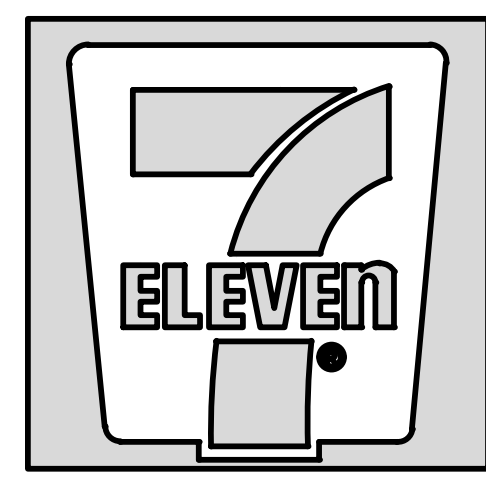


CONSTRUCTION DOCUMENTS

Proposed

7-Eleven Store #42378



1106 N. Arendell Avenue Zebulon, North Carolina Wake County

DEVELOPER

C4 CStore Holdings III, LLC
Nick Carroll
801 East Boulevard
Charlotte, NC 28202
(502) 693-0396
ncarroll@cstore.com

CIVIL ENGINEER

Bowman North Carolina, Ltd.
4006 Barrett Drive, Suite 104
Raleigh, NC 27609
(919) 553-6570
mlower@bowman.com
FIRM# F-1445

CURRENT PROPERTY OWNERS

Carl Victor Tart, Jr. and Vickie Newton Tart Burlington
7815 Roxboro Road
Bahama, NC 27503-9045

EROSION CONTROL, STORMWATER AND FLOODPLAIN MANAGEMENT

APPROVED
EROSION CONTROL SEC-112353-2023
STORMWATER MGMT. SWF-112350-2023
FLOOD STUDY S-
DATE 01/02/2024

ENVIRONMENTAL CONSULTANT SIGNATURE

UTILITY SERVICE NOTES

- WATER SERVICE**
GENERAL CONTRACTOR TO PROVIDE AND INSTALL A WATER SERVICE LINE FROM MAIN TO BUILDING PER MUNICIPAL REQUIREMENTS.
CONTACT: CITY OF RALEIGH UTILITY DEPARTMENT
TELEPHONE: 919-857-4540
- ELECTRIC SERVICE**
"POWER CO." TO PROVIDE UNDERGROUND 120/208/3 PHASE SERVICE. GENERAL CONTRACTOR TO PROVIDE AND INSTALL TWO 4" DIA. CONDUIT W/ PULL WIRE TO UTILITY COMPANY POINT OF CONNECTION.
CONTACT: PROGRESS ENERGY
TELEPHONE: 800-636-0581
- TELEPHONE SERVICE**
"TELEPHONE CO." TO PROVIDE NEW UNDERGROUND SERVICE. GENERAL CONTRACTOR TO PROVIDE AND INSTALL A 4" DIA. PVC CONDUIT W/ PULL WIRE FROM PHONE PANEL BOARD TO UTILITY COMPANY POINT OF CONNECTION.
CONTACT: PROGRESS ENERGY
TELEPHONE: 919-857-4540
- SANITARY SEWER**
GENERAL CONTRACTOR TO PROVIDE AND INSTALL A 4" SCHEDULE 40 PVC FROM SANITARY SEWER SYSTEM TO LAST CLEAN OUT OUTSIDE OF BUILDING. (MIN. 1% SLOPE). PROVIDE CLEAN OUTS EVERY 75' (TYPICAL).
CONTACT: CITY OF RALEIGH UTILITY DEPARTMENT
TELEPHONE: 919-857-4540
- NATURAL GAS**
GENERAL CONTRACTOR TO COORDINATE WITH NATURAL GAS UTILITY FOR SERVICE LINE TO PROPOSED BUILDING.
CONTACT:
TELEPHONE:

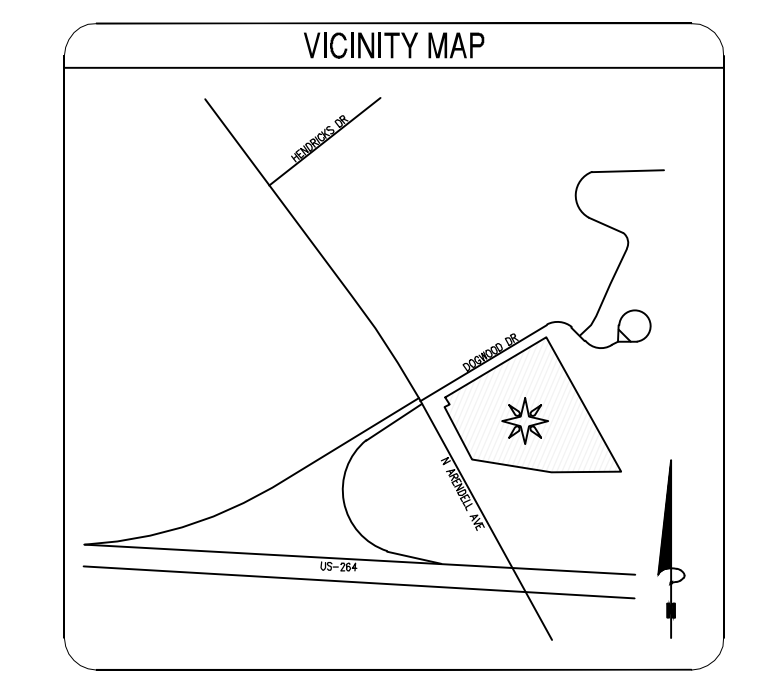
BASE POINTS

DESCRIPTION	QUANTITY
Section 1B - Roadway Infrastructure Not Warranted by TIA/UDJ/CTP	40
Section 1B - Accessible ramp improvements at intersection of US Hwy 64 and N Arendell Ave.	5
Section 2C - Stormwater SCM's	5
Stormwater - Wetland	5
Section 3A - Outdoor Enhancement	10
Installation of Native Shade Tree Species (per Tree up to 10 Trees)	10
Total	60

PUBLIC IMPROVEMENT QUANTITY TABLE

	WATER MAIN	SEWER MAIN
LENGTH OF PIPE (L.F.)	405 L.F.	365 L.F.
STUB COUNT	1 SERVICE STUB 1 TIE-IN TO EXISTING MAIN	1 SERVICE STUB 1 TIE-IN TO EXISTING MAIN
MANHOLES	N/A	2

- ZONING CONDITIONS (ORDINANCE 2024-07 - CONDITIONAL ZONING 2023-03)**
- DEVELOPMENT OF THE PROPERTY FOR A CONVENIENCE STORE WITH GASOLINE SALES USE SHALL BE SUBSTANTIALLY AS SHOWN ON THE CONCEPT PLAN APPROVED AS A PART OF THIS ZONING REQUEST AND AS SHOWN ON A SITE DEVELOPMENT PLAN APPROVED SUBSEQUENT AND PURSUANT TO THIS ZONING. DEVELOPMENT OF THE USE ON THE PROPERTY AS DESCRIBED ABOVE SHALL NOT BE SUBJECT TO THE USE-SPECIFIC STANDARD IN UDO 4.3.5.Q.1a. MORE SPECIFICALLY THIS CONDITION PERMITS GASOLINE PUMP ISLAND TO BE LOCATED BETWEEN THE BUILDING AND STREET AS SHOWN ON THE CONCEPT PLAN.
 - THIS ZONING AND THE ASSOCIATED SITE/BUILDING DESIGN PROPOSED AS A PART OF THE REQUEST CONSIDERS CERTAIN UDO REQUIREMENTS IN RELATION TO THE NATURE OF THE PROPOSED COMMERCIAL USE WHICH IS PERMITTED BY-RIGHT UNDER THE EXISTING HC ZONING. THE PROPERTY BEING ADJACENT TO STREET RIGHTS-OF-WAY ON THREE SIDES, SUBJECTING PROPOSED DEVELOPMENT AT THIS LOCATION TO ADDITIONAL STANDARDS NOT APPLICABLE TO THE SAME DEVELOPMENT TYPE THROUGHOUT ALL HC ZONING; AND, ASPECTS OF THE PROPOSED SITE/BUILDING DESIGN THAT EXCEED THE MINIMUM UDO REQUIREMENTS AS SHOWN AND DESCRIBED IN THE DOCUMENTS SUBMITTED AS A PART OF THE ZONING REQUEST. BASED ON CONSIDERATION OF THESE FACTORS, VARIATION IN THE FENESTRATION REQUIREMENTS FOR THE SOUTH, WEST, AND EAST BUILDING FACADES IS ALLOWED AS SHOWN ON PLANS APPROVED AS PART OF THIS ZONING, MORE SPECIFICALLY:
 - SOUTH WALL: 28% TRANSPARENCY/GLAZING PROVIDED (MINIMUM 30% REQUIRED); WALL DOES NOT FACE AN ADJACENT STREET.
 - WEST WALL: 33% TRANSPARENCY/GLAZING PROVIDED (MINIMUM 30% REQUIRED); USE OF SPANDREL GLAZING DUE TO INTERIOR LAYOUT REQUIREMENTS FOR SPECIFIC BUILDING USE; CANOPIES ARE PROVIDED ABOVE GLAZING ON THIS FACADE
 - EAST WALL: NO TRANSPARENCY PROVIDED (VIEW OF WALL FROM THE ADJACENT STREET WILL BE SCREENED BY MULTIPLE DIFFERENT DESIGN ASPECTS REQUIRED BY THE UDO AND OTHER FEATURES INCLUDING: REQUIRED DUMPSTER ENCLOSURE AND LANDSCAPE SCREENING; STREET TREES; CANOPY AND UNDERSTORY TREES AND SHRUBS WITHIN THE REQUIRED STREET BUFFER; AND THE PROPOSED FUELING AREA AND ASSOCIATED STRUCTURES).
 - THE DEVELOPER SHALL CONSTRUCT/PROVIDE THE FOLLOWING TRAFFIC IMPROVEMENTS AS SHOWN ON THE DIAGRAM TITLED: "PROPOSED LAND CONFIGURATIONS AND TRAFFIC CONTROL, ZEBULON 7-ELEVEN, ZEBULON, NC, FIGURE 14", PREPARED BY IMPACT DESIGNS, INC. AGREED UPON BY DEVELOPMENT TEAM, TOWN OF ZEBULON, AND NCDOT ON 7/27/2023. PLANS/DETAILS OF THESE IMPROVEMENTS SHALL BE SHOWN ON THE SITE/CONSTRUCTION PLANS SUBMITTED TO THE TOWN FOR REVIEW SUBSEQUENT TO REZONING.
 - 125-FOOT EASTBOUND RIGHT TURN LANE ON DOGWOOD DRIVE AT SITE ACCESS A.
 - 150-FOOT WESTBOUND LEFT TURN LANE ON DOGWOOD DRIVE AT N ARENDELL AVE.
 - 300-FOOT LEFT TURN LANE ON US 64 HIGHWAY WB OFF-RAMP
 - RETINE TRAFFIC SIGNALS IN THE AM AND PM PEAK HOURS
 - UPGRADE SIGNAL AT N ARENDELL AVE/DOGWOOD DRIVE/US 64 WB RAMPS TO ACCOMMODATE NEW LEFT TURN LANES



WAKE COUNTY NOTES

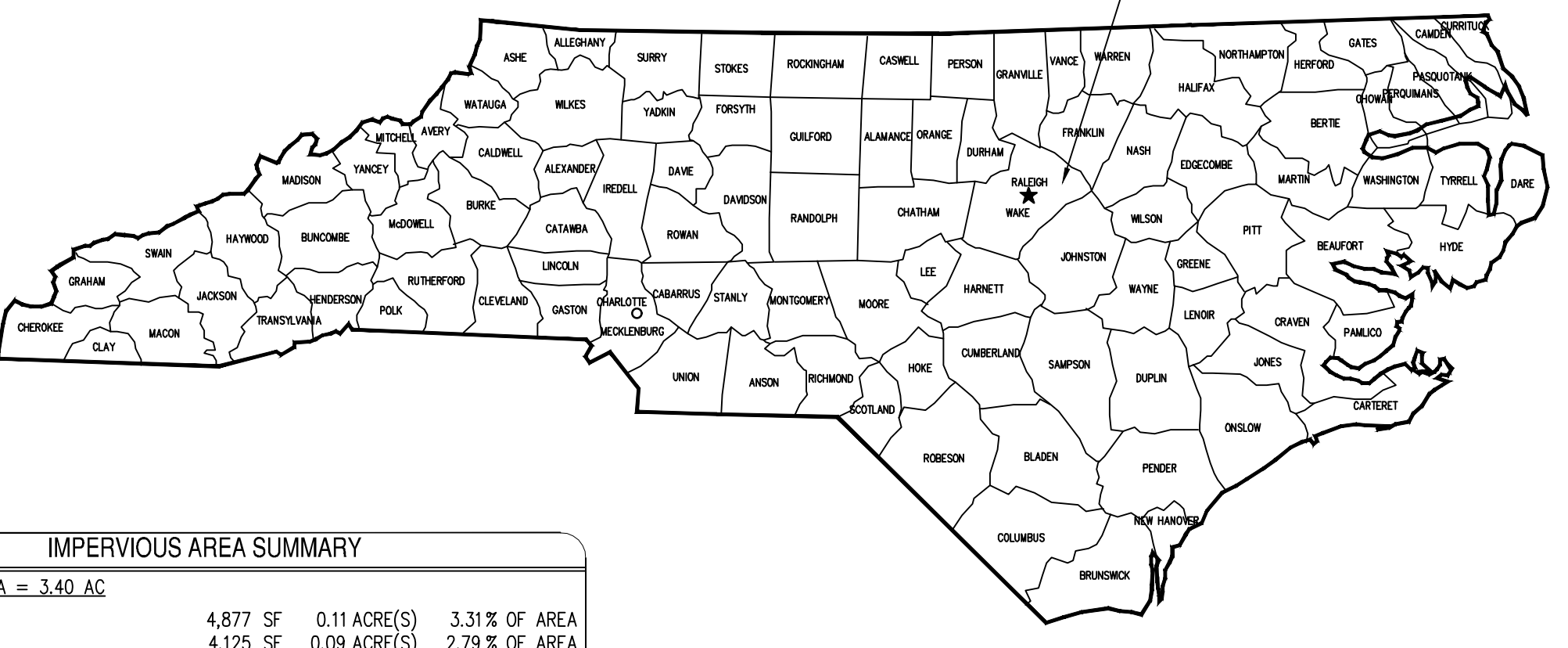
FINAL ZONING AND SITE IMPROVEMENT INSPECTION SHALL BE REQUIRED TO VERIFY SITE PLAN COMPLIANCE BE DONE BEFORE A CERTIFICATE OF COMPLIANCE IS ISSUED BY WAKE COUNTY BUILDING INSPECTIONS

DETERIORATED OR DEAD SCREENING SHALL BE REPAIRED OR REPLACED WITHIN SIX MONTHS

NO PERMANENT CONSTRUCTION CAN OCCUR WITHIN BUFFER YARDS

SEPTIC TANKS, SEPTIC DRAIN LINES ARE PROHIBITED IN REQUIRED BUFFERYARDS

STORMWATER RETENTION AND DETENTION FACILITIES, STORAGE TANKS FOR ANY PURPOSE, UTILITY SUBSTATIONS, AND 3 BUILDINGS HOUSING UTILITY SUBSTATIONS AND BUILDINGS HOUSING UTILITY COMMODITIES OR EQUIPMENT ARE ALSO PROHIBITED IN REQUIRED BUFFERYARDS.



IMPERVIOUS AREA SUMMARY

Category	Area (SF)	Area (AC)	% of Total
ON-SITE AREA = 3.40 AC			
BUILDINGS	4,877 SF	0.11 ACRE(S)	3.31% OF AREA
SIDEWALK	4,125 SF	0.09 ACRE(S)	2.79% OF AREA
PAVEMENT	69,870 SF	1.60 ACRE(S)	47.18% OF AREA
TOTAL IMPERVIOUS AREA	78,890 SF	1.81 ACRE(S)	53.27% OF AREA
GREEN/OPEN SPACE	69,213 SF	1.59 ACRE(S)	46.73% OF AREA
EXISTING ON-SITE IMPERVIOUS AREA	5,724 SF	0.13 ACRE(S)	
INCREASE IN IMPERVIOUS AREA	73,166 SF	1.68 ACRE(S)	
OFF-SITE IMPERVIOUS (PUBLIC ROW)			
SIDEWALK	4,730 SF	0.11 ACRE(S)	
PAVEMENT	20,830 SF	0.48 ACRE(S)	
TOTAL OFF-SITE IMPERVIOUS AREA	25,560 SF	0.59 ACRE(S)	

PROJECT DEVELOPMENT DATA

STREET ADDRESS:	1106 N ARENDELL AVE
PIN:	2705-19-1832
REID:	0069358
DEED BOOK/PAGE:	1465/154 & 2755/492
ZONING DISTRICT:	HC-C (HEAVY COMMERCIAL-CONDITIONAL)
(ZONING CASE: ORDINANCE)	2024-07 - CONDITIONAL ZONING 2023-03)
SITE AREA:	3.40 AC (3.86 AC - 0.46 AC R/W DEDICATION)
LATITUDE & LONGITUDE:	35°50'11.0"N 78°19'17.4"W
INSIDE TOWN LIMITS:	YES
EXISTING USE:	VACANT (FORMERLY SINGLE FAMILY)
PROPOSED BUILDING USE:	CONVENIENCE STORE WITH GASOLINE SALES
GROSS BUILDING AREA:	4,877 SF
MINIMUM LOT SIZE:	6000 SF
MINIMUM LOT WIDTH:	50 FT
MINIMUM STREET SETBACK:	30 FT
MINIMUM SIDE SETBACK:	5 FT
MINIMUM REAR SETBACK:	25 FT
MAXIMUM LOT COVERAGE:	80%
MAXIMUM BUILDING HEIGHT:	50 FT
OPEN SPACE REQUIRED:	3% OF DEVELOPMENT AREA 3% OF 3.40 AC = 0.10 AC
PARKING REQUIREMENT:	1 FOR EVERY 200 SF
TOTAL REQUIRED:	4,877 SF / 200 = 25 SPACES
PARKING SPACES PROVIDED:	35
PARKING SPACE DIMENSIONS:	10 FT X 19 FT MINIMUM
STACKING SPACES REQUIRED:	1 ON EACH SIDE OF OUTERMOST GAS PUMP
STACKING SPACE DIMENSIONS:	9 FT X 25 FT
MIN DRIVE AISLE:	24 FT
ACCESSIBLE SPACES PROVIDED:	2
BICYCLE PARKING:	1 PER 20 OFF-STREET PARKING SPACES 2 SPACES PROVIDED
LANDSCAPE BUFFERS:	40FT TYPE D BUFFER ADJACENT TO RESIDENTIAL
STREETSCAPE BUFFER:	15 FT WIDTH

Index of Drawings

SHEET NUMBER	SHEET TITLE
CO.0	COVER SHEET
CO.1	GENERAL NOTES
C2.0	DEMOLITION PLAN
C2.1	EROSION CONTROL PLAN - INITIAL
C2.2	EROSION CONTROL PLAN - INTERMEDIATE
C2.3	EROSION CONTROL PLAN - FINAL
C2.4	EROSION CONTROL NOTES
C2.5	NC CONSTRUCTION GENERAL PERMIT (NCGOT)
C3.0	SITE PLAN
C3.1	PAVEMENT PLAN
C3.2	ROADWAY PROFILE
C3.3	ROADWAY PLAN (1 OF 2)
C3.4	ROADWAY PLAN (2 OF 2)
C3.5	TRUCK TURN PLAN (WB-50)
C3.6	TRUCK TURN PLAN (WB-67)
C3.7	TRAFFIC CONTROL PLAN
C3.8	TRAFFIC CONTROL DETAILS
C3.9	ROADWAY CROSS SECTION PROFILES
C3.10	ROADWAY CROSS SECTION PROFILES
C4.0	GRADING PLAN
C4.1	GRADING & DRAINAGE NOTES
C4.2	CUT-FILL ANALYSIS PLAN
C5.0	UTILITY PLAN
C5.1	UTILITY NOTES
C5.2	SEWER PLAN & PROFILE
C5.3	WATER PLAN & PROFILE
C6.0	EROSION CONTROL DETAILS
C6.1	EROSION CONTROL DETAILS
C6.2	CONSTRUCTION DETAILS
C6.3	CONSTRUCTION DETAILS
C6.4	CONSTRUCTION DETAILS
C6.5	OFFSITE CONSTRUCTION DETAILS
C6.6	OFFSITE CONSTRUCTION DETAILS
C6.7	OFFSITE CONSTRUCTION DETAILS
C6.8	GRADING & DRAINAGE DETAILS
C6.9	SEWER DETAILS
C6.10	SEWER DETAILS
C6.11	SEWER DETAILS
C6.12	WATER DETAILS
C6.13	STORMWATER MANAGEMENT DETAILS
C6.14	STORMWATER MANAGEMENT DETAILS
C7.0	LANDSCAPING PLAN
C7.1	LANDSCAPING NOTES
C8.0	LIGHTING PLAN
RO.00	SHELL PLAN
RT.00	REVIEW BOARD ELEVATIONS
RT.01	REVIEW BOARD ELEVATIONS

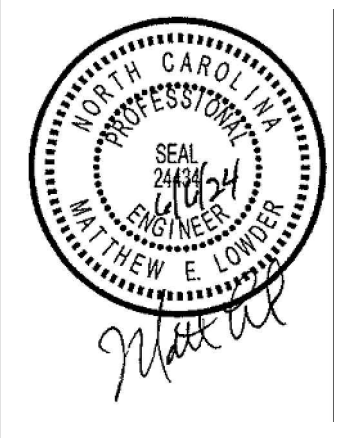
NCDOT NOTE

CONTRACTOR MUST GAIN AN APPROVED TRAFFIC CONTROL PLAN/RAMP CLOSURE FROM THE DISTRICT ENGINEERS OFFICE AT LEAST 2 WEEKS PRIOR TO BEGINNING WORK. THIS WORK WILL BE REQUIRED TO BE DONE AT NIGHT.

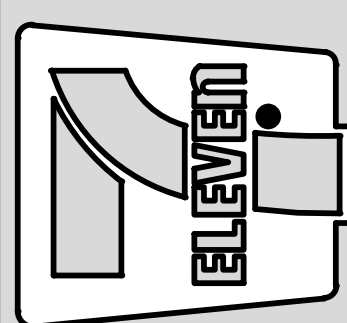
NCDOT NOTE

CONTRACTOR TO VERIFY EXISTING PAVEMENT DEPTH PRIOR TO CONSTRUCTION. REFER TO NCDOT PERMIT AND STANDARD PROVISIONS FOR REQUIREMENTS AS ADDITIONAL TESTING MAY BE REQUIRED.

Bowman
Bowman North Carolina, Ltd.
4006 Barrett Drive, Suite 104
Raleigh, NC 27609
Phone: (919) 553-6570
bowman.com
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Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



PUBLIC
Water Distribution/Extension System
The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # W-14087
Authorization to Construct See digital signature

PUBLIC
Sewer Collection/Extension System
The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # S-5404
Authorization to Construct See digital signature

PRECONSTRUCTION NOTE
A PRE-CONSTRUCTION MEETING IS REQUIRED WITH THE TOWN OF ZEBULON CONSTRUCTION INSPECTOR. CONTACT JASON AT 919-790-5640.



ATTENTION CONTRACTORS
The **Construction Contractor** responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for **contacting the Public Utilities Department at (919) 996-4540** at least **twenty four hours** prior to beginning any of their construction.

Failure to notify both **City Departments** in advance of beginning construction, will result in the issuance of **monetary fines**, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for **Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards** will result in a **Fine and Possible Exclusion** from future work in the **City of Raleigh**.



Know what's below.
Call before you dig.

REVISIONS DESCRIPTION

NO.	DATE	REVISION DESCRIPTION
1	01/02/24	WAKE COUNTY REVIEW
2	01/02/24	TOWN OF ZEBULON REVIEW
3	01/02/24	TOWN OF ZEBULON REVIEW
4	01/02/24	TOWN OF ZEBULON REVIEW
5	01/02/24	NCDOT REVIEW
6	01/02/24	NCDOT REVIEW
7	01/02/24	NCDOT REVIEW

STORE OR BLDG NO.:
N/A
VERSION OR PROJECT ID:
N/A
DESIGN TEAM
DGNR: BRM & MCB
PM/OP: ML
REVWR: ML
ISSUE DATE: 06/06/2024
ADDRESS
1106 N ARENDELL AVE
ZEBULON, NC 27597

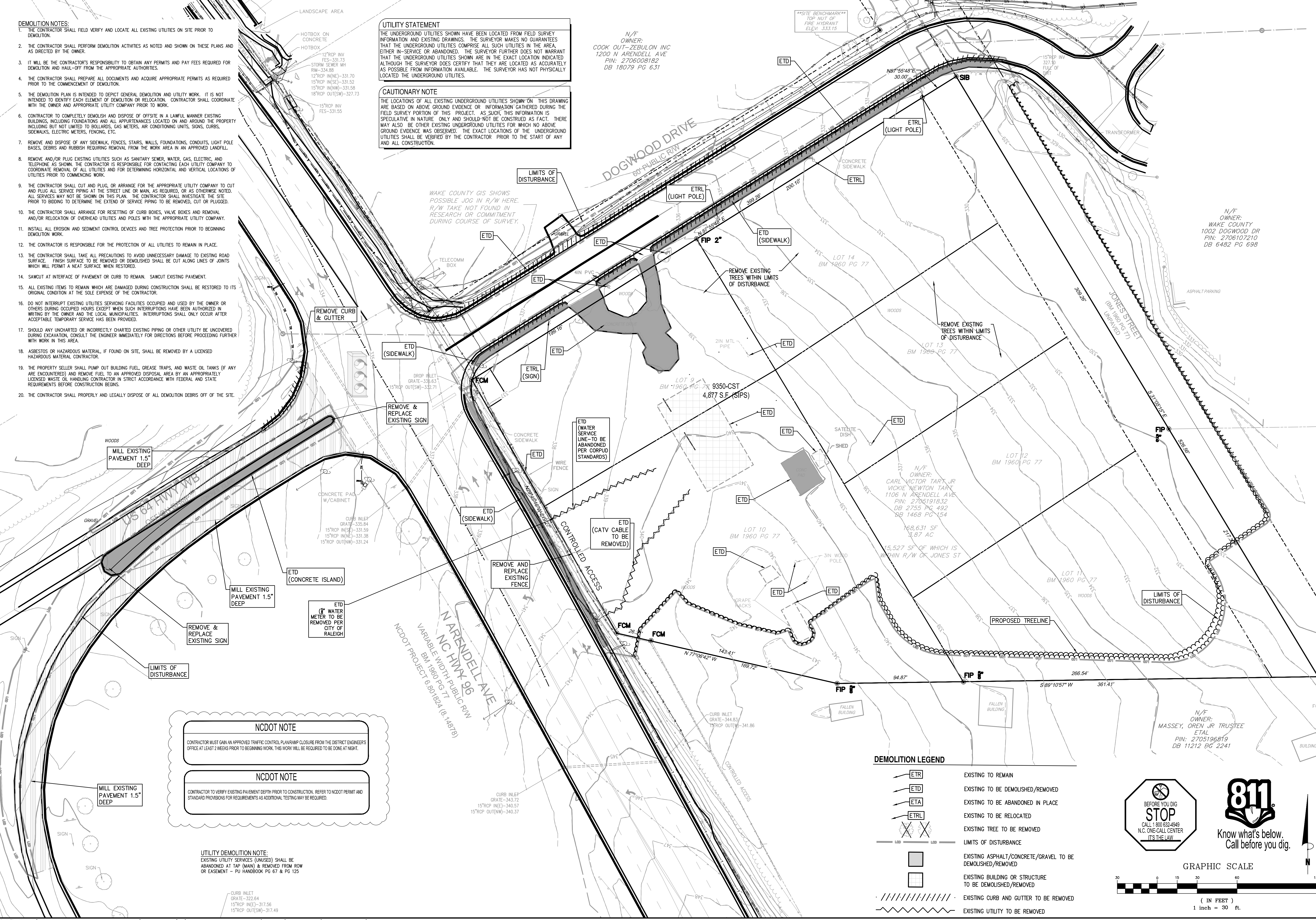
SHEET TITLE
COVER SHEET
DRWG. NO.
CO.0

Cad File Name: \\220163 - Crosland Southeast - 7-Eleven - Kent\220163-01-002 (ENG) - Crosland-7-Eleven - Zebulon, NC\Engineering\Engineering Plans\Construction Drawings\220163-01-002-COV.dwg

- DEMOLITION NOTES:**
- THE CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL EXISTING UTILITIES ON SITE PRIOR TO DEMOLITION.
 - THE CONTRACTOR SHALL PERFORM DEMOLITION ACTIVITIES AS NOTED AND SHOWN ON THESE PLANS AND AS DIRECTED BY THE OWNER.
 - IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS AND PAY FEES REQUIRED FOR DEMOLITION AND HAUL-OFF FROM THE APPROPRIATE AUTHORITIES.
 - THE CONTRACTOR SHALL PREPARE ALL DOCUMENTS AND ACQUIRE APPROPRIATE PERMITS AS REQUIRED PRIOR TO THE COMMENCEMENT OF WORK.
 - THE DEMOLITION PLAN IS INTENDED TO DEPICT GENERAL DEMOLITION AND UTILITY WORK. IT IS NOT INTENDED TO IDENTIFY EACH ELEMENT OF DEMOLITION OR RELOCATION. CONTRACTOR SHALL COORDINATE WITH THE OWNER AND APPROPRIATE UTILITY COMPANY PRIOR TO WORK.
 - CONTRACTOR TO COMPLETELY DEMOLISH AND DISPOSE OF OFFSITE IN A LAWFUL MANNER EXISTING BUILDINGS INCLUDING FOUNDATIONS AND ALL APPURTENANCES LOCATED ON AND AROUND THE PROPERTY INCLUDING BUT NOT LIMITED TO BOLLARDS, GAS METERS, AIR CONDITIONING UNITS, SIGNS, CURBS, SIDEWALKS, ELECTRIC METERS, FENCING, ETC.
 - REMOVE AND DISPOSE OF ANY SIDEWALK, FENCES, STAIRS, WALLS, FOUNDATIONS, CONDUITS, LIGHT POLE BASES, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED LANDFILL.
 - REMOVE AND/OR PLUG EXISTING UTILITIES SUCH AS SANITARY SEWER, WATER, GAS, ELECTRIC, AND TELEPHONE AS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR CONTRACTING EACH UTILITY COMPANY TO COORDINATE REMOVAL OF ALL UTILITIES AND FOR DETERMINING HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES PRIOR TO COMMENCING WORK.
 - THE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY COMPANY TO CUT AND PLUG ALL SERVICE PIPING AT THE STREET LINE OR MAIN, AS REQUIRED, OR AS OTHERWISE NOTED. ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTENT OF SERVICE PIPING TO BE REMOVED, CUT OR PLUGGED.
 - THE CONTRACTOR SHALL ARRANGE FOR RESETTling OF CURB BOXES, VALVE BOXES AND REMOVAL AND/OR RELOCATION OF OVERHEAD UTILITIES AND POLES WITH THE APPROPRIATE UTILITY COMPANY.
 - INSTALL ALL EROSION AND SEDIMENT CONTROL DEVICES AND TREE PROTECTION PRIOR TO BEGINNING DEMOLITION WORK.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES TO REMAIN IN PLACE.
 - THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO AVOID UNNECESSARY DAMAGE TO EXISTING ROAD SURFACE. FINISH SURFACE TO BE REMOVED OR DEMOLISHED SHALL BE CUT ALONG LINES OF JOINTS WHICH WILL PERMIT A NEAT SURFACE WHEN RESTORED.
 - SAWOUT AT INTERFACE OF PAVEMENT OR CURB TO REMAIN. SAWOUT EXISTING PAVEMENT.
 - ALL EXISTING ITEMS TO REMAIN WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE SOLE EXPENSE OF THE CONTRACTOR.
 - DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
 - SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
 - ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR.
 - THE PROPERTY SELLER SHALL PUMP OUT BUILDING FUEL, GREASE TRAPS, AND WASTE OIL TANKS (IF ANY ARE ENCOUNTERED) AND REMOVE FUEL TO AN APPROVED DISPOSAL AREA BY AN APPROPRIATELY LICENSED WASTE OIL HANDLING CONTRACTOR IN STRICT ACCORDANCE WITH FEDERAL AND STATE REQUIREMENTS BEFORE CONSTRUCTION BEGINS.
 - THE CONTRACTOR SHALL PROPERLY AND LEGALLY DISPOSE OF ALL DEMOLITION DEBRIS OFF OF THE SITE.

UTILITY STATEMENT
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

CAUTIONARY NOTE
 THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE BASED ON ABOVE GROUND EVIDENCE OR INFORMATION GATHERED DURING THE FIELD SURVEY PORTION OF THIS PROJECT. AS SUCH, THIS INFORMATION IS SPECULATIVE IN NATURE ONLY AND SHOULD NOT BE CONSTRUED AS FACT. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF THE UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF ANY AND ALL CONSTRUCTION.

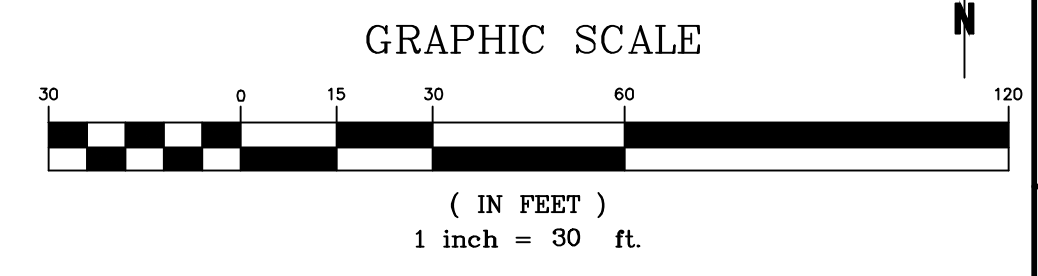


NCDOT NOTE
 CONTRACTOR MUST OBTAIN AN APPROVED TRAFFIC CONTROL PLAN/RAMP CLOSURE FROM THE DISTRICT ENGINEER'S OFFICE AT LEAST 2 WEEKS PRIOR TO BEGINNING WORK. THIS WORK WILL BE REQUIRED TO BE DONE AT NIGHT.

NCDOT NOTE
 CONTRACTOR TO VERIFY EXISTING PAVEMENT DEPTH PRIOR TO CONSTRUCTION. REFER TO NCDOT PERMIT AND STANDARD PROVISIONS FOR REQUIREMENTS AS ADDITIONAL TESTING MAY BE REQUIRED.

UTILITY DEMOLITION NOTE:
 EXISTING UTILITY SERVICES (UNUSED) SHALL BE ABANDONED AT TAP (MAIN) & REMOVED FROM ROW OR EASEMENT - PU HANDBOOK PG 67 & PG 125

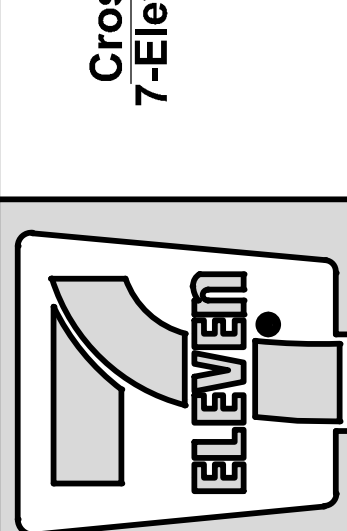
- DEMOLITION LEGEND**
- EXISTING TO REMAIN
 - EXISTING TO BE DEMOLISHED/REMOVED
 - EXISTING TO BE ABANDONED IN PLACE
 - EXISTING TO BE RELOCATED
 - EXISTING TREE TO BE REMOVED
 - LIMITS OF DISTURBANCE
 - EXISTING ASPHALT/CONCRETE/GRAVEL TO BE DEMOLISHED/REMOVED
 - EXISTING BUILDING OR STRUCTURE TO BE DEMOLISHED/REMOVED
 - EXISTING CURB AND GUTTER TO BE REMOVED
 - EXISTING UTILITY TO BE REMOVED



Bowman
 Bowman North Carolina Ltd.
 4000 Sibley Ln. DR
 Raleigh, NC 27609
 Phone: (919) 553-6570
 bowman.com
 © Bowman North Carolina Ltd.



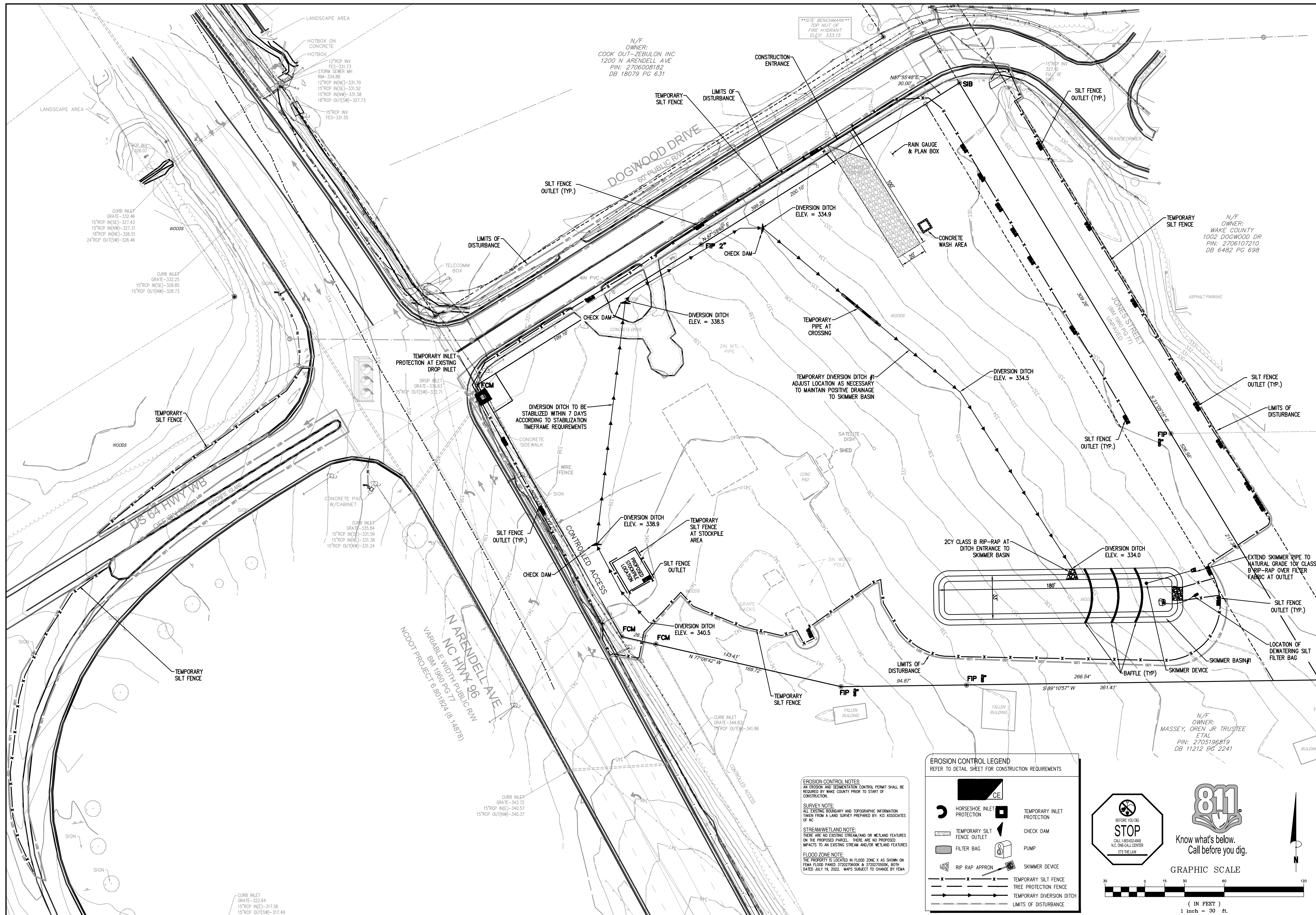
Crosland Southeast
 7-Eleven Store #42378
 Zebulon, NC
 WAKE COUNTY



NO.	DATE	REVISION DESCRIPTION
1	02/22/23	WAKE COUNTY REVIEW
2	03/04/24	TOWN OF ZEBULON REVIEW
3	03/04/24	TOWN OF ZEBULON REVIEW
4	03/04/24	TOWN OF ZEBULON REVIEW
5	03/04/24	TOWN OF ZEBULON REVIEW
6	03/04/24	TOWN OF ZEBULON REVIEW
7	03/04/24	TOWN OF ZEBULON REVIEW
8	03/04/24	TOWN OF ZEBULON REVIEW
9	03/04/24	TOWN OF ZEBULON REVIEW
10	03/04/24	TOWN OF ZEBULON REVIEW

STORE OR BLDG NO.:
 N/A
 VERSION OR PROJECT ID:
 N/A
 DESIGN TEAM:
 DGNR: BRM & MCB
 PM/DP: ML
 RW/R: ML
 ISSUE DATE: 06/06/2024
 ADDRESS:
 1106 N ARENDELL AVE
 ZEBULON, NC 27597

SHEET TITLE:
DEMOLITION PLAN
 DRWG. NO.:
C2.0



N/F
OWNER:
COOK OUT-ZEBULON INC
1200 N ARENDELL AVE
PIN: 2706008182
DB 18079 PG 631

N/F
OWNER:
WAKE COUNTY
1002 DOGWOOD DR
PIN: 2706107210
DB 6482 PG 698

N/F
OWNER:
MASSEY, OREN JR TRUSTEE
ETAL
PIN: 2705196819
DB 11212 PG 2241

EROSION CONTROL LEGEND
REFER TO DETAIL SHEET FOR CONSTRUCTION REQUIREMENTS

	CE		TEMPORARY INLET PROTECTION
	HORSESHOE INLET PROTECTION		CHECK DAM
	TEMPORARY SILT FENCE OUTLET		PUMP
	FILTER BAG		SKIMMER DEVICE
	RIP RAP APRON		
	TEMPORARY SILT FENCE		
	TREE PROTECTION FENCE		
	TEMPORARY DIVERSION DITCH		
	LIMITS OF DISTURBANCE		

EROSION CONTROL NOTES:
AN EROSION AND SEDIMENTATION CONTROL PERMIT SHALL BE REQUIRED BY WAKE COUNTY PRIOR TO START OF CONSTRUCTION.
SURVEY NOTE:
ALL EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A LAND SURVEY PREPARED BY KQ ASSOCIATES OF NC
STREAM/WETLAND NOTE:
THERE ARE NO EXISTING STREAM AND/OR WETLAND FEATURES ON THE PROPOSED PARCEL. THERE ARE NO PROPOSED IMPACTS TO AN EXISTING STREAM AND/OR WETLAND FEATURES
FLOOD ZONE NOTE:
THE PROPERTY IS LOCATED IN FLOOD ZONE X AS SHOWN ON FEMA FLOOD MAPED 3720270500K & 3720270500K, BOTH DATED JULY 19, 2022. MAPS SUBJECT TO CHANGE BY FEMA

811
Know what's below.
Call before you dig.

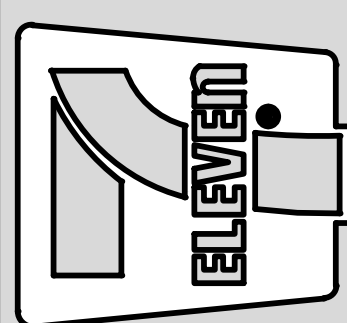
STOP
BEFORE YOU DIG
CALL 1-800-424-4048
N.C. ONE-CALL CENTER
IT'S THE LAW

GRAPHIC SCALE
(IN FEET)
1 inch = 30 ft.

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4000 SHILOH RD
RALEIGH, NC 27609
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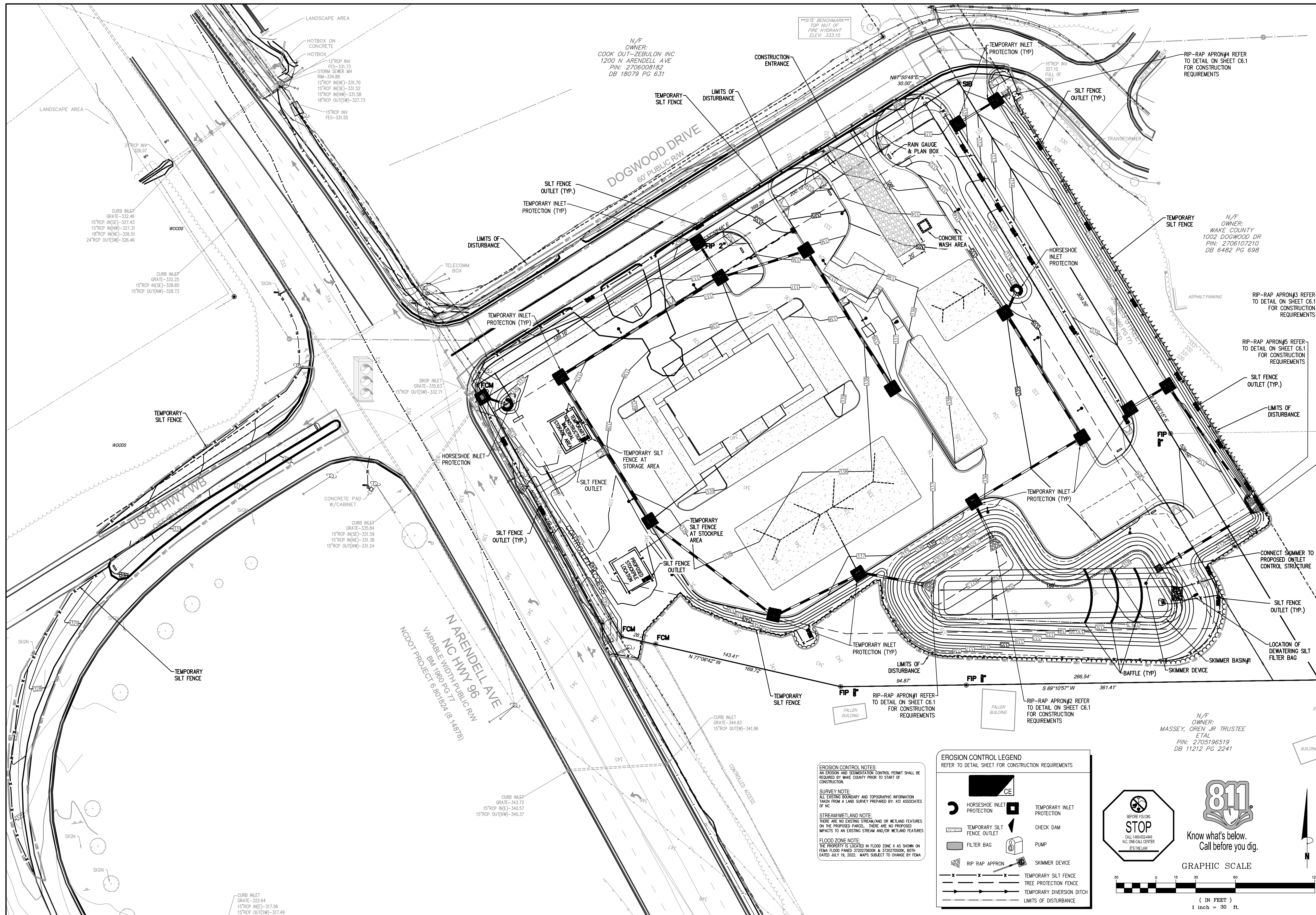
Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



NO.	DATE	REVISION DESCRIPTION
1	06/06/2024	ISSUE FOR PERMIT
2	06/06/2024	REVISED PER COMMENTS

STORE OR BLDG NO.:
N/A
VERSION OR PROJECT ID:
N/A
DESIGN TEAM
DGNR: BRM & MCB
PM/DP: ML
RVWR: ML
ISSUE DATE: 06/06/2024
ADDRESS
1106 N ARENDELL AVE
ZEBULON, NC 27587

SHEET TITLE
EROSION CONTROL PLAN - INITIAL
DRWG. NO. **C2.1**

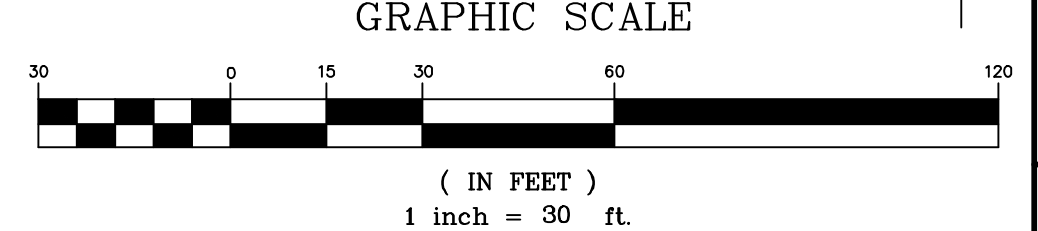
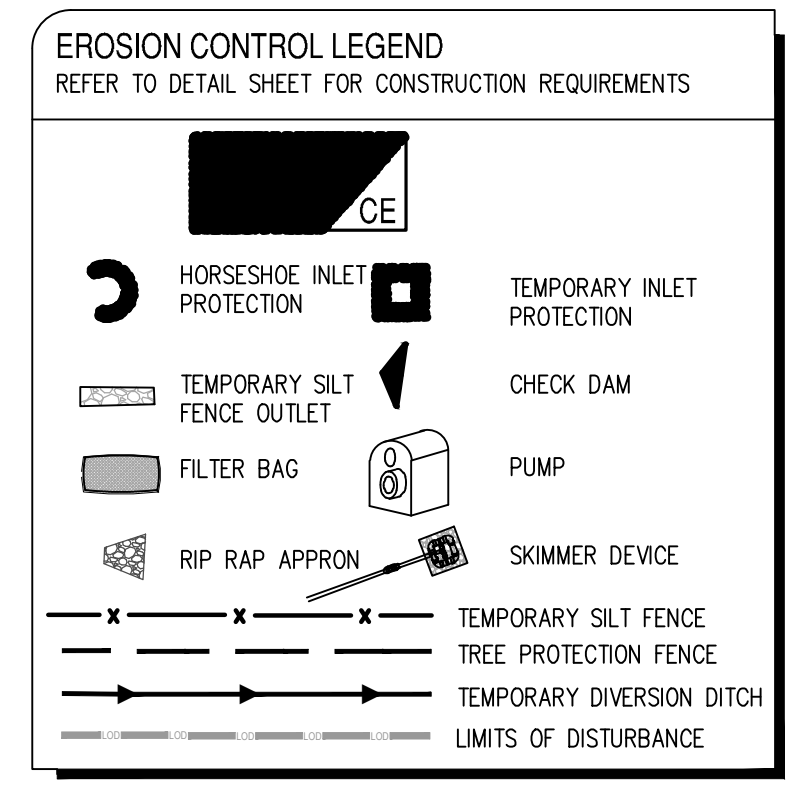


N/F
OWNER:
COOK OUT-ZEBULON INC
1200 N ARENDELL AVE
PIN: 2706008182
DB 18079 PG 631

N/F
OWNER:
WAKE COUNTY
1002 DOGWOOD DR
PIN: 2706107210
DB 6482 PG 698

N/F
OWNER:
MASSEY, OREN JR TRUSTEE
ETAL
PIN: 2705196519
DB 11212 PG 2241

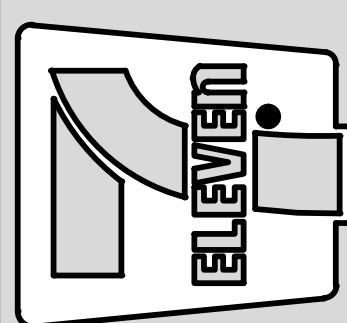
EROSION CONTROL NOTES:
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Crosland Southeast
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Zebulon, NC
WAKE COUNTY

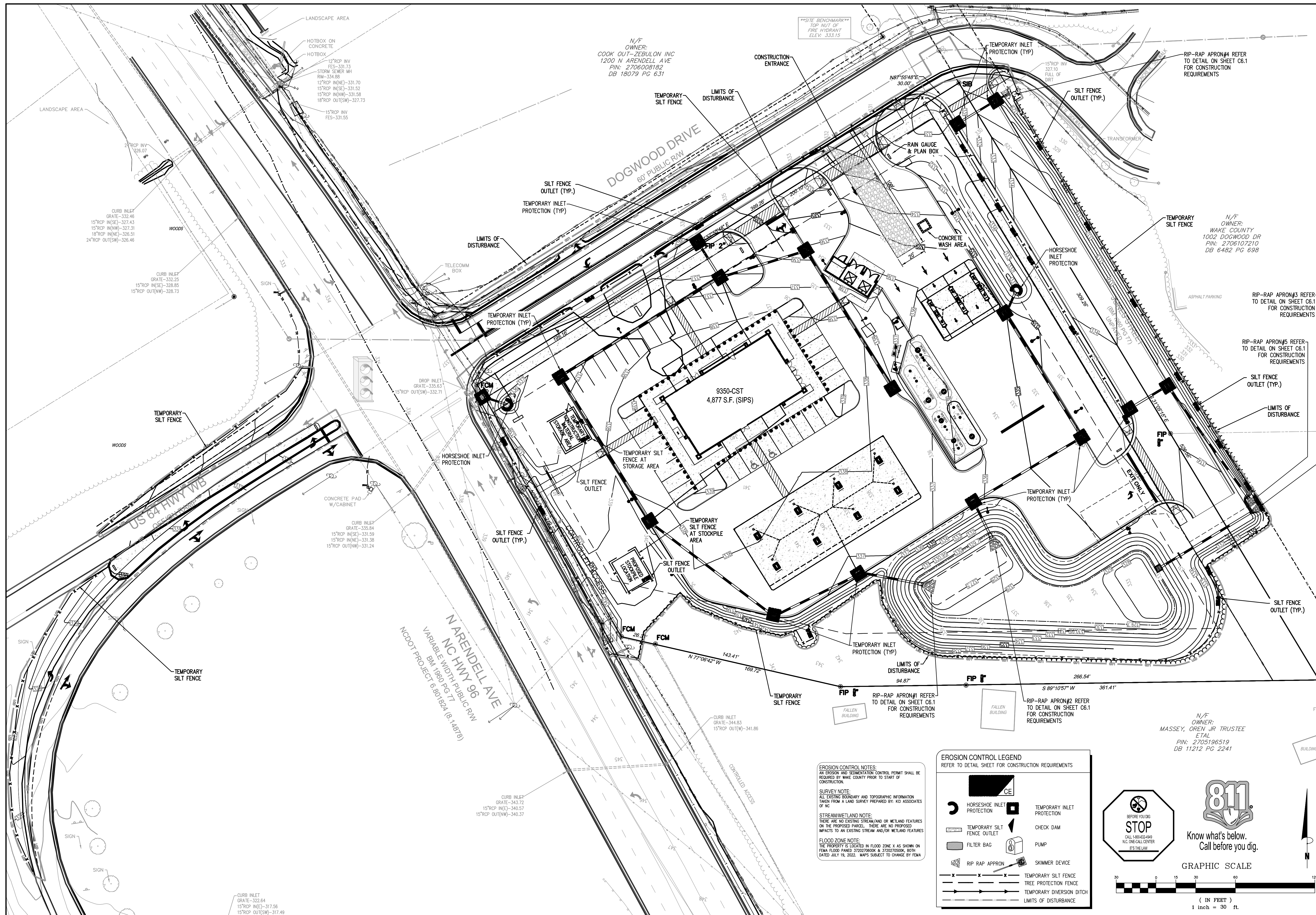


NO.	REVISION DESCRIPTION	DATE	BY
1	WAKE COUNTY REVIEW	07/27/23	...
2	TOWN OF ZEBULON REVIEW	08/04/24	...
3	TOWN OF ZEBULON REVIEW	08/04/24	...
4	TOWN OF ZEBULON REVIEW	08/15/24	...
5	NOTOT REVIEW	08/15/24	...
6	NOTOT REVIEW	08/24/24	...

