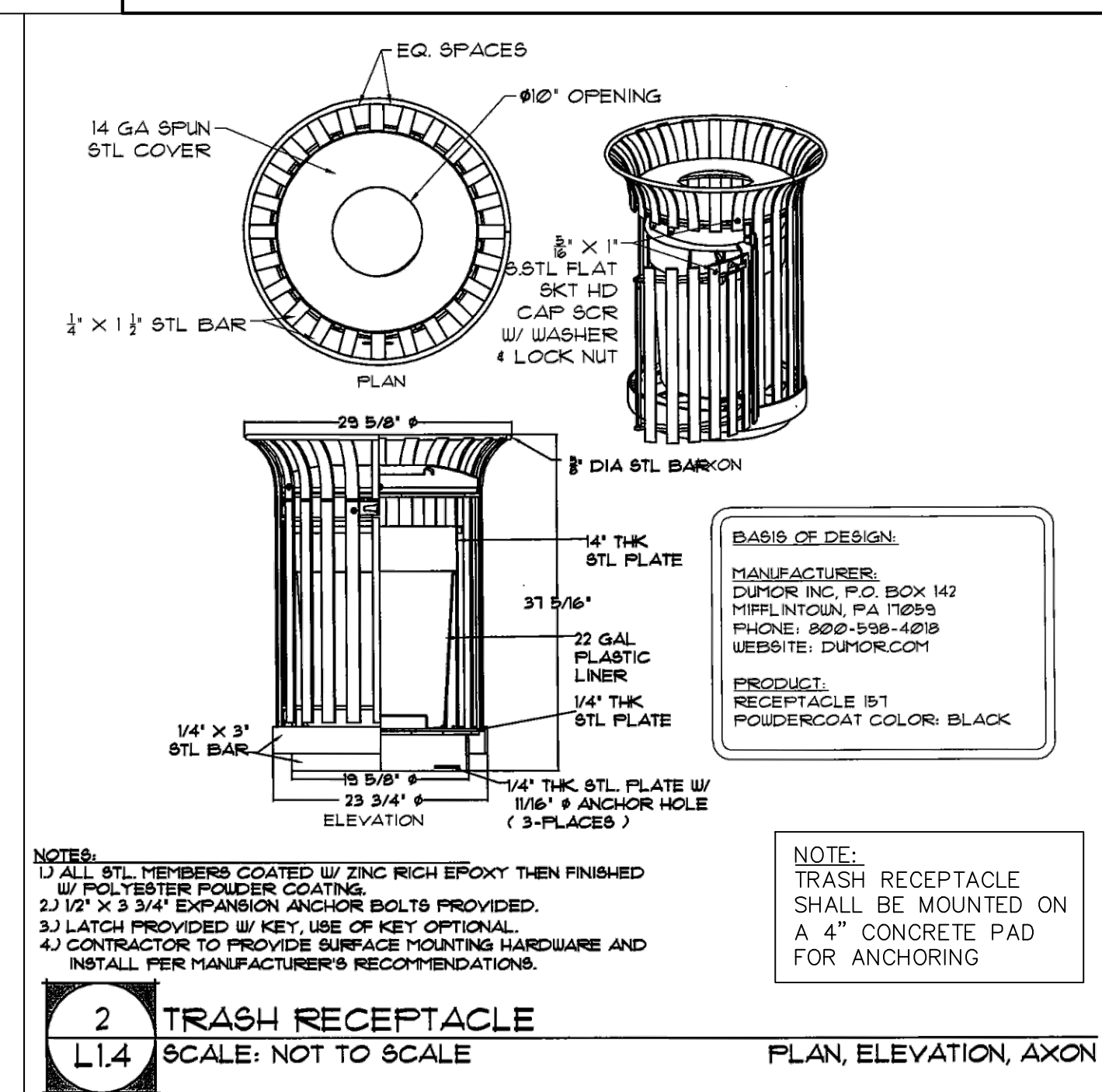
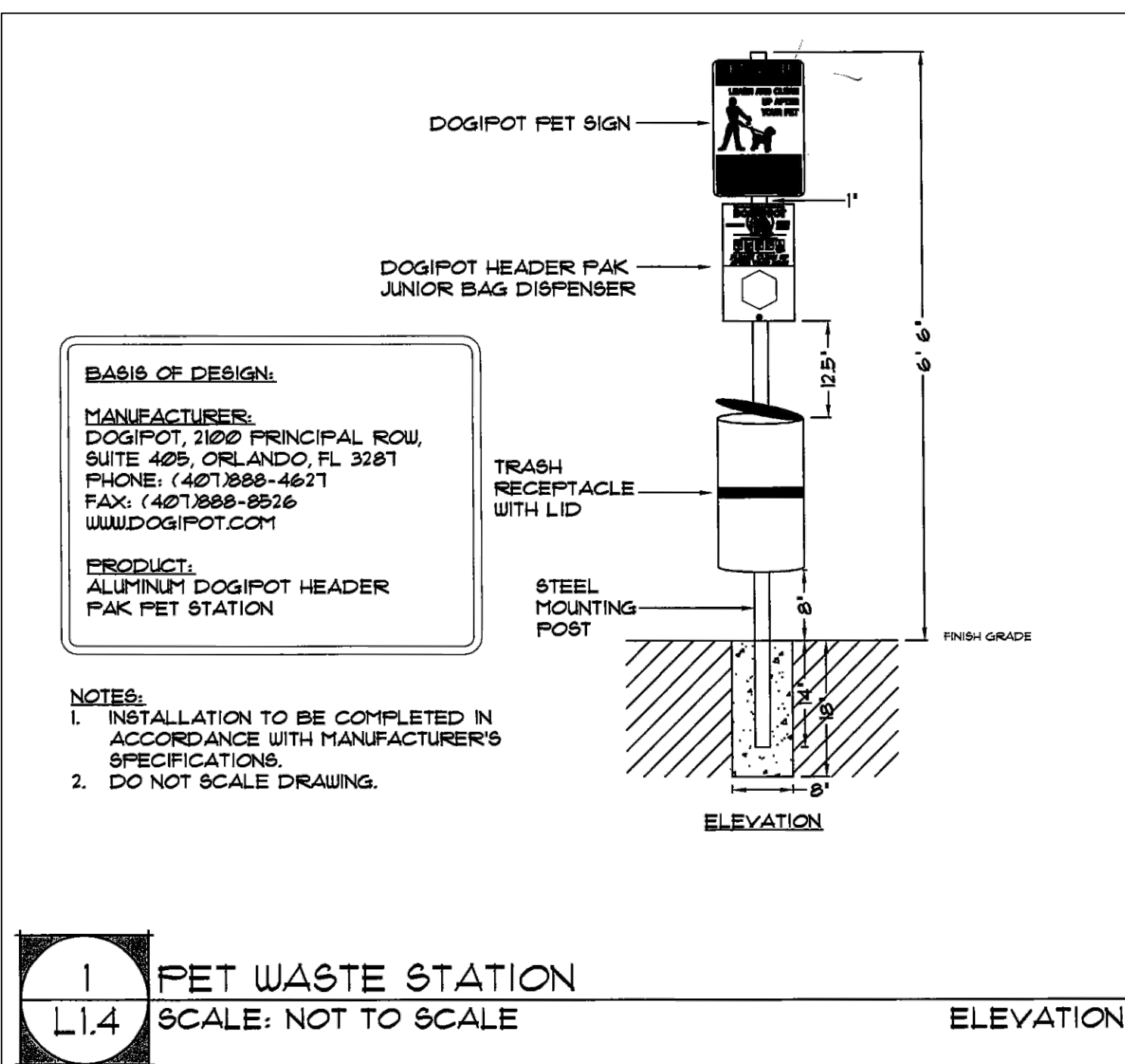
NTS



TYPICAL DOG PARK FENCE ELEVATION

NTS

- NOTES:
- FENCING SHALL BE INSTALLED FOR DOG PARK AS SHOWN ON CIVIL PLANS.
 - COLOR SHALL BE BLACK.
 - INSTALL PER MANUFACTURER'S INSTRUCTIONS.



AMENITY AND PARKING AREA DETAILS