STORE OR BLDG NO.:	N/A
VERSION OR PROJECT ID:	N/A
DESIGN TEAM:	DGNR, BRM & MCB
PM/DP:	ML
RVWR:	ML
ISSUE DATE:	06/06/2024
ADDRESS:	1106 N ARENDELL AVE ZEBULON, NC 27587

SHEET TITLE
EROSION CONTROL PLAN - INTERMEDIATE

DRWG. NO. **C2.2**

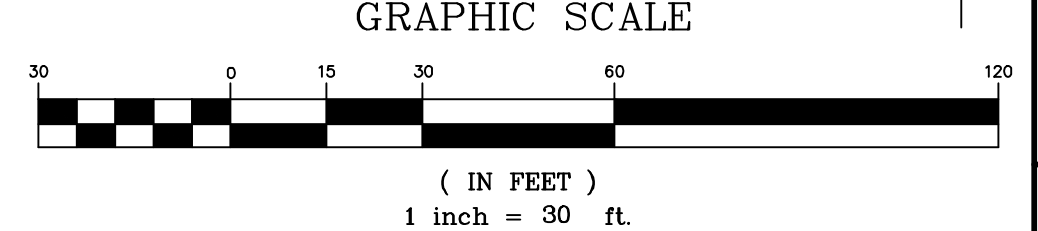
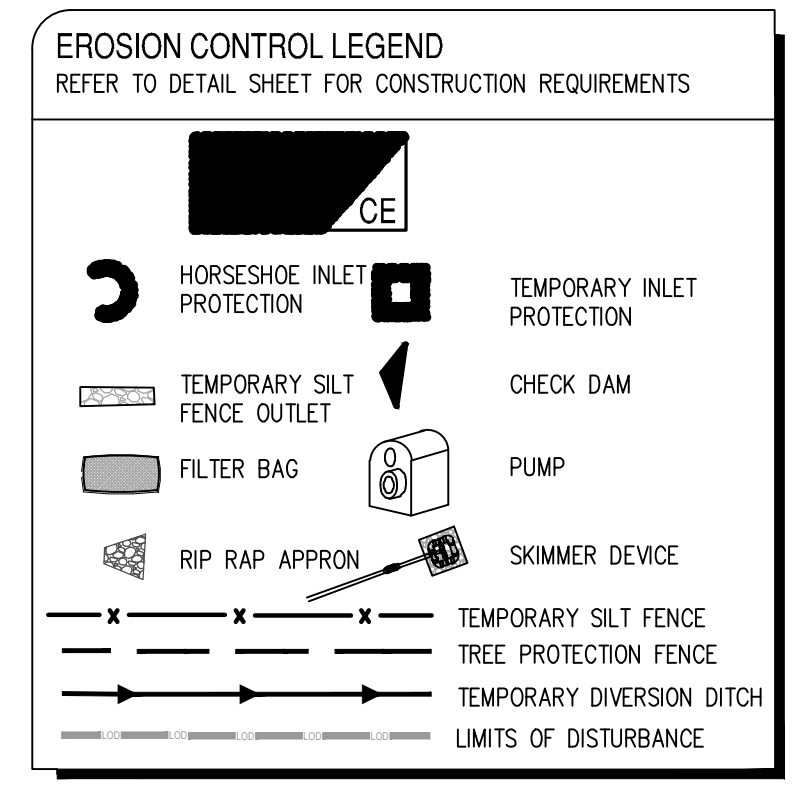


N/F
OWNER:
COOK OUT-ZEBULON INC
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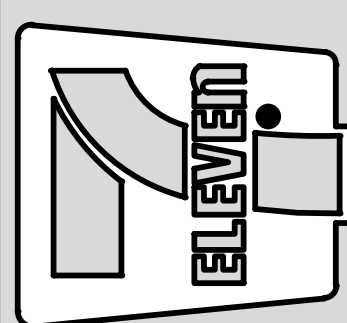
N/F
OWNER:
WAKE COUNTY
1002 DOGWOOD DR
PIN: 2706107210
DB 6482 PG 698

N/F
OWNER:
MASSEY, OREN JR TRUSTEE
ETAL
PIN: 2705196519
DB 11212 PG 2241

EROSION CONTROL NOTES:
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Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



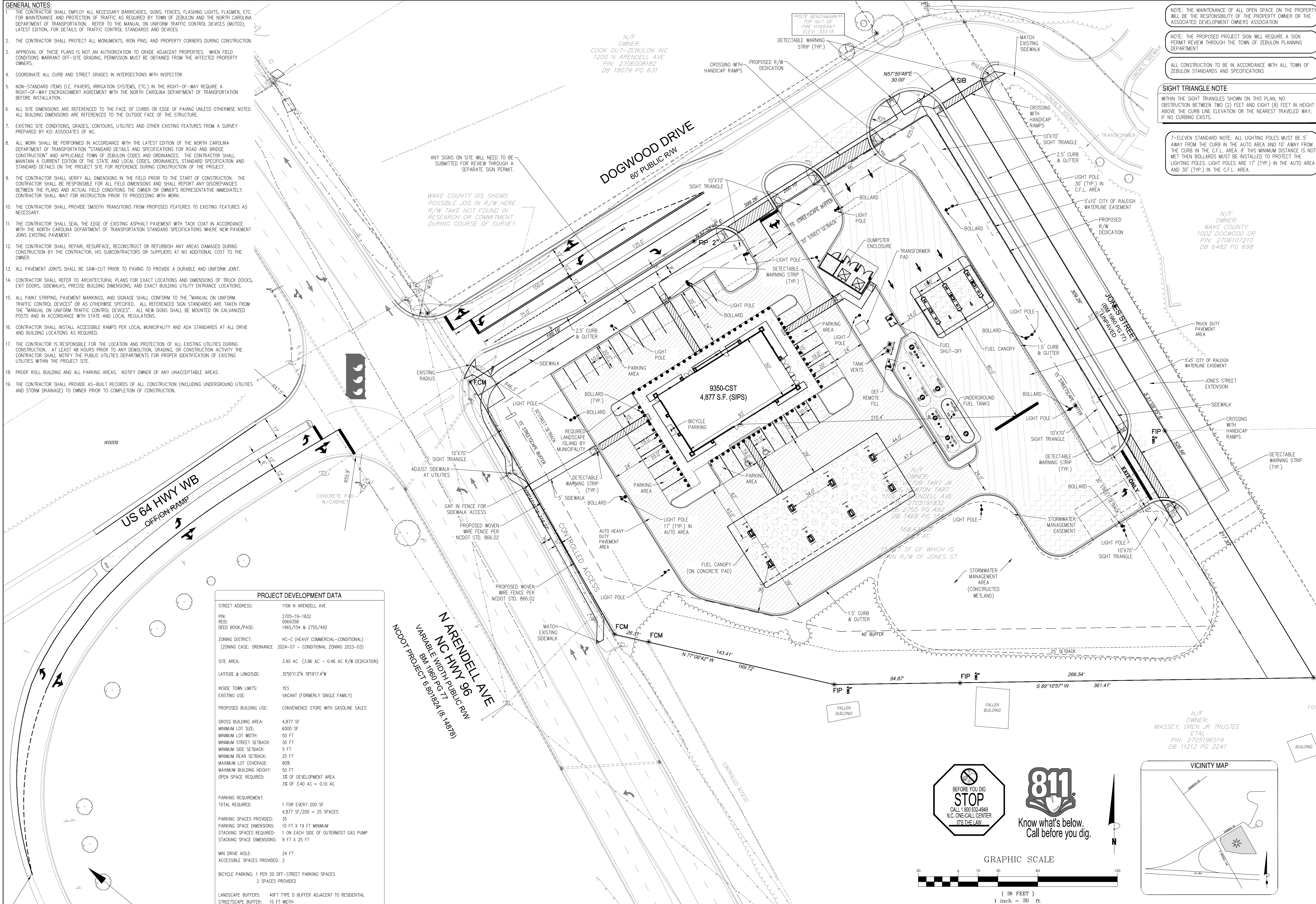
NO.	REVISION DESCRIPTION	DATE	BY
1	ISSUE FOR PERMITS	06/06/2024	BRM
2	REVISED PERMITS	06/06/2024	BRM
3	REVISED PERMITS	06/06/2024	BRM
4	REVISED PERMITS	06/06/2024	BRM
5	REVISED PERMITS	06/06/2024	BRM
6	REVISED PERMITS	06/06/2024	BRM
7	REVISED PERMITS	06/06/2024	BRM
8	REVISED PERMITS	06/06/2024	BRM
9	REVISED PERMITS	06/06/2024	BRM
10	REVISED PERMITS	06/06/2024	BRM

STORE OR BLDG NO.:
N/A
VERSION OR PROJECT ID:
N/A
DESIGN TEAM
DGNR: BRM & MCB
PM/DP: ML
RVWR: ML
ISSUE DATE: 06/06/2024
ADDRESS
1106 N ARENDELL AVE
ZEBULON, NC 27587

SHEET TITLE
EROSION CONTROL PLAN - FINAL

DRWG. NO.
C2.3

- GENERAL NOTES:**
- THE CONTRACTOR SHALL EMPLOY ALL NECESSARY BARRICADES, SIGNS, FENCES, FLASHING LIGHTS, FLAGMEN, ETC. FOR MAINTENANCE AND PROTECTION OF TRAFFIC AS REQUIRED BY TOWN OF ZEBULON AND THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION. REFER TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION, FOR DETAILS OF TRAFFIC CONTROL STANDARDS AND DEVICES.
 - THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
 - APPROVAL OF THESE PLANS IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
 - COORDINATE ALL CURB AND STREET GRADES IN INTERSECTIONS WITH INSPECTOR.
 - NON-STANDARD ITEMS (I.E. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION.
 - ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
 - EXISTING SITE CONDITIONS, GRADES, CONTOURS, UTILITIES AND OTHER EXISTING FEATURES FROM A SURVEY PREPARED BY KJI ASSOCIATES OF NC.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION "STANDARD DETAILS AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND APPLICABLE TOWN OF ZEBULON CODES AND ORDINANCES. THE CONTRACTOR SHALL MAINTAIN A CURRENT EDITION OF THE STATE AND LOCAL CODES, ORDINANCES, STANDARD SPECIFICATION AND STANDARD DETAILS ON THE PROJECT SITE FOR REFERENCE DURING CONSTRUCTION OF THE PROJECT.
 - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS TO THE OWNER OR OWNER'S REPRESENTATIVE IMMEDIATELY. CONTRACTOR SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING WITH WORK.
 - THE CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS FROM PROPOSED FEATURES TO EXISTING FEATURES AS NECESSARY.
 - THE CONTRACTOR SHALL SEAL THE EDGE OF EXISTING ASPHALT PAVEMENT WITH TACK COAT IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS WHERE NEW PAVEMENT JOINS EXISTING PAVEMENT.
 - THE CONTRACTOR SHALL REPAIR, RESURFACE, RECONSTRUCT OR REFURBISH ANY AREAS DAMAGED DURING CONSTRUCTION BY THE CONTRACTOR, HIS SUBCONTRACTORS OR SUPPLIERS AT NO ADDITIONAL COST TO THE OWNER.
 - ALL PAVEMENT JOINTS SHALL BE SAW-CUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF TRUCK DOCKS, EXIT DOORS, SIDEWALKS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - ALL PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" OR AS OTHERWISE SPECIFIED. ALL REFERENCED SIGN STANDARDS ARE TAKEN FROM THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES". ALL NEW SIGNS SHALL BE MOUNTED ON GALVANIZED POSTS AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
 - CONTRACTOR SHALL INSTALL ACCESSIBLE RAMPS PER LOCAL MUNICIPALITY AND ADA STANDARDS AT ALL DRIVE AND BUILDING LOCATIONS AS REQUIRED.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY THE CONTRACTOR SHALL NOTIFY THE PUBLIC UTILITIES DEPARTMENTS FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE PROJECT SITE.
 - PROOF ROLL BUILDING AND ALL PARKING AREAS. NOTIFY OWNER OF ANY UNACCEPTABLE AREAS.
 - THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES AND STORM DRAINAGE) TO OWNER PRIOR TO COMPLETION OF CONSTRUCTION.



PROJECT DEVELOPMENT DATA

STREET ADDRESS:	1106 N ARENDELL AVE
PIN:	2705-19-1832
RECD BOOK/PAGE:	0069358
	1465/154 & 2755/492
ZONING DISTRICT:	HC-C (HEAVY COMMERCIAL-CONDITIONAL)
(ZONING CASE: ORDINANCE)	2024-07 - CONDITIONAL ZONING 2023-03
SITE AREA:	3.40 AC (3.86 AC - 0.46 AC R/W DEDICATION)
LATITUDE & LONGITUDE:	35°50'11.0"N 78°19'17.4"W
INSIDE TOWN LIMITS:	YES
EXISTING USE:	VACANT (FORMERLY SINGLE FAMILY)
PROPOSED BUILDING USE:	CONVENIENCE STORE WITH GASOLINE SALES
GROSS BUILDING AREA:	4,877 SF
MINIMUM LOT SIZE:	6000 SF
MINIMUM LOT WIDTH:	50 FT
MINIMUM STREET SETBACK:	30 FT
MINIMUM SIDE SETBACK:	5 FT
MINIMUM REAR SETBACK:	25 FT
MAXIMUM LOT COVERAGE:	80%
MAXIMUM BUILDING HEIGHT:	50 FT
OPEN SPACE REQUIRED:	3% OF DEVELOPMENT AREA 3% OF 3.40 AC = 0.10 AC
PARKING REQUIREMENT:	TOTAL REQUIRED: 1 FOR EVERY 200 SF 4,877 SF / 200 = 25 SPACES
PARKING SPACES PROVIDED:	35
PARKING SPACE DIMENSIONS:	10 FT X 19 FT MINIMUM
STACKING SPACES REQUIRED:	1 ON EACH SIDE OF OUTERMOST GAS PUMP
STACKING SPACE DIMENSIONS:	9 FT X 25 FT
MIN DRIVE AISLE:	24 FT
ACCESSIBLE SPACES PROVIDED:	2
BICYCLE PARKING:	1 PER 20 OFF-STREET PARKING SPACES 2 SPACES PROVIDED
LANDSCAPE BUFFERS:	40FT TYPE D BUFFER ADJACENT TO RESIDENTIAL
STREETSCAPE BUFFER:	15 FT WIDTH

NOTE: THE MAINTENANCE OF ALL OPEN SPACE ON THE PROPERTY WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER OR THE ASSOCIATED DEVELOPMENT OWNERS ASSOCIATION.

NOTE: THE PROPOSED PROJECT SIGN WILL REQUIRE A SIGN PERMIT REVIEW THROUGH THE TOWN OF ZEBULON PLANNING DEPARTMENT

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS

SIGHT TRIANGLE NOTE

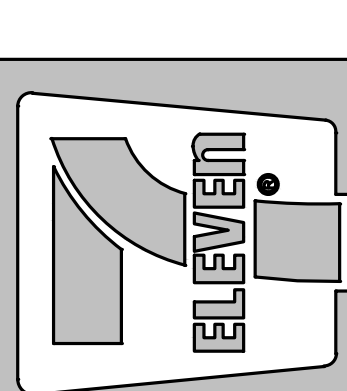
WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.

7-ELEVEN STANDARD NOTE: ALL LIGHTING POLES MUST BE 5' AWAY FROM THE CURB IN THE AUTO AREA AND 10' AWAY FROM THE CURB IN THE C.F.L. AREA IF THIS MINIMUM DISTANCE IS NOT MET THEN BOLLARDS MUST BE INSTALLED TO PROTECT THE LIGHTING POLES. LIGHT POLES ARE 17' (TYP.) IN THE AUTO AREA AND 30' (TYP.) IN THE C.F.L. AREA.

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4000 Sibley Ln. DR
Raleigh, NC 27609
Phone: (919) 563-6570
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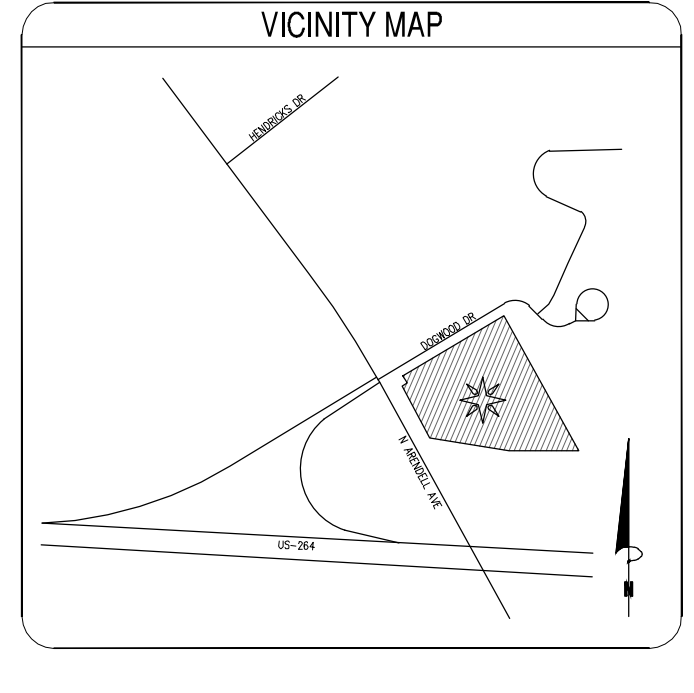
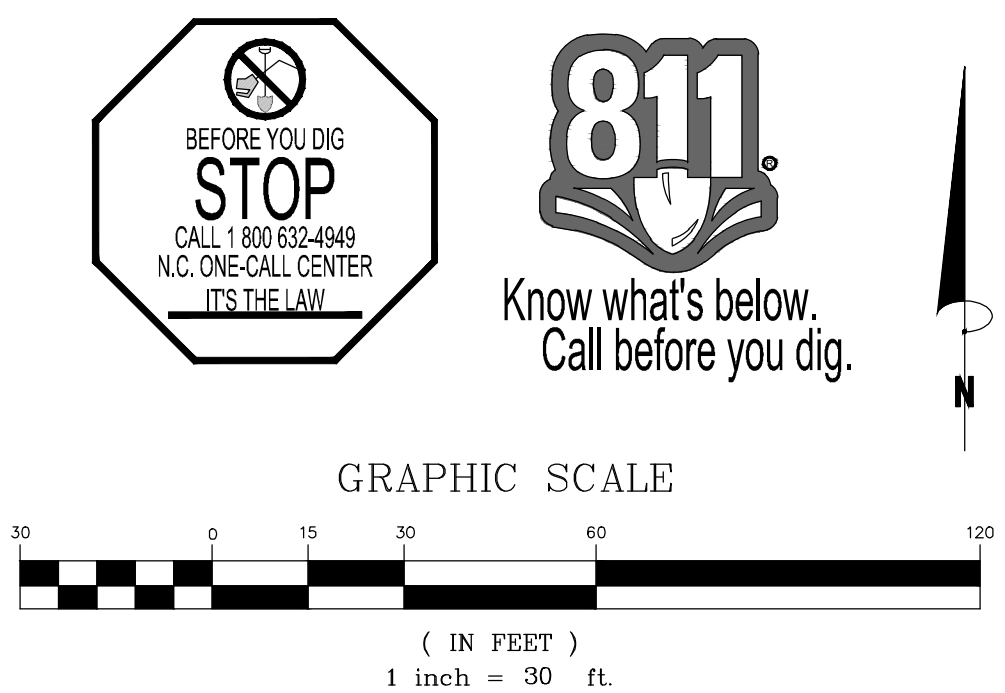


Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



DATE	REVISION DESCRIPTION	DATE	REVISION DESCRIPTION
03/15/24	WAKE COUNTY REVIEW	03/15/24	WAKE COUNTY REVIEW
03/15/24	TOWN OF ZEBULON REVIEW	03/15/24	TOWN OF ZEBULON REVIEW
03/15/24	BROWNS B04024	03/15/24	BROWNS B04024
03/15/24	TOWN OF ZEBULON REVIEW	03/15/24	TOWN OF ZEBULON REVIEW
03/15/24	BROWNS B04024	03/15/24	BROWNS B04024
03/15/24	TOWN OF ZEBULON REVIEW	03/15/24	TOWN OF ZEBULON REVIEW
03/15/24	NCDOT REVIEW	03/15/24	NCDOT REVIEW
03/15/24	BROWNS B04024	03/15/24	BROWNS B04024
03/15/24	NCDOT REVIEW	03/15/24	NCDOT REVIEW

STORE OR BLDG NO.: N/A
VERSION OR PROJECT ID: N/A
DESIGN TEAM: DGNR, BRM & MCB
PM/DP: ML
RVWR: ML
ISSUE DATE: 06/06/2024
ADDRESS: 1106 N ARENDELL AVE, ZEBULON, NC 27587



PAVEMENT SECTIONS

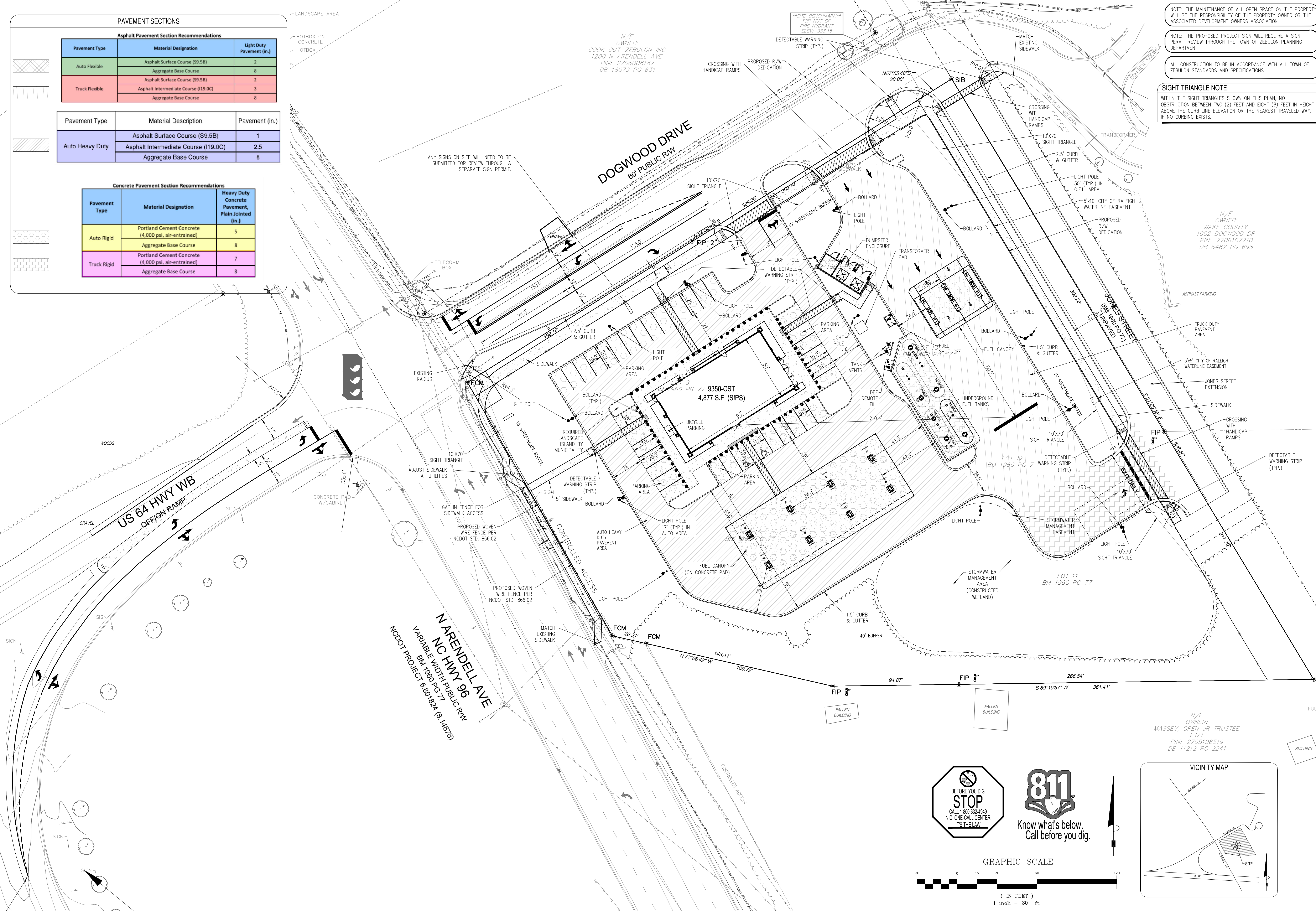
Asphalt Pavement Section Recommendations

Pavement Type	Material Designation	Light Duty Pavement (in.)
Auto Flexible	Asphalt Surface Course (S9.5B)	2
	Aggregate Base Course	8
Truck Flexible	Asphalt Surface Course (S9.5B)	2
	Asphalt Intermediate Course (I19.0C)	3
	Aggregate Base Course	8

Pavement Type	Material Description	Pavement (in.)
Auto Heavy Duty	Asphalt Surface Course (S9.5B)	1
	Asphalt Intermediate Course (I19.0C)	2.5
	Aggregate Base Course	8

Concrete Pavement Section Recommendations

Pavement Type	Material Designation	Heavy Duty Concrete Pavement, Plain Jointed (in.)
Auto Rigid	Portland Cement Concrete (4,000 psi, air-entrained)	5
	Aggregate Base Course	8
Truck Rigid	Portland Cement Concrete (4,000 psi, air-entrained)	7
	Aggregate Base Course	8



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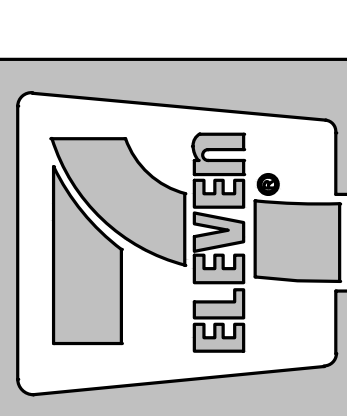
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SIGHT TRIANGLE NOTE
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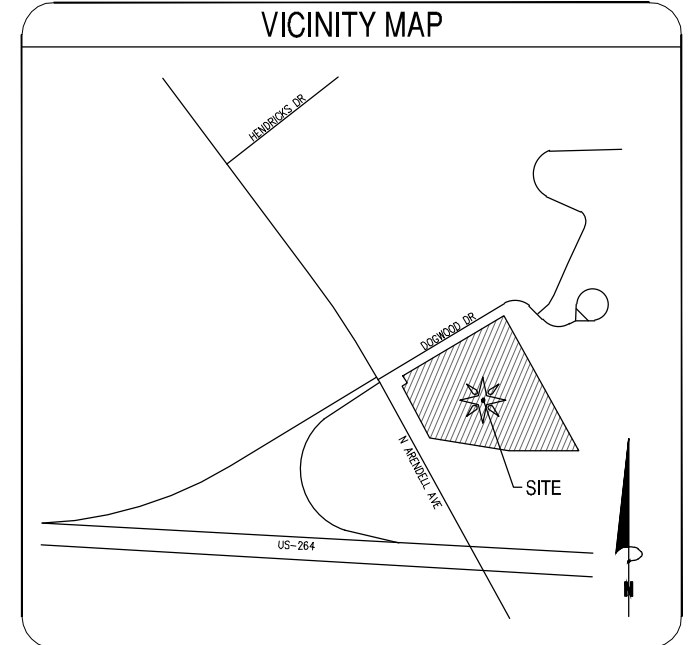
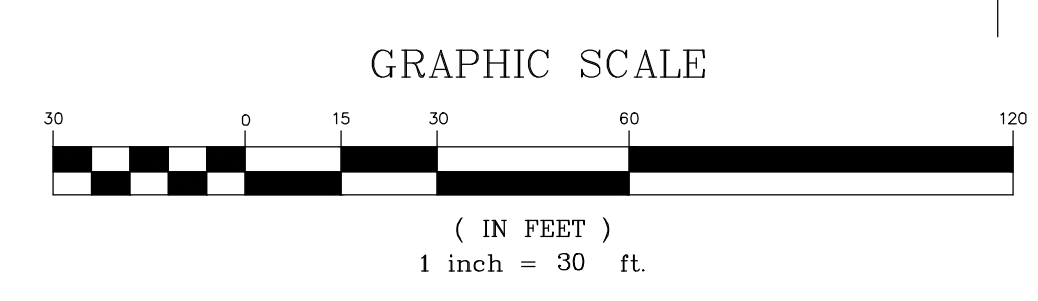
Crosland Southeast
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 WAKE COUNTY



NO.	DATE	REVISION DESCRIPTION
1	12/21/23	WAKE COUNTY REVIEW
2	1/10/24	TOWN OF ZEBULON REVIEW
3	1/10/24	TOWN OF ZEBULON REVIEW
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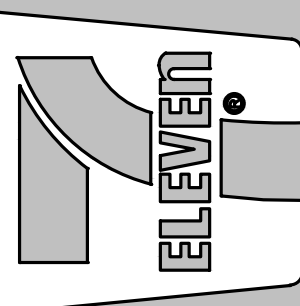
STORE OR BLDG NO.: N/A
 VERSION OR PROJECT ID: N/A
 DESIGN TEAM: DGNR, BRM & MCB
 PM/DP: ML
 RVWR: ML
 ISSUE DATE: 06/06/2024
 ADDRESS: 1106 N ARENDELL AVE ZEBULON, NC 27587

SHEET TITLE: **PAVEMENT PLAN**
 DRWG. NO.: **C3.1**





Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



NO.	DATE	DESCRIPTION	BY	REVISION DESCRIPTION
1	02/21/23	WAKE COUNTY REVIEW		
2	03/08/24	TOWN OF ZEBULON REVIEW		
3	04/11/24	NCDOT REVIEW		
4	05/15/24	NCDOT REVIEW		
5	06/06/24	NCDOT REVIEW		

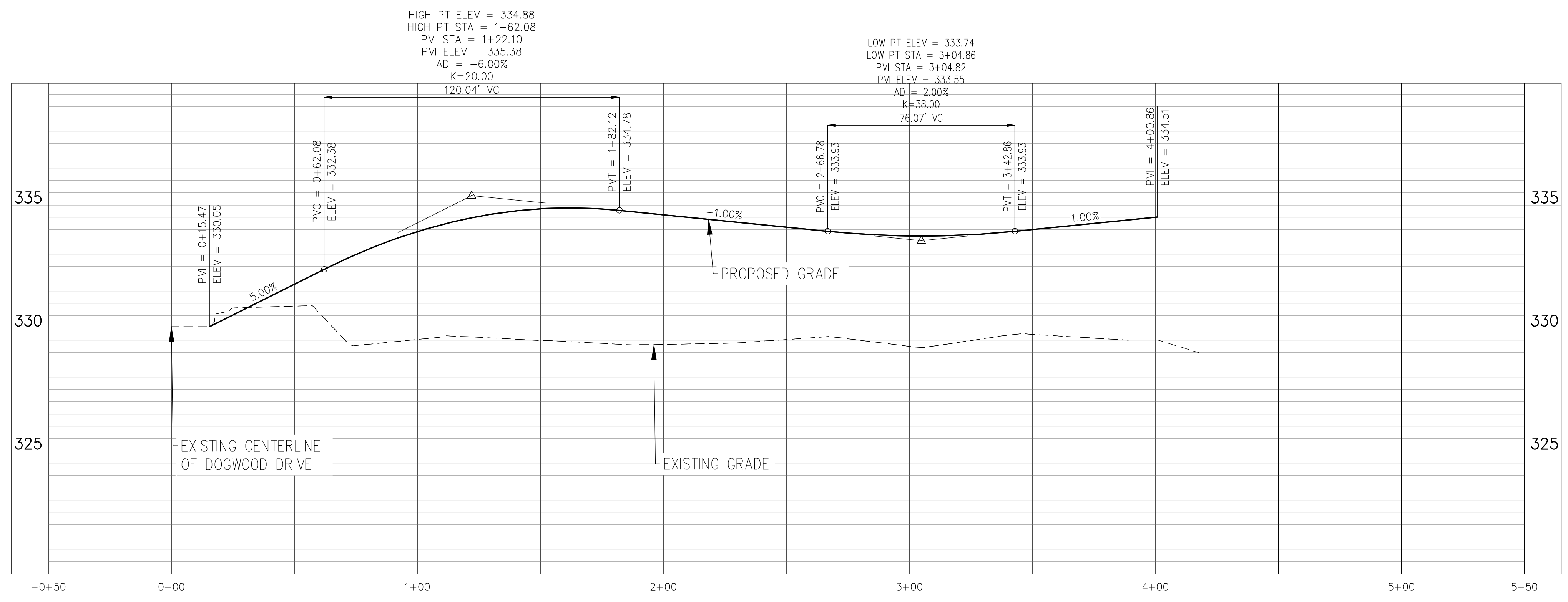
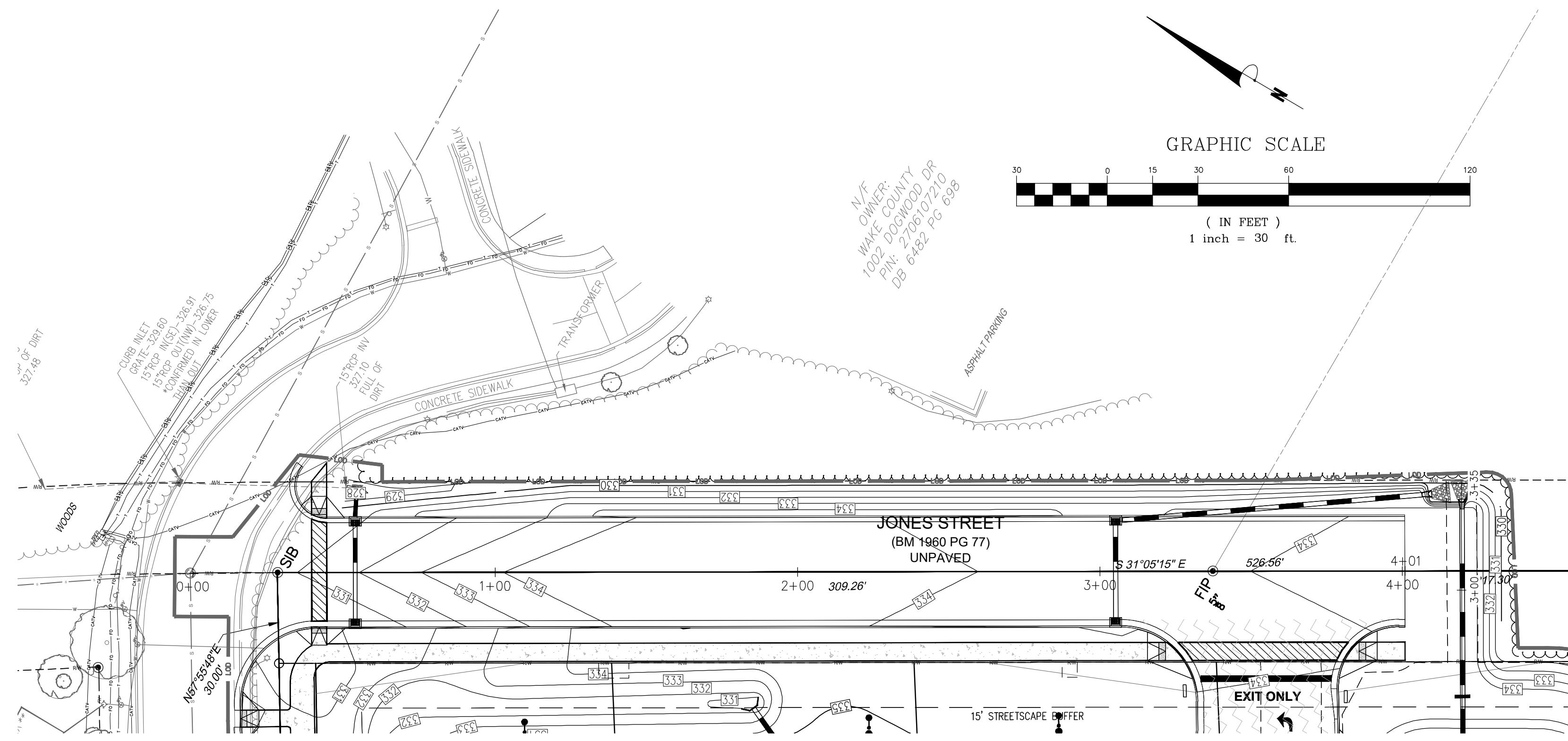
STORE OR BLDG NO.:
N/A
VERSION OR PROJECT ID:
N/A
DESIGN TEAM
DCNR, BRM & MCB
PM/DP: ML
RVWR: ML
ISSUE DATE: 06/06/2024
ADDRESS
1106 N ARENDELL AVE
ZEBULON, NC 27587

SHEET TITLE
ROADWAY PROFILE

DRWG. NO. **C3.2**

NCDOT NOTE
CONTRACTOR MUST GAIN AN APPROVED TRAFFIC CONTROL PLAN/RAMP CLOSURE FROM THE DISTRICT ENGINEERS OFFICE AT LEAST 2 WEEKS PRIOR TO BEGINNING WORK. THIS WORK WILL BE REQUIRED TO BE DONE AT NIGHT.

NCDOT NOTE
CONTRACTOR TO VERIFY EXISTING PAVEMENT DEPTH PRIOR TO CONSTRUCTION. REFER TO NCDOT PERMIT AND STANDARD PROVISIONS FOR REQUIREMENTS AS ADDITIONAL TESTING MAY BE REQUIRED.



JONES STREET ROAD (1) PROFILE VIEW
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: 1" = 3'

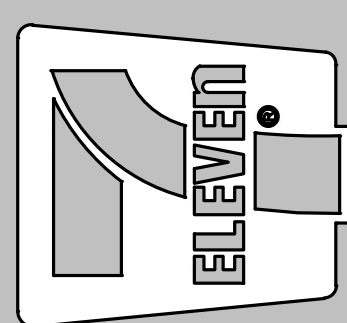


SIGHT TRIANGLE NOTE
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ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS



Crosland Southeast
 7-Eleven Store #42378
 Zebulon, NC
 WAKE COUNTY



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03/15/24	TOWN OF ZEBULON REVIEW	03/15/24	TOWN OF ZEBULON REVIEW
03/15/24	TOWN OF ZEBULON REVIEW	03/15/24	TOWN OF ZEBULON REVIEW
03/15/24	NDOT REVIEW	03/15/24	NDOT REVIEW
03/15/24	NDOT REVIEW	03/15/24	NDOT REVIEW

STORE OR BLDG NO.:
 N/A

VERSION OR PROJECT ID:
 N/A

DESIGN TEAM
 DGNR, BRM & MCB

PM/DP: ML

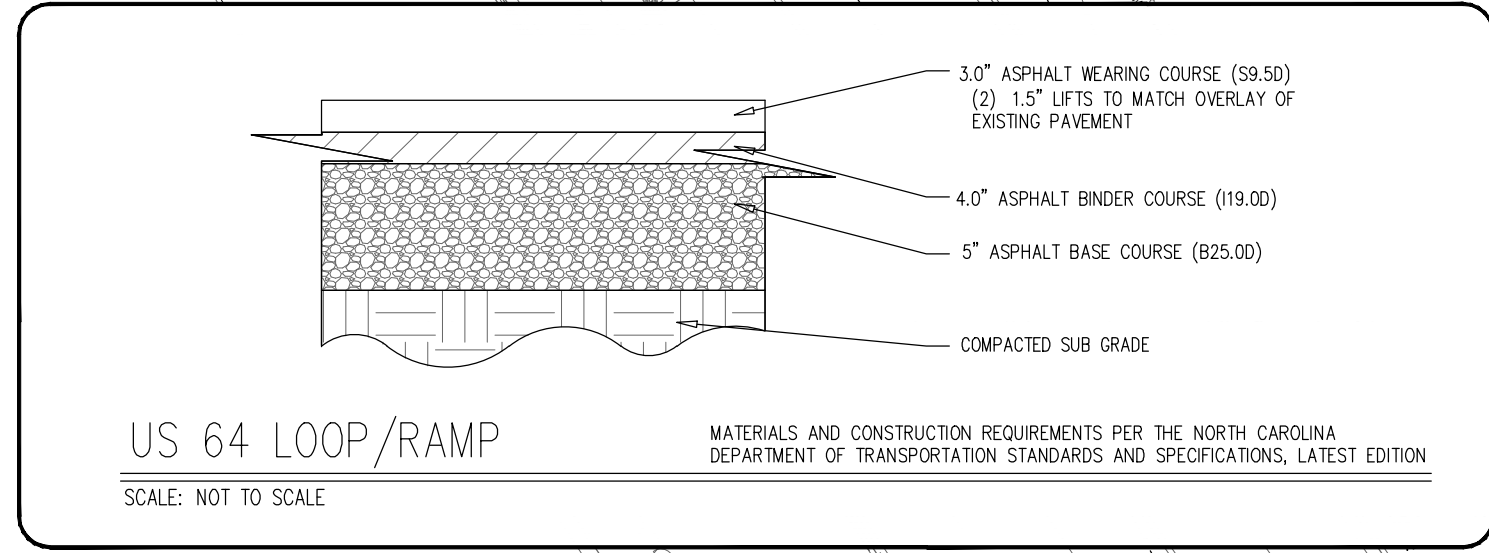
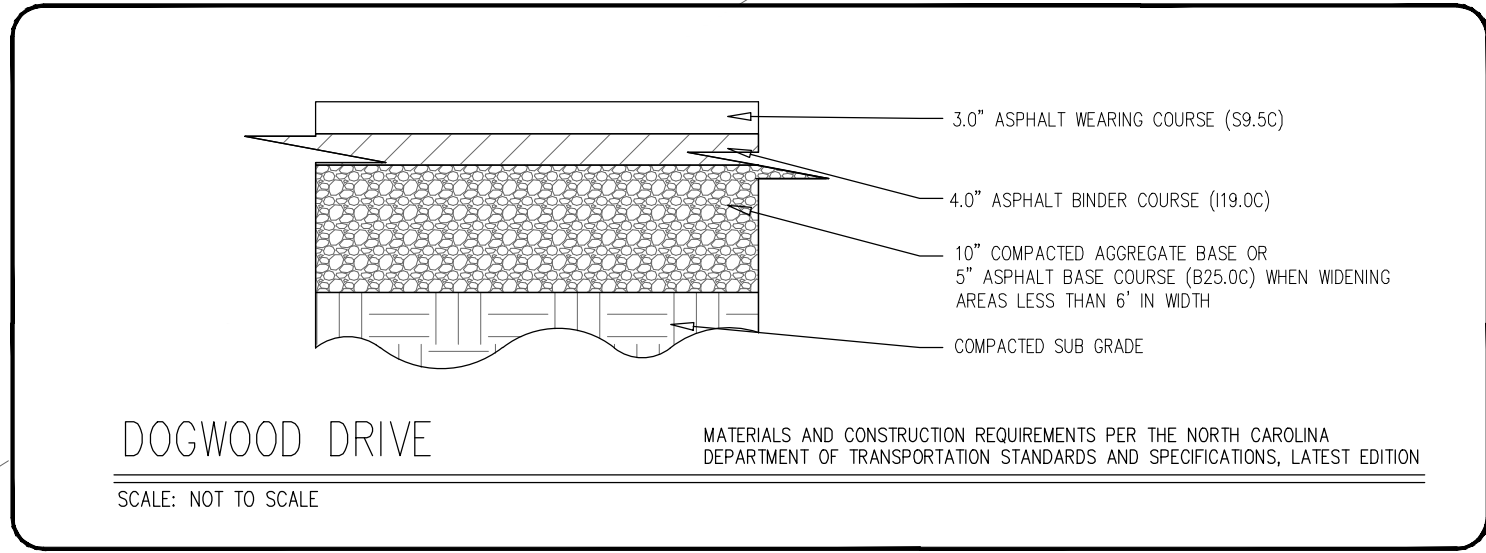
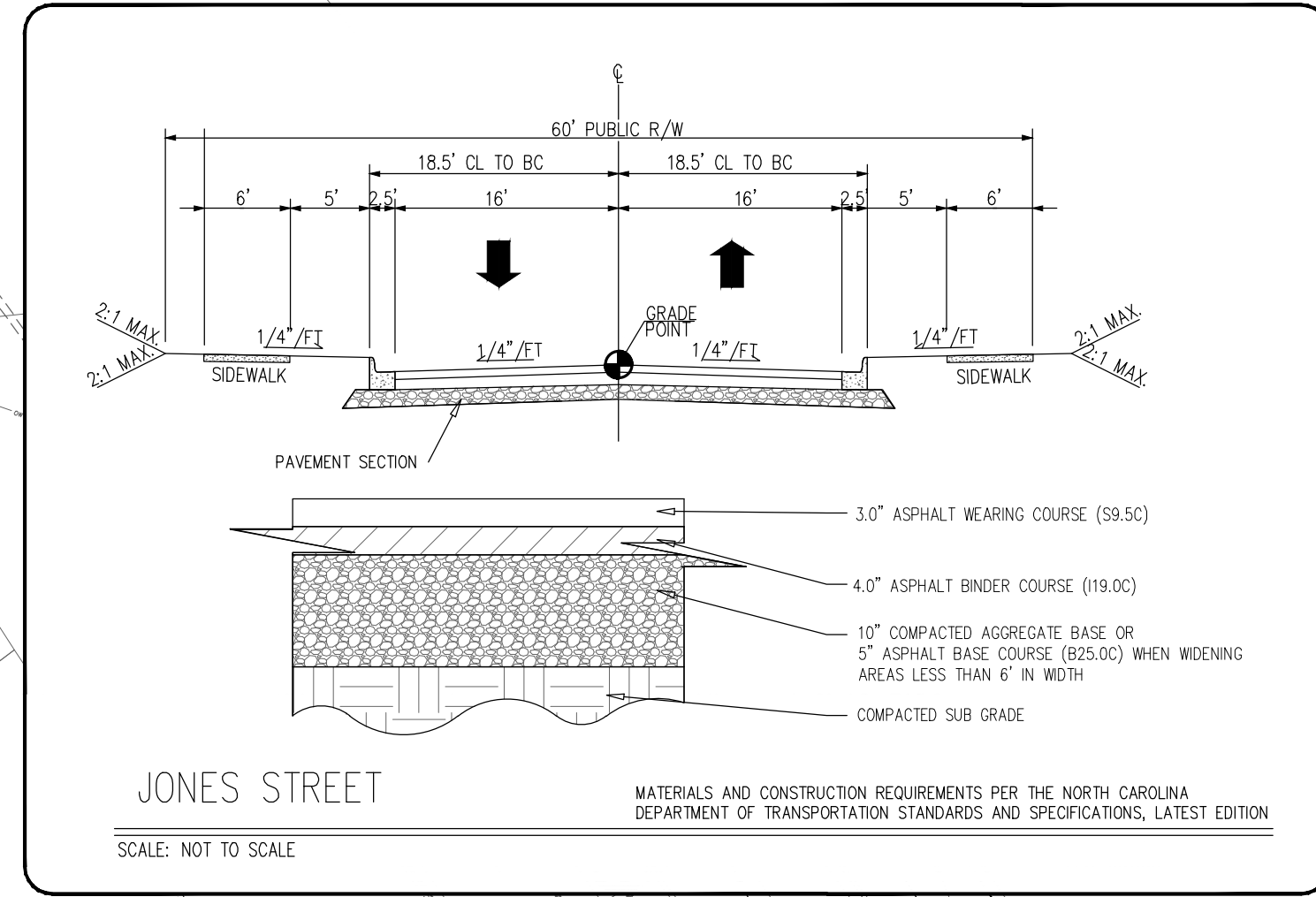
RVWR: ML

ISSUE DATE: 06/06/2024

ADDRESS
 1106 N ARENDELL AVE
 ZEBULON, NC 27587

SHEET TITLE
ROADWAY PLAN (1 OF 2)

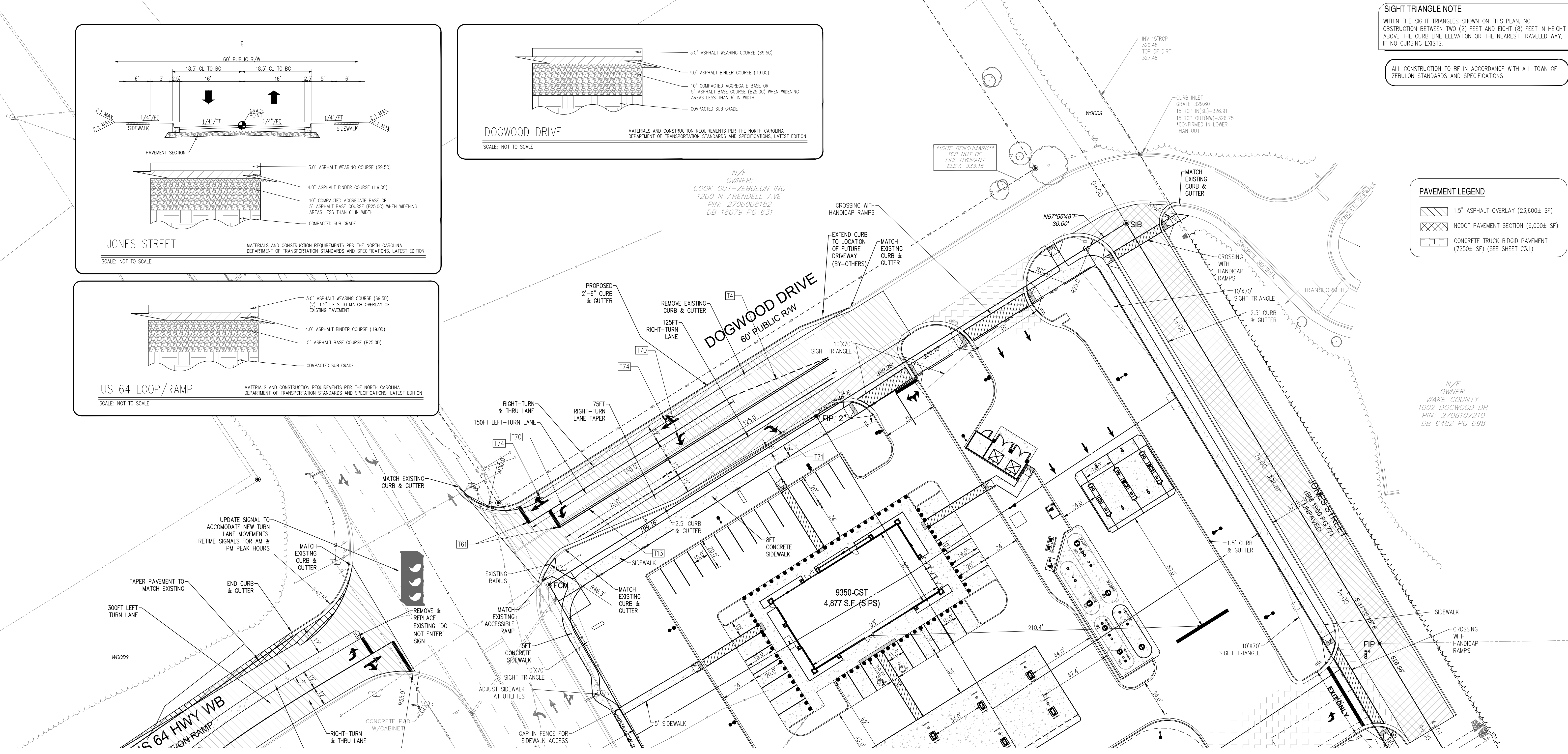
DRWG. NO.
C3.3



PAVEMENT LEGEND

	1.5\"/>
	NCDOT PAVEMENT SECTION (9,000± SF)
	CONCRETE TRUCK RIGID PAVEMENT (7250± SF) (SEE SHEET C3.1)

N/F OWNER:
 WAKE COUNTY
 1002 DOGWOOD DR
 PIN: 2706107210
 DB 6482 PG 698



PAVEMENT MARKING SCHEDULE

T1	WHITE EDGE LINE (4\"/>
T13	DOUBLE YELLOW CENTERLINE (4\"/>
T11	YELLOW SINGLE CENTERLINE (4\"/>
T14	3\"/>
T3	10\"/>
T2	WHITE SOLID LANE LINE (4\"/>
T70	LEFT TURN LANE ARROW (90ML)
T71	RIGHT TURN LANE ARROW (90ML)
T72	STRAIGHT ARROW (90ML)
T73	COMBO LEFT/STRAIGHT TURN LANE ARROW (90ML)
T74	COMBO RIGHT/STRAIGHT TURN LANE ARROW (90ML)
T42	YELLOW DIAGONAL LINES (8\"/>
T43	WHITE DIAGONAL LINES (8\"/>
T14	3\"/>
T12	YELLOW SHIP CENTER LINES (4\"/>
T6	STOP BAR (24\"/>
T102	12\"/>

ALL PERMANENT PAVEMENT MARKINGS SHALL BE THERMOPLASTIC PER NCDOT REQUIREMENTS

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TRAFFIC CONTROL NOTES:
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TRAFFIC MUST BE MAINTAINED AT ALL TIMES AND TRAFFIC CONTROL MUST COMPLY WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND WITH THE CURRENT EDITION OF THE NCDOT STANDARDS AND SPECIFICATIONS.

ALL LANES OF TRAFFIC ARE TO BE OPEN DURING THE HOURS OF 6:00 AM TO 9:00 AM AND FROM 4:00 PM TO 6:00 PM. A MINIMUM OF ONE 12-FOOT LANE SHALL BE MAINTAINED AT ALL TIMES.

ALL ROADWAY SIGNS WHICH ARE TO BE REMOVED DURING CONSTRUCTION ARE TO BE REINSTALLED AS SOON AS POSSIBLE.

DURING NON-WORKING HOURS, EQUIPMENT IS TO BE PARKED AS CLOSE TO THE RIGHT OF WAY LINE AS POSSIBLE AND BE PROPERLY BARRICADED IN ORDER TO PREVENT ANY EQUIPMENT OBSTRUCTION WITHIN THE TRAVEL LANE.

ALL CONTRACTORS DOING WORK WITHIN STATE RIGHT OF WAY ARE TO HAVE A COPY OF THESE PLANS ON THE JOB SITE.

WHEN PERSONNEL AND/OR EQUIPMENT ARE WITHIN 10' OF AN OPEN TRAVEL LANE, THE CONTRACTOR SHALL CLOSE THE OPEN TRAVEL LANE ADJACENT TO THE WORK AREA USING APPROPRIATE TRAFFIC CONTROL MEANS AND METHODS UNLESS WORK IN THAT AREA IS PROTECTED BY BARRIER OR GUARDRAIL.

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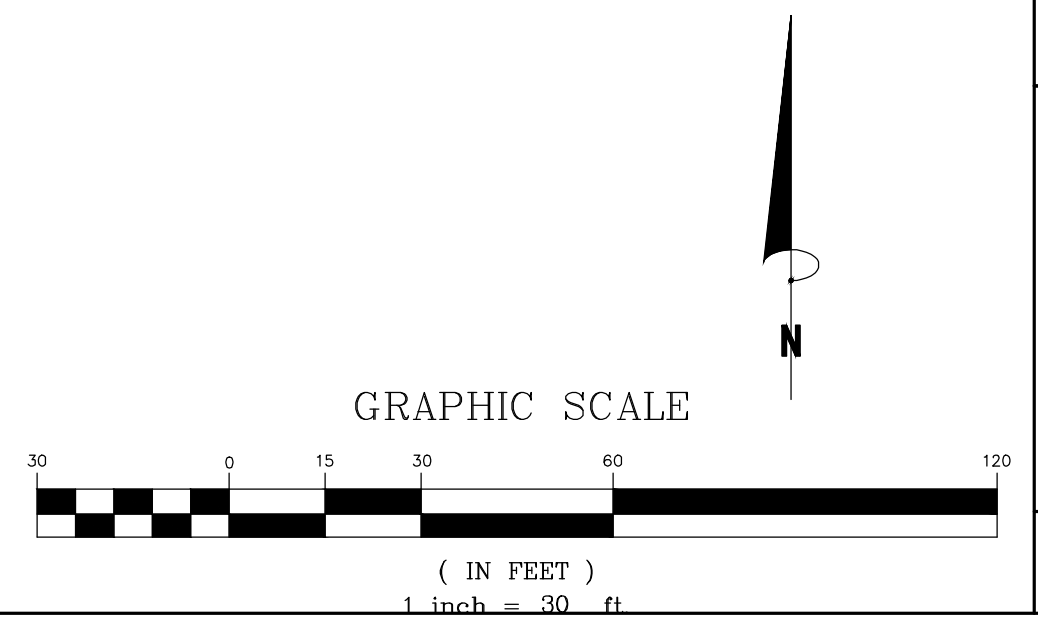
THE MAXIMUM LENGTH OF A LANE CLOSURE ON THE PROJECT SHALL BE ONE MILE, MEASURED FROM THE BEGINNING OF THE MERGE TAPER TO THE END OF THE LANE CLOSURE.

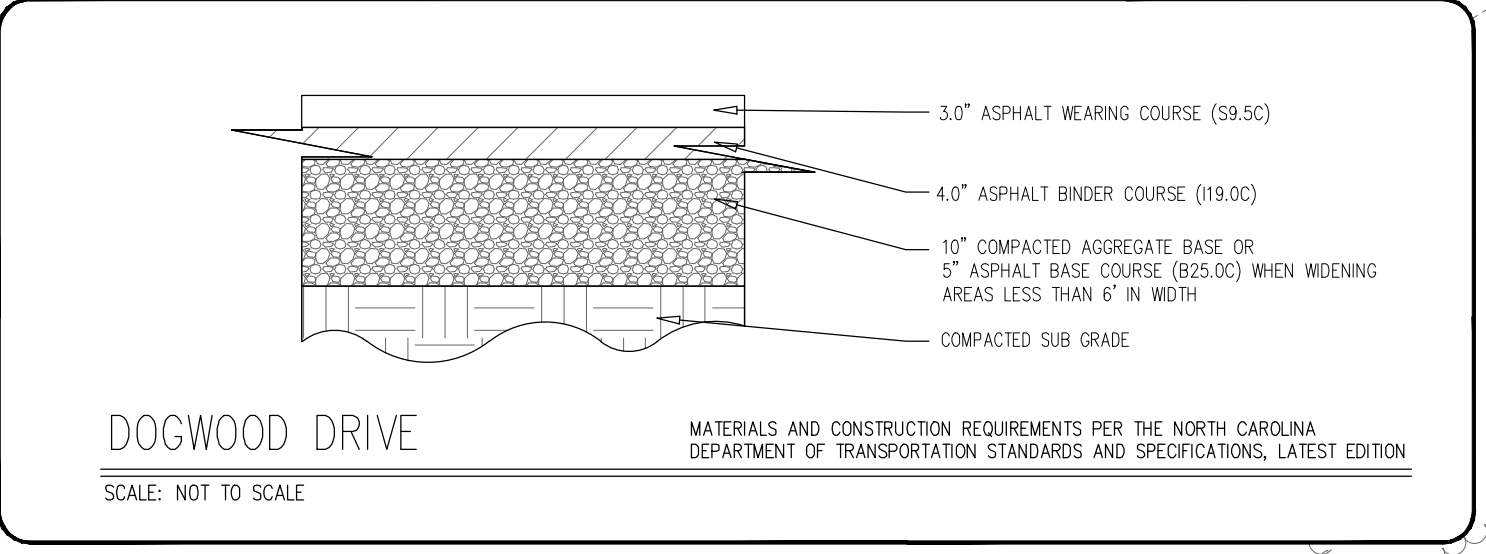
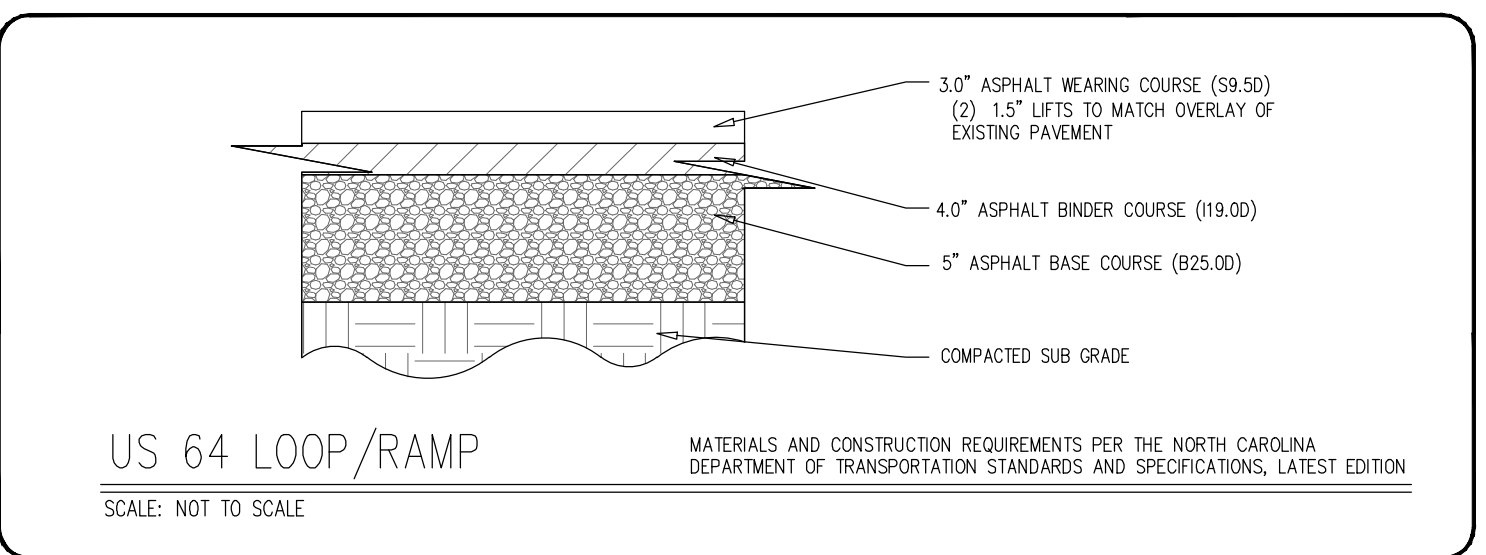
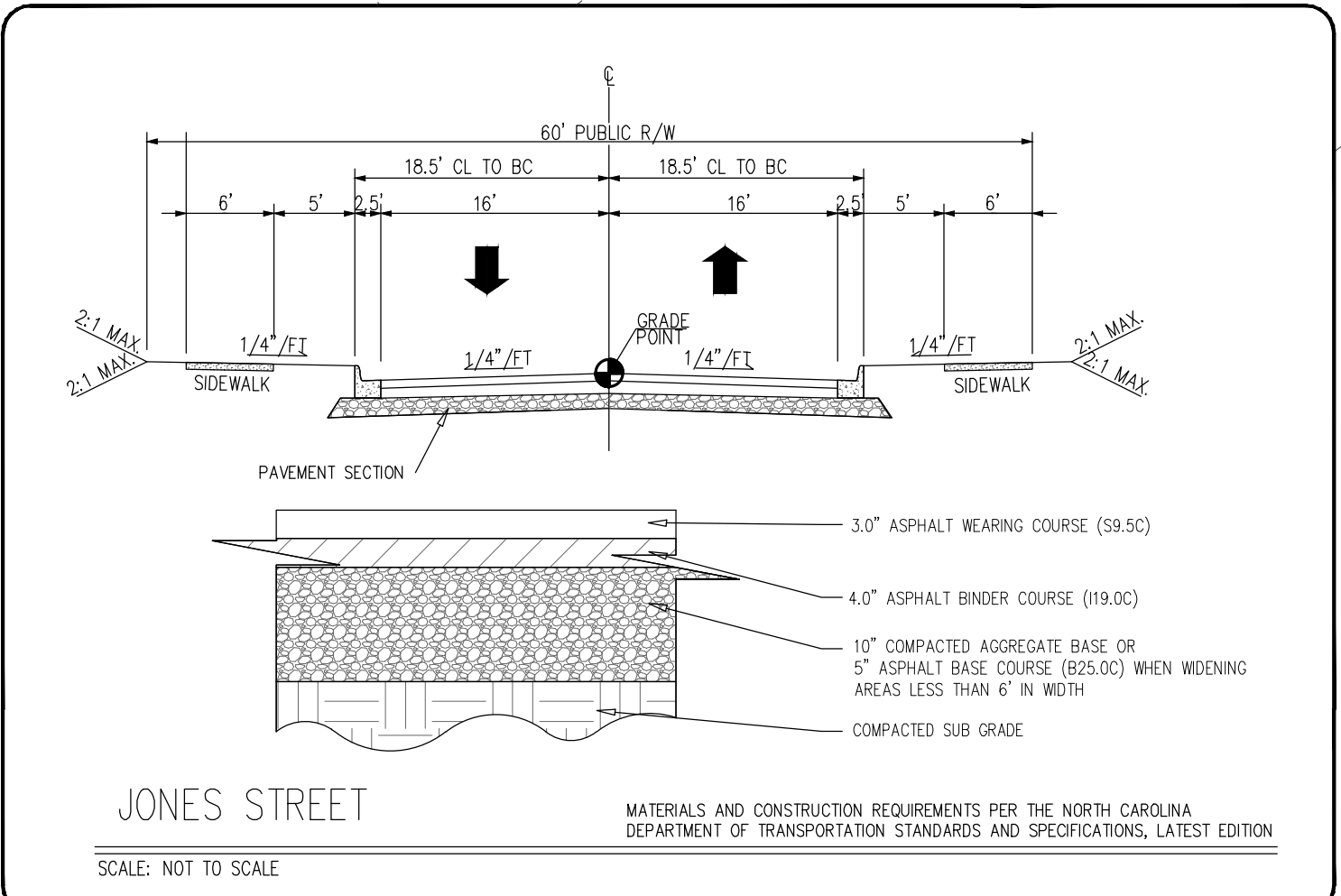
THE CONTRACTOR SHALL BACKFILL AT 6:1 SLOPE UP TO THE EDGE AND ELEVATION OF EXISTING PAVEMENT IN AREAS ADJACENT TO AN OPENED TRAVEL LANE THAT HAS A DROP-OFF OF MORE THAN 3\"/>

NC DOT NOTE
 CONTRACTOR MUST GAIN AN APPROVED TRAFFIC CONTROL PLAN/RAMP CLOSURE FROM THE DISTRICT ENGINEERS OFFICE AT LEAST 2 WEEKS PRIOR TO BEGINNING WORK. THIS WORK WILL BE REQUIRED TO BE DONE AT NIGHT.

NC DOT NOTE
 CONTRACTOR TO VERIFY EXISTING PAVEMENT DEPTH PRIOR TO CONSTRUCTION. REFER TO NCDOT PERMIT AND STANDARD PROVISIONS FOR REQUIREMENTS AS ADDITIONAL TESTING MAY BE REQUIRED.

- NC DOT ROADWAY STANDARD DRAWINGS TO REFERENCE**
- 200.02 METHOD OF CLEARING - METHOD II
 - 225.02 GUIDE FOR GRADING SUBGRADE - SECONDARY & LOCAL
 - 300.01 METHOD OF PIPE INSTALLATION - METHOD "A"
 - 840.71 CONCRETE AND BRICK PIPE PILE
 - 846.01 CONCRETE CURB, GUTTER AND CURB & GUTTER
 - 848.01 CONCRETE SIDEWALK
 - 848.05 WHEELCHAIR RAMP - CURB CUT
 - 852.01 CONCRETE ISLANDS
 - 876.02 GUIDE FOR RIP RAP AT PIPE OUTLETS
 - 1101.01 WORK ZONE ADVANCE WARNING SIGNS
 - 1101.02 TEMPORARY LANE CLOSURES
 - 1101.04 TEMPORARY SHOULDER CLOSURES
 - 1101.05 WORK ZONE VEHICLE ACCESSES
 - 1101.11 TRAFFIC CONTROL DESIGN TABLES
 - 1110.02 PORTABLE WORK ZONE SIGNS - MOUNTING HEIGHT & LATERAL CLEARANCE
 - 1115.01 FLASHING ARROW PANELS
 - 1130.01 DRUMS
 - 1135.01 CONES
 - 1145.01 BARRICADES - TYPES I, II, III AND PERMANENT
 - 1150.01 FLAGGERS
 - 1205.01 PAVEMENT MARKINGS - LINE TYPES & OFFSETS
 - 1205.02 PAVEMENT MARKINGS - DIVIDED & UNDIVIDED ROADWAYS
 - 1205.04 PAVEMENT MARKINGS - INTERSECTIONS
 - 1205.05 PAVEMENT MARKINGS TURN LANES
 - 1205.07 PAVEMENT MARKINGS PEDESTRIAN CROSSWALKS

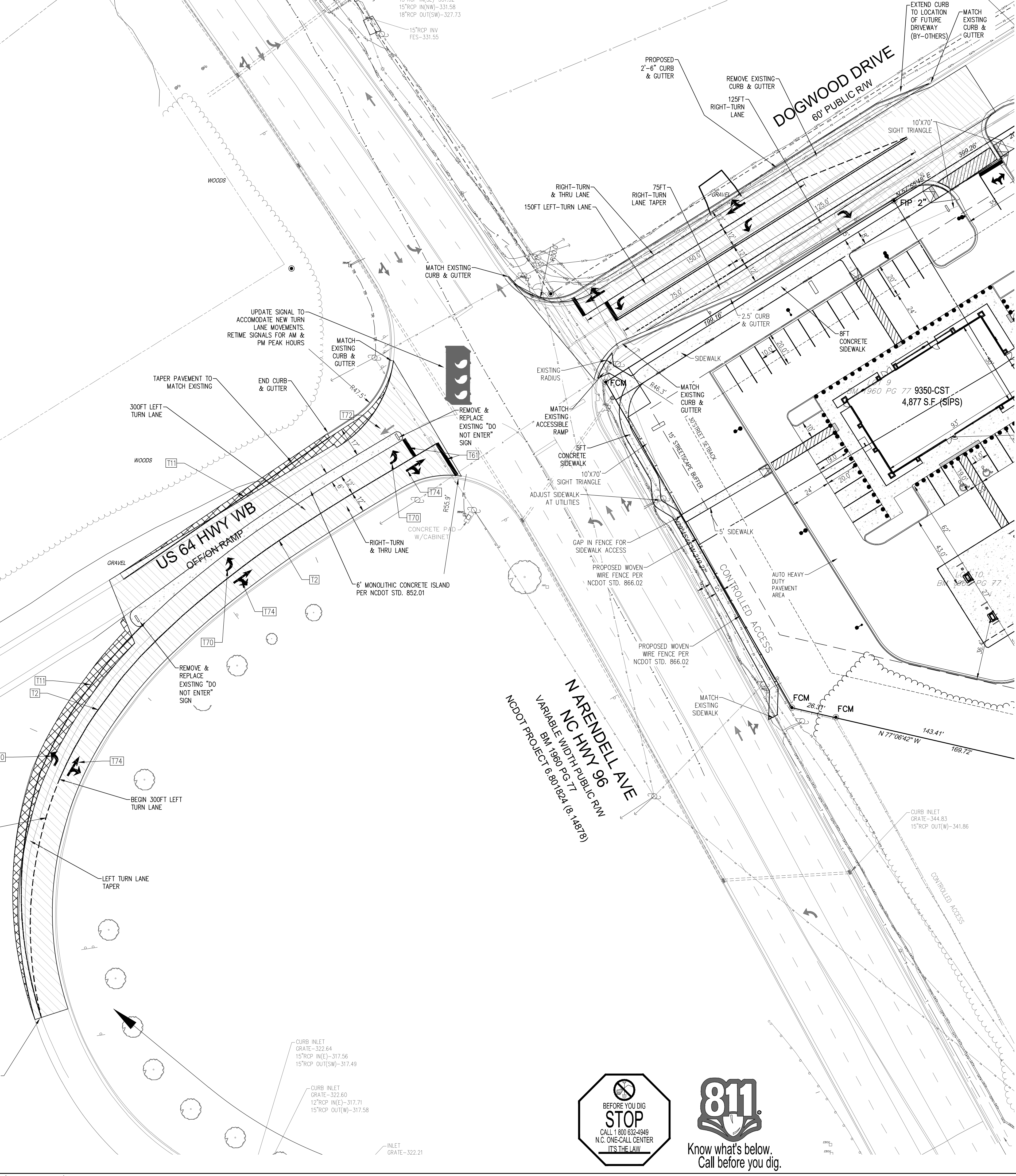




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 - 1205.05 PAVEMENT MARKINGS TURN LANES
 - 1205.07 PAVEMENT MARKINGS PEDESTRIAN CROSSWALKS



SIGHT TRIANGLE NOTE
 WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS

PAVEMENT LEGEND

- 1.5\"/>

PAVEMENT MARKING SCHEDULE

MARKING	DESCRIPTION
T11	WHITE EDGE LINE (4\"/>
T13	DOUBLE YELLOW CENTERLINE (4\"/>
T111	YELLOW SINGLE CENTER LINE (4\"/>
T14	3\"/>
T3	10\"/>
T2	WHITE SOLID LANE LINE (4\"/>
T70	LEFT TURN LANE ARROW (90ML) NCDOT STD DETAIL 1205.08
T71	RIGHT TURN LANE ARROW (90ML) NCDOT STD DETAIL 1205.08
T72	STRAIGHT ARROW (90ML) NCDOT STD DETAIL 1205.08
T73	COMBO LEFT/STRAIGHT TURN LANE ARROW (90ML) NCDOT STD DETAIL 1205.08
T74	COMBO RIGHT/STRAIGHT TURN LANE ARROW (90ML) NCDOT STD DETAIL 1205.08
T42	YELLOW DIAGONAL LINES (8\"/>
T44	WHITE DIAGONAL LINES (8\"/>
T14	3\"/>
T12	YELLOW SKIP CENTER LINES (4\"/>
T61	STOP BAR (4\"/>
T62	12\"/>

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WHEN BACKFILL IS REQUIRED, IT SHALL BE AT NO EXPENSE TO THE OWNER.

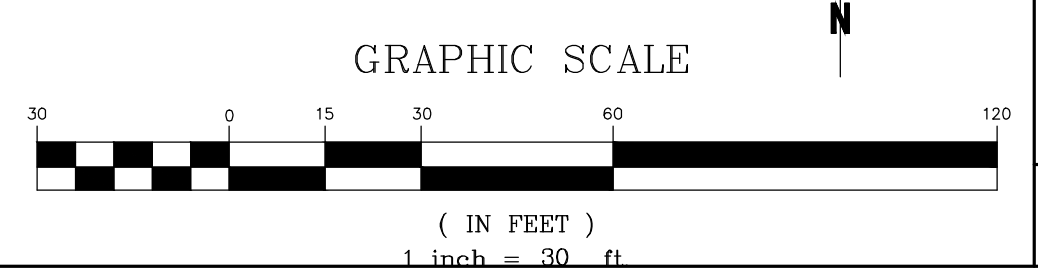
THE MAXIMUM DIFFERENCE IN ELEVATION BETWEEN OPEN LANES OF TRAFFIC SHALL BE 2\"/>

WHEN LANE CLOSURES ARE NOT IN EFFECT, CHANNELIZING DEVICES IN WORK AREAS SHALL BE SPACED NO GREATER THAN TWICE THE POSTED SPEED LIMIT, EXCEPT 10' ON-CENTER IN RADI, AND SHALL BE SET 3' OFF THE EDGE OF AN OPEN TRAVEL WAY.

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MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE NCDOT ROADWAY STANDARDS AND SPECIFICATIONS (LATEST EDITION).



Bowman
 Bowman North Carolina Ltd.
 4000 S. I-85
 Raleigh, NC 27609
 Phone: (919) 563-6570
 bowman.com

Crosland Southeast
 7-Eleven Store #42378
 Zebulon, NC
 WAKE COUNTY

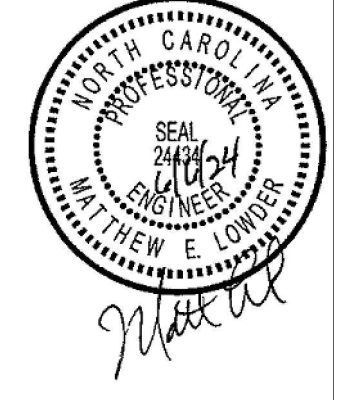
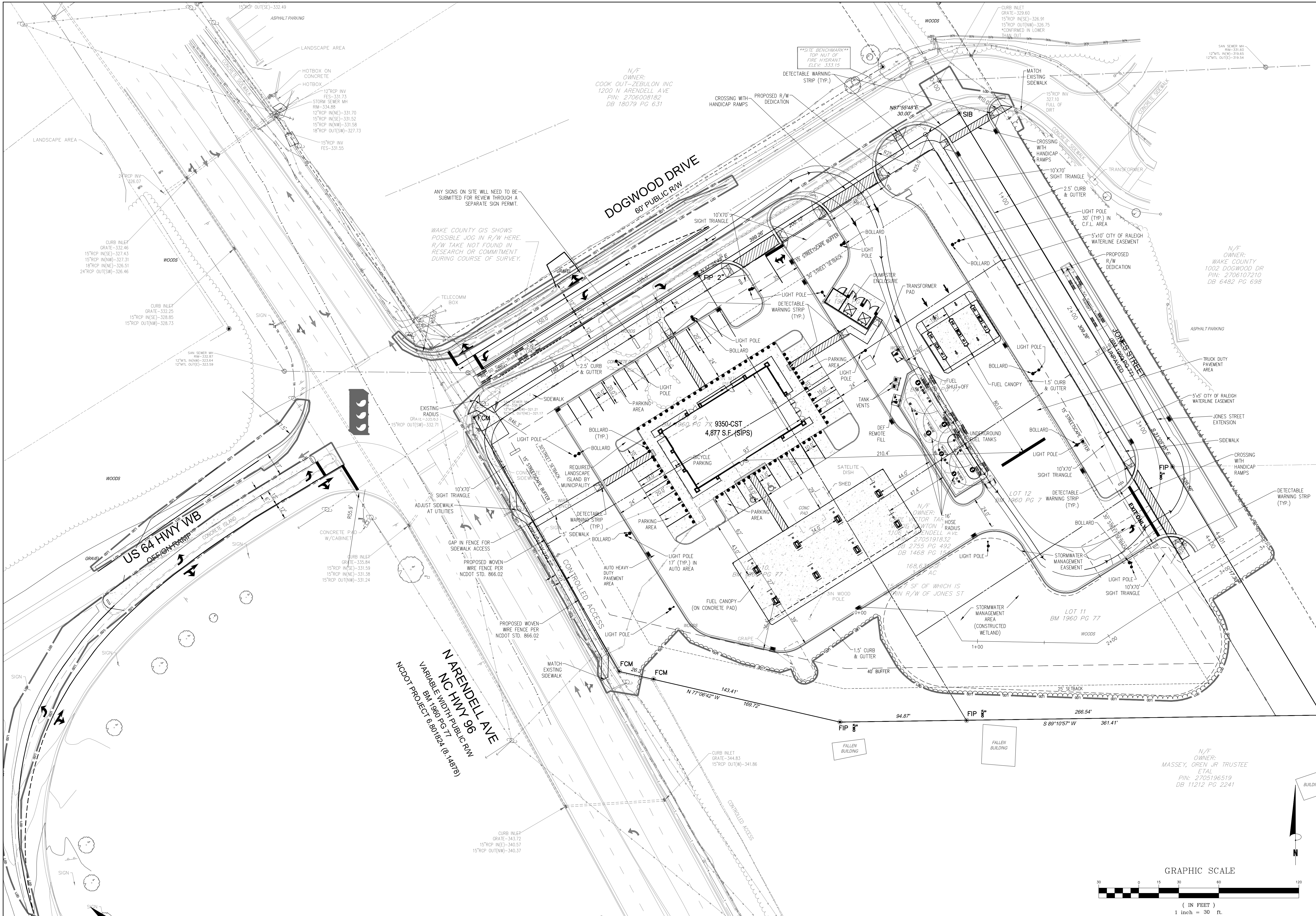
7-ELEVEN

DATE	REVISION DESCRIPTION
05/15/24	WAKE COUNTY REVIEW
05/15/24	TOWN OF ZEBULON REVIEW
05/15/24	TOWN OF ZEBULON REVIEW
05/15/24	TOWN OF ZEBULON REVIEW
05/15/24	NCDOT REVIEW
05/15/24	NCDOT REVIEW

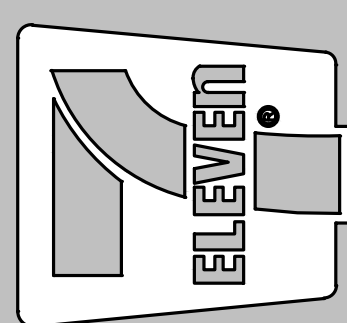
STORE OR BLDG NO.: N/A
 VERSION OR PROJECT ID: N/A
 DESIGN TEAM: DGNR, BRM & MCB
 PM/DP: ML
 RWVR: ML
 ISSUE DATE: 06/08/2024
 ADDRESS: 1106 N ARENDELL AVE, ZEBULON, NC 27587

ROADWAY PLAN (2 OF 2)

DRWG. NO. **C3.4**



Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY

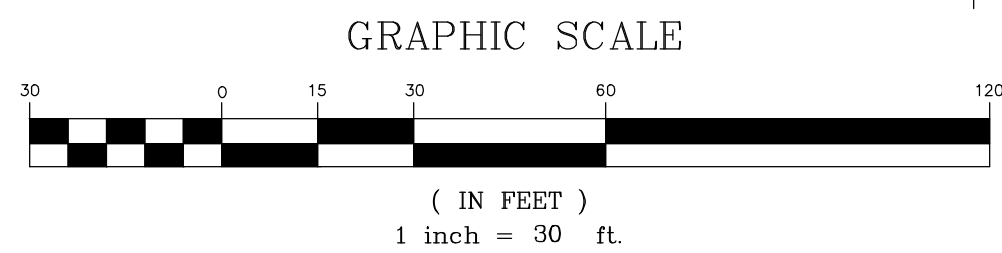


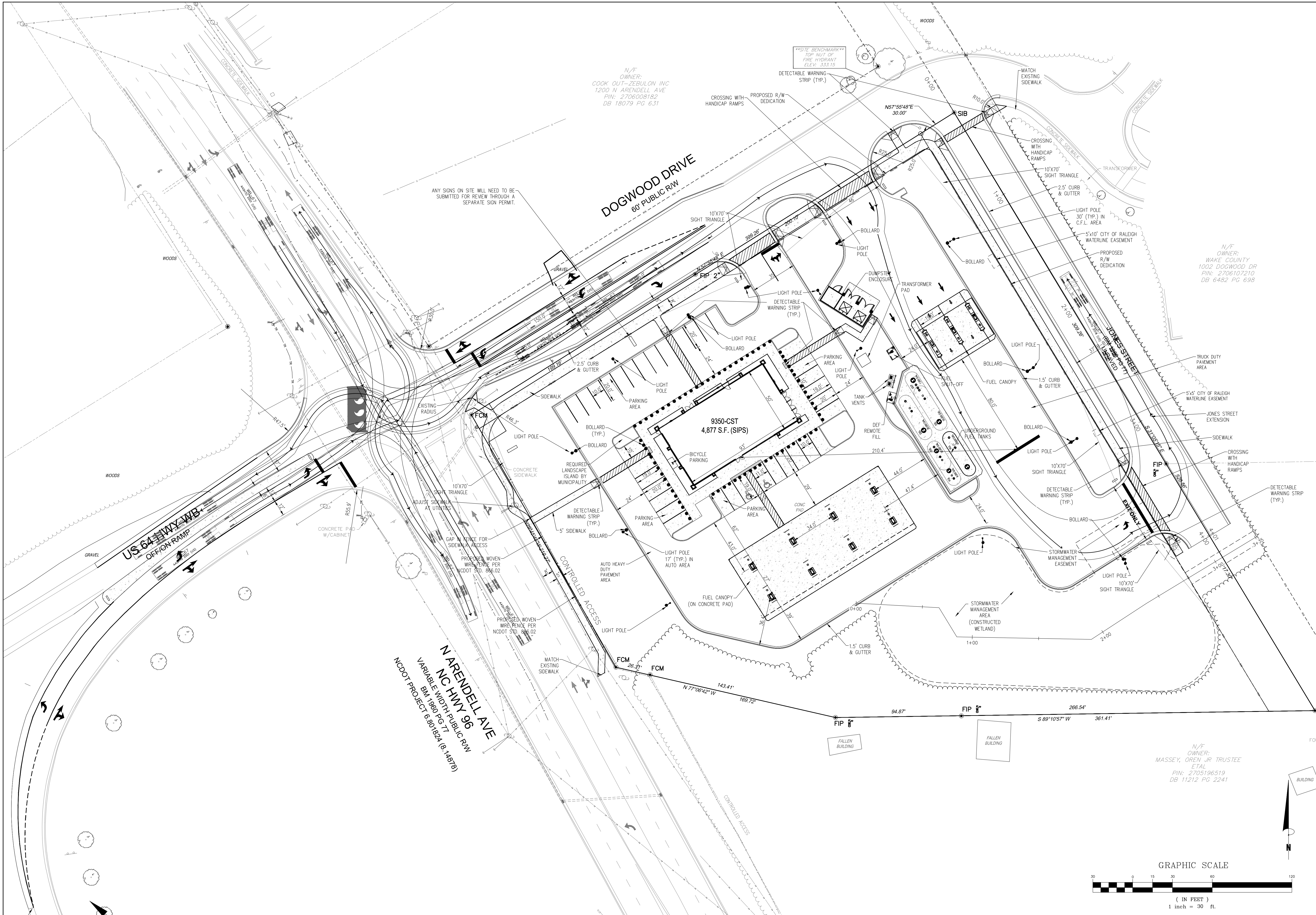
NO.	DATE	REVISION DESCRIPTION	DATE REVISION
1	12/22/23	WAKE COUNTY REVIEW	
2	BRIMMS 10/04/24	TOWN OF ZEBULON REVIEW	
3	BRIMMS 10/04/24	TOWN OF ZEBULON REVIEW	
4	BRIMMS 10/04/24	TOWN OF ZEBULON REVIEW	
5	BRIMMS 10/04/24	TOWN OF ZEBULON REVIEW	
6	BRM 05/15/24	NC DOT REVIEW	
7	BRM 05/15/24	NC DOT REVIEW	
8	BRM 05/15/24	NC DOT REVIEW	
9	BRM 05/15/24	NC DOT REVIEW	

STORE OR BLDG NO.:
N/A
VERSION OR PROJECT ID:
N/A
DESIGN TEAM:
DGNR. BRM & MCB
P.M./D.P. ML
R.V.V.R. ML
ISSUE DATE: 06/06/2024
ADDRESS:
1106 N ARENDELL AVE
ZEBULON, NC 27587

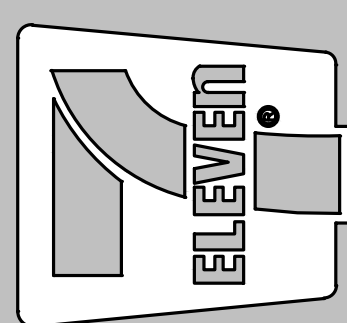
SHEET TITLE
TRUCK TURN
PLAN (WB-50)

DRWG. NO. **C3.5**





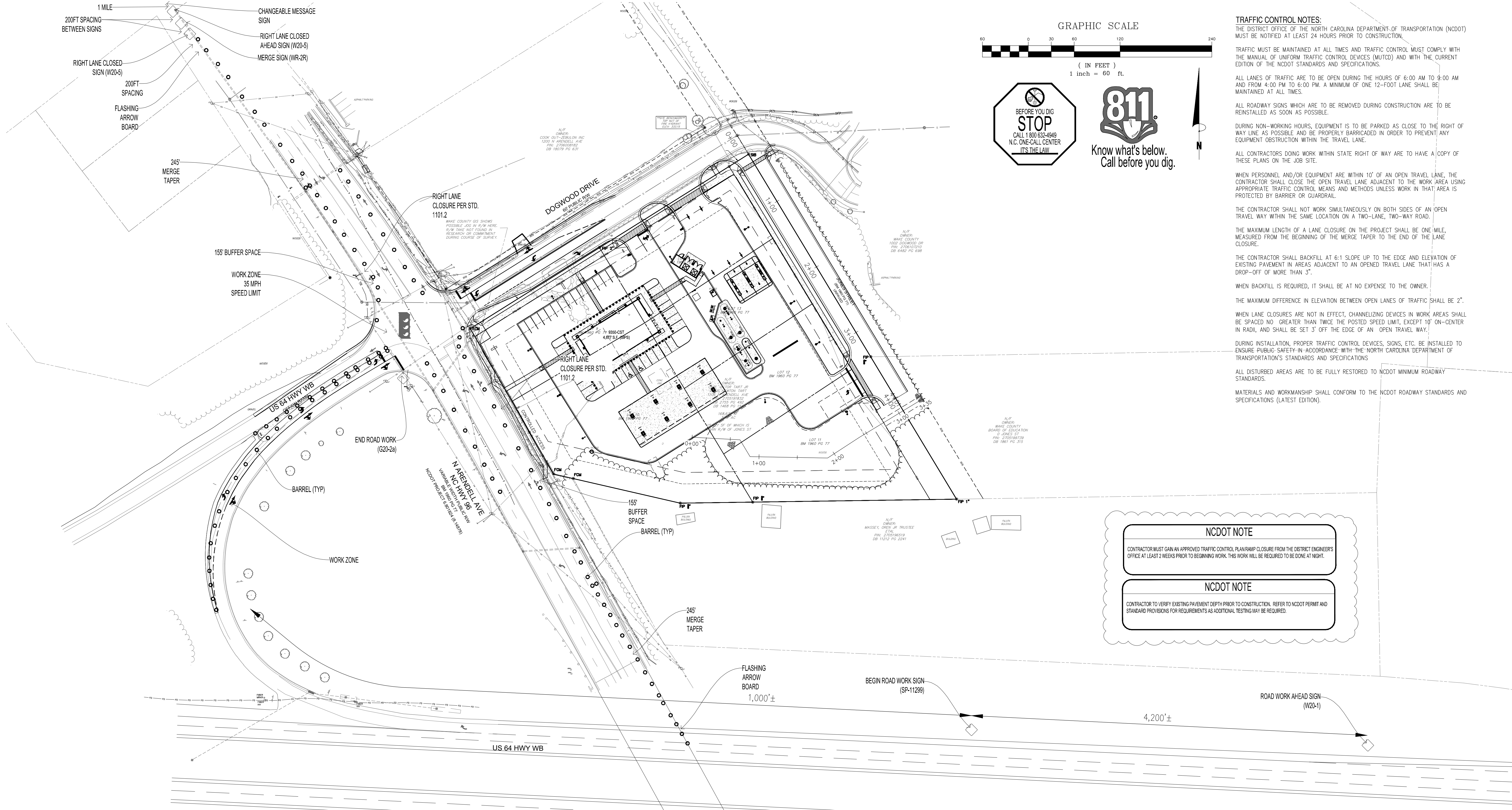
Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



NO.	DATE	REVISION DESCRIPTION	DATE REVISION	REVISION DESCRIPTION
1	12/21/23	WAKE COUNTY REVIEW		
2	1/10/24	TOWN OF ZEBULON REVIEW		
3	1/10/24	TOWN OF ZEBULON REVIEW		
4	1/10/24	TOWN OF ZEBULON REVIEW		
5	1/10/24	TOWN OF ZEBULON REVIEW		
6	1/10/24	TOWN OF ZEBULON REVIEW		
7	1/10/24	TOWN OF ZEBULON REVIEW		
8	1/10/24	TOWN OF ZEBULON REVIEW		
9	1/10/24	TOWN OF ZEBULON REVIEW		
10	1/10/24	TOWN OF ZEBULON REVIEW		

STORE OR BLDG NO.:	N/A
VERSION OR PROJECT ID.:	N/A
DESIGN TEAM:	DGNR, BRM & MCB
PM/DP:	ML
R/VWR:	ML
ISSUE DATE:	06/06/2024
ADDRESS:	1106 N ARENDELL AVE ZEBULON, NC 27587

SHEET TITLE
TRUCK TURN PLAN (WB-67)
DRWG. NO. **C3.6**



GRAPHIC SCALE
 60 0 30 60 120 240
 (IN FEET)
 1 inch = 60 ft.

811
 Know what's below.
 Call before you dig.

BEFORE YOU DIG
 STOP
 CALL 1 800 632-4949
 N.C. ONE-CALL CENTER
 IT'S THE LAW

TRAFFIC CONTROL NOTES:
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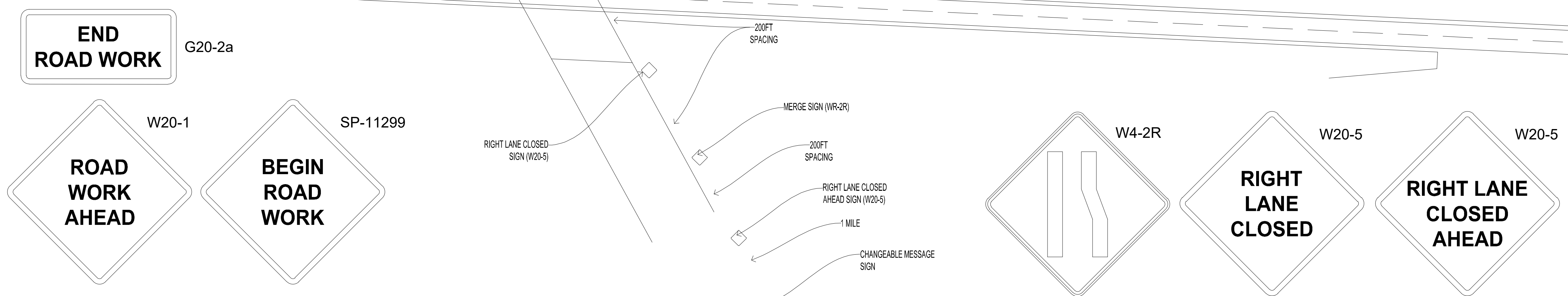
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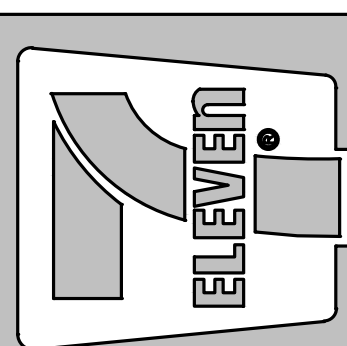
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 4000 S. I-85
 Raleigh, NC 27609
 Phone: (919) 563-6570
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Crosland Southeast
 7-Eleven Store #42378
 Zebulon, NC
 WAKE COUNTY

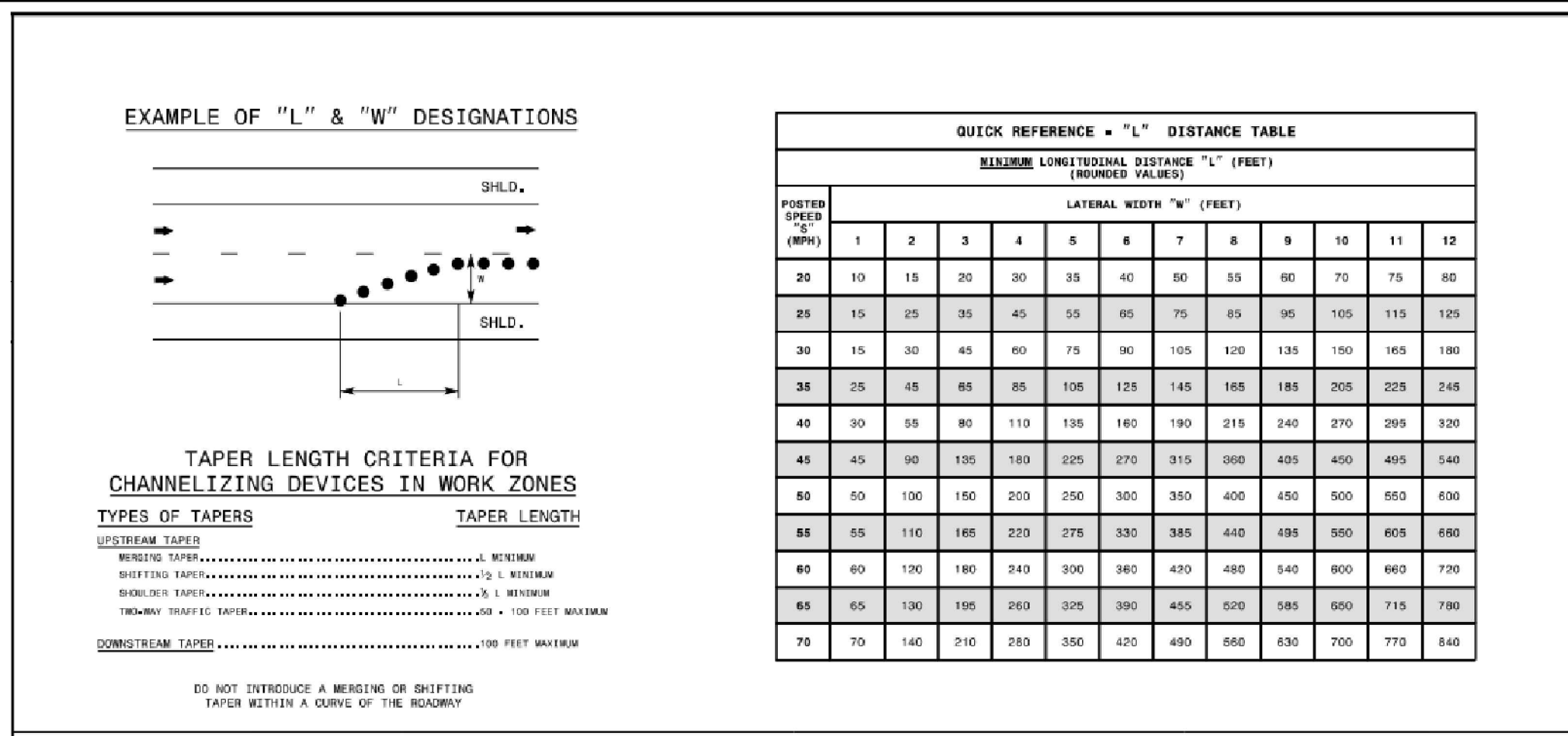


NO.	DATE	REVISION DESCRIPTION	DATE REVISION	REVISION DESCRIPTION
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3	01/04/24	TOWN OF ZEBULON REVIEW		
4	01/15/24	NCDOT REVIEW		
5	01/15/24	NCDOT REVIEW		
6	01/15/24	NCDOT REVIEW		
7	01/15/24	NCDOT REVIEW		
8	01/15/24	NCDOT REVIEW		
9	01/15/24	NCDOT REVIEW		

STORE OR BLDG NO.:	N/A
VERSION OR PROJECT ID:	N/A
DESIGN TEAM:	DGNR, BRM & MCB
PM/DP:	ML
RVWR:	ML
ISSUE DATE:	06/06/2024
ADDRESS:	1106 N ARENDELL AVE ZEBULON, NC 27587

SHEET TITLE
TRAFFIC CONTROL PLAN

DRWG. NO.
C3.7



QUICK REFERENCE - "L" DISTANCE TABLE

POSTED SPEED (MPH)	MINIMUM LONGITUDINAL DISTANCE "L" (FEET) (ROUNDED VALUES)											
	1	2	3	4	5	6	7	8	9	10	11	12
20	10	18	26	35	44	53	62	71	80	89	98	107
25	15	27	39	52	65	78	91	104	117	130	143	156
30	20	36	51	68	85	102	119	136	153	170	187	204
35	25	45	65	87	110	133	156	179	202	225	248	271
40	30	55	80	107	134	161	188	215	242	269	296	323
45	35	65	95	127	160	193	226	259	292	325	358	391
50	40	75	110	147	184	221	258	295	332	369	406	443
55	45	85	125	167	209	251	293	335	377	419	461	503
60	50	100	145	193	241	289	337	385	433	481	529	577
65	55	115	165	217	270	323	376	429	482	535	588	641
70	60	130	185	243	301	359	417	475	533	591	649	707
75	65	145	205	267	329	391	453	515	577	639	701	763
80	70	160	225	291	357	423	489	555	621	687	753	819

GENERAL NOTES

- TABLE FOR "L" DISTANCE IS BASED ON CHANNELIZATION TAPER FORMULA FROM THE MUTCD, WHERE:
 - SPEED LIMIT** **FORMULA**
 - 40 MPH OR LESS $L_{min} = \frac{W \times S^2}{60}$
 - 45 MPH OR GREATER $L_{min} = W \times S$
- "L" DISTANCE IS FOR APPLICATION WITH CHANNELIZING DEVICES AND PAVEMENT MARKING TAPERS AND TRANSITIONS. CHANNELIZING DEVICES INCLUDE DRUMS, CONES, TUBULAR MARKERS, BARRICADES, RAISED ASPHALT ISLANDS, AND VERTICAL PANELS.

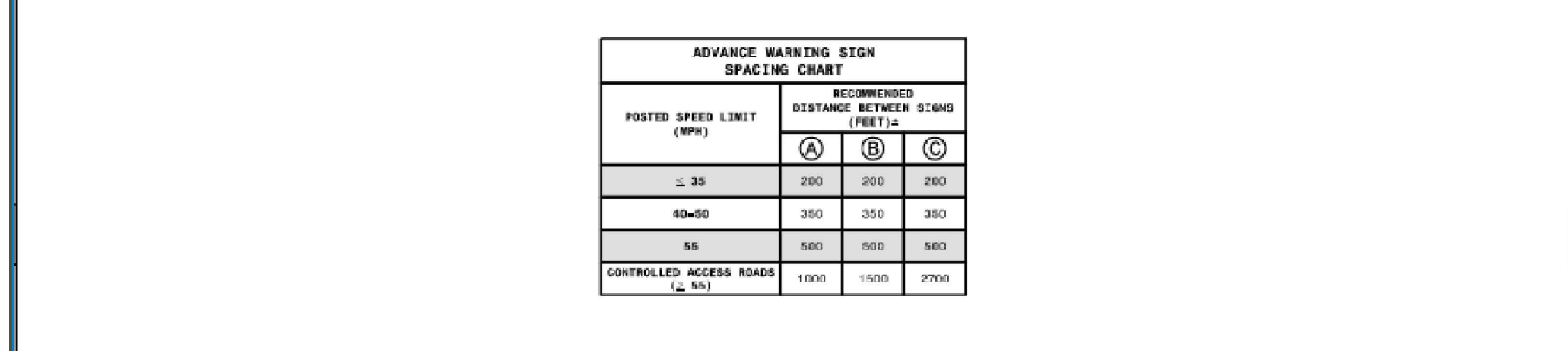
DESIGN SPEED (MPH)	MINIMUM SIGHT DISTANCE	MINIMUM LONGITUDINAL BUFFER SPACE
	STOPPING SIGHT DISTANCE (FEET)	PASSING SIGHT DISTANCE (FEET)
30	200	1090
35	250	1290
40	305	1470
45	380	1625
50	425	1835
55	485	1985
60	570	2135
65	645	2285
70	730	2435
75	820	2585
80	910	2680

GENERAL NOTES

- TABLES ARE BASED ON THE AASHTO GREEN BOOK "A POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS" AND THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES". MINIMUM SIGHT DISTANCE VALUES ARE FOR PASSENGER CAR VEHICLES ON WET AND LEVEL ROADWAYS. CONSULT THE AASHTO GREEN BOOK TO MAKE FINAL DETERMINATION OF STOPPING SIGHT DISTANCE REQUIREMENTS.
- BUFFER SPACE TABLE IS BASED ON THE BRAKING DISTANCE PORTION OF STOPPING SIGHT DISTANCE FOR WET AND LEVEL PAVEMENTS.
- USE OF STOPPING SIGHT DISTANCE IN TRAFFIC CONTROL PLAN APPLICATIONS INCLUDES PROVIDING SIGHT DISTANCE FOR TRAFFIC APPROACHING A LANE CLOSURE. PROVIDE 2-LANE, 2-WAY ROADWAYS STOPPING SIGHT DISTANCE TO THE FLAGGER. FOR LANE CLOSURES ON MULTILANE ROADWAYS PROVIDE STOPPING SIGHT DISTANCE TO THE BEGINNING OF THE LANE CLOSURE MERGE TAPER. ON FLASHING ARROW BOARD, EXTEND LANE CLOSURES AT THE BUFFER SPACE SUCH THAT STOPPING SIGHT DISTANCE IS PROVIDED.
- USE OF MINIMUM PASSING SIGHT DISTANCE TABLE IN TRAFFIC CONTROL PLAN APPLICATIONS INCLUDES PROVIDING SIGHT DISTANCE REQUIREMENTS FOR PLACEMENT OF PAVEMENT MARKING PASSING/NO-PASSING ZONES FOR 2-LANE, 2-WAY ROADWAYS.

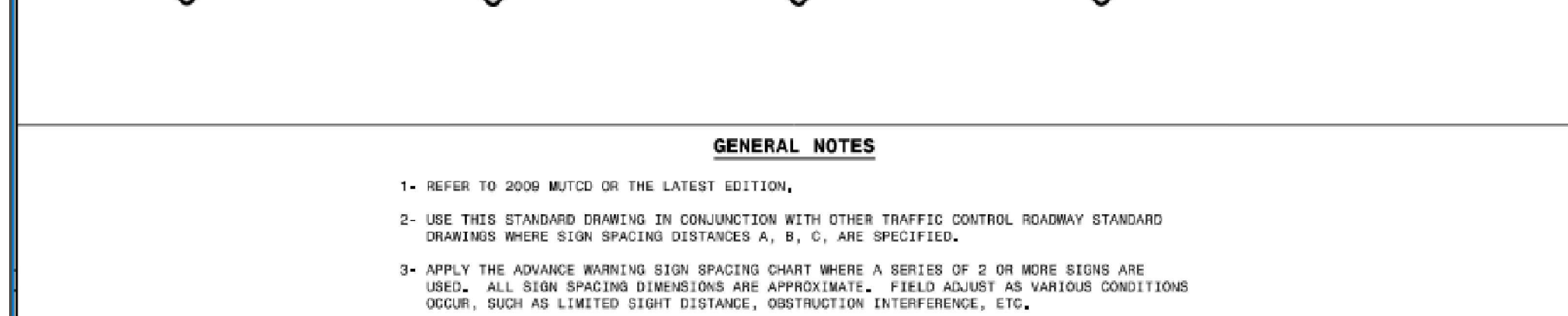
ADVANCE WARNING SIGN SPACING CHART

POSTED SPEED LIMIT (MPH)	RECOMMENDED DISTANCE BETWEEN SIGNS (FEET)		
	A	B	C
≤ 35	200	200	200
40-50	250	250	300
55	300	300	300
CONTROLLED ACCESS ROADS (CA)	1000	1300	2700



GENERAL NOTES

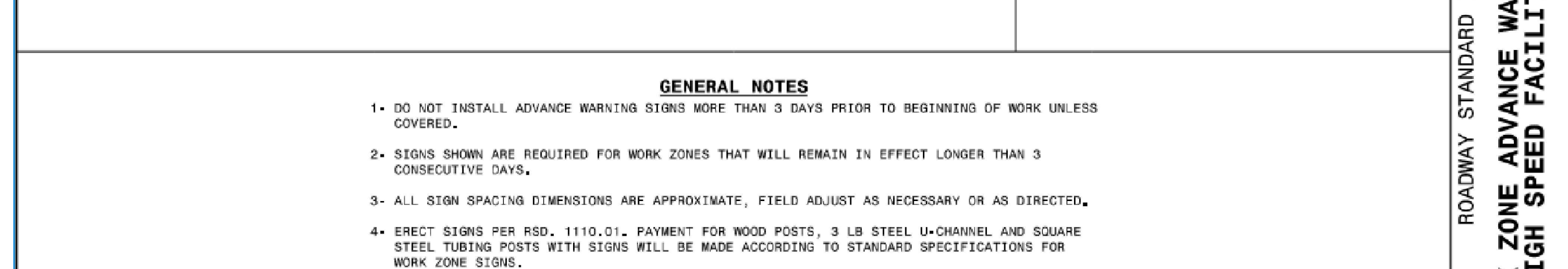
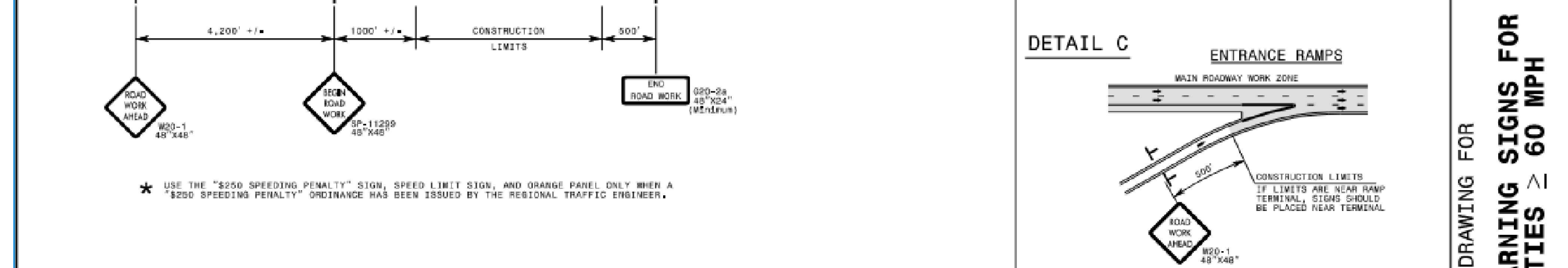
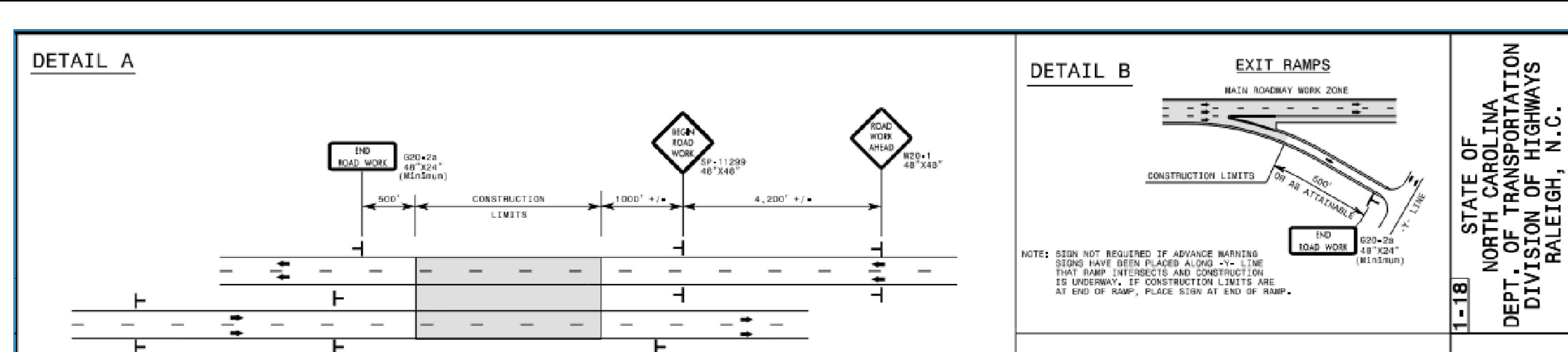
- REFER TO 2009 MUTCD OR THE LATEST EDITION.
- USE THIS STANDARD DRAWING IN CONJUNCTION WITH OTHER TRAFFIC CONTROL ROADWAY STANDARD DRAWINGS WHERE SIGN SPACING DISTANCES A, B, C, ARE SPECIFIED.
- APPLY THE ADVANCE WARNING SIGN SPACING CHART WHERE A SERIES OF 2 OR MORE SIGNS ARE USED. ALL SIGN SPACING DIMENSIONS ARE APPROXIMATE. FIELD ADJUST AS VARIOUS CONDITIONS OCCUR, SUCH AS LIMITED SIGHT DISTANCE, OBSTRUCTION INTERFERENCE, ETC.



STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR TRAFFIC CONTROL DESIGN TABLES SPACING OF TEMPORARY SIGNS IN SERIES

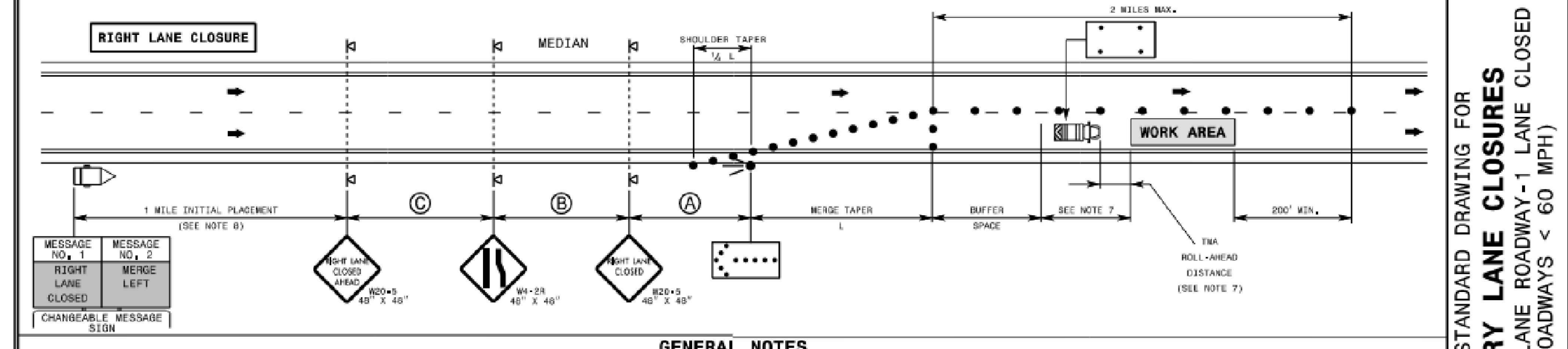
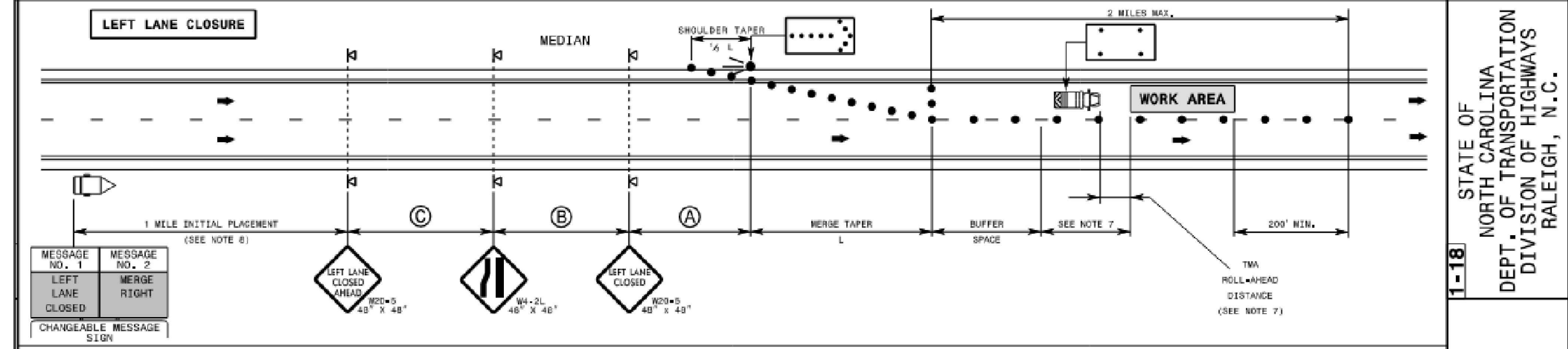
SHEET 4 OF 4
1101.11



GENERAL NOTES

- DO NOT INSTALL ADVANCE WARNING SIGNS MORE THAN 3 DAYS PRIOR TO BEGINNING OF WORK UNLESS COVERED.
- SIGNS SHOWN ARE REQUIRED FOR WORK ZONES THAT WILL REMAIN IN EFFECT LONGER THAN 3 CONSECUTIVE DAYS.
- ALL SIGN SPACING DIMENSIONS ARE APPROXIMATE. FIELD ADJUST AS NECESSARY OR AS DIRECTED.
- ERECT SIGNS PER RSD, 1110.01. PAYMENT FOR WOOD POSTS, 3 LB STEEL U-CHANNEL AND SQUARE STEEL TUBING POSTS WITH SIGNS WILL BE MADE ACCORDING TO STANDARD SPECIFICATIONS FOR WORK ZONE SIGNS.
- WHEN NECESSARY, USE SPLICING IN ACCORDANCE WITH RSD, 1110.01.
- DO NOT BACK BRACE SIGN SUPPORTS.

LEGEND:
 STATIONARY SIGN
 DIRECTION OF TRAFFIC FLOW



GENERAL NOTES

- IF NECESSARY USE THIS RSD. FOR ONE-WAY CITY TYPE STREETS WHERE SIGNS MAY BE MOUNTED ON BOTH SIDES OF THE ROADWAY.
- PLACE FLASHING ARROW BOARDS (FAB) ON THE SHOULDER (PAVED OR UNPAVED). PLACE FAB WITHIN THE TAPER IF SHOULDERS DO NOT EXIST. MEET THE REQUIREMENTS FOR STOPPING SIGHT DISTANCE AT THE FAB LOCATION. IF NEEDED, EXTEND LANE CLOSURES AT THE BUFFER SPACE SUCH THAT STOPPING SIGHT DISTANCE TO THE FAB IS MET (SEE RSD, 1101.11, SHEET 2).
- PLACE DRUMS IN TAPERS AT THE MAXIMUM SPACING EQUAL IN FEET TO THE POSTED SPEED LIMIT. PLACE DRUMS ALONG THE WORK AREA AT THE MAXIMUM SPACING EQUAL IN FEET TO 2 TIMES THE POSTED SPEED LIMIT.
- REFER TO RSD, 1101.11, SHEETS 1, 2, & 4, FOR "L" DISTANCE, BUFFER SPACE, AND SIGN SPACING.
- REFER TO RSD, 1101.02, SHEETS 9 & 10, FOR TREATMENT OF LANE CLOSURES THRU INTERCHANGES.
- INSTALL LANE CLOSURES WITH THE TRAFFIC FLOW, BEGINNING WITH DEVICES ON THE UPSTREAM SIDE OF TRAFFIC, REMOVE LANE CLOSURES AGAINST THE TRAFFIC FLOW, BEGINNING WITH DEVICES ON THE DOWNSTREAM SIDE OF TRAFFIC.
- POSITION THE TMA's TO MAINTAIN A ROLL-AHEAD DISTANCE AS RECOMMENDED BY THE MANUFACTURER AND CONTINUOUSLY ADVANCE TMA's AS WORK PROGRESSES.
- PLACE CHANGEABLE MESSAGE SIGN (CMS) ON THE OUTSIDE OF THE TRAVELWAY, UNLESS DIRECTED OTHERWISE BY THE ENGINEER. PLACE CMS APPROXIMATELY 1 MILE IN ADVANCE OF THE FIRST W2-S SIGN. IF TRAFFIC BACKS UP TO WHERE THE CMS IS INITIALLY PLACED, RELOCATE CMS 1/2 MILE IN ADVANCE OF ANTICIPATED BACKUP. MONITOR TRAFFIC AND WHEN NECESSARY, MOVE CMS APPROXIMATELY 1/2 MILE IN ADVANCE OF ANTICIPATED BACKUP.
- DO NOT EXCEED A 2 MILE LANE CLOSURE LENGTH UNLESS OTHERWISE SHOWN IN THE TMP OR AS DIRECTED BY THE ENGINEER.

LEGEND:
 FLASHING ARROW BOARD
 FLASHING ARROW BOARD ("B" "X48" "M-L"), "CAUTION" MODE
 TRUCK MOUNTED ATTENUATOR (TMA)
 CHANGEABLE MESSAGE SIGN (CMS)
 DRUM
 PORTABLE SIGN
 DIRECTION OF TRAFFIC FLOW

STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR TEMPORARY LANE CLOSURES DIVIDED MULTI-LANE ROADWAY-1 LANE CLOSED (FOR ROADWAYS < 60 MPH)

SHEET 3 OF 14
1101.02

NCDOT NOTE

CONTRACTOR MUST OBTAIN AN APPROVED TRAFFIC CONTROL PLAN/TEMP CLOSURE FROM THE DISTRICT ENGINEER'S OFFICE AT LEAST 2 WEEKS PRIOR TO BEGINNING WORK. THIS WORK WILL BE REQUIRED TO BE DONE AT NIGHT.

NCDOT NOTE

CONTRACTOR TO VERIFY EXISTING PAVEMENT DEPTH PRIOR TO CONSTRUCTION. REFER TO NCDOT PERMIT AND STANDARD PROVISIONS FOR REQUIREMENTS AS ADDITIONAL TESTING MAY BE REQUIRED.

Bowman
 Bowman North Carolina, Ltd.
 4000 W. Hargett St. #14
 Raleigh, NC 27609
 Phone: (919) 553-6570
 bowman.com
 © Bowman North Carolina, Ltd.

Crosland Southeast
 7-Eleven Store #42378
 Zebulon, NC
 WAKE COUNTY

NO.	REVISION DESCRIPTION	DATE REVISION
1		
2		
3		
4		
5		
6		
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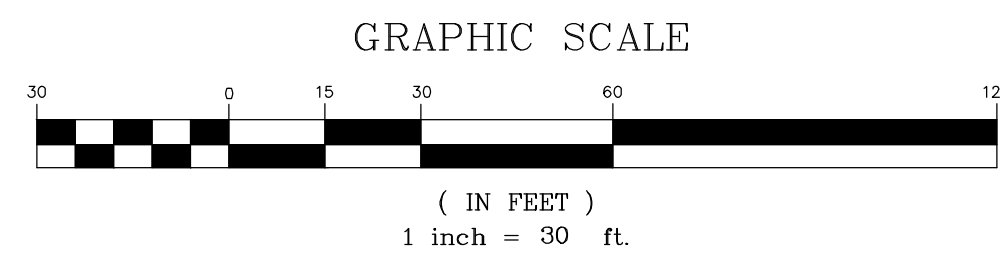
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 VERSION OR PROJECT ID: N/A
 DESIGN TEAM:
 DGNR, BRM & MCB
 PM/DP: ML
 RVWR: ML
 ISSUE DATE: 06/06/2024
 ADDRESS:
 1106 N ARENDELL AVE
 ZEBULON, NC 27597

SHEET TITLE
TRAFFIC CONTROL DETAILS

DRWG. NO. **C3.8**



Know what's below.
Call before you dig.

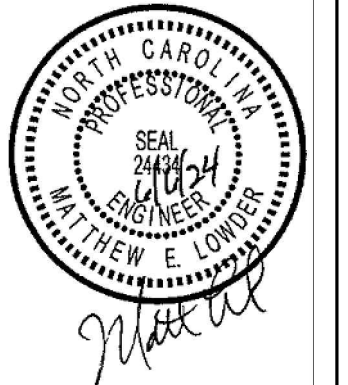
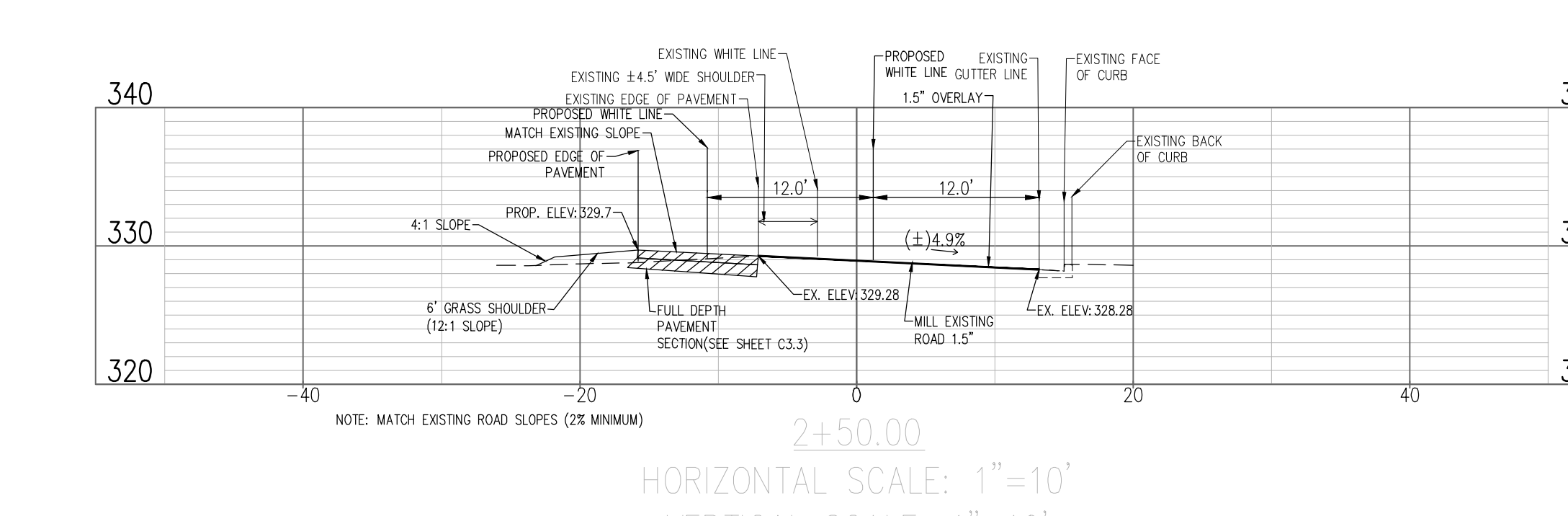
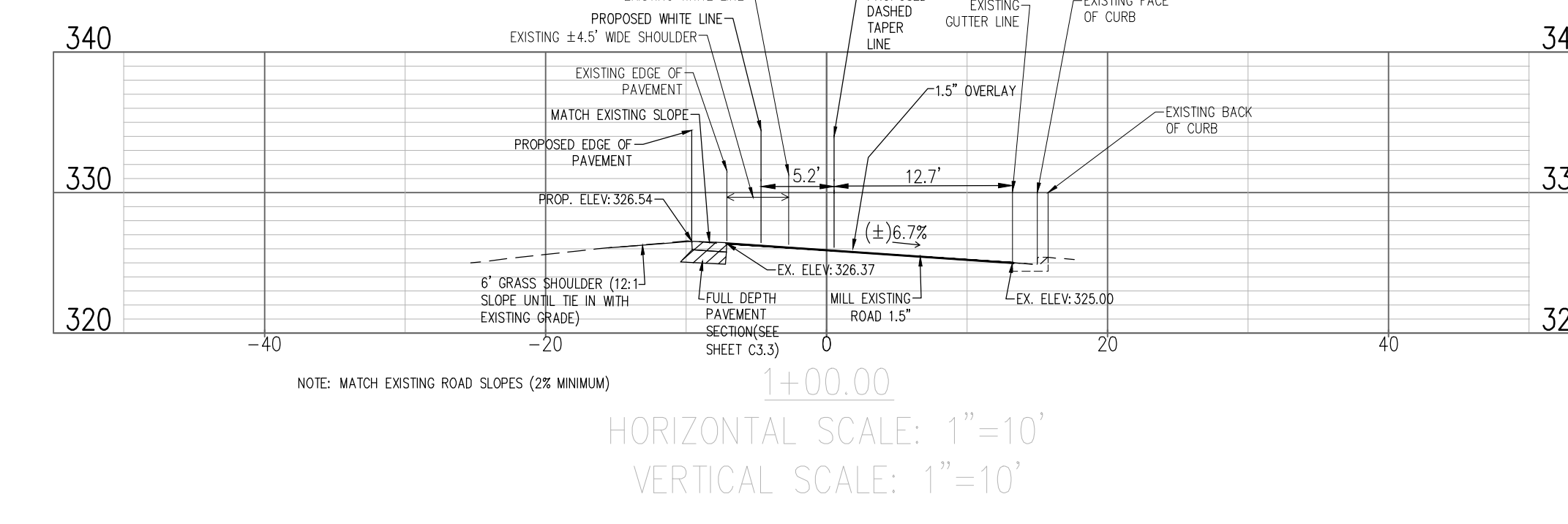
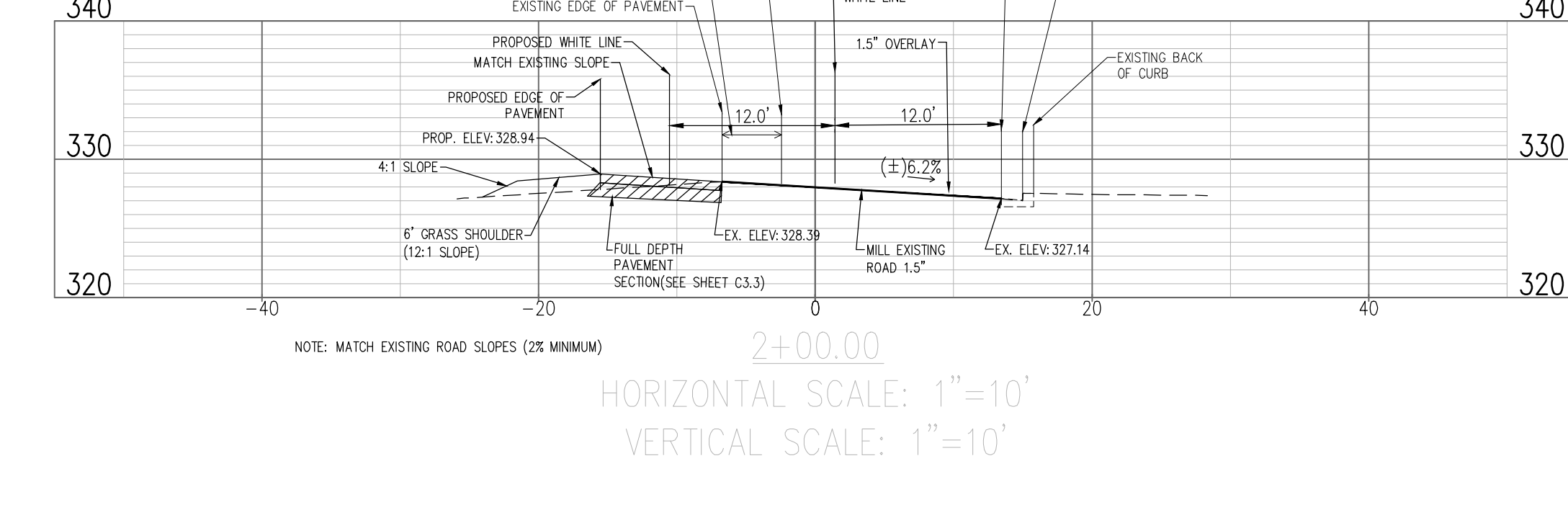
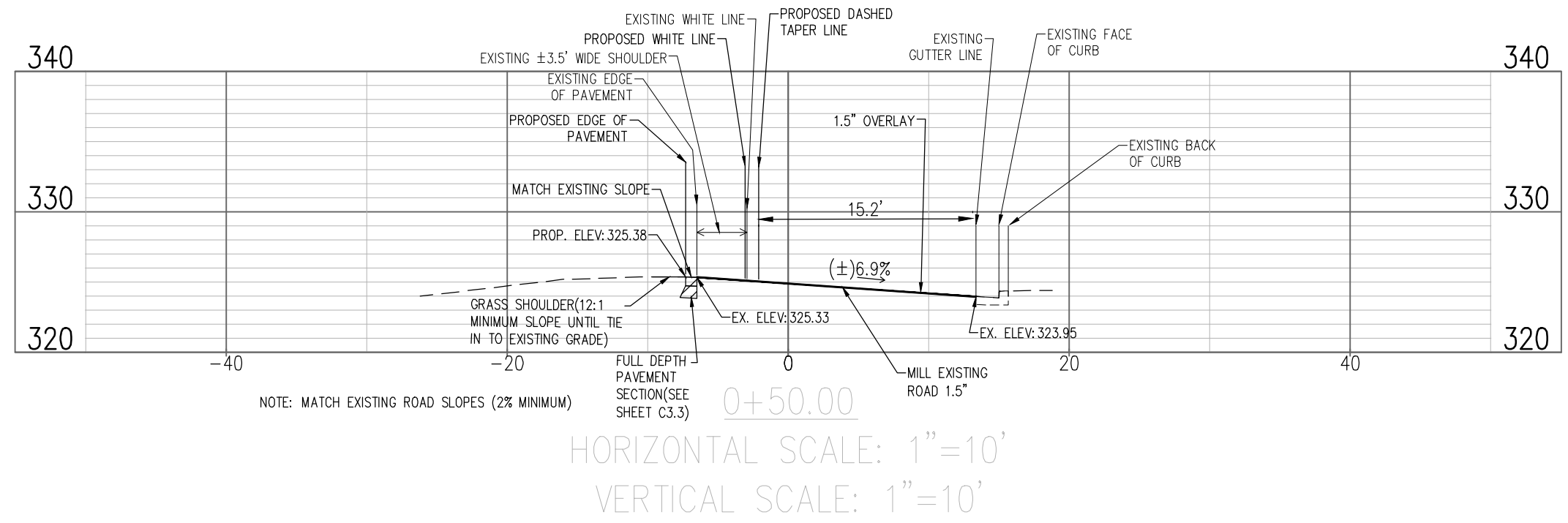
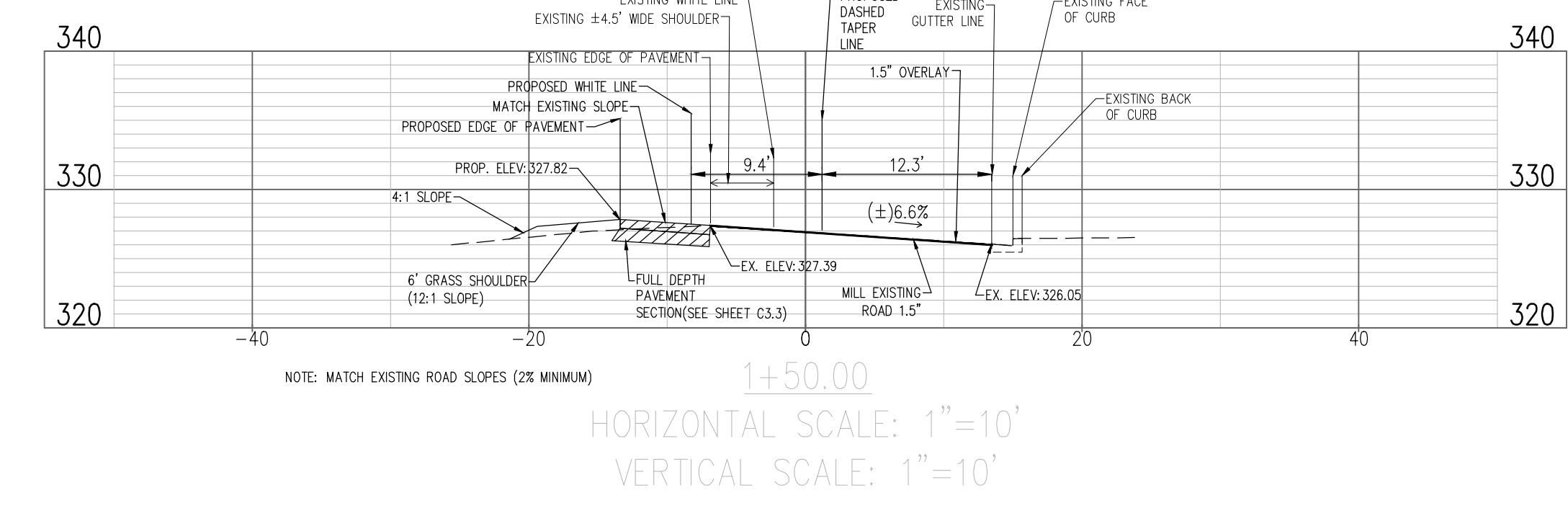
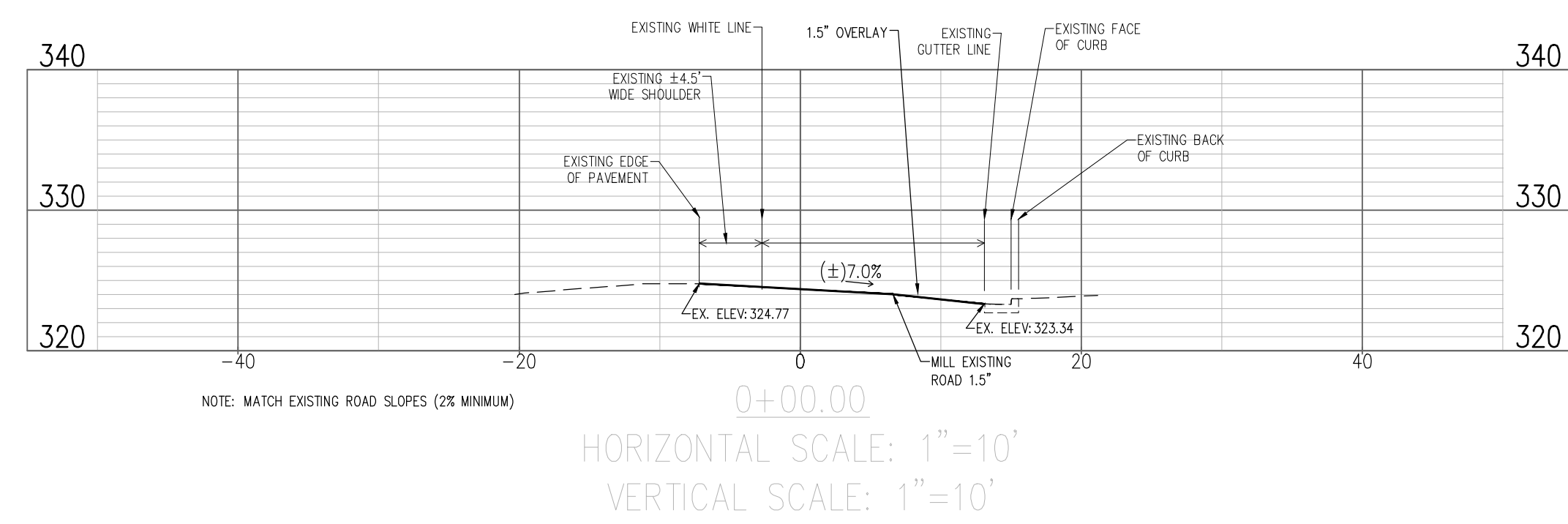
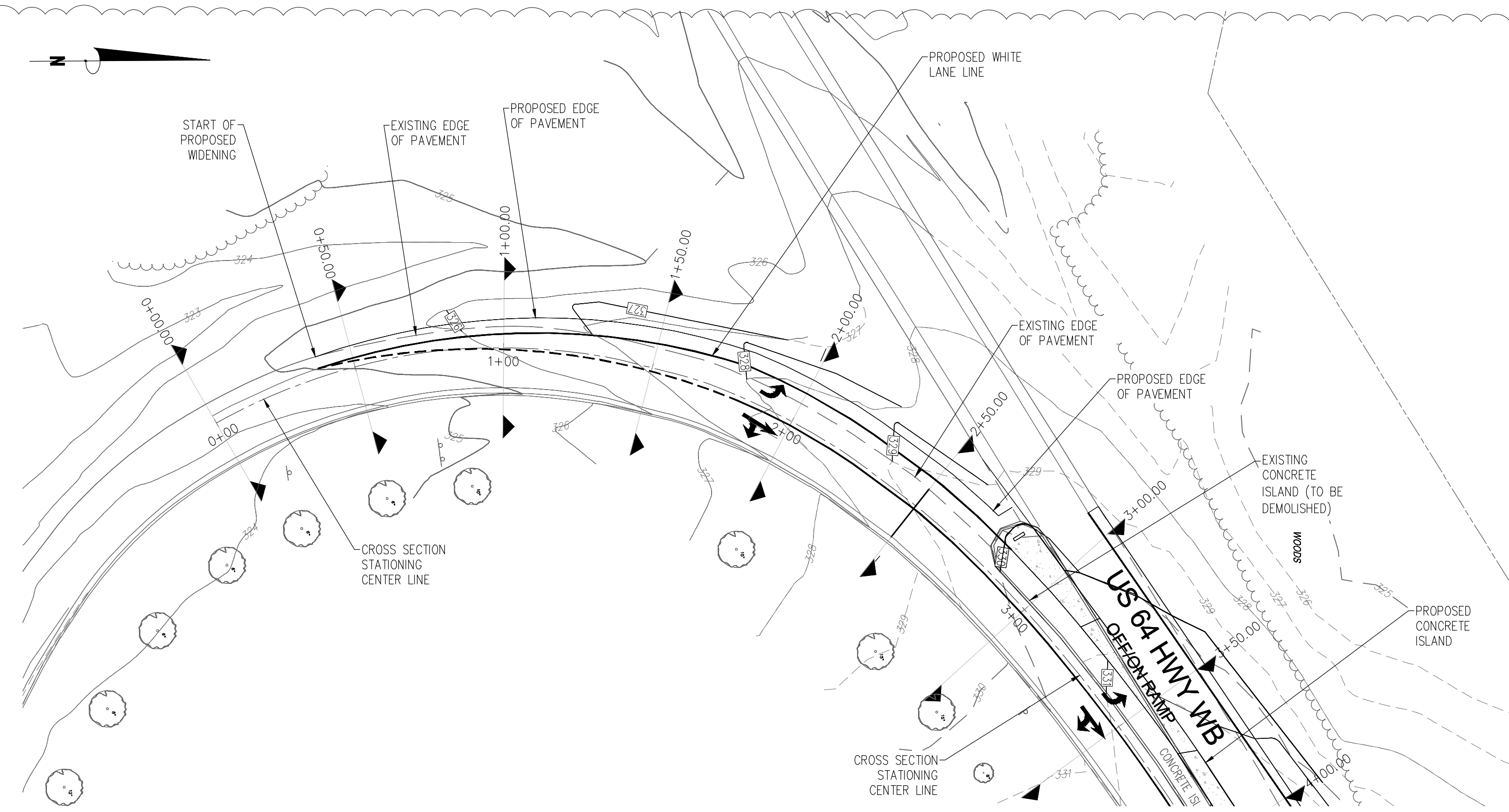


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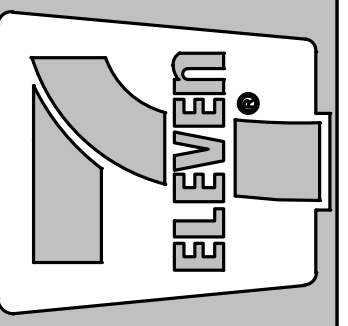
CONTRACTOR MUST OBTAIN AN APPROVED TRAFFIC CONTROL PLAN/RAMP CLOSURE FROM THE DISTRICT ENGINEER'S OFFICE AT LEAST 2 WEEKS PRIOR TO BEGINNING WORK. THIS WORK WILL BE REQUIRED TO BE DONE AT NIGHT.

NCDOT NOTE

CONTRACTOR TO VERIFY EXISTING PAVEMENT DEPTH PRIOR TO CONSTRUCTION. REFER TO NCDOT PERMIT AND STANDARD PROVISIONS FOR REQUIREMENTS AS ADDITIONAL TESTING MAY BE REQUIRED.



Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



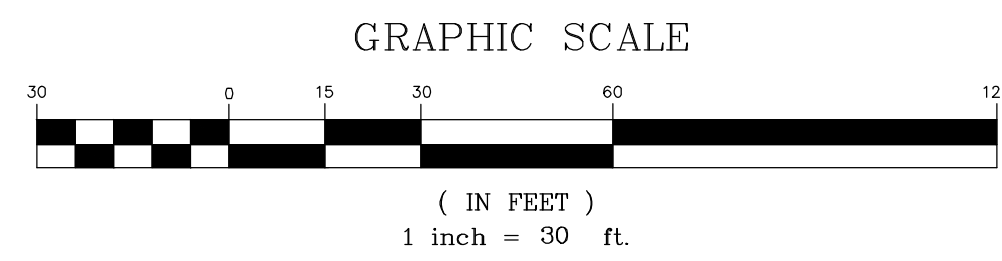
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2	06/06/2024	TOWN OF ZEBULON REVIEW	BRM	
3	06/06/2024	TOWN OF ZEBULON REVIEW	BRM	
4	06/06/2024	NCDOT REVIEW	BRM	
5	06/06/2024	NCDOT REVIEW	BRM	

STORE OR BLDG NO.:	N/A
VERSION OR PROJECT ID:	N/A
DESIGN TEAM:	DGNR, BRM & MCB
PM/DP:	ML
RVWR:	ML
ISSUE DATE:	06/06/2024
ADDRESS:	1106 N ARENDELL AVE ZEBULON, NC 27587

ROADWAY CROSS SECTION PROFILES



Know what's below.
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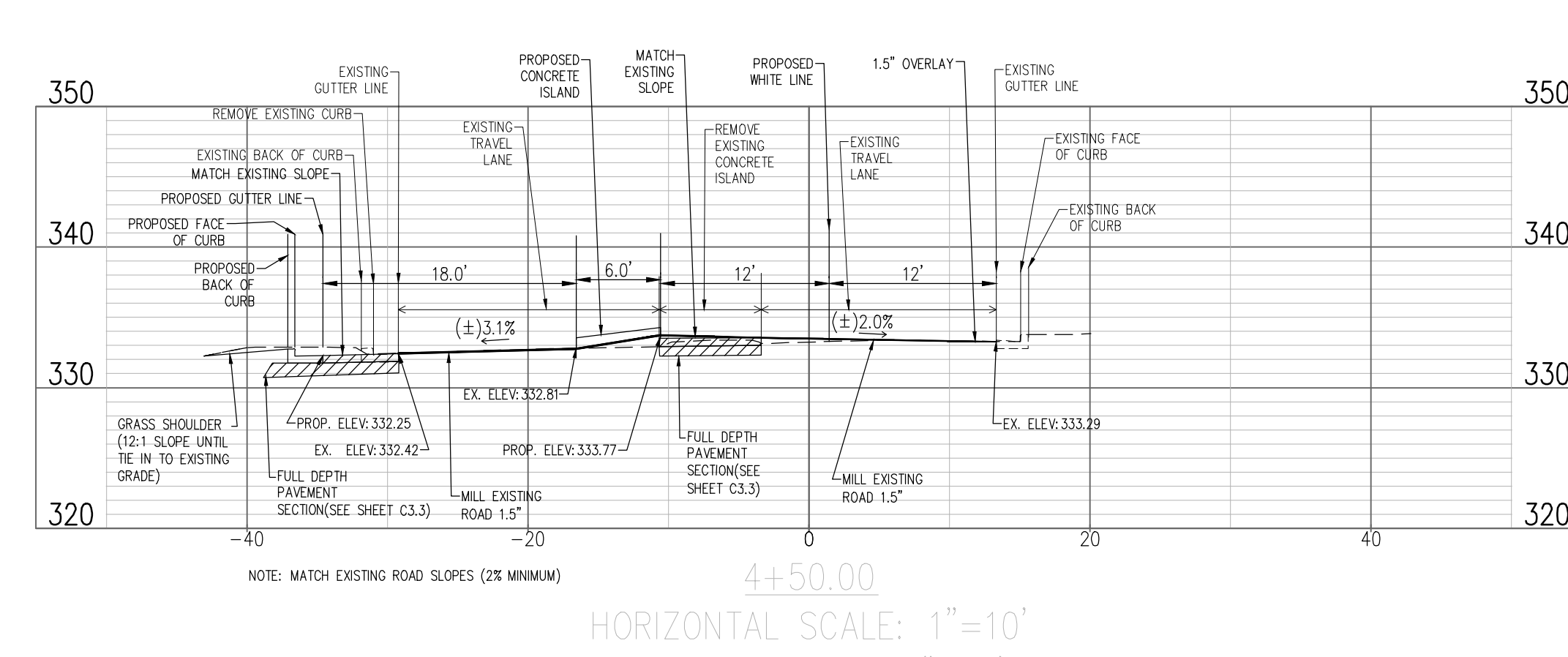
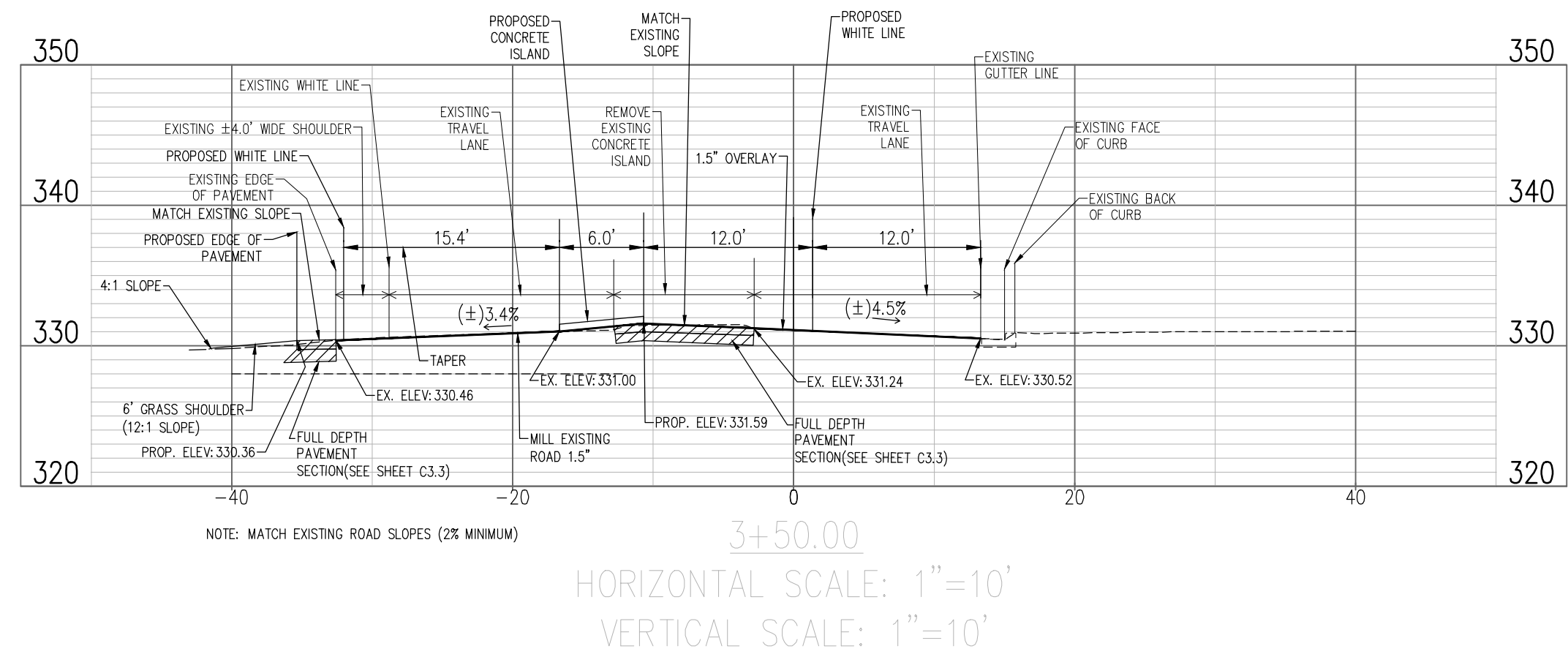
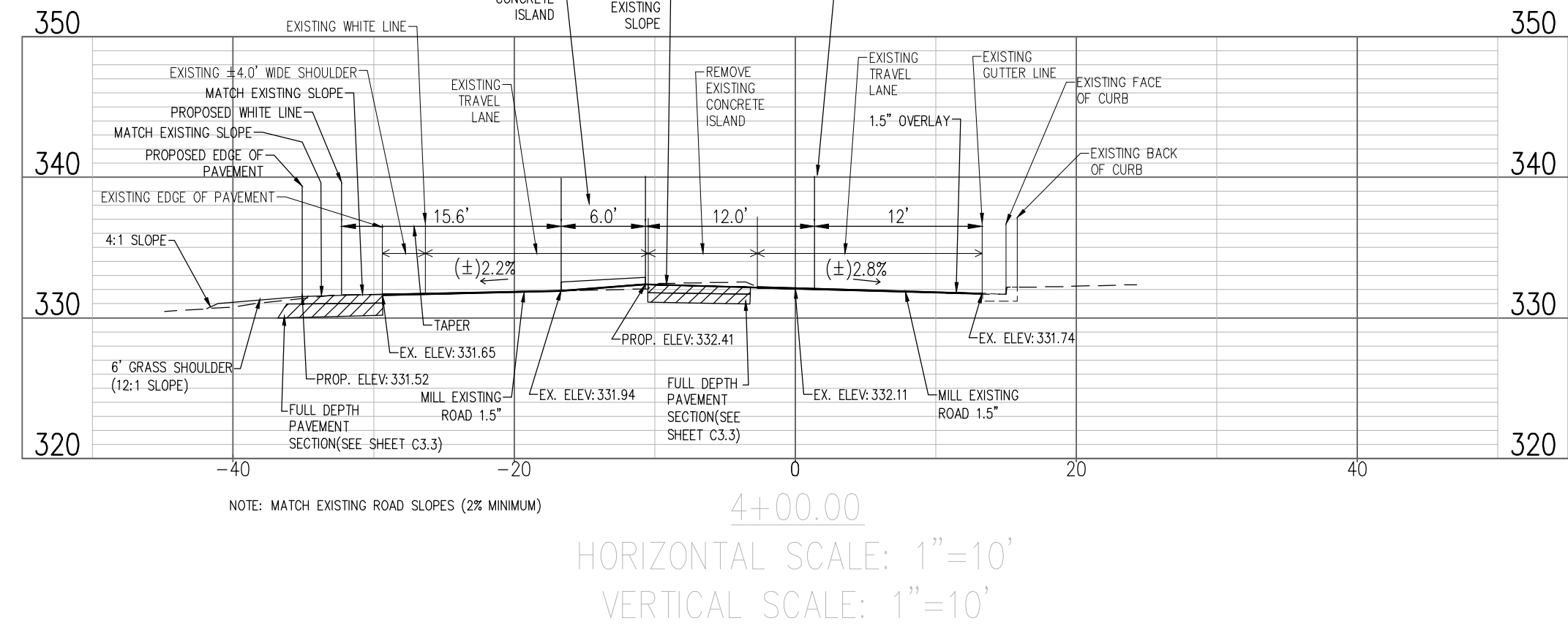
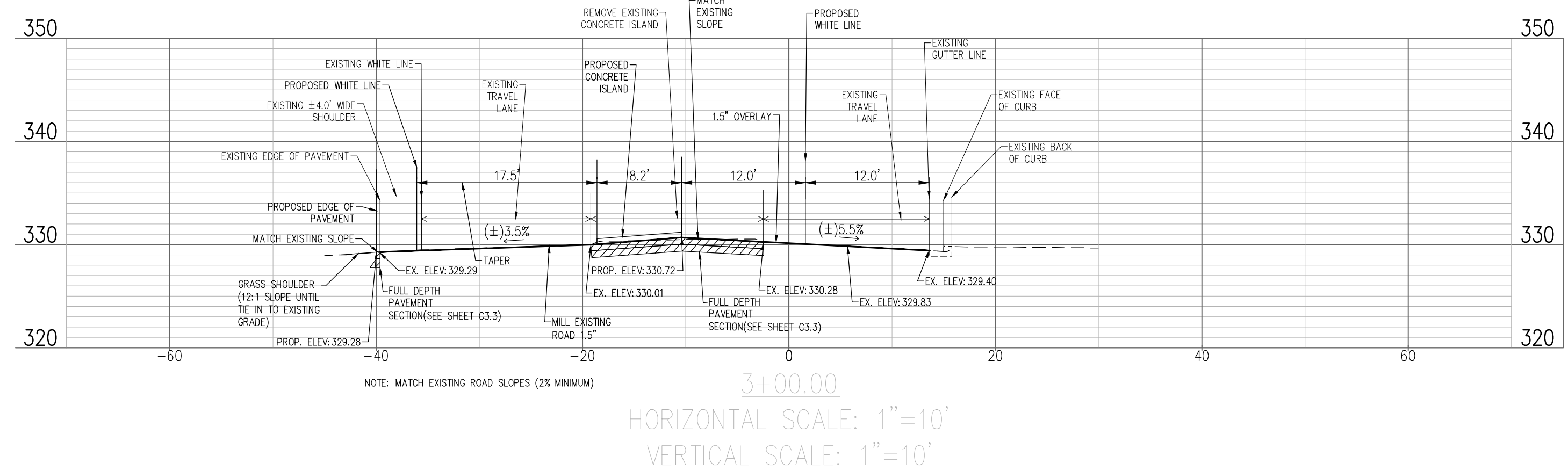
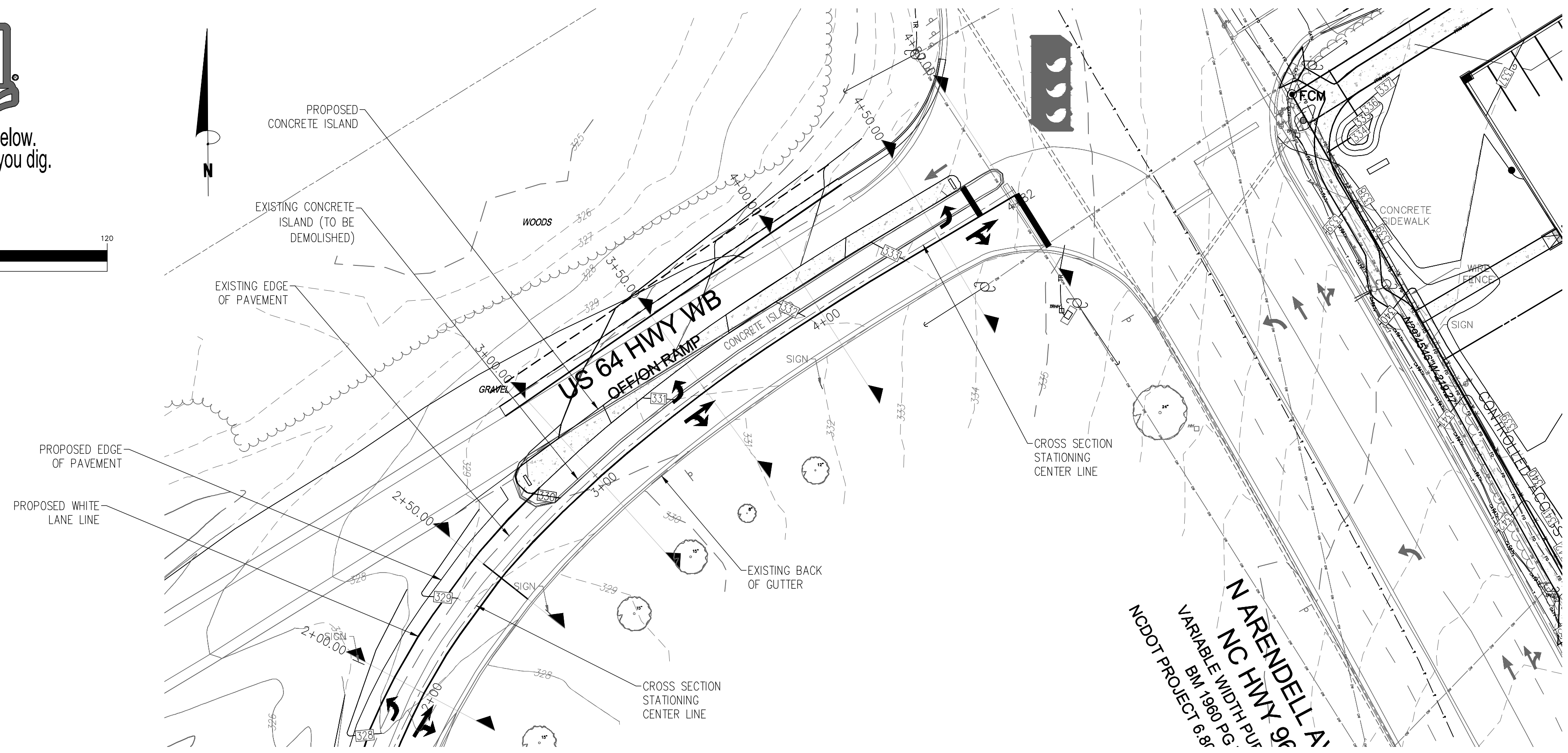


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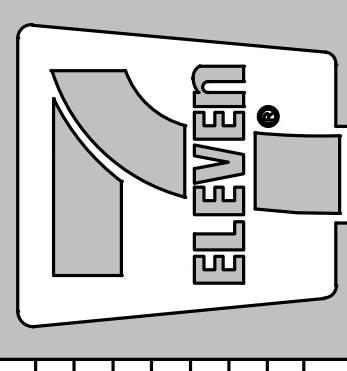
CONTRACTOR MUST GAIN AN APPROVED TRAFFIC CONTROL PLAN/RAMP CLOSURE FROM THE DISTRICT ENGINEERS OFFICE AT LEAST 2 WEEKS PRIOR TO BEGINNING WORK. THIS WORK WILL BE REQUIRED TO BE DONE AT NIGHT.

NCDOT NOTE

CONTRACTOR TO VERIFY EXISTING PAVEMENT DEPTH PRIOR TO CONSTRUCTION. REFER TO NCDOT PERMIT AND STANDARD PROVISIONS FOR REQUIREMENTS AS ADDITIONAL TESTING MAY BE REQUIRED.



Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



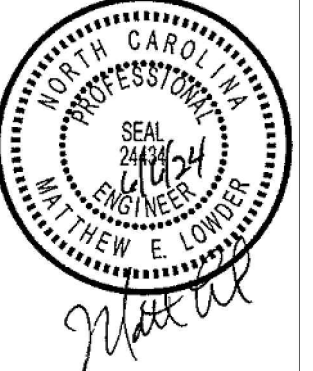
NO.	REVISION DESCRIPTION	DATE	BY	REVISION DESCRIPTION	DATE	BY
1	ISSUED FOR PERMITS	06/06/2024	BRM			
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3	REVISED	06/06/2024	BRM			
4	REVISED	06/06/2024	BRM			
5	REVISED	06/06/2024	BRM			
6	REVISED	06/06/2024	BRM			
7	REVISED	06/06/2024	BRM			
8	REVISED	06/06/2024	BRM			
9	REVISED	06/06/2024	BRM			

STORE OR BLDG NO.:
N/A
VERSION OR PROJECT ID:
N/A
DESIGN TEAM
DCNR, BRM & MCB
PM/DP: ML
RVWR: ML
ISSUE DATE: 06/06/2024
ADDRESS

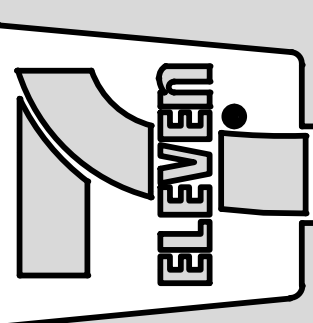
1106 N ARENDELL AVE
ZEBULON, NC 27587

SHEET TITLE
**ROADWAY
CROSS
SECTION
PROFILES**

DRWG. NO. **C3.10**



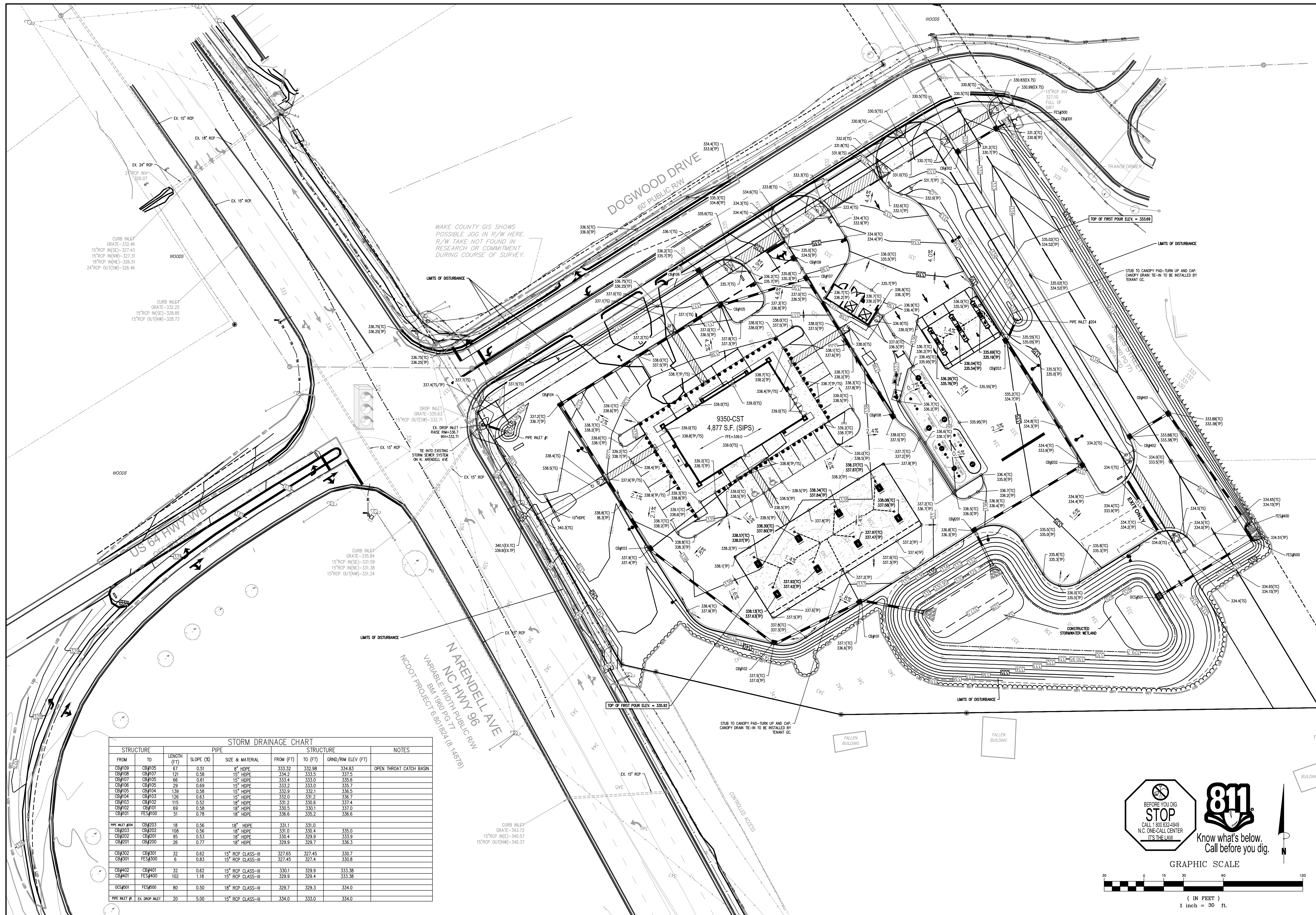
Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



NO.	DATE	REVISION DESCRIPTION
1	06/06/2024	ISSUE FOR PERMITS
2	06/06/2024	REVISED PER COMMENTS
3	06/06/2024	REVISED PER COMMENTS
4	06/06/2024	REVISED PER COMMENTS
5	06/06/2024	REVISED PER COMMENTS
6	06/06/2024	REVISED PER COMMENTS
7	06/06/2024	REVISED PER COMMENTS
8	06/06/2024	REVISED PER COMMENTS
9	06/06/2024	REVISED PER COMMENTS
10	06/06/2024	REVISED PER COMMENTS

STORE OR BLDG NO.:
N/A
VERSION OR PROJECT ID:
N/A
DESIGN TEAM:
DGNR, BRM & MCB
P/M, D.P. ML
R/VWR, ML
ISSUE DATE: 06/06/2024
ADDRESS:
1106 N ARENDELL AVE
ZEBULON, NC 27587

SHEET TITLE:
GRADING & DRAINAGE PLAN
DRWG. NO.:
C4.0

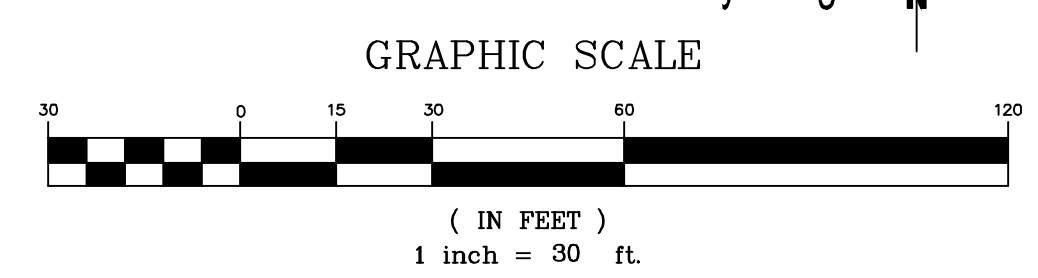


WAKE COUNTY GIS SHOWS POSSIBLE JOG IN R/W HERE. R/W TAKE NOT FOUND IN RESEARCH OR COMMITMENT DURING COURSE OF SURVEY.

N ARENDELL AVE
NC HWY 96
VARIABLE WIDTH PUBLIC R/W
BM 1990 LG 77
NCDOT PROJECT 801024 (8-14878)

STORM DRAINAGE CHART

STRUCTURE	PIPE	STRUCTURE	NOTES		
FROM	TO	FROM (FT)	TO (FT)	GRD./RIM ELEV (FT)	
CB#109	CB#105	333.32	332.98	334.83	OPEN THROAT CATCH BASIN
CB#108	CB#107	334.2	333.5	337.5	
CB#107	CB#105	333.4	333.0	335.6	
CB#106	CB#105	333.2	333.0	335.7	
CB#105	CB#104	332.9	332.1	336.5	
CB#104	CB#103	332.0	331.2	336.7	
CB#103	CB#102	331.2	330.6	337.4	
CB#102	CB#101	330.5	330.1	337.0	
CB#101	FES#100	336.6	335.2	336.6	
PIPE INLET #204	CB#203	331.1	331.0	331.0	
CB#203	CB#202	331.0	330.4	335.0	
CB#202	CB#201	330.4	329.9	333.9	
CB#201	CB#200	329.9	329.7	336.3	
CB#200	CB#301	327.65	327.45	330.7	
CB#301	FES#300	327.45	327.4	330.8	
CB#402	CB#401	330.1	329.9	333.38	
CB#401	FES#400	329.9	329.4	333.38	
DCS#501	FES#500	329.7	329.3	334.0	
PIPE INLET #1	EX. DROP INLET	334.0	333.0	334.0	



GRADING NOTES:

- REFER TO THE SITE PLAN FOR RELATED NOTES.
- ALL CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES.
- ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK, AND THIS MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUND BREAKING.
- THE CONTRACTOR SHALL IMMEDIATELY REPORT TO OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
- LIMITS OF CLEARING SHOWN ON GRADING PLAN ARE BASED UPON THE APPROXIMATE CUT AND FILL SLOPE LIMITS, OR OTHER GRADING REQUIREMENTS.
- THE PROPOSED CONTOURS SHOWN IN DRIVES AND PARKING LOTS AND SIDEWALKS ARE FINISHED ELEVATIONS INCLUDING ASPHALT. REFER TO PAVEMENT CROSS SECTION DATA TO ESTABLISH CORRECT SUBBASE OR AGGREGATE BASE COURSE ELEVATIONS TO BE COMPLETED UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE SO THAT RUNOFF WILL DRAIN BY GRAVITY FLOW ACROSS NEW PAVEMENT AREAS TO NEW OR EXISTING DRAINAGE INLETS OR SHEET OVERLAND.
- ANY GRADING, BEYOND THE LIMITS OF CONSTRUCTION AS SHOWN ON THE GRADING PLAN, IS PROHIBITED.
- LAND DISTURBANCE WITHOUT AN APPROVED ESC PLAN IS PROHIBITED.
- STABILIZATION IS THE BEST FORM OF EROSION CONTROL. TEMPORARY SEEDING IS NECESSARY TO ACHIEVE EROSION CONTROL ON DENUDEED AREAS AND ESPECIALLY WHEN THE CONSTRUCTION SEQUENCE REQUIRES IT.
- ALL GRADED AREAS ARE TO BE STABILIZED (SEEDED OR LANDSCAPED) WITHIN 14 DAYS OF HAVING REACHED FINAL GRADE.
- EXISTING GRADES, CONTOURS, UTILITIES AND OTHER EXISTING FEATURES FROM FIELD RUN SURVEY.
- THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ANY DEWATERING NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHEETING, SHORING, BRACING AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THESE DRAWINGS. THE DESIGN ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE DESIGN(S) TO INSTALL SAID ITEMS.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATION, ELEVATION, AND DIMENSIONS OF EXIT DOORS, RAMPS, BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL FILL MATERIALS, EXISTING BUILDING FOUNDATIONS, PAVEMENT AND UTILITY STRUCTURES, TOPSOIL, AND ANY OTHER DELETERIOUS MATERIALS SHALL BE COMPLETELY REMOVED FROM WITHIN THE BEARING ZONE BELOW THE STRUCTURE.
- ALL FOUNDATION EXCAVATION SHALL BE INSPECTED BY A QUALIFIED GEOTECHNICAL REPRESENTATIVE TO DETERMINE WHETHER UNSUITABLE MATERIAL MUST BE REMOVED. ALL UNSUITABLE MATERIAL SHALL BE REMOVED, BACKFILLED AND COMPACTED AS REQUIRED BY THE GEOTECHNICAL REPRESENTATIVE.
- ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED OR DEPICTED.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.

DRAINAGE NOTES:

- A MINIMUM GRADE OF 0.50 % SHALL BE MAINTAINED ON ALL PIPES, UNLESS OTHERWISE NOTED.
- PIPE LENGTHS AND SLOPES INDICATED ON THE PLANS ARE APPROXIMATE ONLY.
- UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA:
 - A. NO MORE THAN 500 LF OF TRENCH MAY BE OPENED AT ONE TIME.
 - B. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
 - C. EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.
 - D. MATERIAL USED FOR BACK-FILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION.
 - E. RESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL REGULATIONS.
 - F. APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.
- CATCH BASINS, MANHOLES, FRAMES, GRATES, ETC. SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE TOWN OF ZEBULON STANDARD DRAWINGS AND SPECIFICATIONS.
- ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
- STORM PIPE SHALL BE AS FOLLOW UNLESS OTHERWISE NOTED:
 - TYPE 1: RCP, CLASS III PER ASTM C-76, WITH FLEXIBLE PLASTIC BITUMEN GASKETS AT JOINTS.
 - TYPE 2: HIGH DENSITY POLYETHYLENE PIPE (HDPE) – AASHTO DESIGNATION M252 TYPE S, M294 TYPE S AND MP7-97 TYPE S, SMOOTH INTERIOR/ANNUAL EXTERIOR. ONLY PERMITTED WHEN SPECIFICALLY INDICATED ON THE CONSTRUCTION DRAWINGS. PIPE SHALL BE INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER'S INSTALLATION GUIDELINES. PIPE JOINTS AND FITTINGS SHALL BE WATERTIGHT.
- ALL STORM DRAINAGE WITHIN THE PUBLIC ROADS SHALL BE CLASS III REINFORCED CONCRETE PIPE UNLESS OTHERWISE NOTED.
- EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE SILT AND DEBRIS.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUDED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- PRECAST STRUCTURES MAYBE USED AT CONTRACTORS OPTION.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
- STRUCTURE TOP ELEVATIONS SHOWN HERE ARE APPROXIMATE. CONTRACTOR SHALL ADJUST AS NECESSARY.
- RIM ELEVATIONS AS NOTED ARE TO THE GUTTER FLOW LINE.

NO.	REVISION DESCRIPTION	DATE	BY	REVISION DESCRIPTION
1	WAKE COUNTY REVIEW	02/22/23		
2	TOWN OF ZEBULON REVIEW			
3	TOWN OF ZEBULON REVIEW			
4	TOWN OF ZEBULON REVIEW			
5	TOWN OF ZEBULON REVIEW			
6	TOWN OF ZEBULON REVIEW			
7	TOWN OF ZEBULON REVIEW			
8	TOWN OF ZEBULON REVIEW			
9	TOWN OF ZEBULON REVIEW			
10	TOWN OF ZEBULON REVIEW			

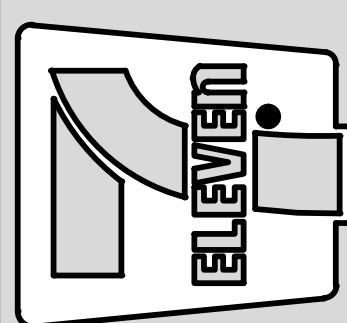
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS



GRAPHIC SCALE
 (IN FEET)
 1 inch = 50 ft.



Crosland Southeast
7-Eleven Store #42378
 Zebulon, NC
 WAKE COUNTY



NO.	REVISION DESCRIPTION	DATE	BY	REVISION DESCRIPTION
1	WAKE COUNTY REVIEW	02/22/23		
2	TOWN OF ZEBULON REVIEW			
3	TOWN OF ZEBULON REVIEW			
4	TOWN OF ZEBULON REVIEW			
5	TOWN OF ZEBULON REVIEW			
6	TOWN OF ZEBULON REVIEW			
7	TOWN OF ZEBULON REVIEW			
8	TOWN OF ZEBULON REVIEW			
9	TOWN OF ZEBULON REVIEW			
10	TOWN OF ZEBULON REVIEW			

STORE OR BLDG NO.:
 N/A
 VERSION OR PROJECT ID:
 N/A
 DESIGN TEAM
 DGNR: BRM & MCB
 PM/DP: ML
 RVWR: ML
 ISSUE DATE: 06/06/2024
 ADDRESS
 1106 N ARENDELL AVE
 ZEBULON, NC 27587

SHEET TITLE
GRADING & DRAINAGE NOTES

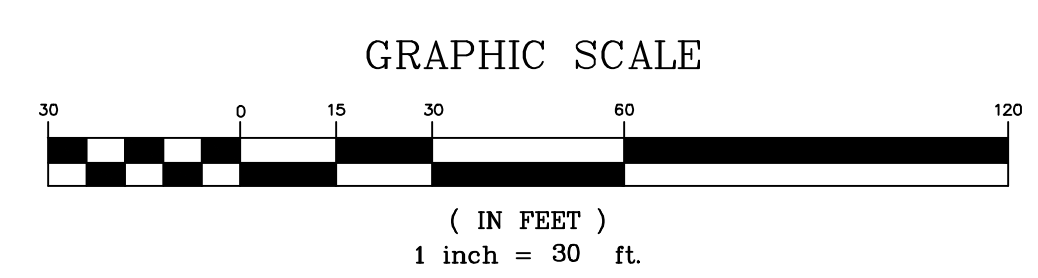
DRWG. NO.
C4.1



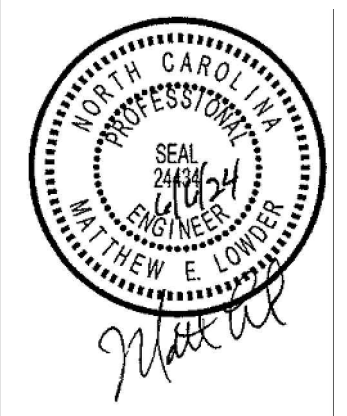
CUT/FILL REPORT

Volume Summary							
Name	Type	Cut Factor	Fill Factor	2d Area (Sq. Ft.)	Cut (Cu. Yd.)	Fill (Cu. Yd.)	Net (Cu. Yd.)
CUT-FILL	fill	1.00	1.15	168845.47	6104.29	9645.98*	3541.68*
Totals				2d Area (Sq. Ft.)	Cut (Cu. Yd.)	Fill (Cu. Yd.)	Net (Cu. Yd.)
Total				168845.47	6104.29	9645.98*	3541.68*

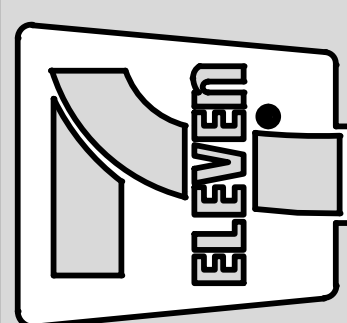
* Value adjusted by cut or fill factor other than 1.0



Bowman
Bowman North Carolina Ltd.
4000 S. I-85
Raleigh, NC 27609
Phone: (919) 553-6570
bowman.com
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Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY

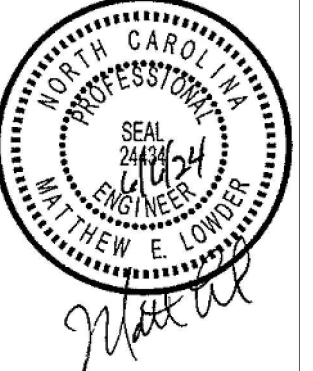


NO.	DATE	REVISION DESCRIPTION	BY	CHKD.
1	06/06/2024	ISSUE FOR PERMITS	ML	ML
2	06/06/2024	REVISED PER PLAN REVIEW	ML	ML
3	06/06/2024	REVISED PER TOWN OF ZEBULON REVIEW	ML	ML
4	06/06/2024	REVISED PER TOWN OF ZEBULON REVIEW	ML	ML
5	06/06/2024	REVISED PER TOWN OF ZEBULON REVIEW	ML	ML
6	06/06/2024	REVISED PER TOWN OF ZEBULON REVIEW	ML	ML
7	06/06/2024	REVISED PER TOWN OF ZEBULON REVIEW	ML	ML
8	06/06/2024	REVISED PER TOWN OF ZEBULON REVIEW	ML	ML
9	06/06/2024	REVISED PER TOWN OF ZEBULON REVIEW	ML	ML
10	06/06/2024	REVISED PER TOWN OF ZEBULON REVIEW	ML	ML

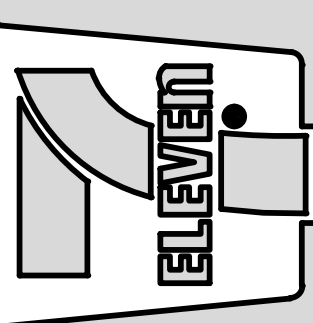
STORE OR BLDG NO.:
N/A
VERSION OR PROJECT ID:
N/A
DESIGN TEAM
DGNR: BRM & MCB
PM/DP: ML
RVWR: ML
ISSUE DATE: 06/06/2024
ADDRESS
1106 N ARENDELL AVE
ZEBULON, NC 27587

SHEET TITLE
CUT/FILL ANALYSIS PLAN

DRWG. NO.
C4.2



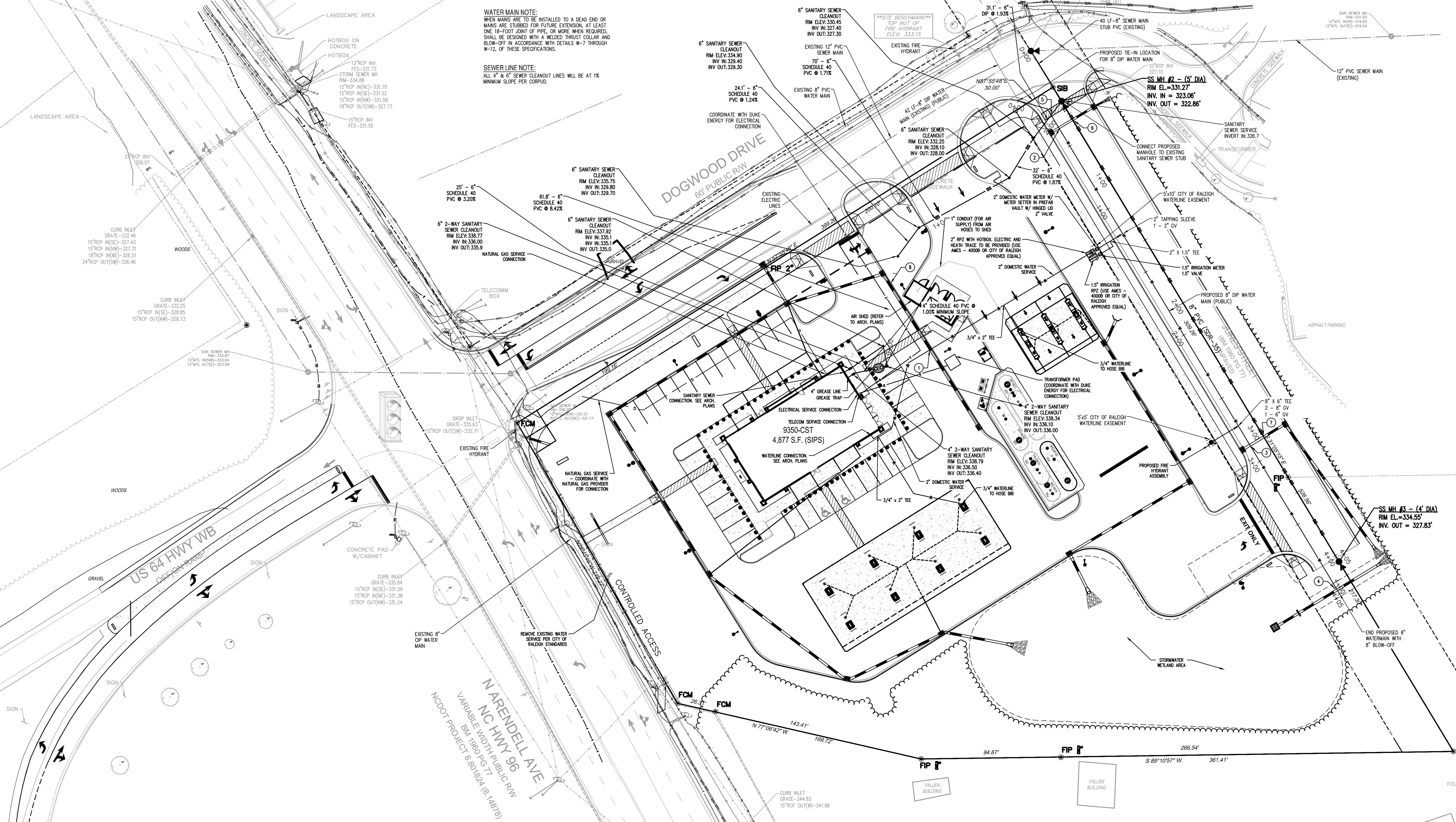
Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



NO.	DATE	REVISION DESCRIPTION
1	06/06/2024	ISSUE FOR CONSTRUCTION
2	06/06/2024	REVISED PER COMMENTS
3	06/06/2024	REVISED PER COMMENTS
4	06/06/2024	REVISED PER COMMENTS
5	06/06/2024	REVISED PER COMMENTS
6	06/06/2024	REVISED PER COMMENTS
7	06/06/2024	REVISED PER COMMENTS
8	06/06/2024	REVISED PER COMMENTS

STORE OR BLDG NO.:	N/A
VERSION OR PROJECT ID:	N/A
DESIGN TEAM:	DGNR, BRM & MCB
PM/DP:	ML
R/VWR:	ML
ISSUE DATE:	06/06/2024
ADDRESS:	1106 N ARENDELL AVE ZEBULON, NC 27587

SHEET TITLE
UTILITY PLAN
DRWG. NO.
C5.0



CROSSING #	SHALLOWER PIPE SIZE & MATERIAL	DEEPER PIPE SIZE & MATERIAL	SHALLOWER PIPE INVERT AT CROSSING	DEEPER PIPE INVERT AT CROSSING	NOTES
1	15" HDPE	2" PVC	333.8	332.1	STORM PIPE ABOVE WATER SERVICE
2	15" RCP	8" DIP	327.6	324.4	STORM PIPE ABOVE WATER MAIN
3	15" RCP	8" DIP	330.1	327.9	STORM PIPE ABOVE WATER MAIN
4	18" RCP	8" DIP	329.5	327.1	STORM PIPE ABOVE WATER MAIN
5	6" DIP	8" DIP	326.9	324.7	SEWER SERVICE ABOVE WATER MAIN
6	15" RCP	8" PVC	327.6	323.3	STORM PIPE ABOVE SEWER MAIN
7	15" RCP	8" PVC	330	326.5	STORM PIPE ABOVE SEWER MAIN
8	15" HDPE	6" PVC	333.6	331.3	STORM PIPE ABOVE SEWER SERVICE

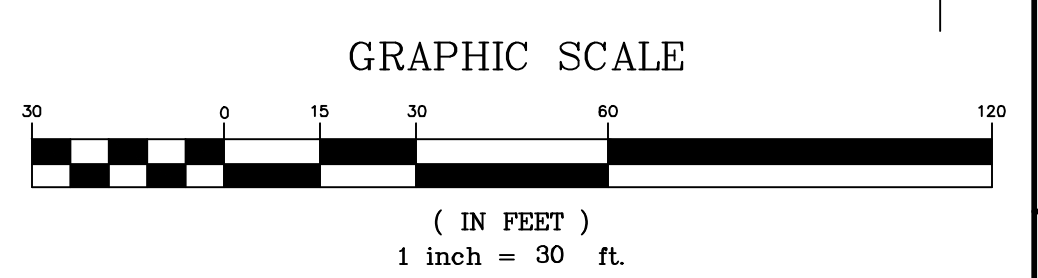
*CALLOUT USED TO SIGNIFY CROSSING LOCATIONS: (X)



PUBLIC Water Distribution/Extension System
The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.
City of Raleigh
Public Utilities Department Permit # W-4087
Authorization to Construct See digital signature

PUBLIC Sewer Collection/Extension System
The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.
City of Raleigh
Public Utilities Department Permit # S-5404
Authorization to Construct See digital signature

ATTENTION CONTRACTORS
The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.
Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines and require reinstatement of any water or sewer facilities not inspected as a result of this notification failure.
Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.



Project Water System Data:

- 1. Are the total # domestic water services ≥ 15, OR the total # people served ≥ 25? Yes/No
2. Type of development? (select one)
- Commercial property
- Residential Condom or Townhomes
- Residential Apartments
3. NOTE: permitting by City of Raleigh on projects having ≥ 15 domestic water services, OR serving ≥ 25 people, requires Developer NOT to re-sell water (or must have a WR designation from NCUC for Apartment projects only)

UTILITY NOTES:

- 1. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH CITY OF RALEIGH STANDARD DRAWINGS AND SPECIFICATIONS.
2. IN THE EVENT THAT A UTILITY ITEM IS NOT COVERED BY THESE PLANS, THEN THE STANDARDS AND SPECIFICATIONS CONTAINED IN THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT HANDBOOK COVERING SUCH ITEMS SHALL APPLY.
3. WATER SERVICES 3/4-INCH TO 2-INCH SHALL BE TYPE "C" SOFT COPPER, ALL OTHER WATER MAINS, SERVICES, AND FITTINGS SHALL BE CEMENT-LINED DUCTILE IRON PIPE PER CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
4. GRAVITY SANITARY SEWER MAINS SHALL BE DUCTILE IRON PIPE OR PVC PIPE, AS SPECIFIED IN THESE PLANS AND CITY OF RALEIGH STANDARDS AND SPECIFICATIONS. SANITARY SEWER SERVICES SHALL BE SCHEDULE 40 PVC.
5. CLEAN-OUT SYMBOLS SHOWN ON THESE PLANS REPRESENT LOCATION OF SURFACE ACCESS POINT. CONTRACTOR SHALL LOCATE WYE APPROPRIATELY BASED ON PIPE DEPTH.
6. ALL MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS. MANHOLE DIAMETER SHALL VARY DEPENDING ON PIPE DIAMETER AND DEPTH, PER CITY OF RALEIGH STANDARDS.
7. LOCATIONS AND SIZES OF EXISTING UTILITIES SHOWN ON THESE PLANS WERE TAKEN FROM MAPS PREPARED BY OTHERS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR FIELD LOCATING ALL UTILITIES AND FOR DAMAGES RESULTING FROM FAILURE TO DO SO.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING RECORD DRAWINGS TO THE ENGINEER SHOWING THE LOCATION OF WATER AND SEWER SERVICES AND ANY DEVIATIONS FROM PLANS MADE DURING CONSTRUCTION. THE ENGINEER WILL PROVIDE THESE RECORD DRAWINGS TO THE OWNER.
9. WATER MAINS SHALL HAVE A MINIMUM COVER OF 36" BELOW PROPOSED GRADE.
10. ALL UNDERGROUND UTILITIES AND FIRE HYDRANTS MUST BE FUNCTIONALLY APPROVED PRIOR TO STRUCTURAL CONSTRUCTION.
11. THRUST BLOCKS SHALL BE PROVIDED AT ALL BENDS, TEES, AND FIRE HYDRANTS.
12. DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE OR FITTING.
13. ALL WATER AND SANITARY LEADS TO BUILDING SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT END.
14. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
15. GENERAL CONTRACTOR SHALL HAVE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THIS SYSTEM PRIOR TO INSTALLATION.
16. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
17. CONTRACTOR SHALL NOTIFY THE WATER AUTHORITY INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
18. ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 24" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
19. PRESSURE REDUCING VALVES WILL BE REQUIRED ON THE DOMESTIC WATER MAINS IF THE STATIC PRESSURE AT THE BUILDING EXCEEDS 80PSI.
20. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING. THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCING AS REQUIRED TO PROVIDE A MINIMUM OF 24" CLEARANCE. MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
21. DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
22. CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF RALEIGH WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
23. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES OR UTILITIES BY OTHERS AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
24. ALL CONSTRUCTION METHODS & MATERIALS SHALL CONFORM WITH THE CURRENT SPECIFICATIONS AND STANDARDS OF THE AMERICAN WATER WORKS ASSOCIATION (AWWA). THE AWWA CONSTRUCTION STANDARDS ARE SET FORTH IN THEIR CONSTRUCTION SPECIFICATIONS AND STANDARD FOR WATER AND SANITARY SEWERAGE FACILITIES, A COPY OF WHICH MUST BE PURCHASED FROM THE AWWA BY THE CONTRACTOR AND KEPT AT THE JOB SITE AT ALL TIMES. REFERENCE TO NDOT SHALL MEAN THE CURRENT STANDARDS AND/OR SPECIFICATIONS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION.
25. THE CONTRACTOR SHALL BE REQUIRED TO EXCAVATE BELOW PLAN GRADE ANY MATERIALS WHICH ARE UNSUITABLE FOR FOUNDATIONS, SUB GRADES, PIPE TRENCH BOTTOMS OR OTHER PURPOSES AND BACKFILL THESE AREAS WITH AN APPROVED MATERIAL. THE EXTENT OF UNDERCUTTING AND BACKFILLING SHALL BE DETERMINED BY THE CITY OF RALEIGH AS TO AREAS WITHIN STREET RIGHT-OF-WAY AND THE ENGINEER IN OTHER AREAS. COMPENSATION SHALL BE AS SET FORTH IN THE CONTRACT DOCUMENTS.
26. A MINIMUM VERTICAL SEPARATION OF 24" SHALL BE MAINTAINED BETWEEN SANITARY SEWER & WATER LINES AND A FULL JOINT OF WATER LINE PIPE SHALL BE CENTERED WHERE WATER LINE CROSSES OVER SANITARY SEWER. WHERE CLEARANCE IS LESS THAN 18" BUT GREATER THAN 12", SANITARY SEWER SHALL BE PRESSURE TESTED DUCTILE IRON PIPE 10" FROM WATER-MAN. WHEN WATER LINE CROSSES UNDER SANITARY SEWER, 18" MINIMUM CLEARANCE MUST BE MAINTAINED, AND SANITARY SEWER SHALL BE PRESSURE TESTED DUCTILE IRON PIPE 10" FROM WATER-MAN.
27. ALL WATERLINES SHALL HAVE BURIED WITH THE PIPE # 12 COATED ELECTRIC WIRE AND BROUGHT UP INTO THE METER BOXES.
28. THE CONTRACTOR SHALL PROVIDE A SURVEY AS-BUILT RECORD DRAWING OF THE SANITARY SEWER SYSTEM AND THE WATER DISTRIBUTION SYSTEM IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF RALEIGH UTILITY DEPARTMENT.

FIRE PROTECTION NOTE

THE PROPOSED BUILDING WILL NOT HAVE A FIRE SPRINKLER SYSTEM

UTILITY NOTE

THE ESTIMATED WATER USAGE FOR THIS SITE IS _____ GPD BASED ON

METER NOTE:

CONTRACTOR TO CONTACT CITY OF RALEIGH METERS DIVISION FOR METER LAYOUT AND ADDRESSING.

HYDRANT NOTE:

ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND SHALL BE EQUIPPED WITH A 5 INCH STORZ CONNECTION.

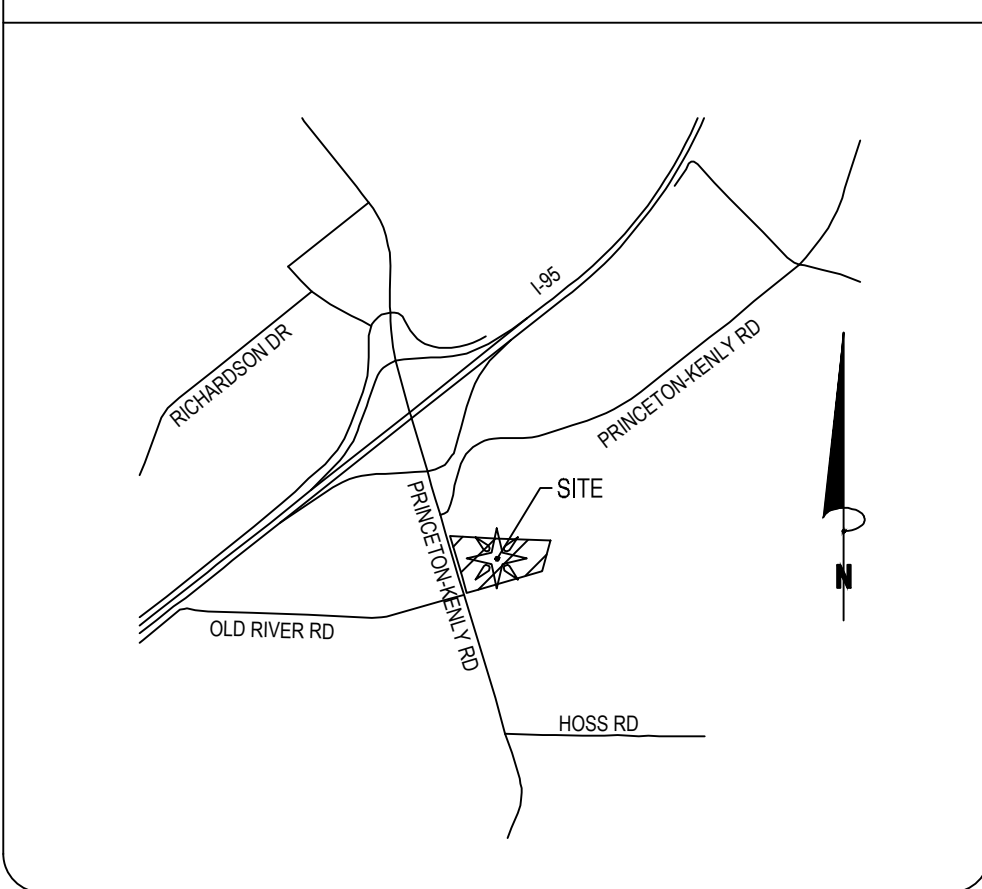
FIRE NOTE:

ELECTRICAL CIRCUIT AND FIRE ALARM CIRCUIT REQUIRED FOR FIRE LINE HOT BOX

UTILITY NOTE:

THERE SHALL BE NO CONSTRUCTION OF ANY FIRE MAINS AND NO SLAB PLACED IN THE FIRE PUMP ROOM OR SPRINKLER RISER ROOM UNTIL HYDRAULIC CALCULATIONS, FOR THE BUILDING(S) ARE SUBMITTED FOR REVIEW AND SUBSEQUENT APPROVAL

VICINITY MAP



STANDARD UTILITY NOTES:

- 1. All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition)
2. Utility separation requirements:
a) A distance of 100 shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to westerline specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well.
b) When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
c) Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DP materials or steel encasement extended 10' on each side of crossing must be specified & installed to westerline specifications.
d) 3.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DP materials is specified for sanitary sewer
e) Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 18" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-41)
f) All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
3. Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction
4. Developer shall provide 30 days advance written notice to owner for any work required within an existing City of Raleigh Utility Easement traversing private property
5. Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24-hour advance notice to the City of Raleigh Public Utilities Department
6. SEWER BYPASS PUMPING - A bypass plan seeded by an NC Professional Engineer shall be provided to Raleigh Water prior to pumping operations for approval. The operations and equipment shall comply with the Public Utilities Handbook
7. 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all sewer mains.
8. It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandonment of all main & removal of service from ROW or easement per CORPUD Handbook procedure.
9. Install 2" copper* water services with meters located at ROW or within a 2x2' Waterline Easement immediately adjacent. NOTE: It is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure
10. Install 6" PVC* sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum.
11. Pressure reducing valves are required on all water services exceeding 80 psi. backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the east sidewalk curb.
12. All environmental permits applicable to the project must be obtained from NCOWA, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
13. NDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction.
14. Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the RW 100 Program Coordinator prior to issuance of a UC and/or Building Permit. Contact: (919) 996-4516 or fog@raleighnc.gov for more information.
15. Cross-connection control protection devices are required based on the degree of health hazard involved as listed in Appendix B of the Rules Governing Public Water Systems in North Carolina.
16. The devices shall meet the American Society of Sanitary Engineering (ASSE) standards and be on the University of Southern California approval list.
17. The device and installation shall meet the guidelines of Appendix A - Guidelines and Requirements for the Cross Connection Program in Raleigh's Service Area.
18. The devices shall be installed and tested (both, initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross connection control program, whichever is more stringent. Contact Cross.connection@raleighnc.gov for more information.
19. NOTICE for projects that involve an oversized main or urban main replacement. Any City reimbursement greater than \$250,000.00 must undergo the public bidding process.

UTILITY SERVICE NOTES

WATER SERVICE
GENERAL CONTRACTOR TO PROVIDE AND INSTALL A 2" WATER SERVICE LINE FROM MAIN TO BUILDING PER MUNICIPAL REQUIREMENTS.
CONTACT: CITY OF RALEIGH UTILITY DEPARTMENT
TELEPHONE: 919-857-4540

ELECTRIC SERVICE
"POWER CO." TO PROVIDE UNDERGROUND 120/208/3 PHASE SERVICE.
GENERAL CONTRACTOR TO PROVIDE AND INSTALL TWO 4" DIA. CONDUIT W/ PULL WIRE TO UTILITY COMPANY POINT OF CONNECTION.
CONTACT: PROGRESS ENERGY
TELEPHONE: 800-636-0581

TELEPHONE SERVICE
"TELEPHONE CO." TO PROVIDE NEW UNDERGROUND SERVICE. GENERAL CONTRACTOR TO PROVIDE AND INSTALL A 4" DIA. PVC CONDUIT W/ PULL WIRE FROM PHONE PANEL BOARD TO UTILITY COMPANY POINT OF CONNECTION.
CONTACT: TELEPHONE:

SANITARY SEWER
GENERAL CONTRACTOR TO PROVIDE AND INSTALL A 6" SCHEDULE 40 PVC FROM EXISTING SANITARY SEWER SYSTEM TO LAST CLEAN OUT OUTSIDE OF BUILDING. (MIN. 1% SLOPE). PROVIDE CLEAN OUTS EVERY 75' (TYPICAL).
CONTACT: CITY OF RALEIGH UTILITY DEPARTMENT
TELEPHONE: 919-857-4540

NATURAL GAS
GENERAL CONTRACTOR TO COORDINATE WITH NATURAL GAS UTILITY FOR SERVICE LINE TO PROPOSED BUILDING.
CONTACT: TELEPHONE:

CONDITION OF APPROVAL

A PLAT WILL NEED TO BE RECORDED WITH THE REGISTER OF DEEDS FOR ALL EASEMENT DEDICATIONS

PUBLIC Water Distribution/Extension System

The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # W-4937
Authorization to Construct See digital signature

PUBLIC Sewer Collection/Extension System

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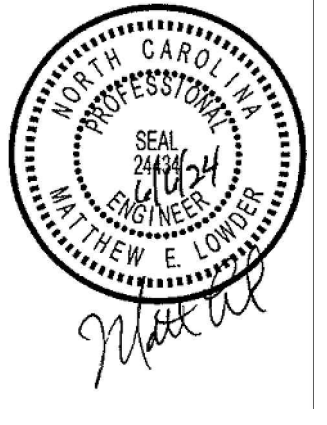
City of Raleigh
Public Utilities Department Permit # S-504
Authorization to Construct See digital signature

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Utilities Department at (919)996-4540 at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh



Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY

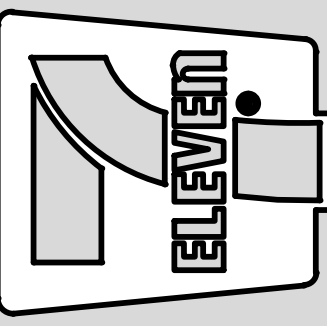


Table with columns: DATE SUBMITTED, REVISION DESCRIPTION, and rows for various review stages like WAKE COUNTY REVIEW, TOWN OF ZEBULON REVIEW, etc.

STORE OR BLDG NO.:

N/A

VERSION OR PROJECT ID:

N/A

DESIGN TEAM

DGNR, BRM & MCB

PM/DP: ML

RWR/R: ML

ISSUE DATE: 06/06/2024

ADDRESS

1106 N ARENDELL AVE

ZEBULON, NC 27587

SHEET TITLE

UTILITY NOTES

DRWG. NO.

C5.1

UTILITY SERVICE NOTES

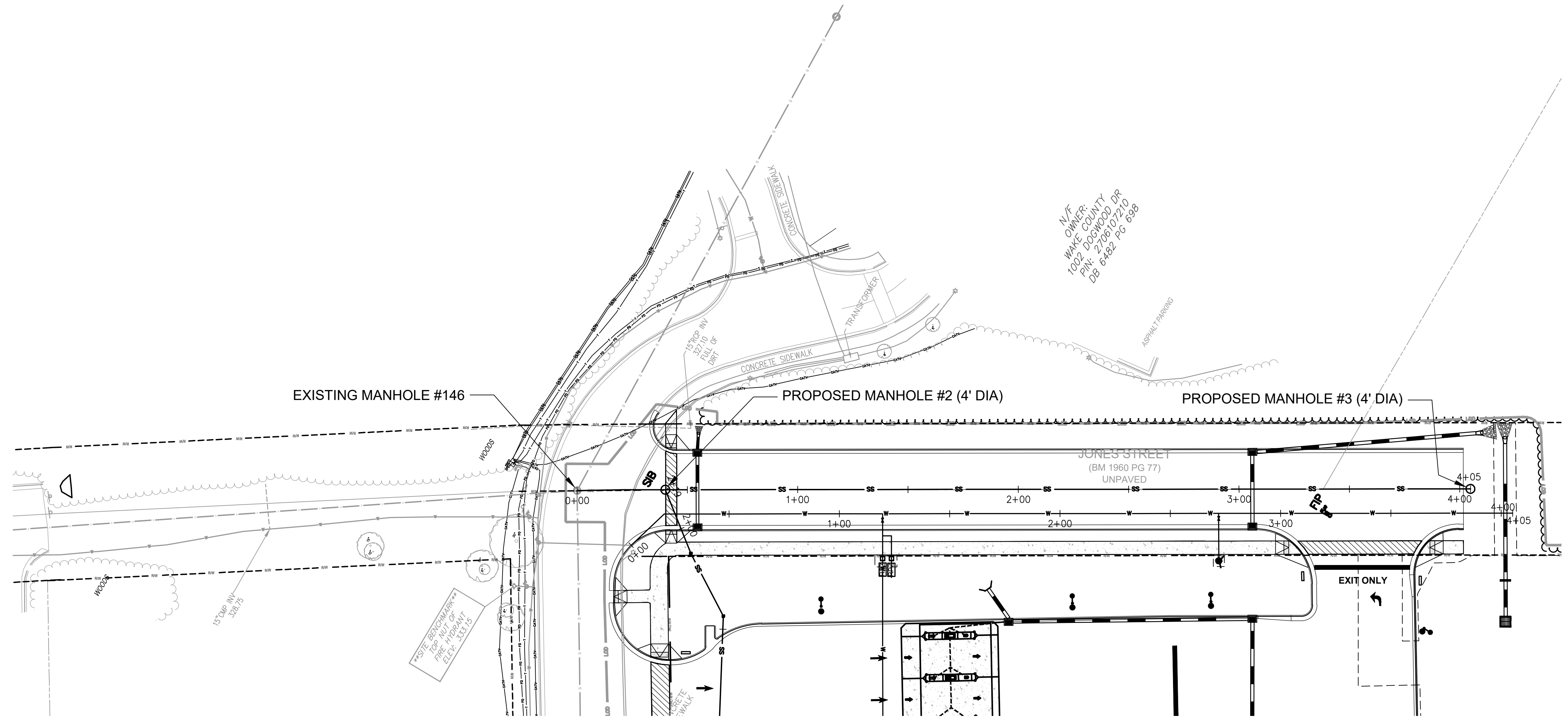
WATER SERVICE
GENERAL CONTRACTOR TO PROVIDE AND INSTALL A 2" WATER SERVICE LINE FROM MAIN TO BUILDING PER MUNICIPAL REQUIREMENTS.
CONTACT: CITY OF RALEIGH UTILITY DEPARTMENT
TELEPHONE: 919-987-4540

ELECTRIC SERVICE
*POWER CO. TO PROVIDE UNDERGROUND 120/208/3 PHASE SERVICE.
GENERAL CONTRACTOR TO PROVIDE AND INSTALL TWO 4" DIA. CONDUIT W/ FULL WIRE TO UTILITY COMPANY POINT OF CONNECTION.
CONTACT: PROGRESS ENERGY
TELEPHONE: 800-636-0581

TELEPHONE SERVICE
*TELEPHONE CO. TO PROVIDE NEW UNDERGROUND SERVICE. GENERAL CONTRACTOR TO PROVIDE AND INSTALL A 4" DIA. PVC CONDUIT W/ FULL WIRE FROM PHONE PANEL BOARD TO UTILITY COMPANY POINT OF CONNECTION.
CONTACT: TELEPHONE:
TELEPHONE:

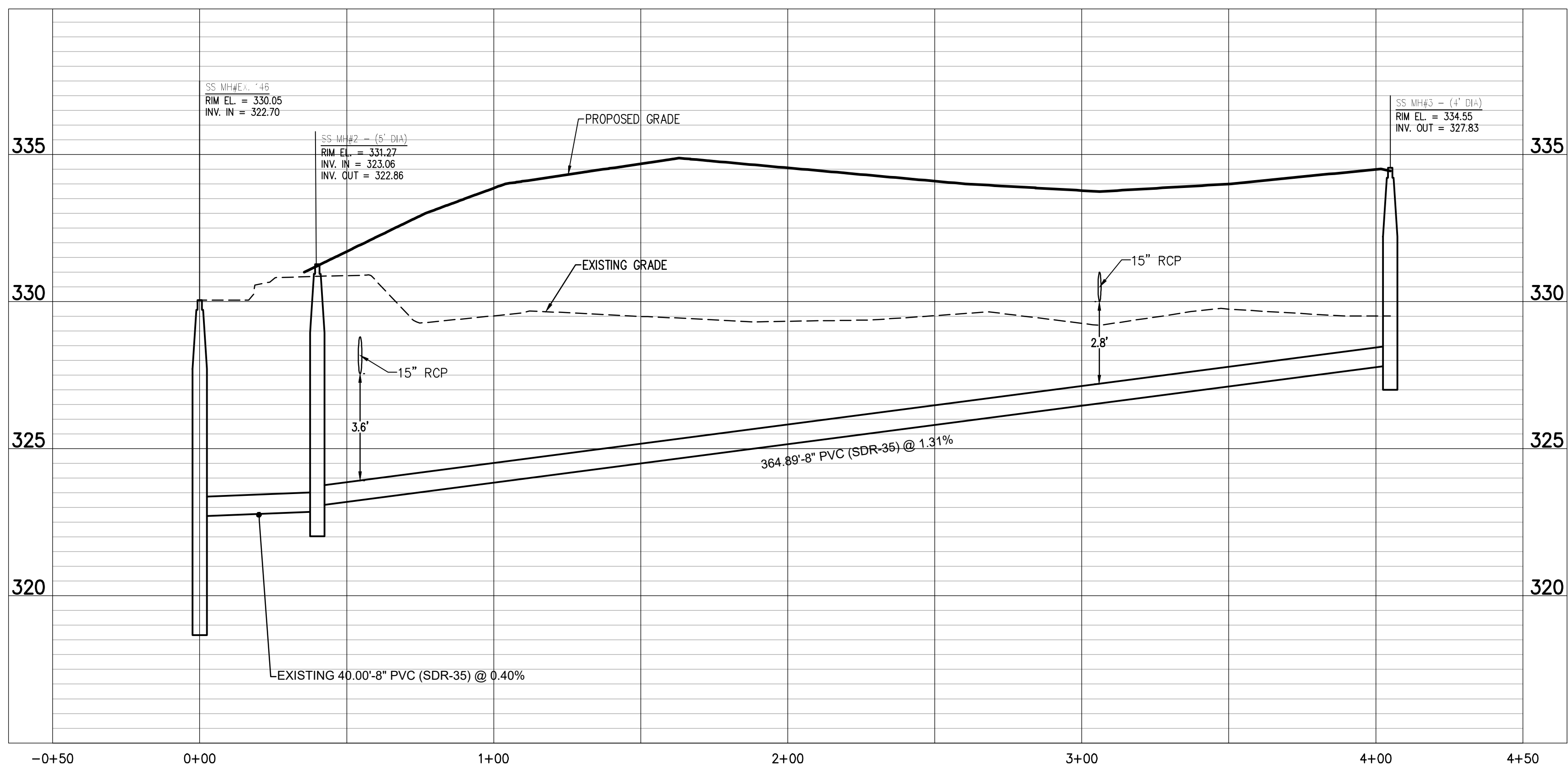
SANITARY SEWER
GENERAL CONTRACTOR TO PROVIDE AND INSTALL A 6" SCHEDULE 40 PVC FROM EXISTING SANITARY SEWER SYSTEM TO LAST CLEAN OUT OUTSIDE OF BUILDING (MIN. 1% SLOPE). PROVIDE CLEAN OUTS EVERY 75' (TYPICAL).
CONTACT: CITY OF RALEIGH UTILITY DEPARTMENT
TELEPHONE: 919-987-4540

NATURAL GAS
GENERAL CONTRACTOR TO COORDINATE WITH NATURAL GAS UTILITY FOR SERVICE LINE TO PROPOSED BUILDING.
CONTACT: TELEPHONE:



STANDARD UTILITY NOTES:

- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CURPD Handbook, current edition)
- Utility separation requirements:
 - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferruss sanitary sewer pipe shall be specified & installed to wetline specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well.
 - When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
 - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10" on each side of crossing must be specified & installed to wetline specifications.
 - 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
 - Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 18" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete grade having 6" min. clearance (per CURPD details W-41 & S-49).
 - All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
- Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.
- Developer shall provide 30 days advance written notice to owner for any work required within an existing City of Raleigh Utility Easement traversing private property.
- Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24-hour advance notice to the City of Raleigh Public Utilities Department.
- SEWER BYPASS PUMPING - A bypass pump sited by an NC Professional Engineer shall be provided to Raleigh water prior to pumping operations for approval. The operations and equipment shall comply with the Public Utilities Handbook.
- 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all sewer mains.
- It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandonment top at main & removal of service from ROW or easement per CURPD Handbook procedures.
- Install 2" copper* water services with meters located at ROW or within a 2x2' Waterline Easement immediately adjacent. NOTE: It is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.
- Install 8" RCP sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75' linear feet maximum.
- Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the main upstream manhole.
- All environmental permits applicable to the project must be obtained from NCDWM, USACE &/or FEMA for any (spoon buffer, wetland &/or floodplain impacts) prior to construction.
- NOTICE / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction.
- Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the RW DDC Program Coordinator prior to issuance of a UIC and/or Building Permit. Contact: (919) 986-4516 or log@raleighnc.gov for more information.
- Cross-connection control protection devices are required based on the degree of health hazard involved as listed in Appendix B of the Rules Governing Public Water Systems in North Carolina.
- The devices shall meet the American Society of Sanitary Engineering (ASAE) standards and be on the University of Southern California approval list.
- The device and installation shall meet the guidelines of Appendix A - Guidelines and Requirements for the Cross Connection Program in Raleigh's Service Area.
- The devices shall be installed and tested (both, initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross connection control program, whichever is more stringent. Contact: Cross.connection@raleighnc.gov for more information.
- NOTICE for projects that involve an oversized main or urban main replacement. Any City reimbursement greater than \$250,000.00 must undergo the public bidding process.



SEWER PROFILE VIEW
HORIZONTAL SCALE: 1"=30'
VERTICAL SCALE: 1"=3'

CONDITION OF APPROVAL
A PLAT WILL NEED TO BE RECORDED WITH THE REGISTER OF DEEDS FOR ALL EASEMENT DEDICATIONS

PUBLIC Water Distribution/Extension System
The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.
City of Raleigh Public Utilities Department Permit # W-4087
Authorization to Construct: See digital signature

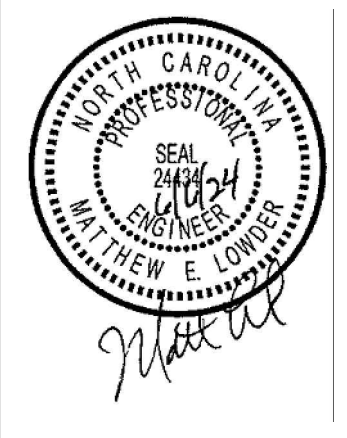
PUBLIC Sewer Collection/Extension System
The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.
City of Raleigh Public Utilities Department Permit # S-5404
Authorization to Construct: See digital signature

ATTENTION CONTRACTORS
The Construction Contractor responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for contacting the Public Utilities Department at (919)986-4540 at least **twenty four hours** prior to beginning any of their construction.
Failure to notify both City Departments in advance of beginning construction, will result in the issuance of **monetary fines** and require reinstatement of any water or sewer facilities not inspected as a result of this notification failure.
Failure to call for inspection, install a downstream plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a **Fine and Possible Exclusion** from future work in the City of Raleigh.

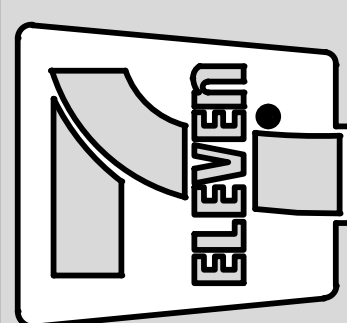
811
Know what's below. Call before you dig.

STOP
BEFORE YOU DIG
CALL 1 800 632-4949
N.C. ONE-CALL CENTER
IT'S THE LAW

GRAPHIC SCALE
0 25 100 200
(IN FEET)
1 inch = 50 ft.



Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



DATE	REVISION DESCRIPTION	DATE	REVISION DESCRIPTION
11/11/22	WAKE COUNTY REVIEW	11/11/22	WAKE COUNTY REVIEW
11/11/22	TOWN OF ZEBULON REVIEW	11/11/22	TOWN OF ZEBULON REVIEW
11/11/22	TOWN OF ZEBULON REVIEW	11/11/22	TOWN OF ZEBULON REVIEW
11/11/22	NOTICE REVIEW	11/11/22	NOTICE REVIEW
11/11/22	NOTICE REVIEW	11/11/22	NOTICE REVIEW

STORE OR BLDG NO.: N/A
VERSION OR PROJECT ID: N/A
DESIGN TEAM: DGNR, BRM & MCB
PM/DP: MIL
RW/R: MIL
ISSUE DATE: 06/02/2024
ADDRESS: 1106 N ARENDELL AVE, ZEBULON, NC 27587
SHEET TITLE: SEWER PLAN AND PROFILE
DRWG. NO.: C5.2

UTILITY SERVICE NOTES

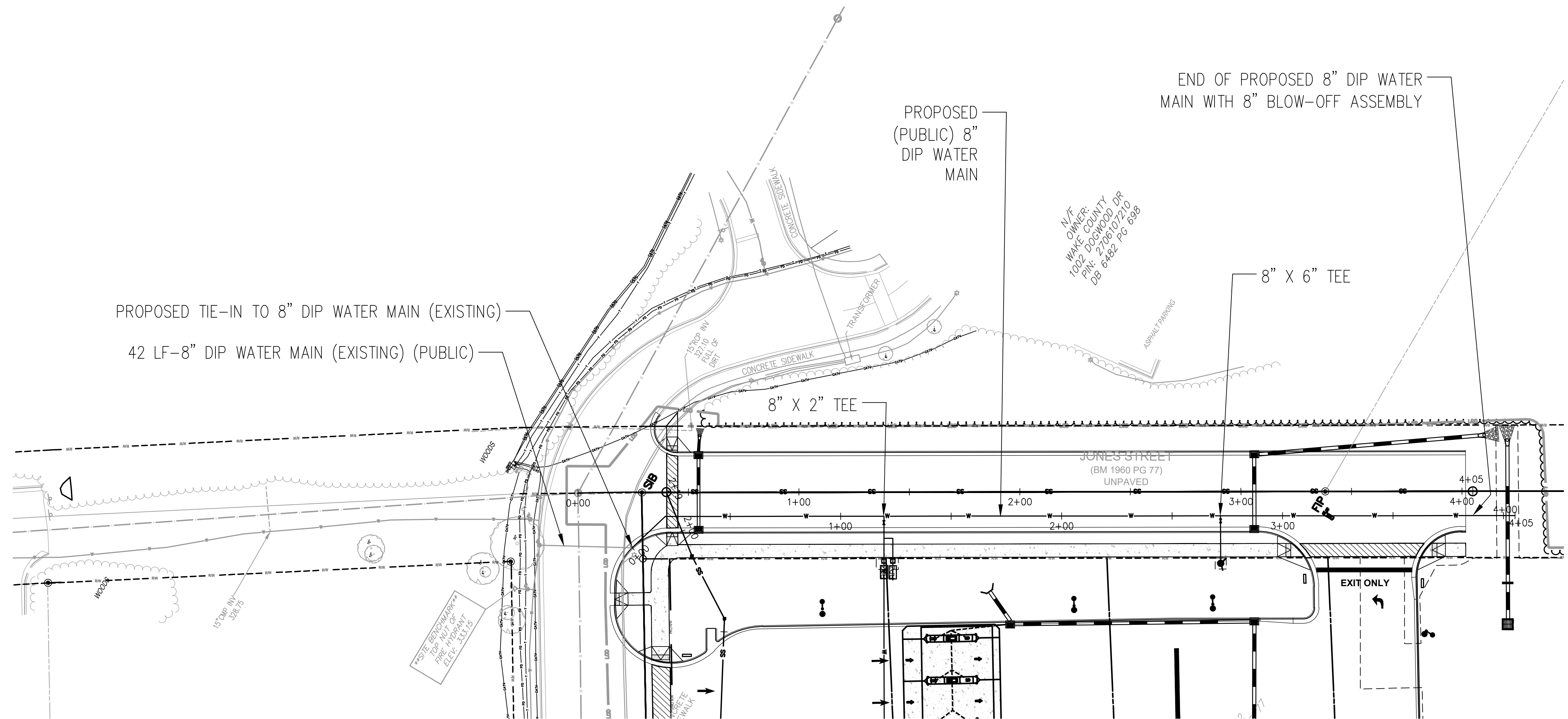
WATER SERVICE
GENERAL CONTRACTOR TO PROVIDE AND INSTALL A 1" WATER SERVICE LINE FROM MAIN TO BUILDING PER MUNICIPAL REQUIREMENTS.
CONTACT: CITY OF RALEIGH UTILITY DEPARTMENT
TELEPHONE: 919-857-4540

ELECTRIC SERVICE
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CONTACT: PROGRESS ENERGY
TELEPHONE: 800-636-0581

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GENERAL CONTRACTOR TO COORDINATE WITH NATURAL GAS UTILITY FOR SERVICE LINE TO PROPOSED BUILDING.
CONTACT: TELEPHONE:



STANDARD UTILITY NOTES:

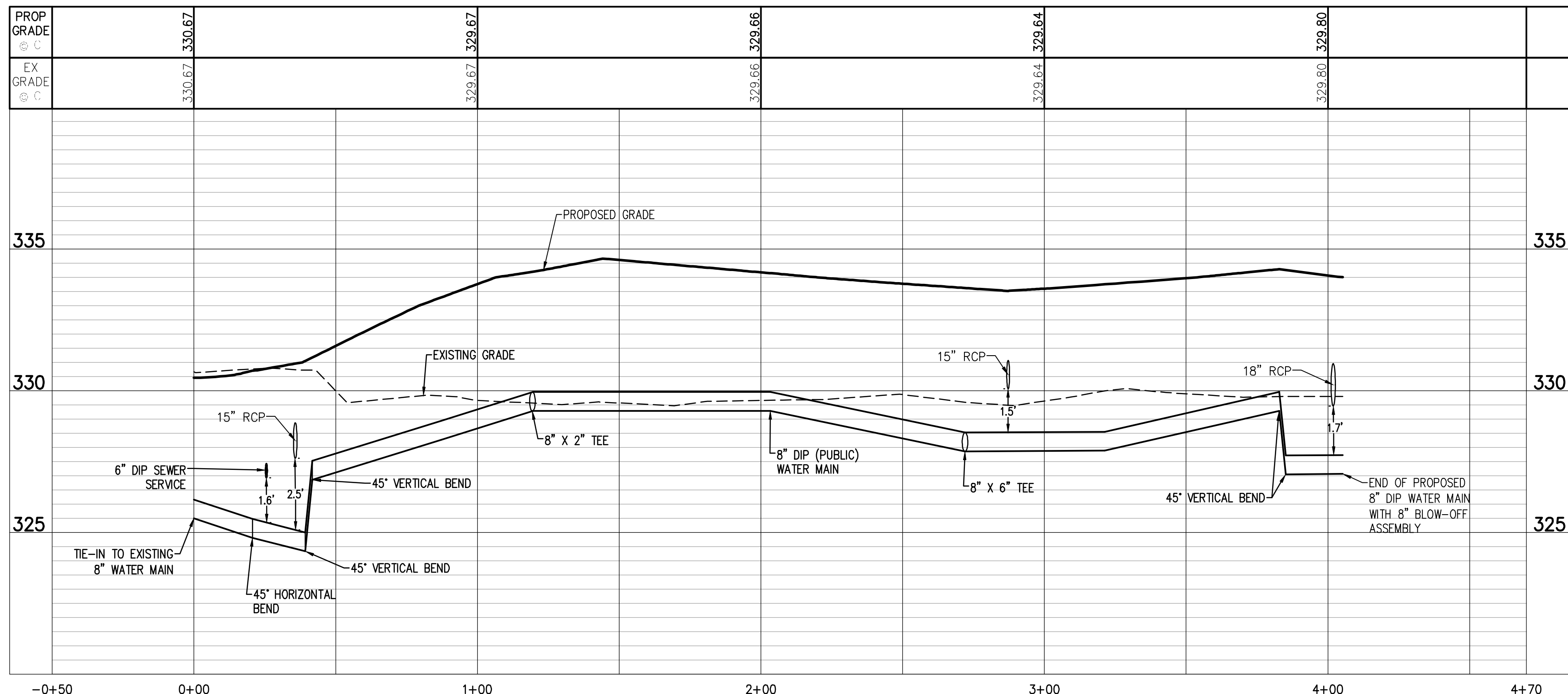
- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition).
- Utility separation requirements:
- A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to waterline specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well.
- When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed in the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
- Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DP materials or steel encasement extended 10' on each side of crossing must be specified & installed to waterline specifications.
- 5.0 minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DP material is specified for sanitary sewer.
- Maintain 18" min. vertical separation of all watermain & RCP storm drain crossings; maintain 18" min. vertical separation of all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DP materials & a concrete grade having 6" min. clearance (per CORPUD details W-41 & S-49).
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- NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service tops) within state or railroad ROW prior to construction.
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City of Raleigh Public Utilities Department Permit # W-4087
Authorization to Construct See digital signature

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Authorization to Construct See digital signature

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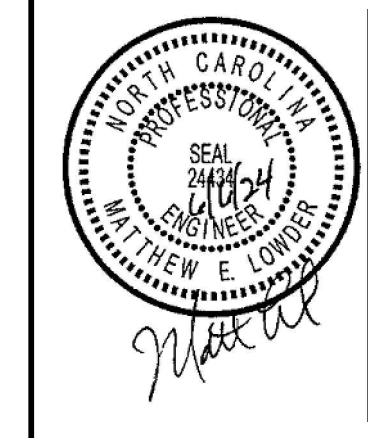


WATER MAIN PROFILE VIEW
HORIZONTAL SCALE: 1"=30'
VERTICAL SCALE: 1"=3'

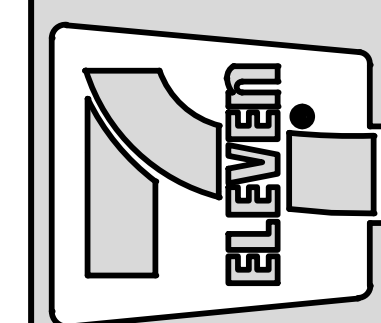
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Know what's below. Call before you dig.

BEFORE YOU DIG STOP
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GRAPHIC SCALE
0 25 50 100 150 200
(IN FEET)
1 inch = 50 ft.

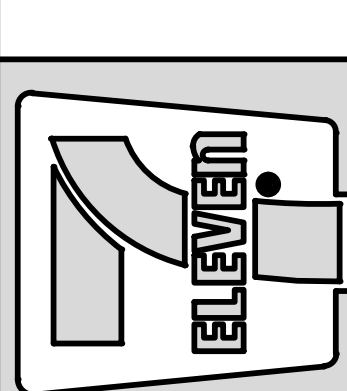
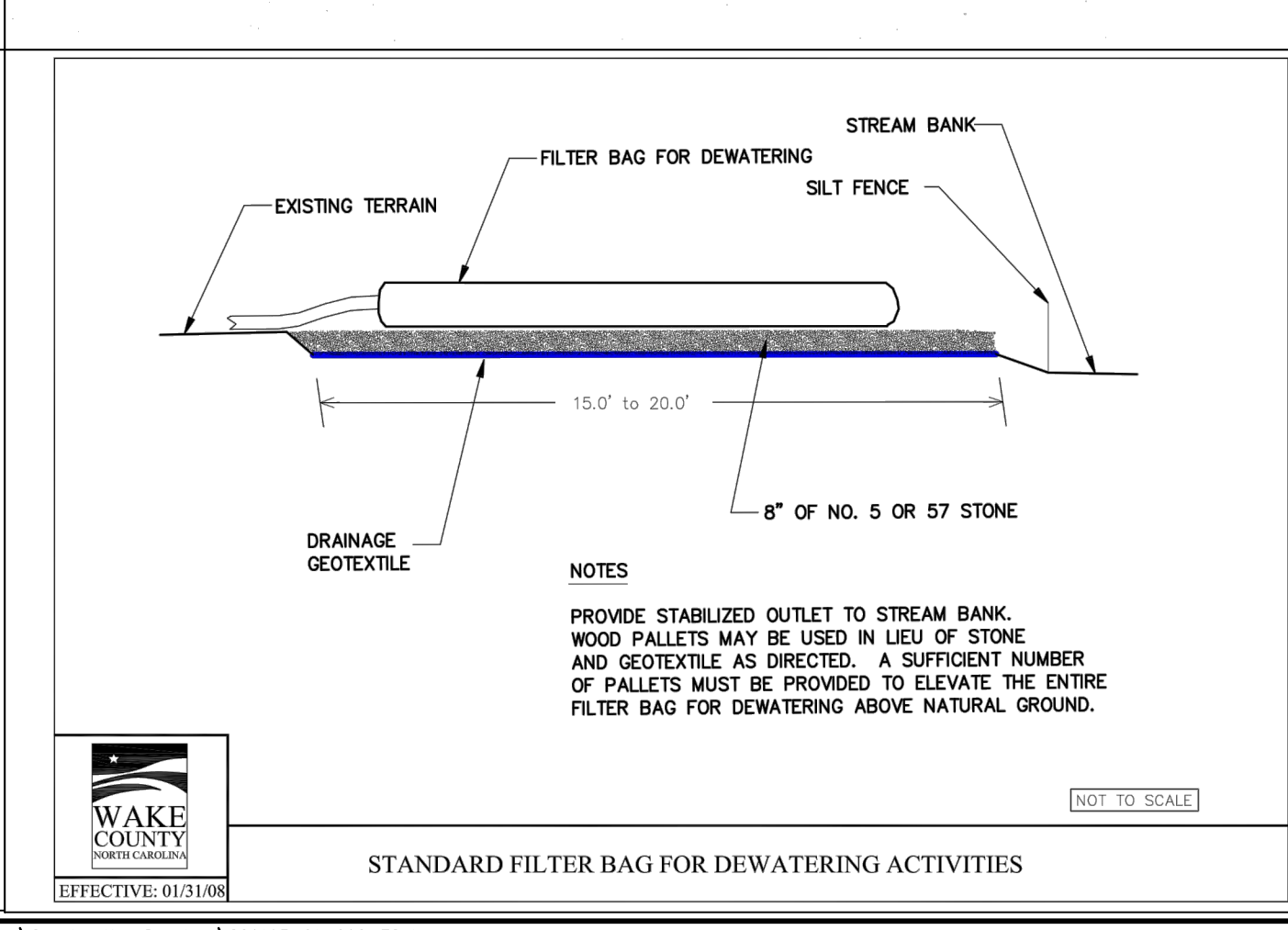
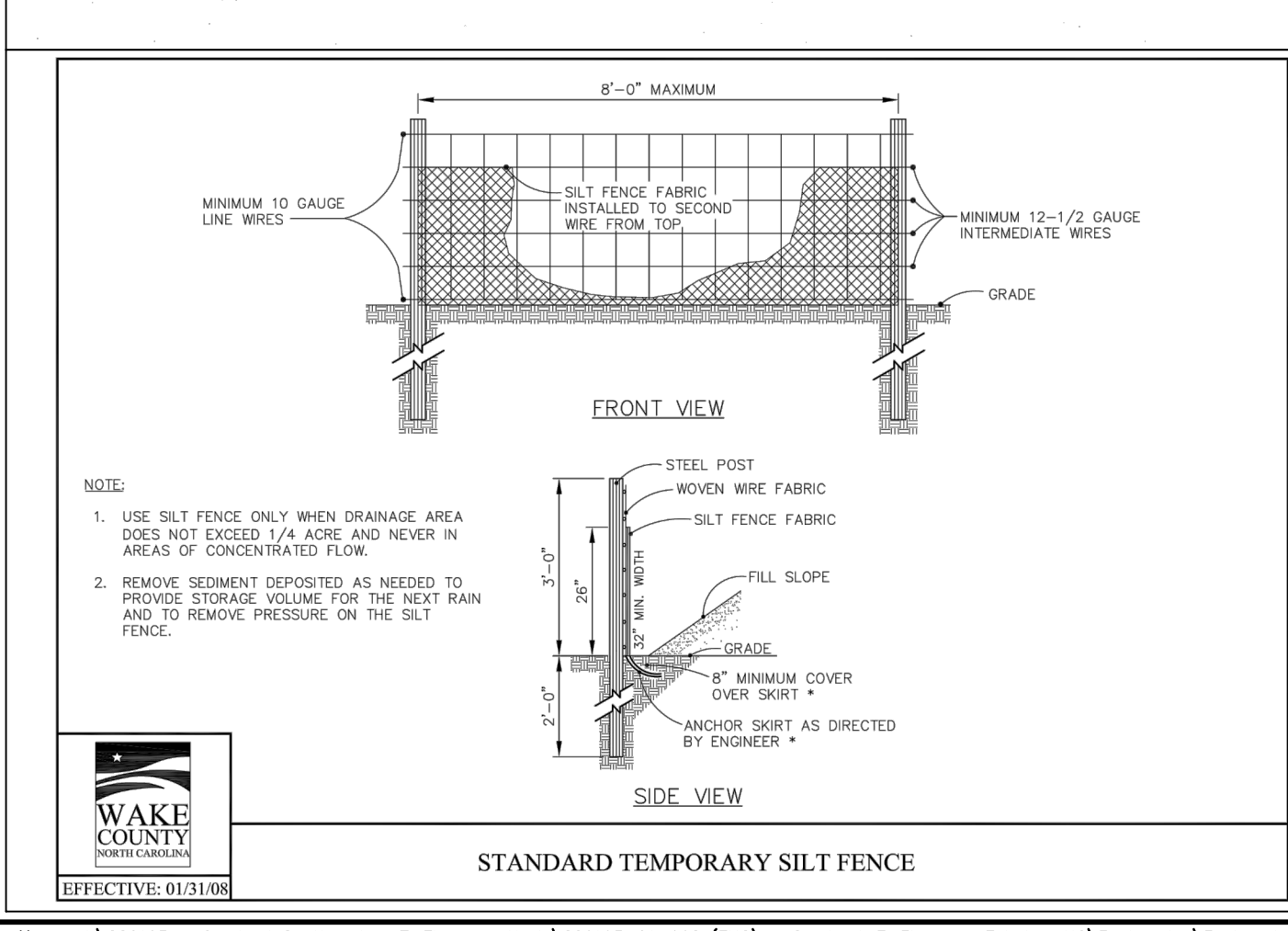
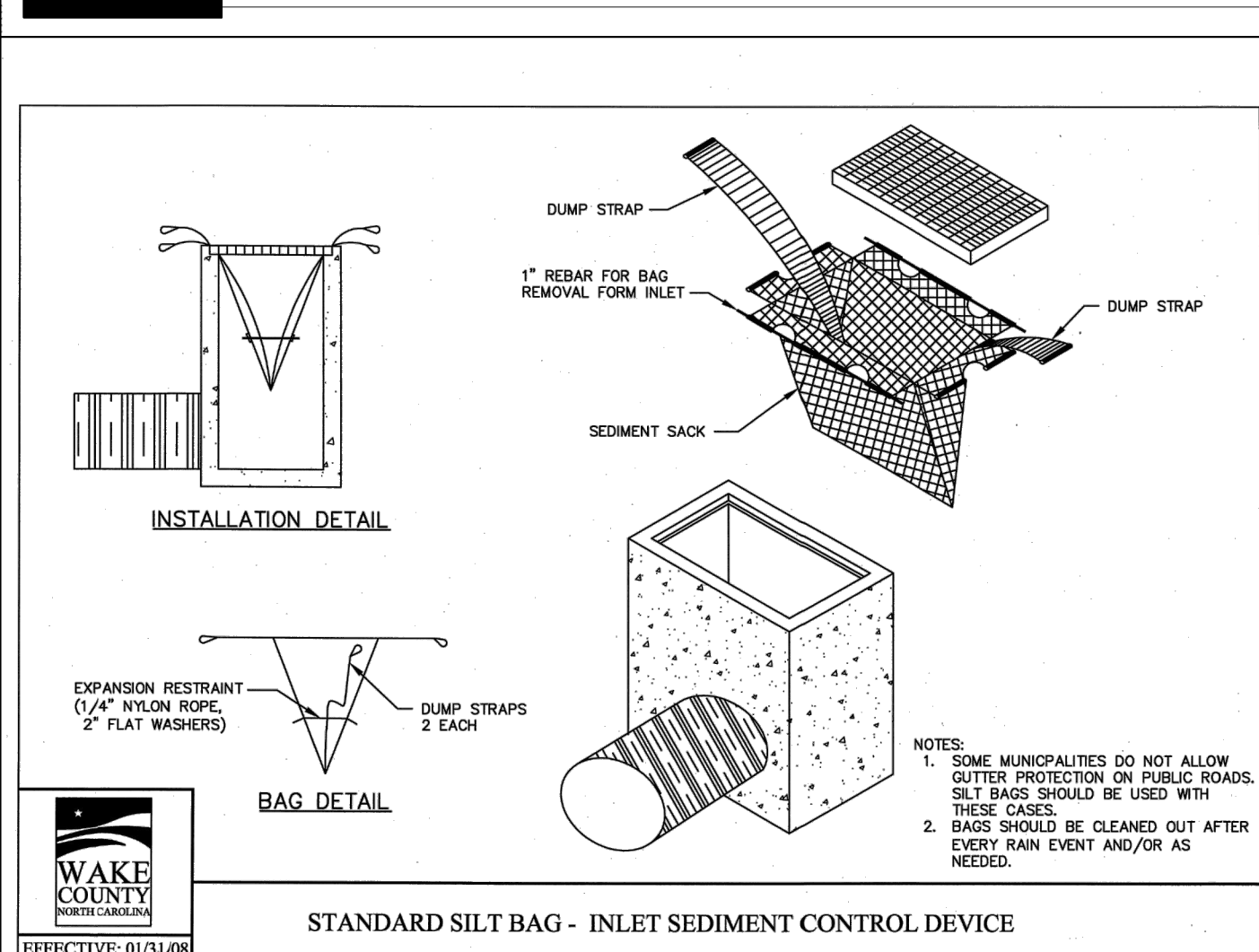
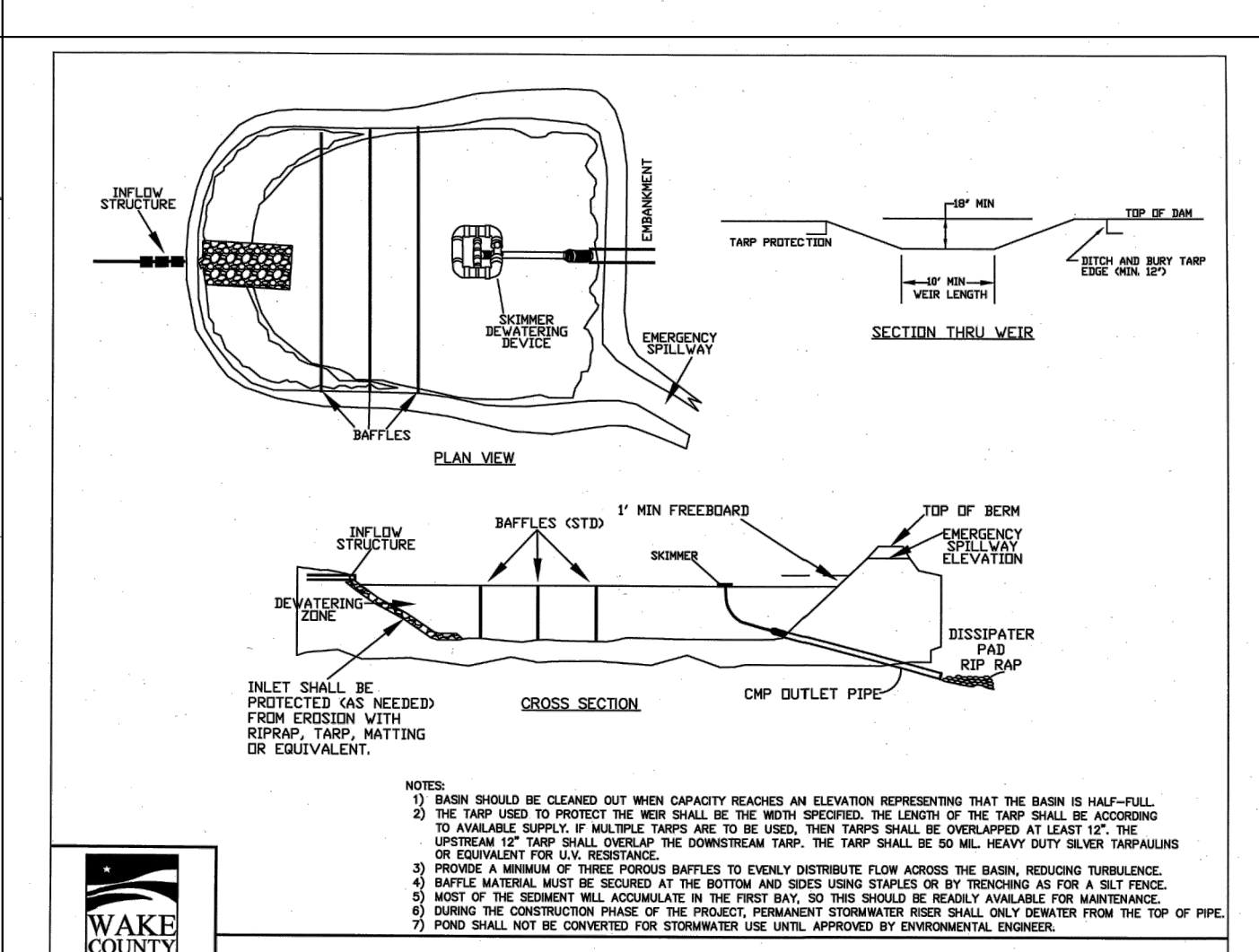
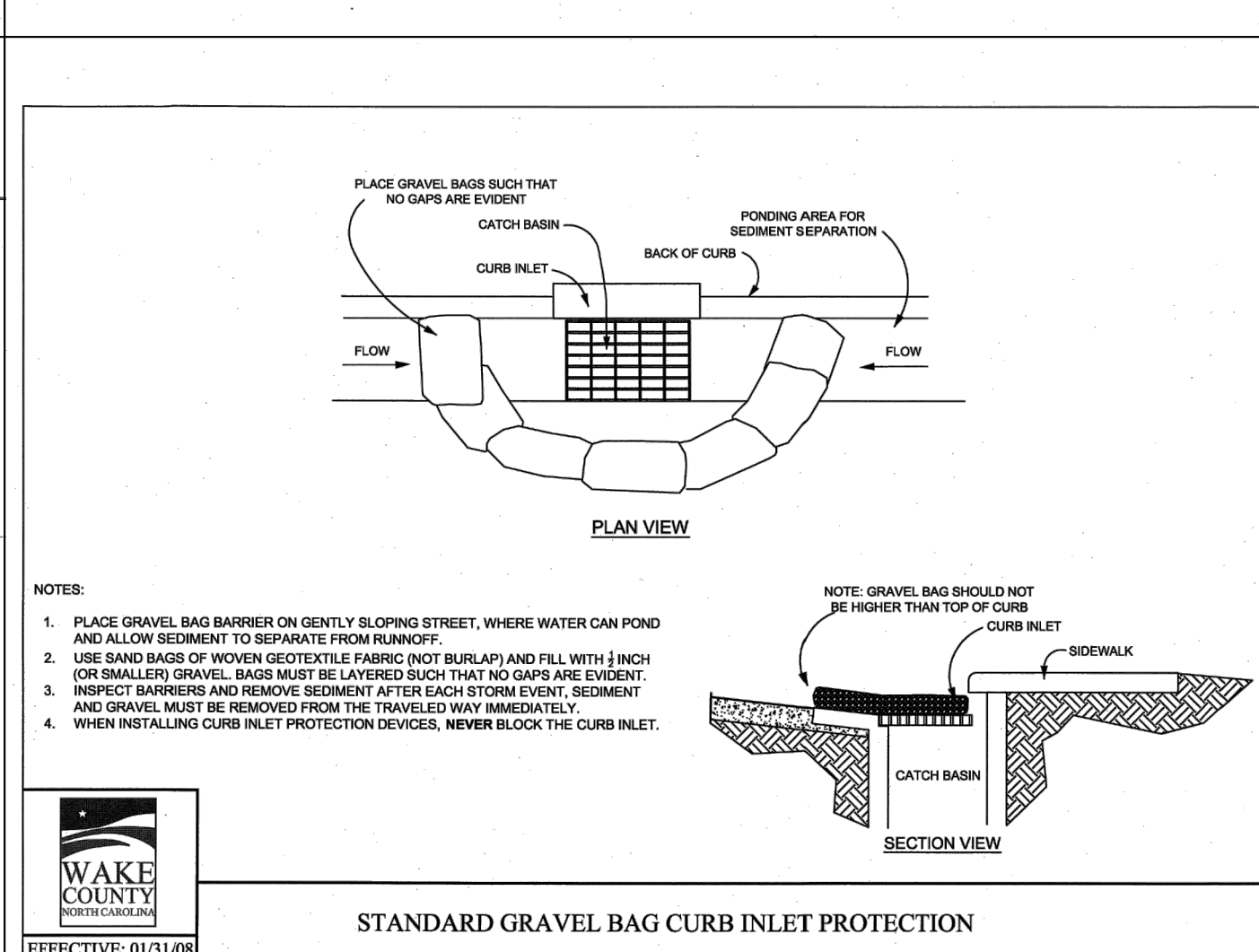
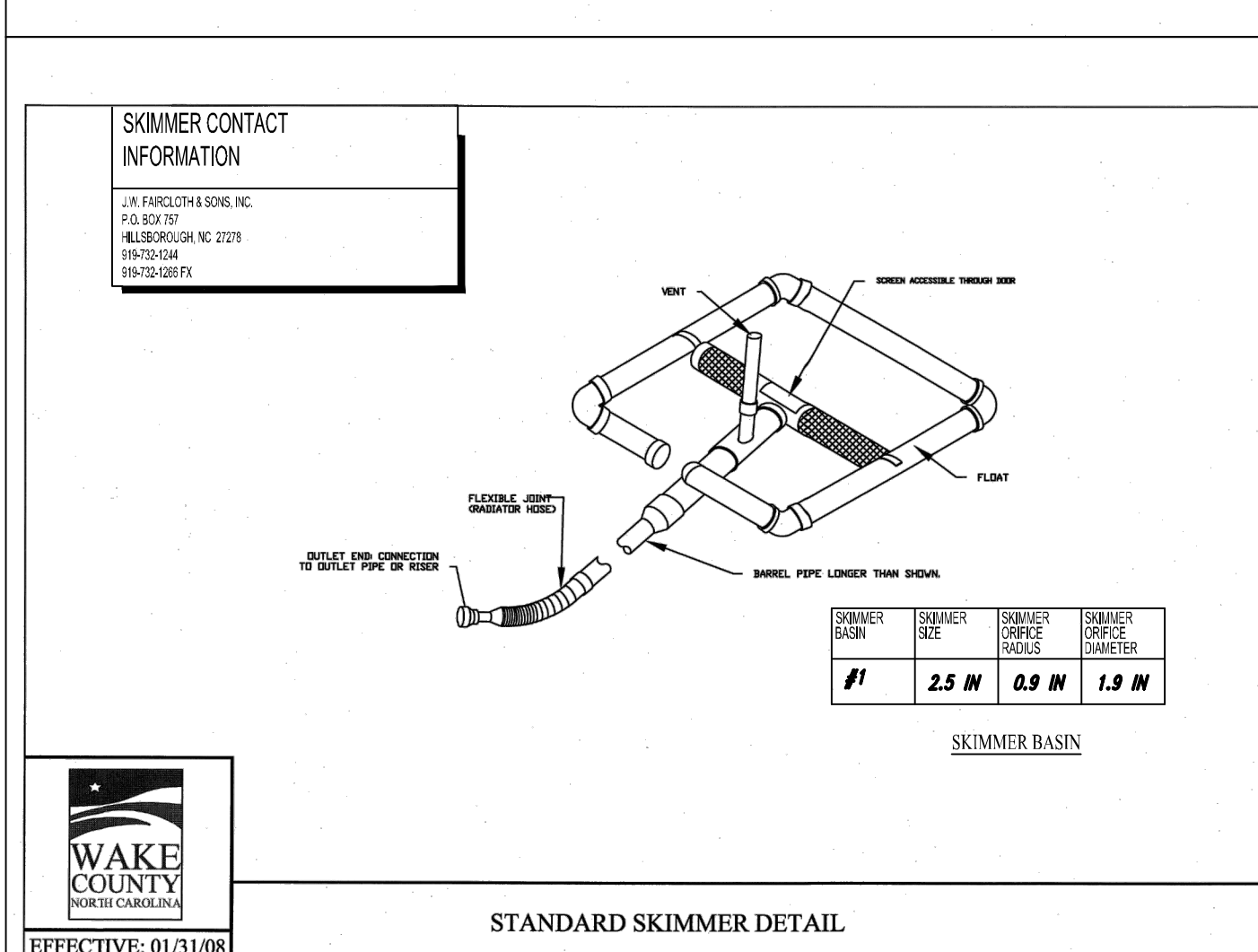
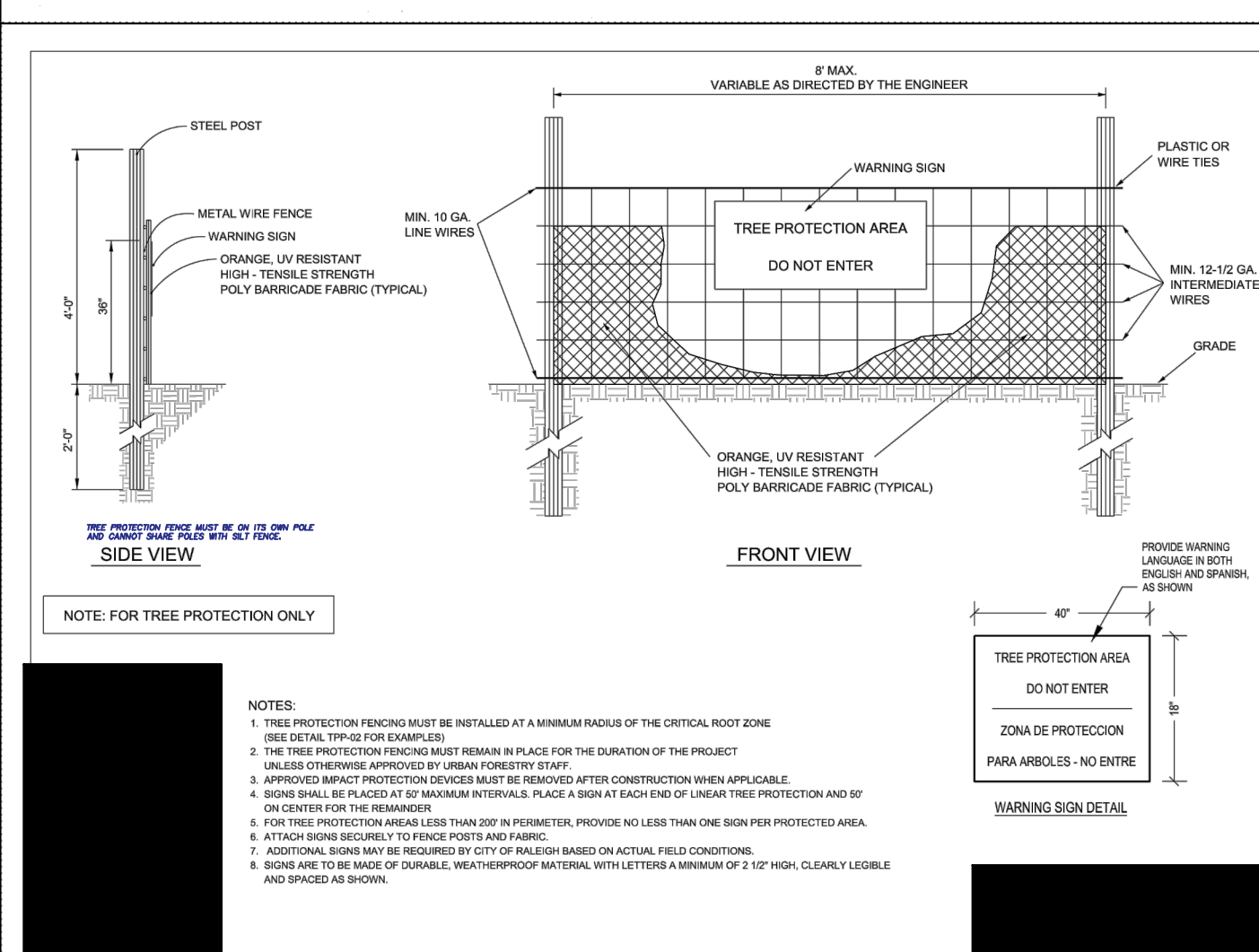
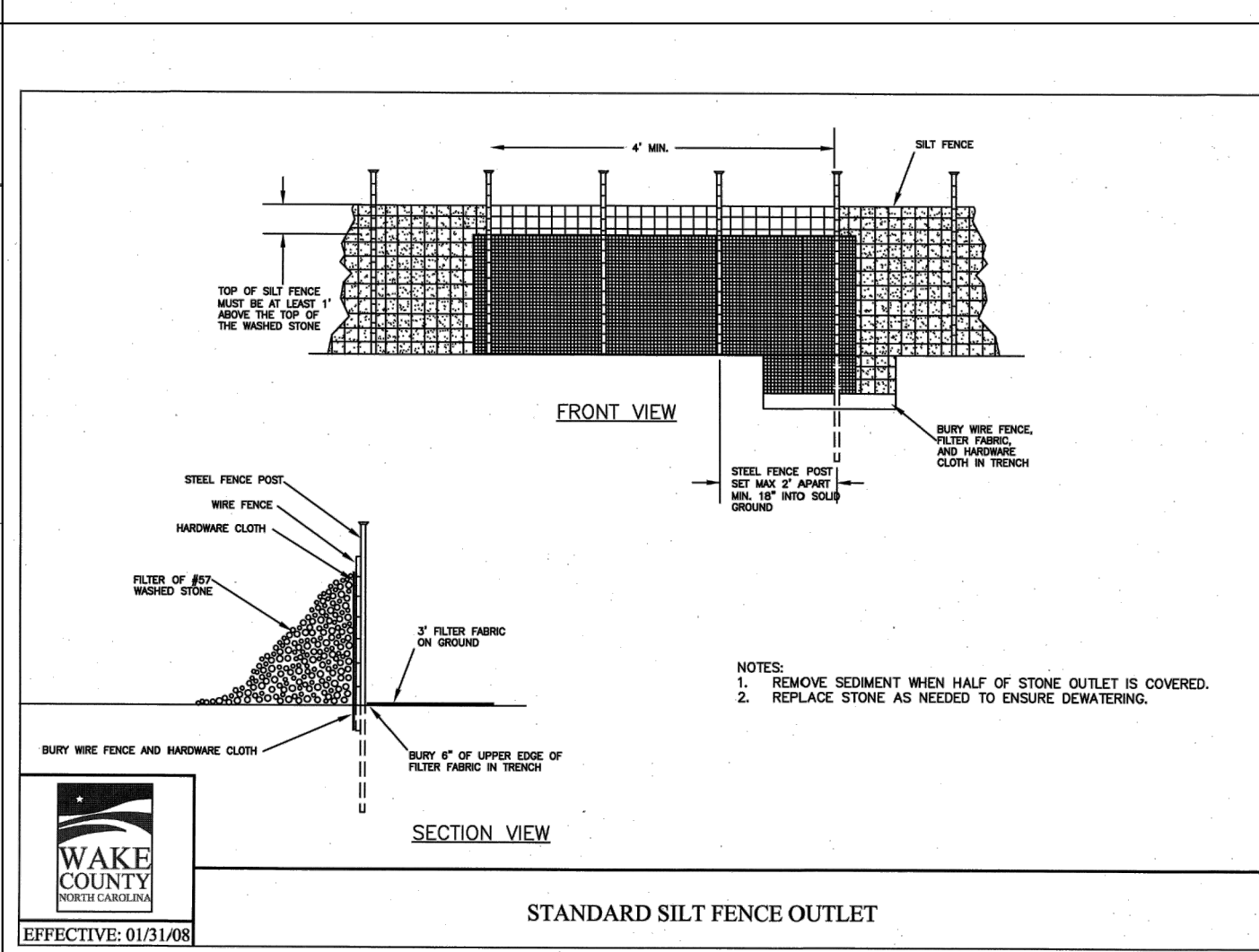
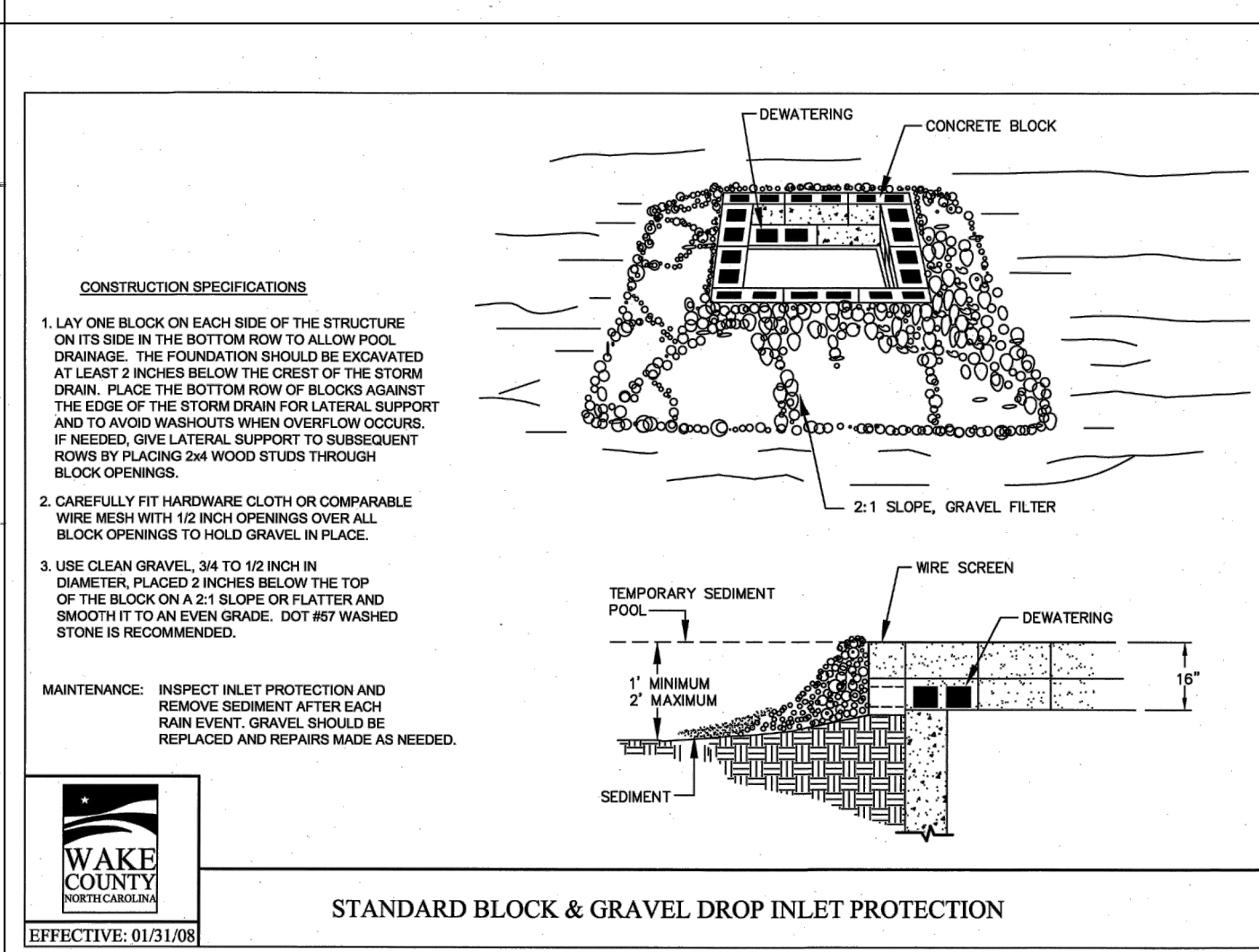
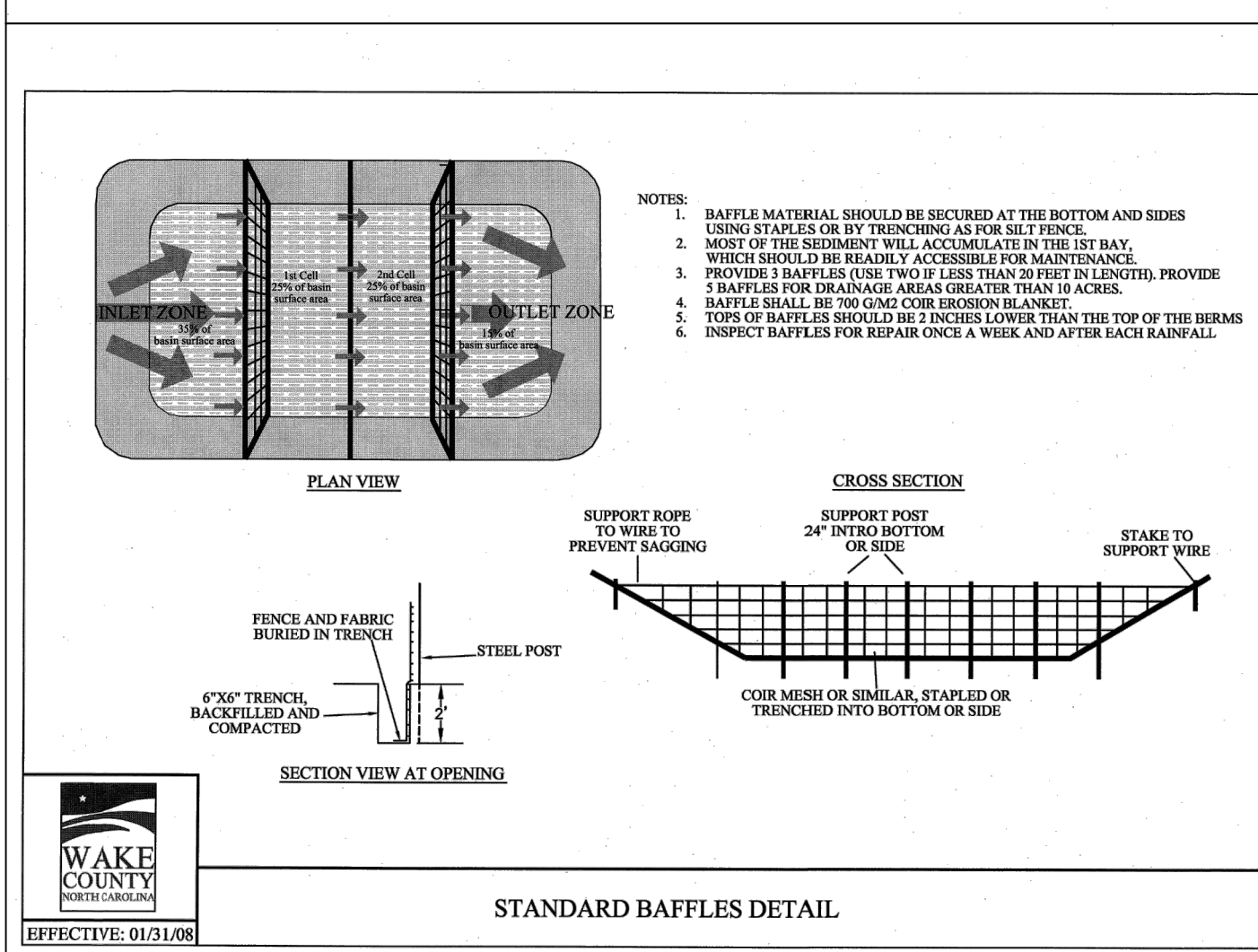
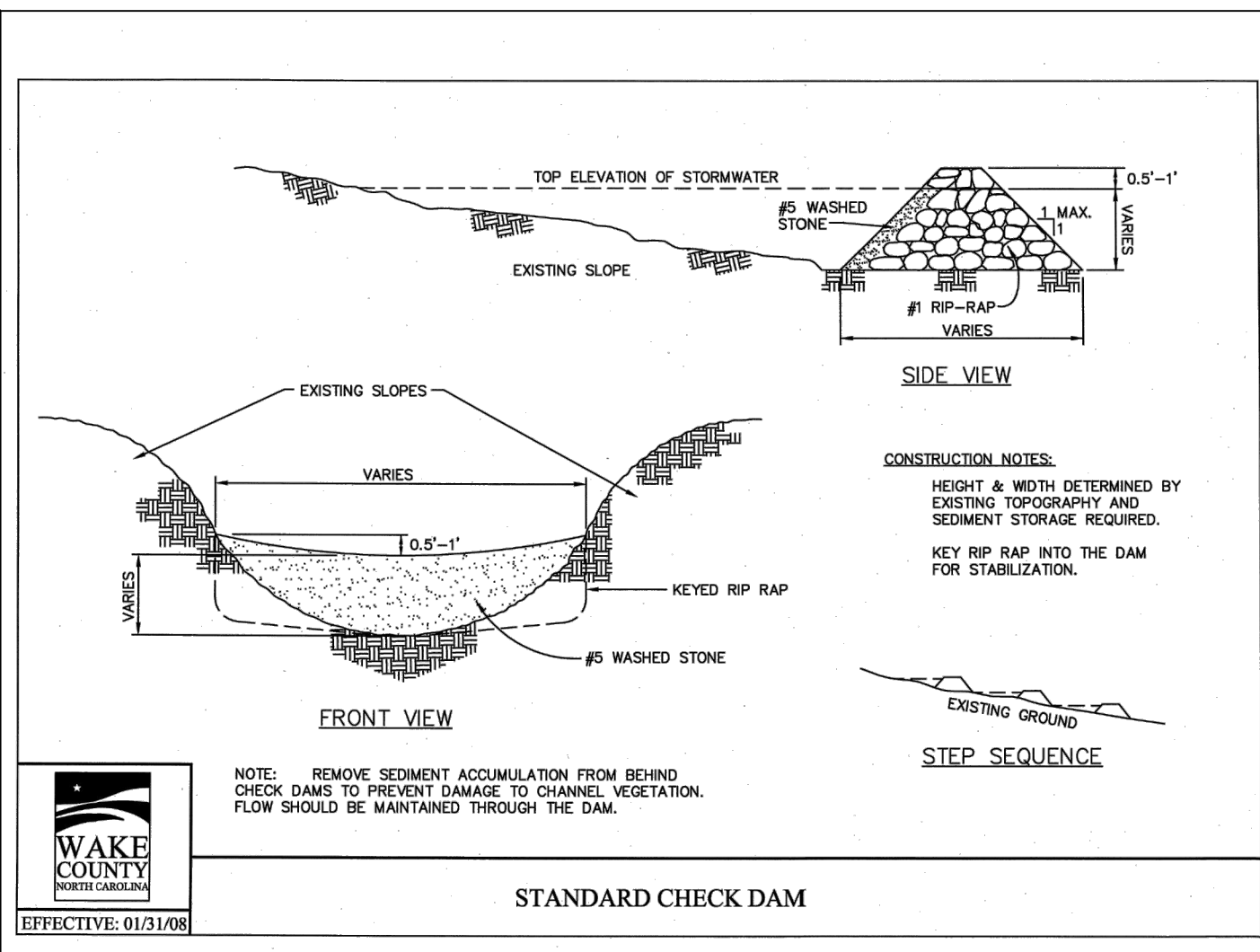
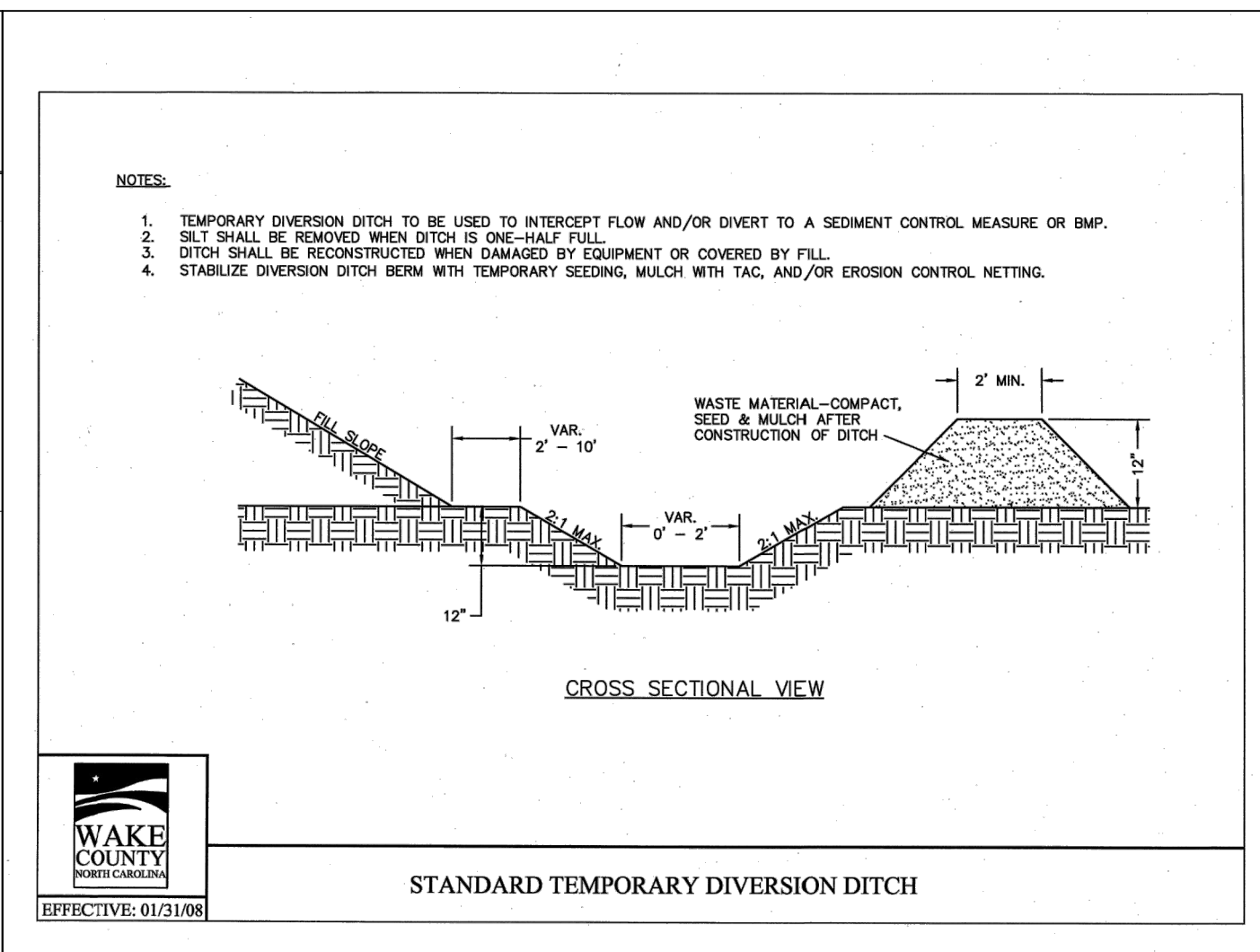
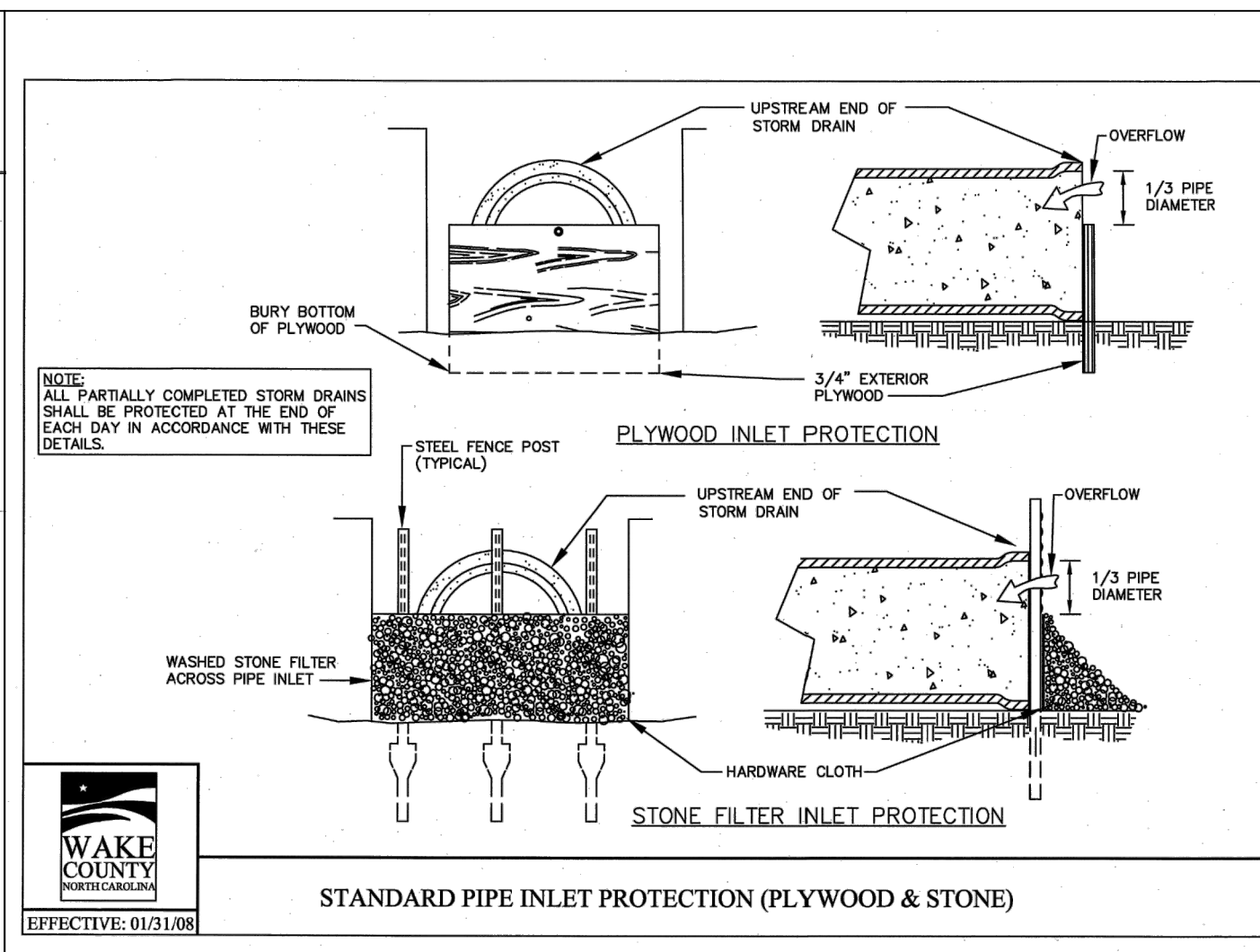
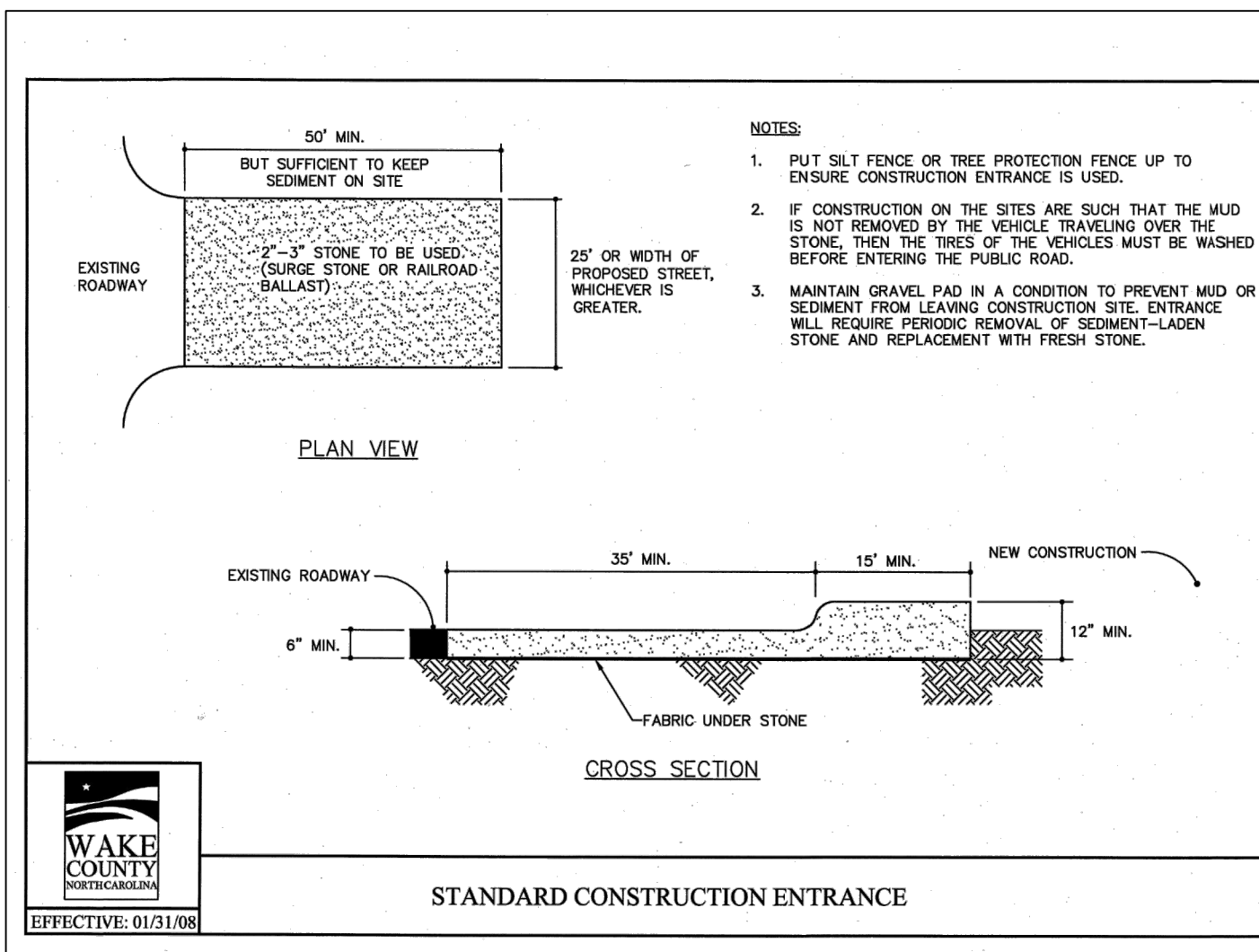


Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



DATE	REVISION DESCRIPTION	DATE	REVISION DESCRIPTION
01/22/23	WAKE COUNTY REVIEW	01/22/23	WAKE COUNTY REVIEW
01/22/23	TOWN OF ZEBULON REVIEW	01/22/23	TOWN OF ZEBULON REVIEW
01/22/23	TOWN OF ZEBULON REVIEW	01/22/23	TOWN OF ZEBULON REVIEW
01/22/23	NDOT REVIEW	01/22/23	NDOT REVIEW
01/22/23	NDOT REVIEW	01/22/23	NDOT REVIEW
01/22/23	NDOT REVIEW	01/22/23	NDOT REVIEW

STORE OR BLDG NO.: N/A
VERSION OR PROJECT ID: N/A
DESIGN TEAM: DGNR, BRM & MCB
PM/DP: MIL
RW/R: MIL
ISSUE DATE: 06/06/2024
ADDRESS: 1106 N ARENDELL AVE, ZEBULON, NC 27597



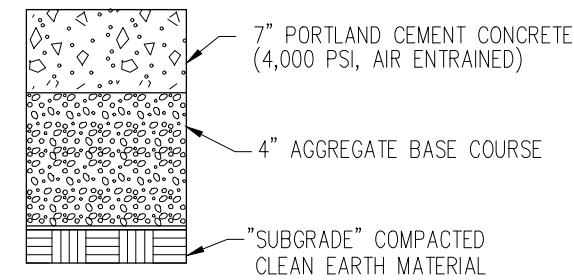
NO.	DATE	REVISION DESCRIPTION
1	01/31/08	WAKE COUNTY REVIEW
2	01/31/08	TOWN OF ZEBULON REVIEW
3	01/31/08	TOWN OF ZEBULON REVIEW
4	01/31/08	TOWN OF ZEBULON REVIEW
5	01/31/08	TOWN OF ZEBULON REVIEW
6	01/31/08	TOWN OF ZEBULON REVIEW
7	01/31/08	TOWN OF ZEBULON REVIEW
8	01/31/08	TOWN OF ZEBULON REVIEW
9	01/31/08	TOWN OF ZEBULON REVIEW
10	01/31/08	TOWN OF ZEBULON REVIEW

STORE OR BLDG NO.:
 N/A
 VERSION OR PROJECT ID:
 N/A
 DESIGN TEAM:
 DGNR, BRM & MCB
 PM/DP: ML
 RWVR: ML
 ISSUE DATE: 06/06/2024
 ADDRESS:
 1106 N ARENDELL AVE
 ZEBULON, NC 27587

CONCRETE PAVEMENT INSTALLATION

HIGH STRENGTH PAVEMENT DETAIL

HEAVY LOAD TRAFFIC AREAS



PAVING EXECUTION NOTES:

- LOCATE AND INSTALL CONSTRUCTION, ISOLATION, AND EXPANSION JOINTS AS INDICATED OR REQUIRED.
- PLACE CONCRETE IN A CONTINUOUS OPERATION WITHIN PLANNED JOINTS OR SECTIONS. DO NOT ADD WATER TO ADJUST SLUMP.
- FLOAT SURFACES TO TRUE PLANES WITHIN A TOLERANCE OF 1/4 INCH IN 10 FEET.
- TOOL EDGES AND JOINTS TO A RADIUS OF 1/4 INCH FOR SIDEWALKS.
- ALLOW CONCRETE PAVING TO CURE FOR A MINIMUM OF 28 DAYS AND DRY BEFORE STARTING PAVEMENT MARKING.
- APPLY TRAFFIC PAINT WITH MECHANICAL EQUIPMENT TO A MINIMUM WET FILM THICKNESS OF 15 MILS.
- PROTECT CONCRETE PAVING FROM DAMAGE, EXCLUDE TRAFFIC FROM PAVING FOR AT LEAST 14 DAYS.

CONCRETE PAVING GENERAL NOTES:

- SEE FUEL PROTOTYPE FOR ADDITIONAL REQUIREMENTS FOR TANK SLABS.
- SEE FUEL PROTOTYPE FOR ADDITIONAL REQUIREMENTS FOR DISPENSER ISLAND SLABS.
- A GEOTEXTILE FABRIC OR GEGRID IS ONLY NEEDED WHEN THE GEOTECHNICAL REPORT AND/OR A GEOTECH EXPERT REQUIRES IT FOR THE SPECIFIC SITE'S SOIL CONDITIONS.
- UNDISTURBED SOIL OR COMPACTED BACK FILL NOT LESS THAN 95% OF MODIFIED PROCTOR DENSITY (AASHTO-T-180)

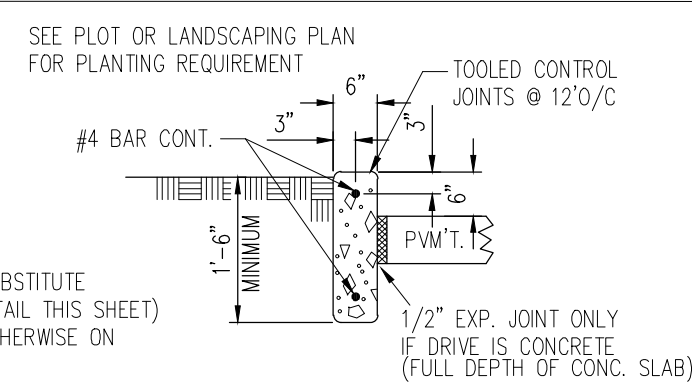
REVISED LOCATION PER CR ADMIN 2022-2000

- CONTRACTOR MUST REFER TO THE GEOTECH REPORT FOR PAVEMENT AND FOUNDATION DESIGN AND CONSTRUCTION RECOMMENDATIONS
- COMPACTION IS NOT REQUIRED OVER THE TANK PIT(S)

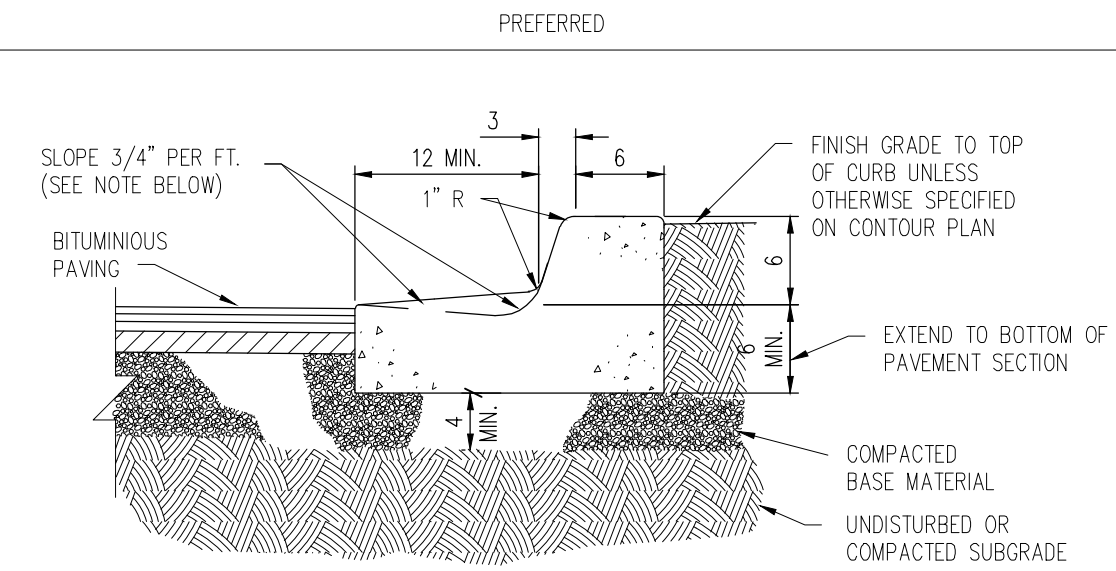
CONCRETE PAVEMENT JOINT DETAILS

TYPE OF JOINT	USE DESCRIPTION	DETAIL
A. CONTROL JOINT 1. SAWN 2. PREMOLD STRIP 3. HAND FORMED AND SAWN AT CRITICAL JOINTS	USE SPECIFICATION ACI 309R-06 TO PLACE CONTROL JOINTS SO AS TO UNIFORMLY DIVIDE SLABS INTO NOMINAL 12' x 12' (NORMAL STRENGTH) OR 16' x 16' (HIGH STRENGTH) SECTIONS. (SEAL CONTROL JOINTS ONLY IF SPECIFIED ON DRAWINGS OR BY OWNER'S REPRESENTATIVE.)	
B. EXPANSION JOINT (ISOLATION JOINT)	PLACE AGAINST CONCRETE TANK SLAB, ABUTTING ROADWAY PAVEMENTS AND STRUCTURES (BUILDINGS, CANOPY COLUMNS, CATCH BASINS, ETC.)	
C. CONSTRUCTION JOINT	CONSTRUCTION JOINTS MUST BE APPROVED BY OWNER'S REPRESENTATIVE. PLACE WHEN CONTINUOUS POUR OPERATIONS ARE SUSPENDED FOR MORE THAN 30 MINUTES.	

CONCRETE CURBS

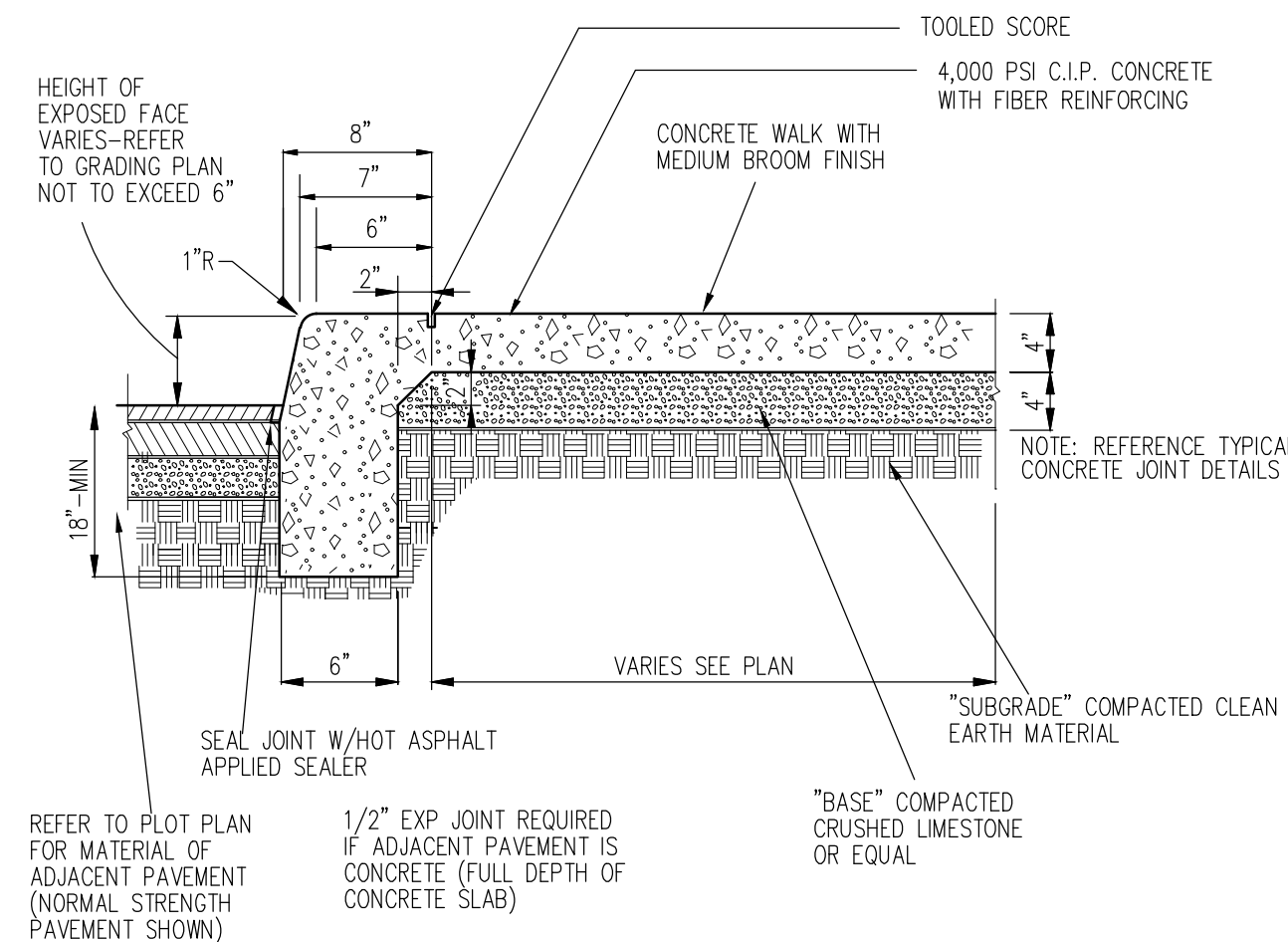


CAST-IN-PLACE CONCRETE CURB



STRAIGHT CONCRETE CURB & GUTTER

NOTE: GUTTER TO BE SLOPED DOWN GRADIENT TOWARDS CURB WHEN SITE GRADE IS TOWARDS CURB. GUTTER TO BE SLOPED DOWN GRADIENT AWAY FROM CURB WHEN SITE GRADE IS AWAY FROM CURB. MAY BE MACHINE FORMED.



NOTE: 1. TYPICALLY THERE IS 0" CURBING AROUND THE BUILDING
2. EXCEPTION: CA REQUIRES SIDEWALK CURBING AROUND THE BUILDING

ON-SITE ASPHALT PAVEMENT INSTALLATION

ASPHALT SEALING

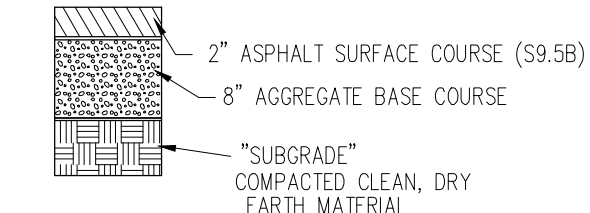
- SURFACE CLEANING:**
THE SURFACE TO BE SEALED SHALL BE FREE FROM DIRT AND OTHER FOREIGN MATTER. ANY ACCUMULATIONS OF OIL OR GREASE SHALL BE CLEANED OFF THE PAVEMENT WITH DETERGENT SOLUTION, THE RESIDUE OF WHICH SHALL BE THOROUGHLY WASHED AWAY WITH CLEAN WATER BEFORE SEALANT IS APPLIED.
- SEALING:**
THE SEAL COATING MATERIAL SHALL BE COMPRISED OF A RUBBERIZED COAL-TAR PITCH EMULSION AND SHALL MEET OR EXCEED FEDERAL SPECIFICATION R-P-355e. SUPPLIED IN CONCENTRATED FORM, IT SHALL BE DILUTED A MINIMUM OF 15% AND A MAXIMUM OF 25% WITH FRESH, CLEAN WATER. THE SEALANT MATERIAL SHALL CONTAIN 5-6 LBS. PER GALLON OF FINE, CLEAN, DRY SILICA SAND MEETING THE FOLLOWING GRADATION:

SIZE	% PASSING
#16	100
#30	80-100
#50	10-60
#100	0-5

THE SEALANT SHALL BE APPLIED TO THE PAVEMENT IN TWO COATS AT THE RATE OF 0.08 TO 0.12 GALLONS PER SQUARE YARD. A LATEX ADDITIVE MAY ALSO BE ADDED TO THE SEALANT TO ALLOW FOR QUICKER DRYING TIME IN THOSE AREAS SPECIFIED BY OWNER'S REPRESENTATIVE.

LIGHT DUTY PAVEMENT

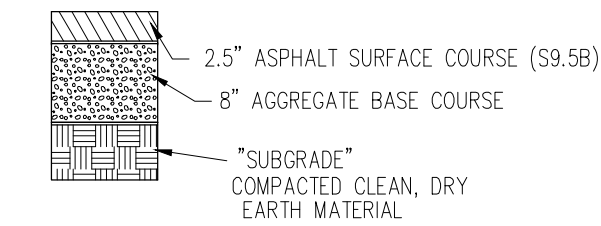
PARKING AREAS AND OTHER LIMITED SERVICE TRAFFIC AREAS
GRANULAR BASE (PREFERRED)



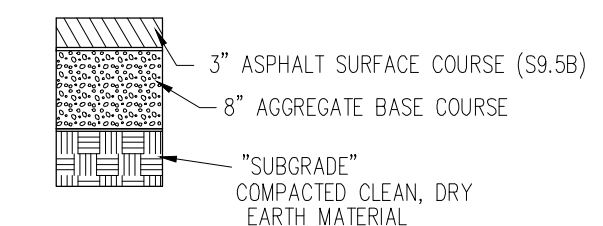
ASPHALT PAVEMENT GENERAL NOTES:

- ALL WORK SHALL BE IN CONFORMANCE WITH OWNER'S SPECIFICATIONS FOR ASPHALTIC CONCRETE PAVING.
- A GEOTEXTILE FABRIC OR GEGRID IS ONLY NEEDED WHEN THE GEOTECHNICAL REPORT AND/OR A GEOTECH EXPERT REQUIRES IT FOR THE SPECIFIC SITE'S SOIL CONDITIONS.
- FOR SUBSURFACE DRAINAGE OR STABILITY ISSUES DURING CONSTRUCTION (UNDER DIRECTION BY GEOTECH EXPERT):
A. SUBSURFACE DRAINAGE ISSUE - REFER TO GUIDELINES FOR DEWATERING ISSUES TO DERIVE ACCEPTABLE OPTIONS.
B. SUBSURFACE STABILITY ISSUE - INSTALL GEOTEXTILE PER GEOTECH EXPERT RECOMMENDATION.

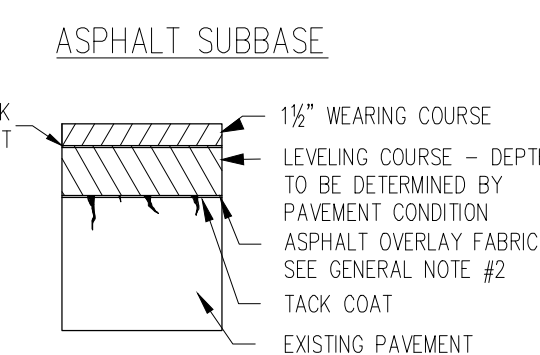
MEDIUM DUTY PAVEMENT



HEAVY DUTY PAVEMENT



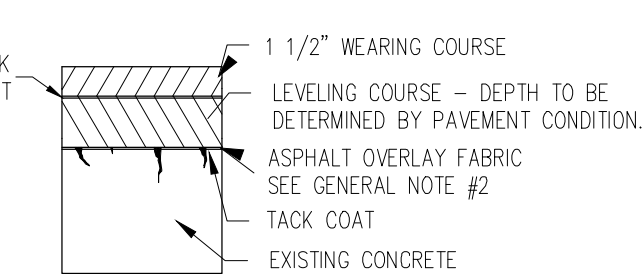
ASPHALT OVERLAY DETAIL



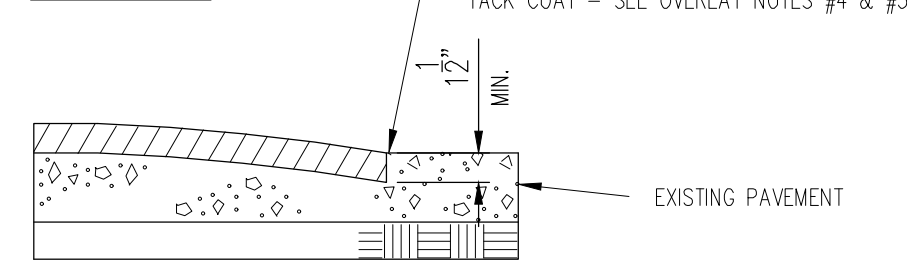
OVERLAY DETAIL NOTES:

- THE OVERLAY SHALL BE PLACED IN ACCORDANCE WITH OWNER'S SPECIFICATIONS.
- ALL FAILED AREAS SHALL BE REPAIRED WITH PROPER PATCHES BEFORE OVERLAY IS PLACED.
- IF THE SURFACE IS DISTORTED, THE CONTRACTOR SHALL CONSTRUCT LEVELING COURSES TO RESTORE PROPER LINE AND CROSS SECTION.
- THE PAVEMENT SHALL BE THOROUGHLY CLEANED AND A TACK COAT OF ASPHALT SHALL BE APPLIED BEFORE THE OVERLAY IS PLACED.
- ALL VERTICAL SURFACES COMING IN CONTACT WITH THE OVERLAY SHALL BE SPRAYED OR PAINTED WITH A UNIFORM COATING OF EMULSIFIED ASPHALT IMMEDIATELY PRIOR TO PAVEMENT CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR ENSURING PROPER SURFACE DRAINAGE. PONDING OR PUDDING OF WATER ON THE FINAL SURFACE WILL BE UNACCEPTABLE.
- REPLACE IN KIND ANY EXISTING TRAFFIC MARKINGS AND/OR RELATED SENSOR EQUIPMENT THAT IS REMOVED OR DAMAGED DUE TO PAVEMENT MILLING ACTIVITY.

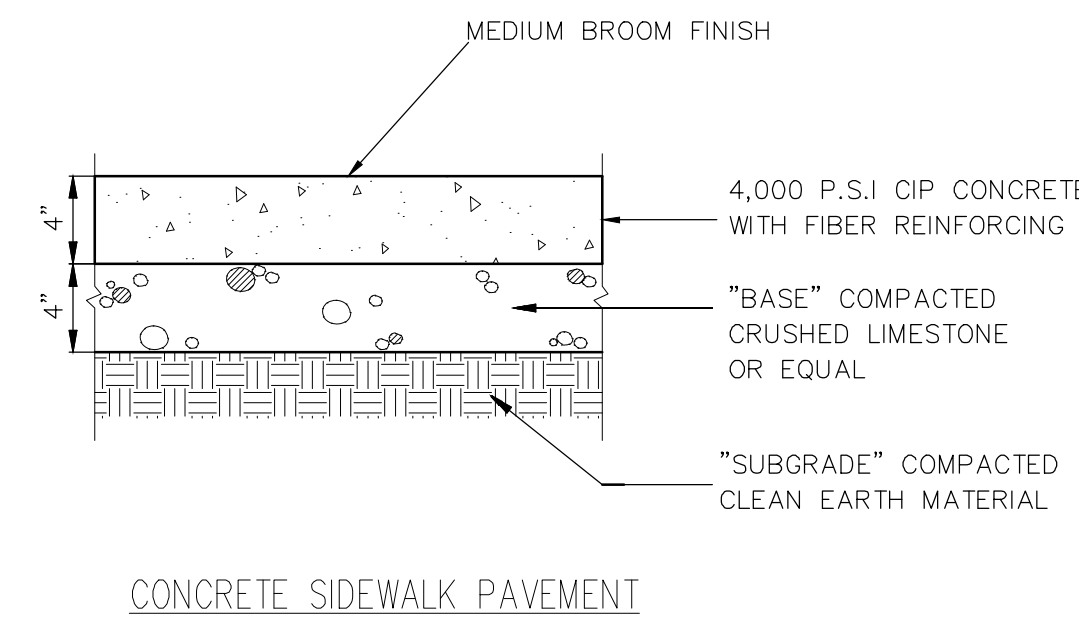
CONCRETE SUBBASE



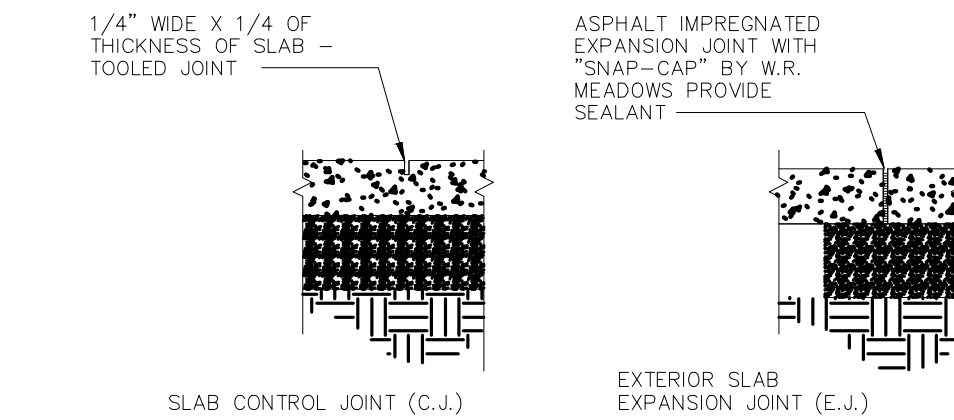
EDGE DETAIL



WHERE OVERLAY IS NOT SPECIFIED FOR ENTIRE EXISTING SURFACE, THE INTERFACE BETWEEN THE NEW OVERLAY AND THE OLD PAVEMENT SURFACE SHALL BE PER THE ABOVE DETAIL. FEATHERING OF THE ASPHALT TO MEET THE EXISTING PAVEMENT WILL NOT BE ACCEPTABLE.



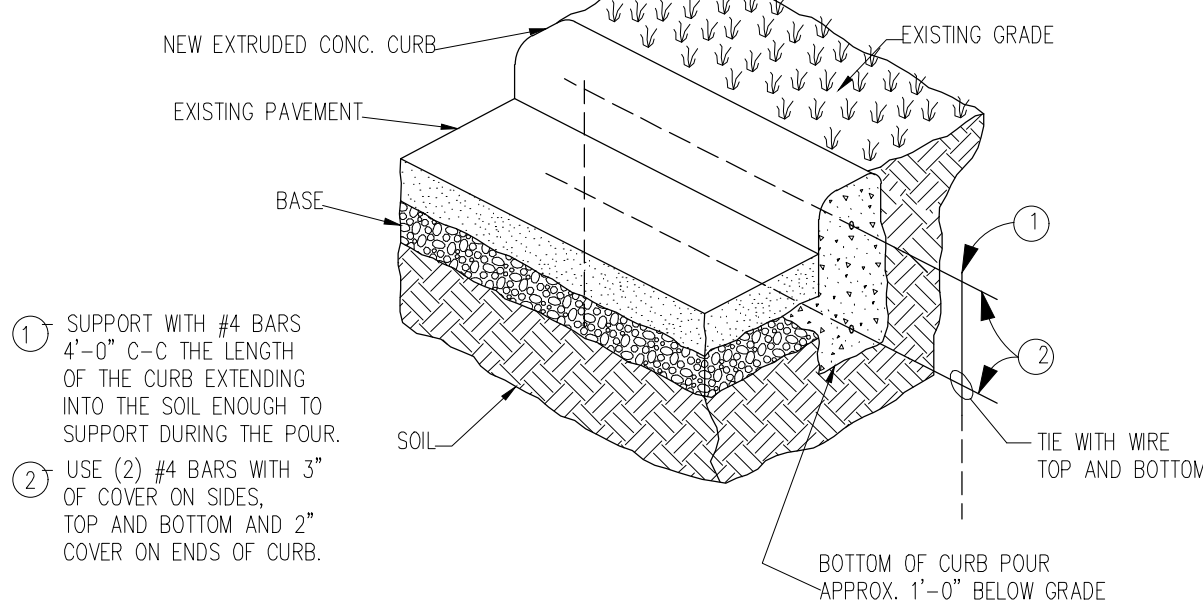
CONCRETE SIDEWALK PAVEMENT



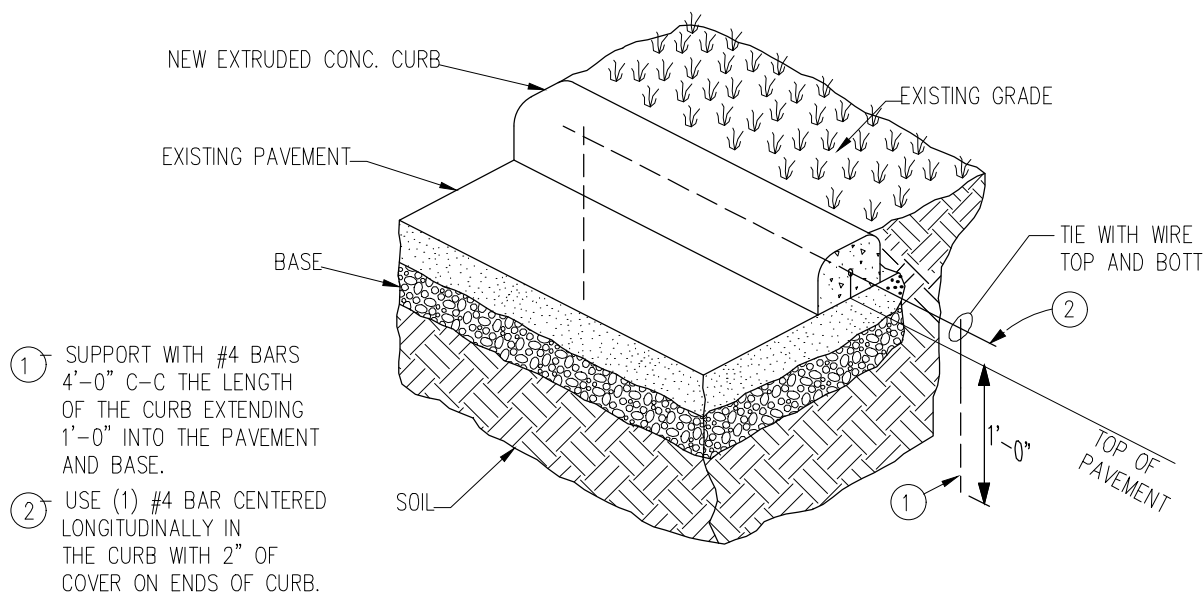
FOR 5' OR 8' WALKS, INSTALL A CONTROL JOINT EVERY 5' IN 10' WALKS. INSTALL A CONTROL JOINT EVERY 5' AND ONE IN THE CENTER (5' FROM THE BACK OF THE BUILDING FOR EXAMPLE)

SIDEWALK JOINTS

PREFERRED METHOD



ALTERNATE METHOD

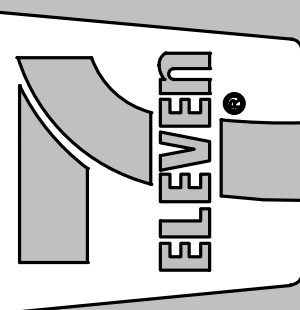


COLD WEATHER CURB INSTALLATION

FOR USE WHEN COLD WEATHER CONDITIONS CAUSE ASPHALT PAVEMENT TO BE PLACED BEFORE THE CONCRETE CURB.



Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



NO.	DATE	REVISION DESCRIPTION	DATE REVISION
1	02/21/23	WAKE COUNTY REVIEW	
2	02/21/23	TOWN OF ZEBULON REVIEW	
3	02/21/23	TOWN OF ZEBULON REVIEW	
4	02/21/23	TOWN OF ZEBULON REVIEW	
5	02/21/23	TOWN OF ZEBULON REVIEW	
6	02/21/23	TOWN OF ZEBULON REVIEW	
7	02/21/23	NOTED REVIEW	
8	02/21/23	NOTED REVIEW	
9	02/21/23	NOTED REVIEW	

STORE OR BLDG NO.:

VERSION OR PROJECT ID:

DESIGN TEAM:

DGNR: BRM & MCB

PM/DP: MIL

RVWR: MIL

ISSUE DATE: 06/06/2024

ADDRESS:

1106 N ARENDELL AVE

ZEBULON, NC 27587

SHEET TITLE:

CONSTRUCTION DETAILS

DRWG. NO. **C6.2**

AREA YARD SIGN DETAILS



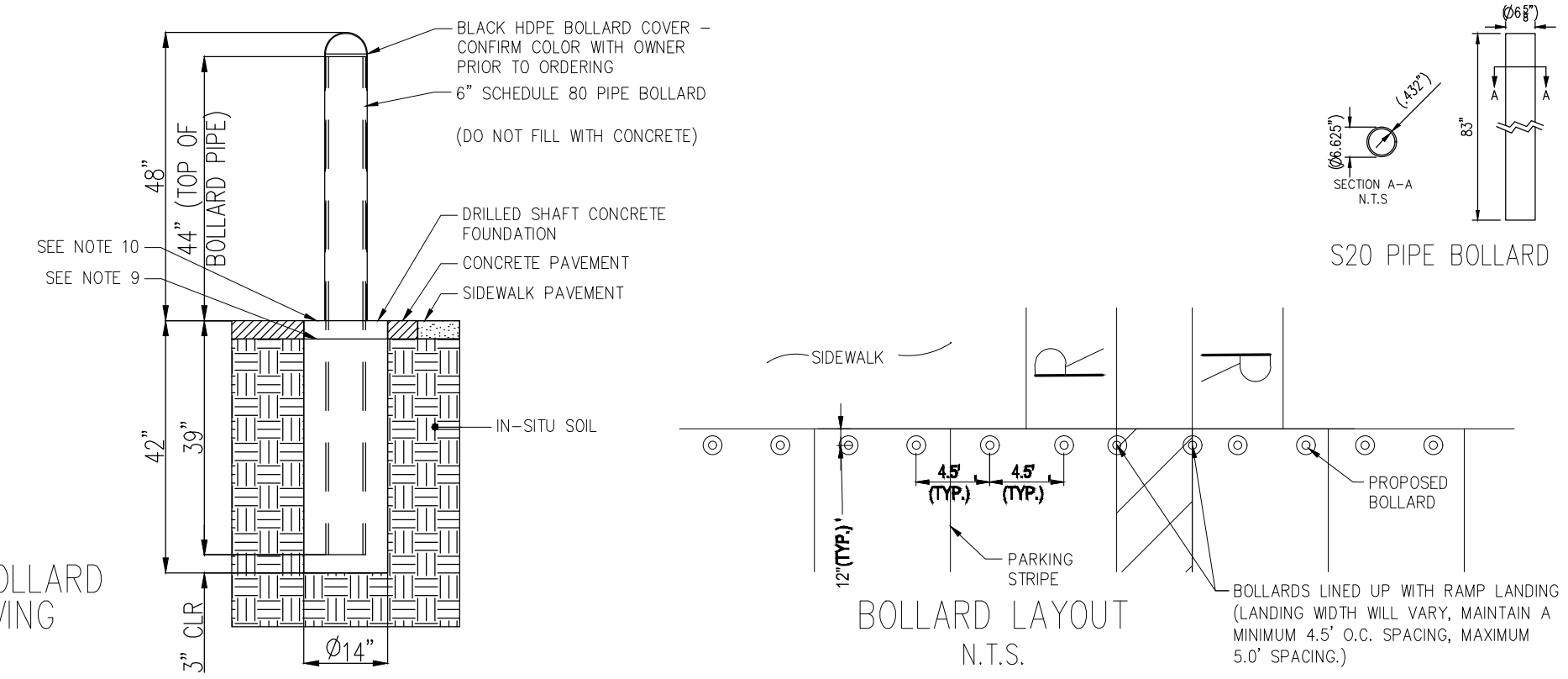
R7-1

TYPICAL NO PARKING SIGN DETAIL
N.T.S.

REVISED DETAIL PER CR 2022-3004

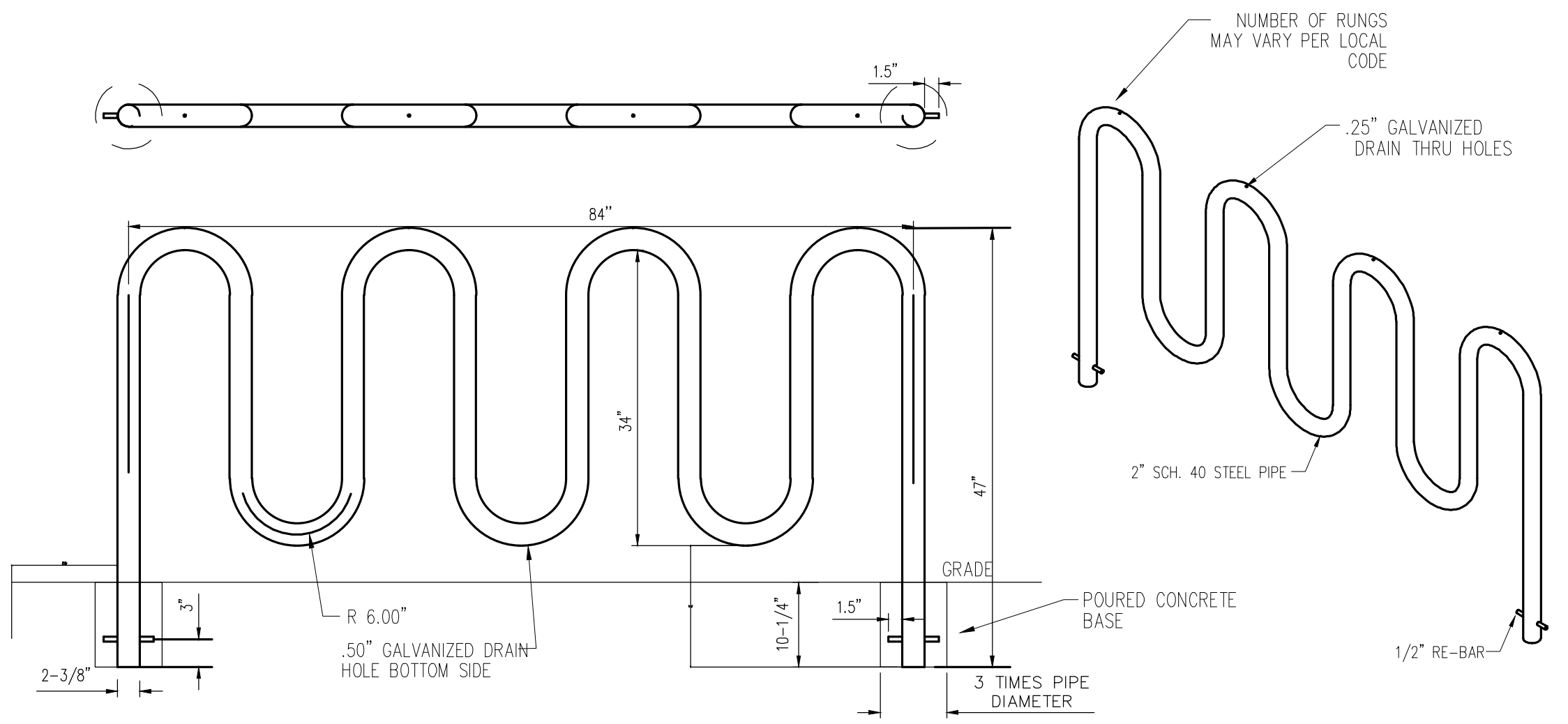
- GENERAL NOTES:
1. MAXIMUM BOLLARD SPACING IS 5' ON CENTER
 2. CONCRETE TO BE 4,000 PSI MIN. UNCOMPRESSED COMPRESSIVE STRENGTH.
 3. REINFORCING STEEL CONFORMS TO ASTM A615 GRADE 60.
 4. BOLLARD PIPE IS ASTM A53, TYPE E, GRADE B OR A500 GRADE B/C
 5. PROVIDE HIGH-DENSITY POLYETHYLENE (HDPE) BOLLARD COVER. COVER TO BE IDEALSHIELD (OR APPROVED EQUAL) 1/8" THICK, BLACK (6C), 6" PIPE FIT, DOME TOP, 48" TALL.
 6. DO NOT FILL BOLLARD PIPE WITH CONCRETE. TEMPORARILY SEAL BOTTOM AS NECESSARY TO PREVENT CONCRETE INTRUSION WHILE POURING.
 7. USE SONOTUBE IN SANDY OR OTHER SOILS THAT MIGHT CAVE IN.
 8. DIMENSIONS IN PARENTHESES ARE NOMINAL.
 9. COLD JOINT ACCEPTABLE THIS LINE FOR NEW INSTALLATIONS IN MONOLITHIC POUR CONCRETE PAVEMENT.
 10. SLOPE TOP OF CONCRETE AWAY FROM BOLLARD 1/4" FROM PIPE TO EDGE OF DRILLED SHAFT OR CAP.
 11. INCREASE DEPTH OF CAISSON AND BOLLARD PIPE TO MEET LOCAL JURISDICTION MIN. FROST DEPTH REQUIREMENT
 12. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY NO UTILITY CONFLICTS EXIST WHERE BOLLARDS ARE TO BE INSTALLED, PRIOR TO INSTALLATION.
- DESIGN SPECIFICATIONS: ASTM F3016-19 CONDITION DESIGNATION S20

STORE FRONT GUARDS



DEEP MOUNT S20 BOLLARD IN CONCRETE PAVING
N.T.S.

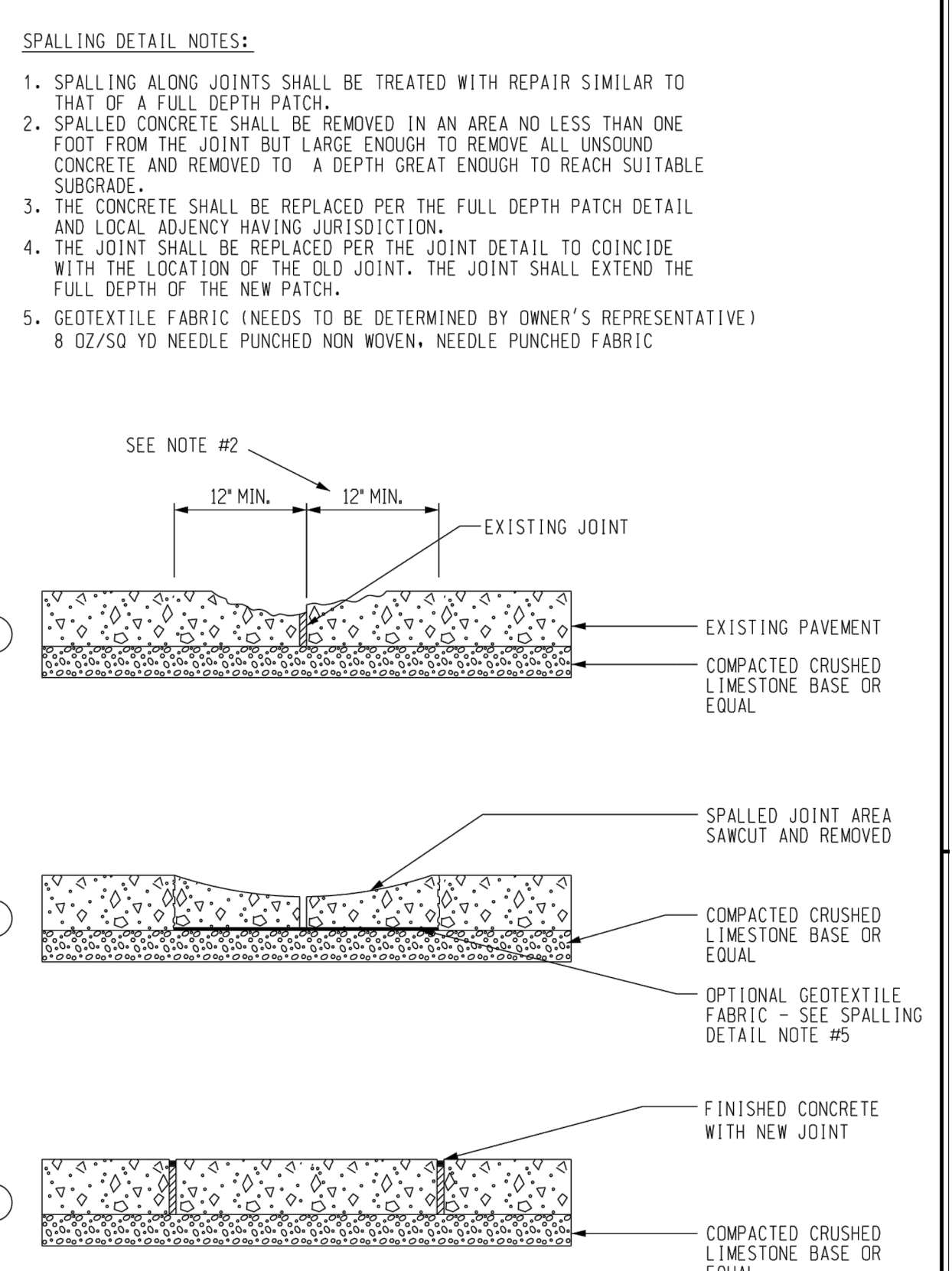
TYPICAL BIKE RACK DETAIL



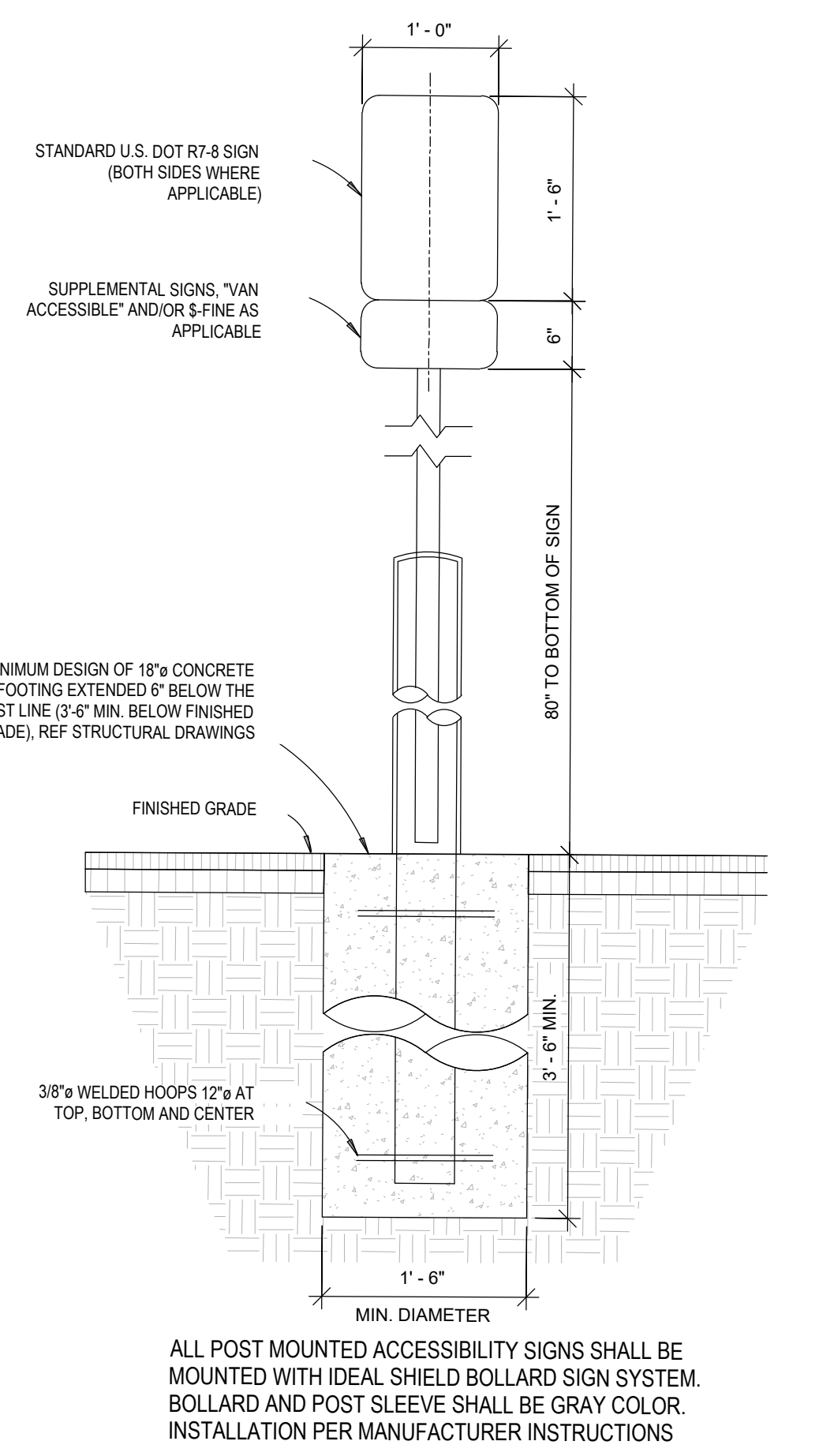
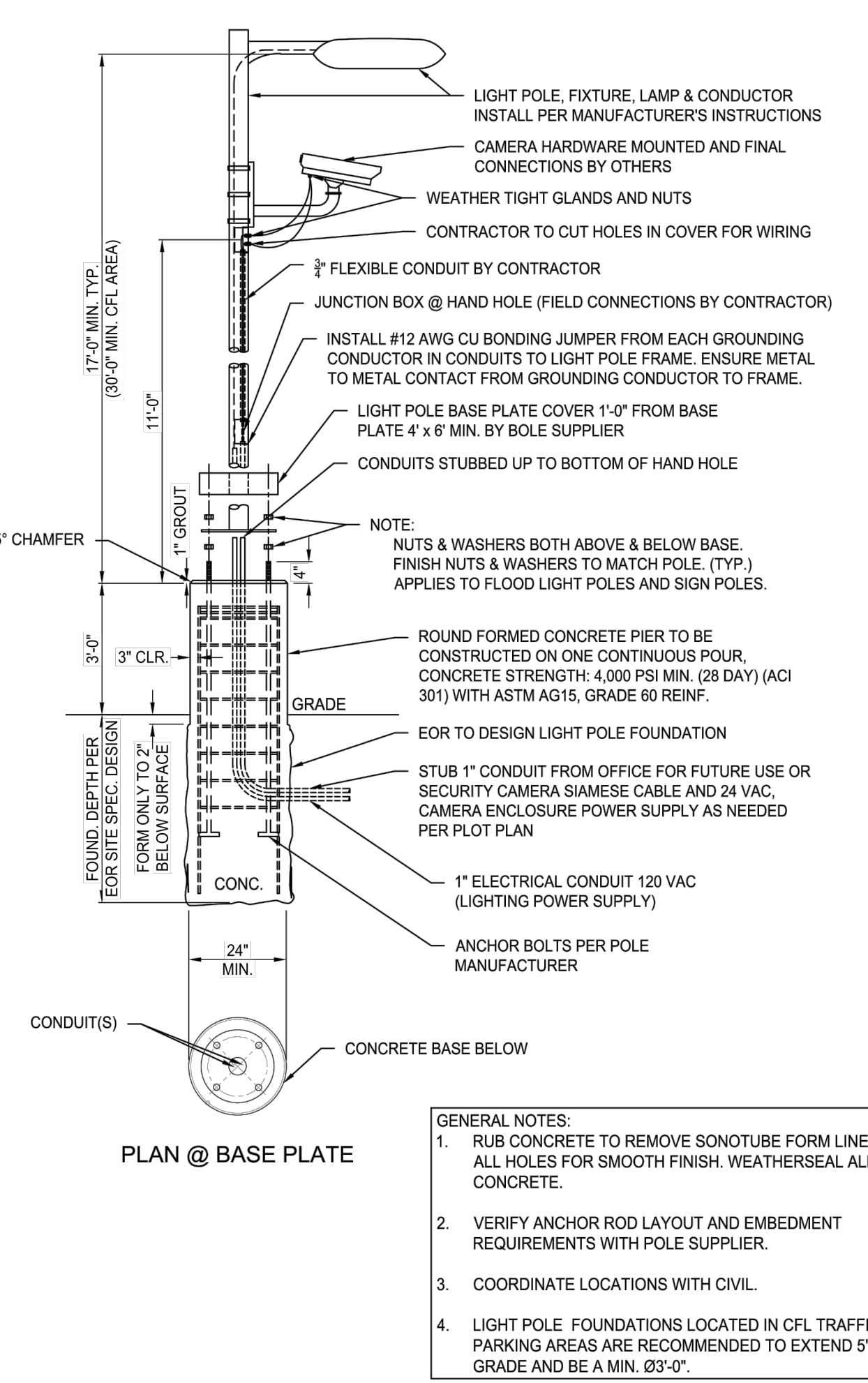
CONCRETE & ASPHALT PAVEMENT MAINTENANCE

- CONCRETE PAVING MAINTENANCE NOTES:
1. CONTRACTOR SHALL REMOVE CONCRETE FROM FAILED AREA BY SAWCUTTING TO FULL DEPTH THE ORIGINAL SLAB AND REMOVING THE EXISTING CONCRETE. THE PATCH SHALL BE A MINIMUM OF 3' WIDE AND RECTANGULAR IN SHAPE. IT SHALL EXTEND TO THE NEXT JOINT IF WITHIN 3'.
 2. ANY JOINTS WHICH ARE REMOVED SHALL BE REPLACED IN THE SAME LOCATION AS THE OLD JOINTS - SEE JOINT DETAILS.
 3. CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF ALL DEBRIS PER LOCAL, STATE, AND FEDERAL REGULATIONS.
 4. SEE NORMAL STRENGTH PAVEMENT, HIGH STRENGTH PAVEMENT DETAILS FOR FULL DEPTH PATCH REQUIREMENTS.
- ASPHALT PAVEMENT MAINTENANCE NOTES:
1. CONTRACTOR SHALL REMOVE ASPHALT FROM FAILED AREA BY SAWCUTTING A RECTANGULAR SHAPE AT LEAST 3' BEYOND THE DAMAGED AREA. TWO OF THE EDGES MUST BE AT RIGHT ANGLES TO THE DIRECTION OF TRAFFIC.
 2. SUBGRADE MUST BE REMOVED TO SOLID GROUND AND REPLACED IN ACCORDANCE WITH THE FULL DEPTH PATCH DETAIL AND OWNER'S SPECIFICATIONS.
 3. CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF ALL DEBRIS PER LOCAL, STATE, AND FEDERAL REGULATIONS.
 4. TACK COAT REQUIRED IF INSTALLING SEPARATE PLACEMENTS. SEE SPEEDWAY SPECIFICATIONS FOR TIMING AND TEMPERATURE GUIDELINES.

SPALLING DETAIL

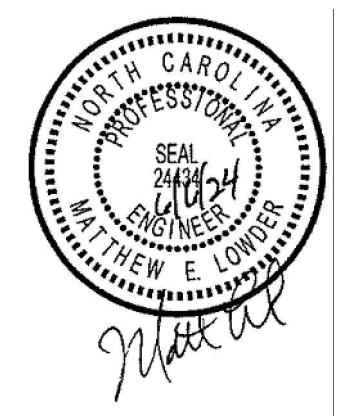


AREA LIGHT POLE FOUNDATION DETAIL

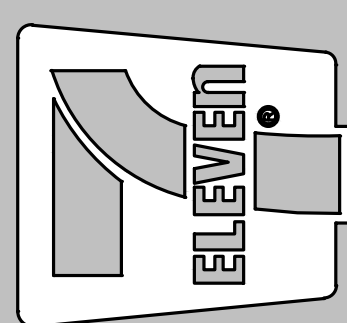


Post Mounted Accessibility Sign
N.T.S.

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4000 S. DR
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RALEIGH, NC 27609
Phone: (919) 553-6570
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Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



NO.	DATE	DESCRIPTION	BY	REVISION DESCRIPTION
1	02/22/23	WAKE COUNTY REVIEW		
2	03/01/24	TOWN OF ZEBULON REVIEW		
3	03/01/24	TOWN OF ZEBULON REVIEW		
4	03/01/24	TOWN OF ZEBULON REVIEW		
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6	03/01/24	NOTOT REVIEW		
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8	03/01/24	NOTOT REVIEW		
9	03/01/24	NOTOT REVIEW		

STORE OR BLDG NO.:
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VERSION OR PROJECT ID:
N/A

DESIGN TEAM
DGNR: BRM & MCB

PM/DP: ML

RVV/R: ML

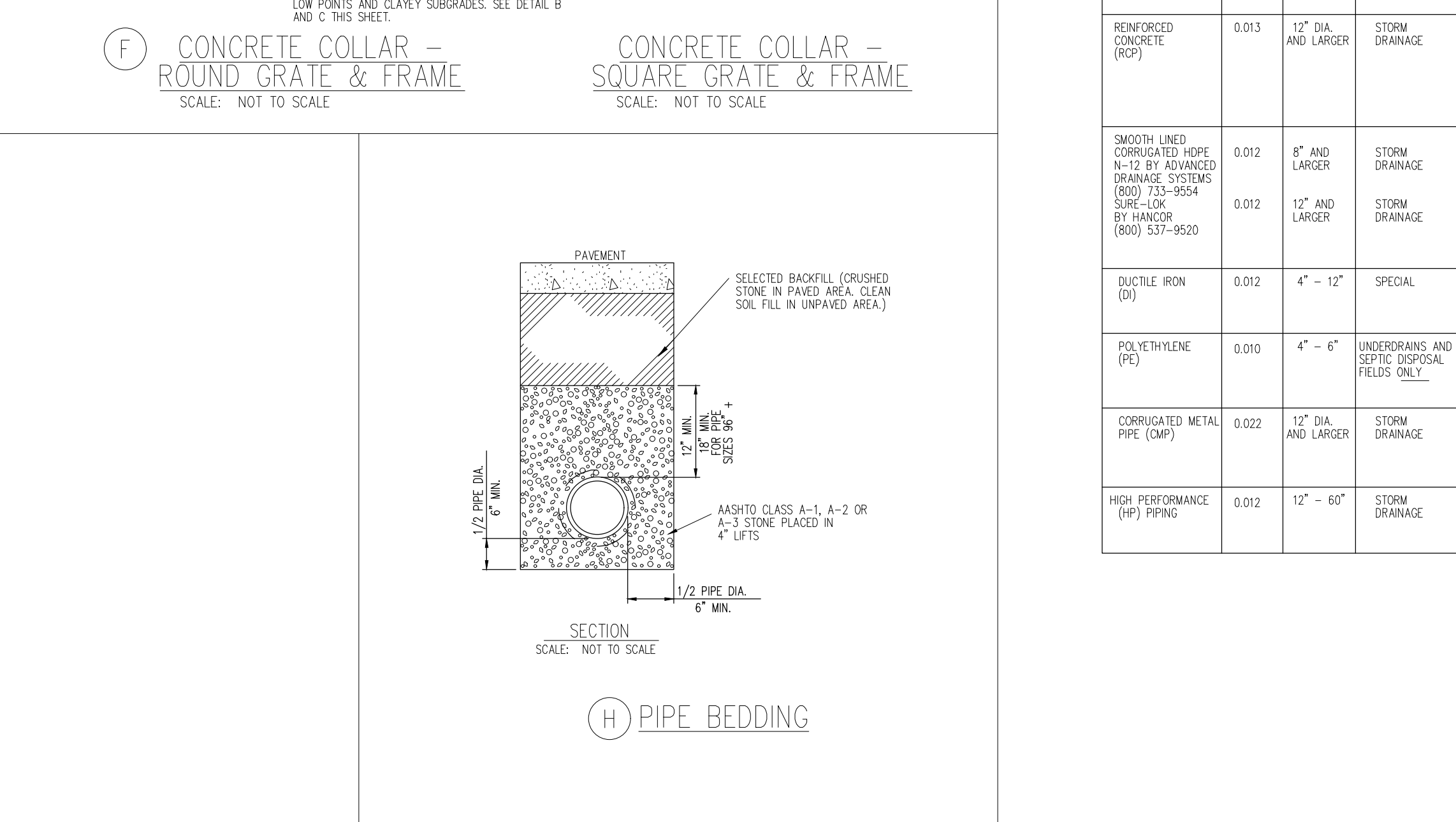
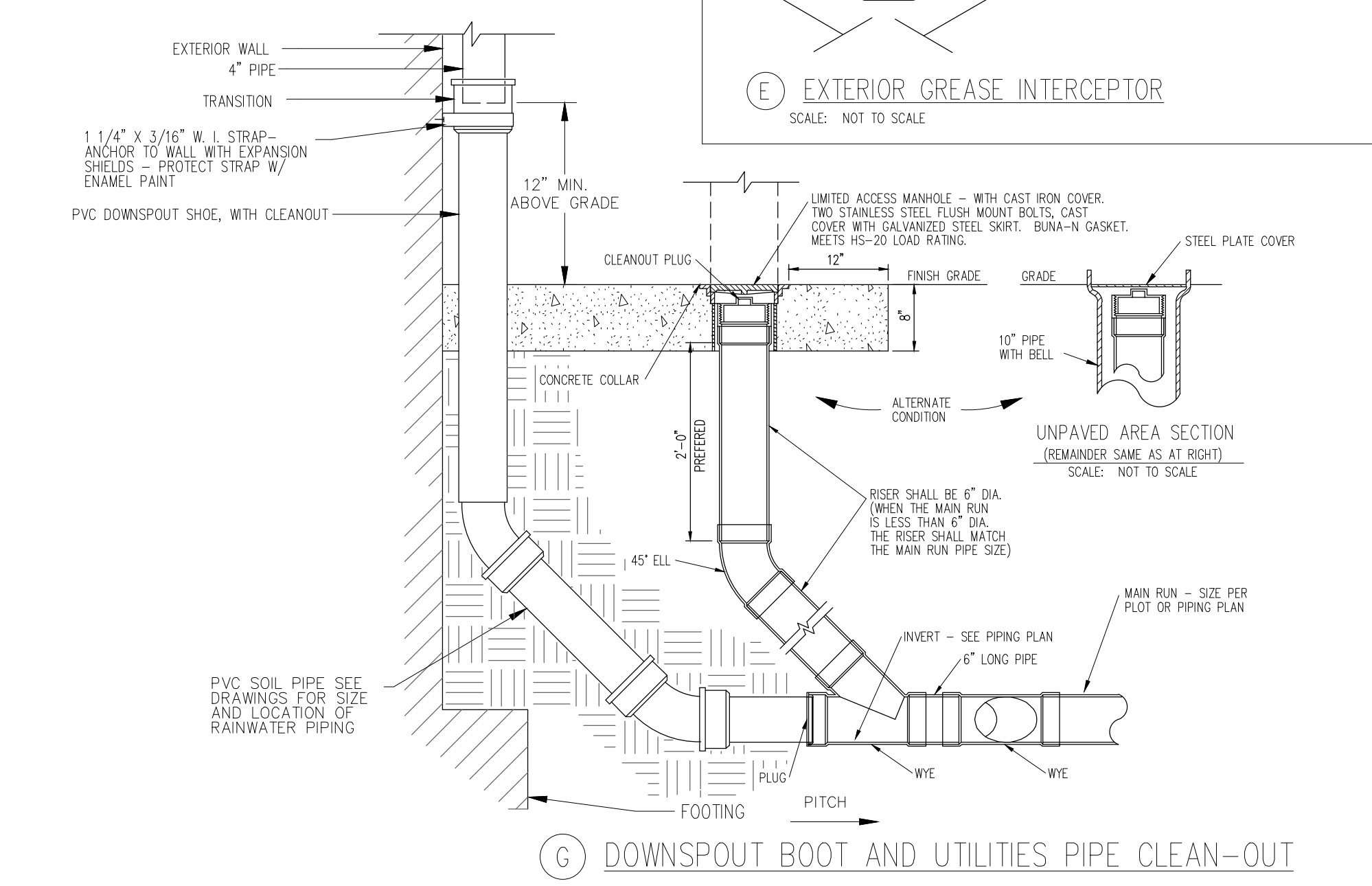
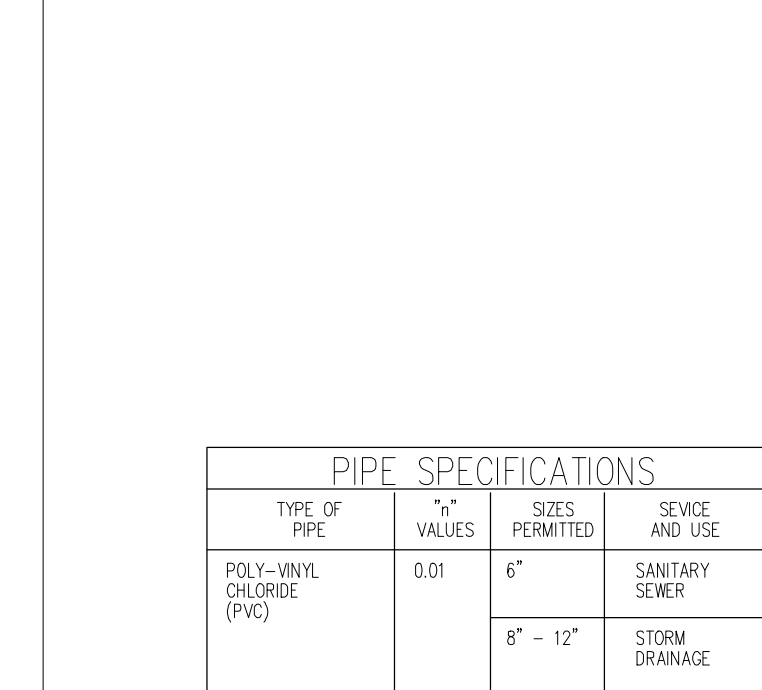
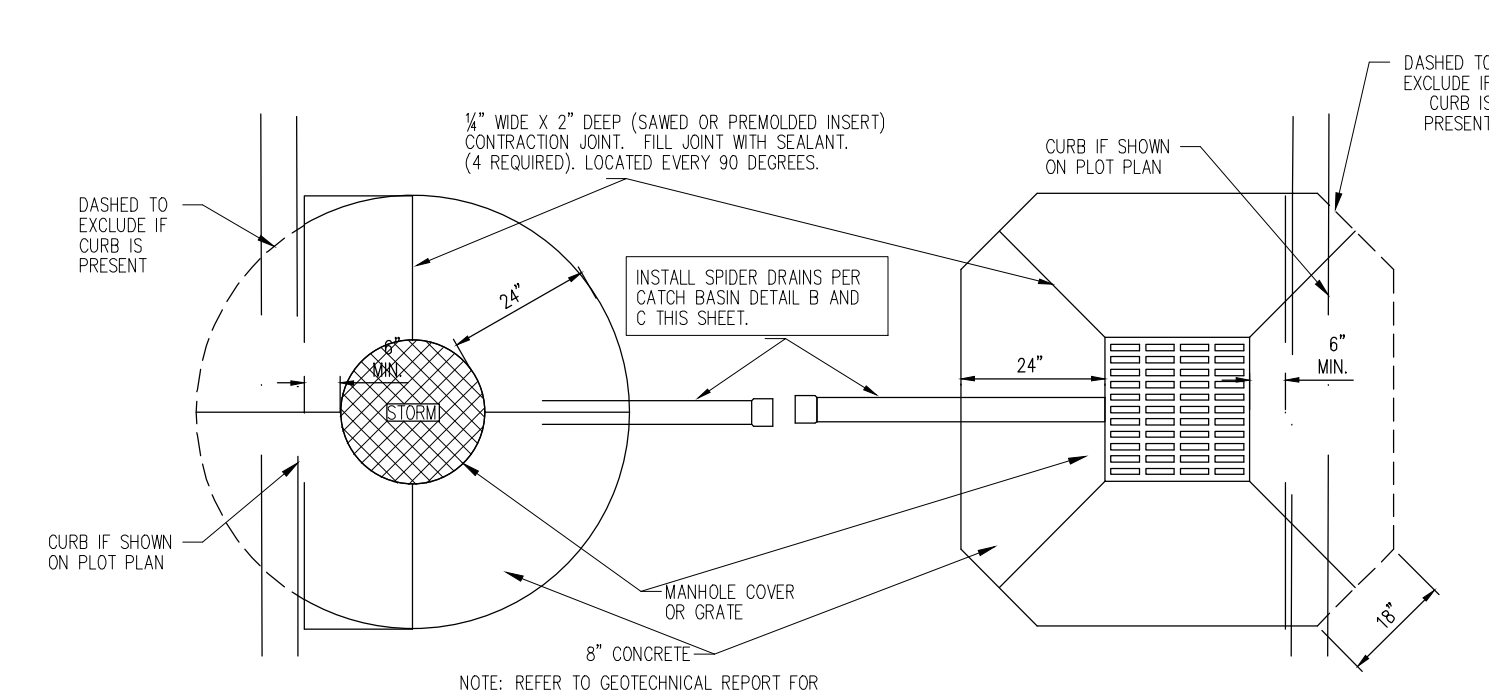
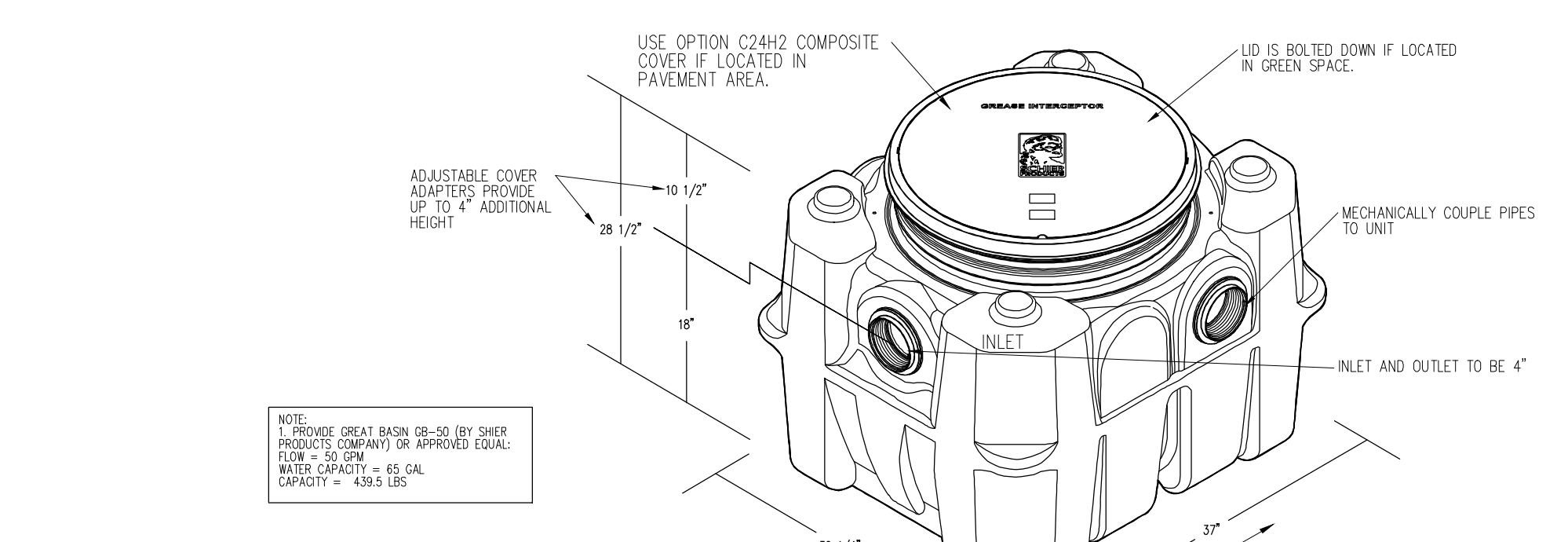
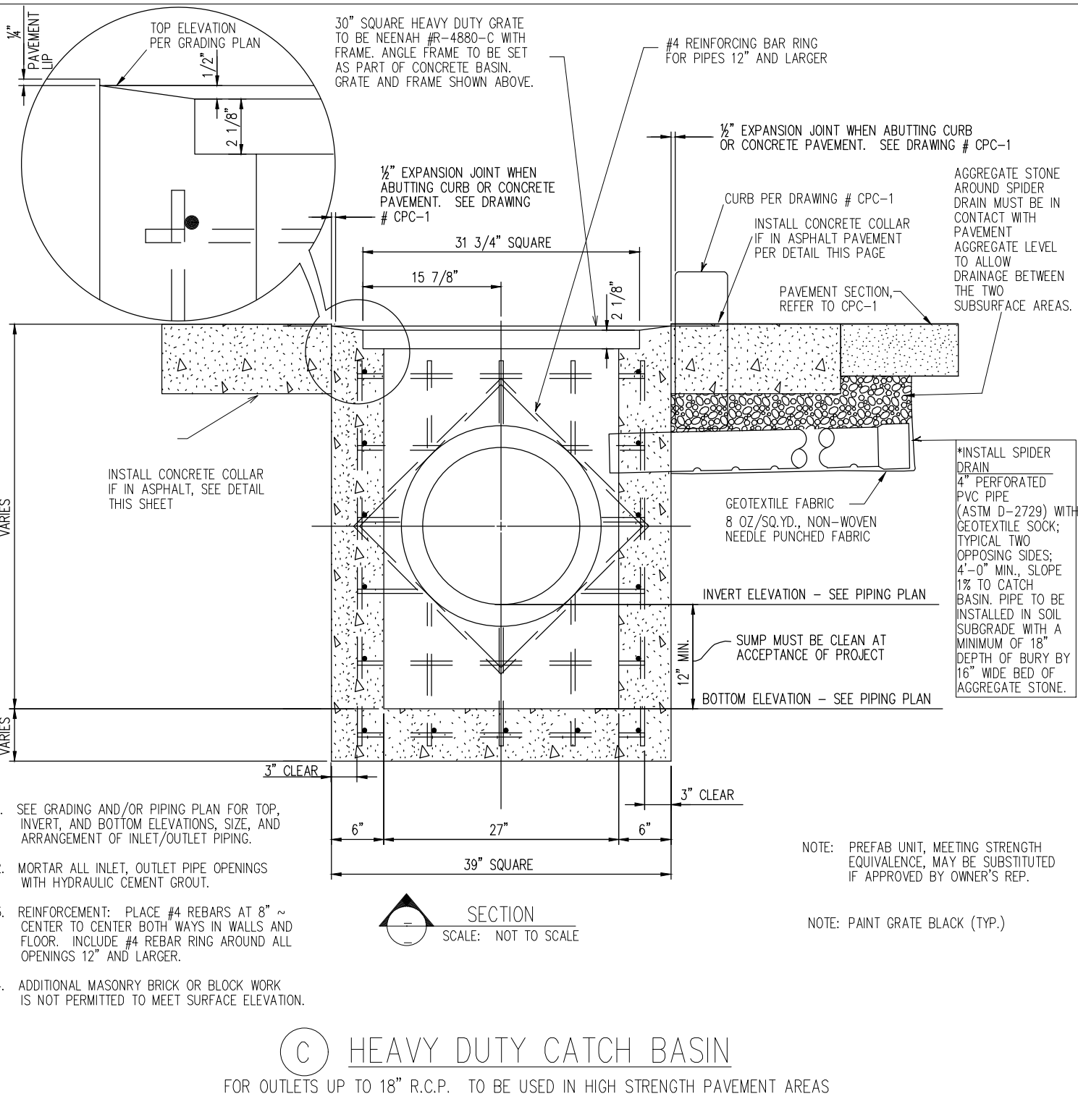
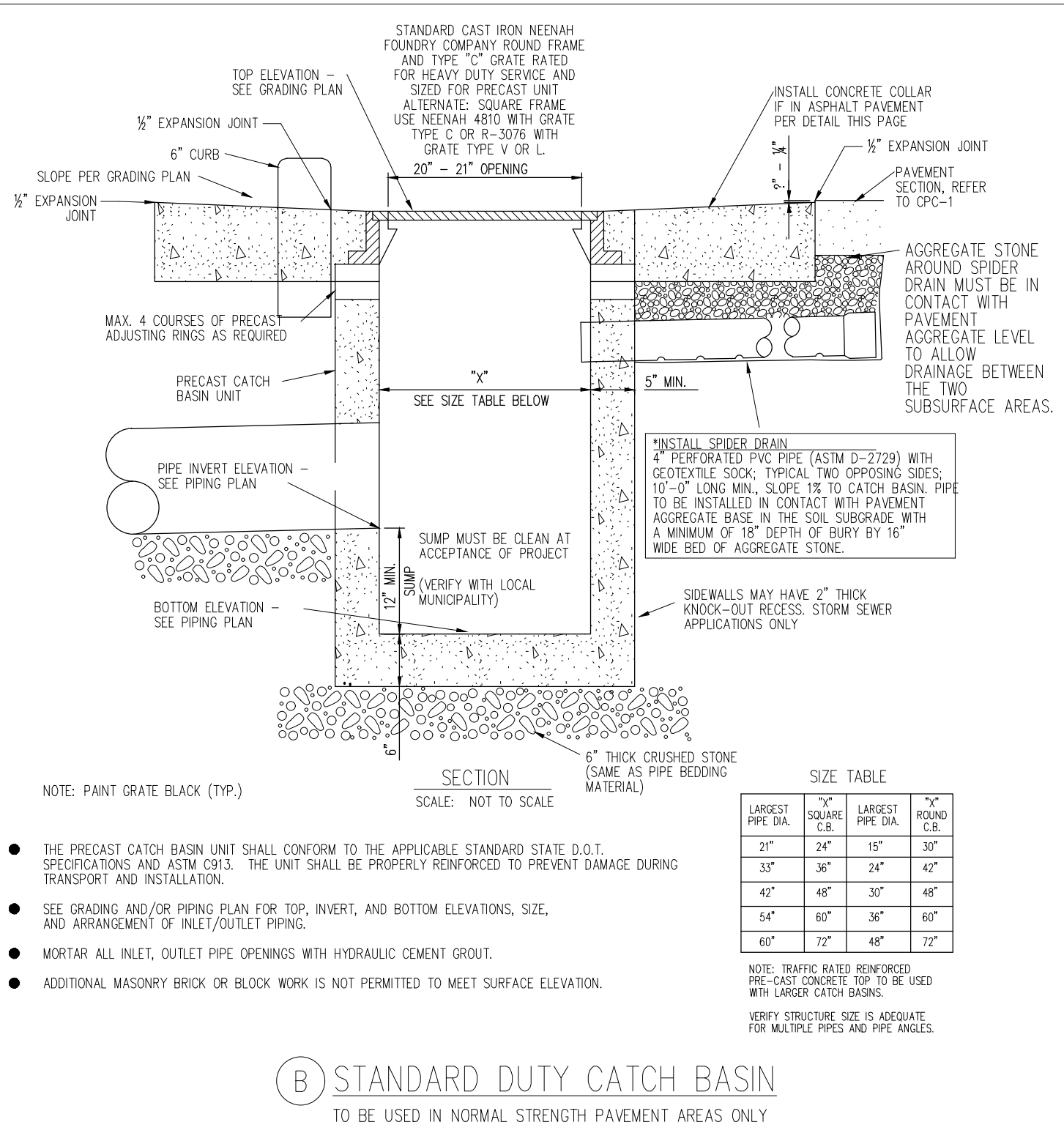
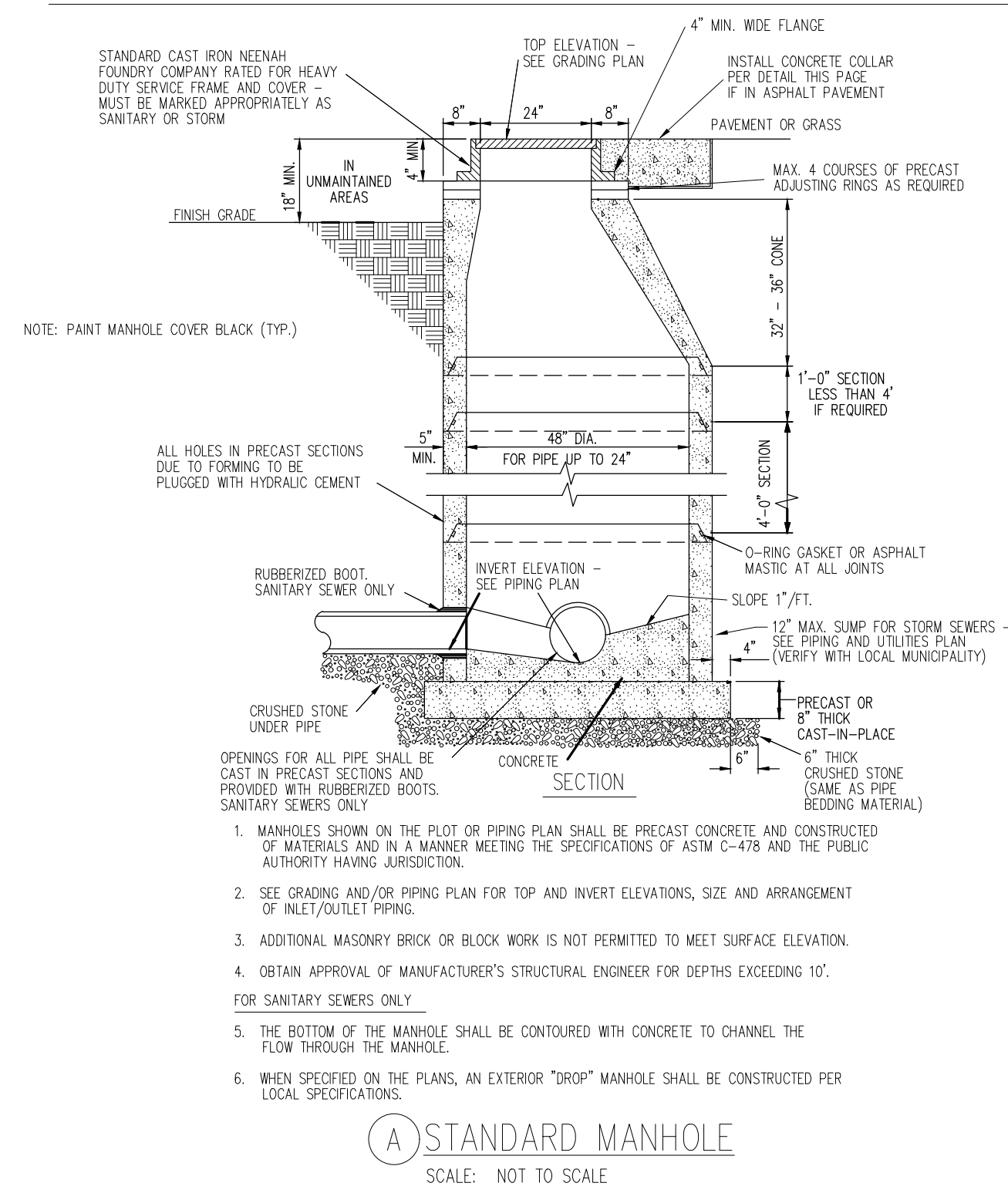
ISSUE DATE: 06/06/2024

ADDRESS
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SHEET TITLE
CONSTRUCTION DETAILS

DRWG. NO.
C6.3

DRAINAGE & UTILITY DETAILS & SPECIFICATIONS



PIPE SPECIFICATIONS							
TYPE OF PIPE	"+" VALUES	SIZES PERMITTED	SENSE AND USE	PIPE SPECIFICATION	INSTALLATION SPECIFICATION	JOINT SPECIFICATION	PREMIUM JOINTS
POLY-VINYL CHLORIDE (PVC)	0.01	6"	SANITARY SEWER	ASTM D-3034 SDR 35	ASTM D-2321 STANDARD PRACTICE FOR INSTALLATION OF FLEXIBLE THERMOPLASTIC SEWER PIPE	ASTM D-3212 STANDARD SPECIFICATION FOR JOINTS FOR DRAIN AND SEWER PLASTIC PIPES USING FLEXIBLE ELASTOMERIC SEALS	ASTM F-477 ELASTOMERIC SEALS FOR JOINING PLASTIC PIPE (OIL RESISTANT) HIGH NITRILE (NBR), EPICHLOROPRENE (ECCO), NEOPRENE (CR), POLYSULFONE (PS), OR FLUORO ELASTOMER (FPM)
		8" - 12"	STORM DRAINAGE	STANDARD SPECIFICATION FOR REINFORCED CONCRETE CULVERTS, STORM DRAIN, AND SEWER PIPE	PIPE BEDDING PER DETAIL	BT/MANOUS MASTIC	ASTM C-443 STANDARD SPECIFICATION FOR JOINTS FOR CIRCULAR CONCRETE SEWER AND CULVERT PIPE USING RUBBER GASKETS (OIL RESISTANT)
REINFORCED CONCRETE (RCP)	0.013	12" DIA. AND LARGER	STORM DRAINAGE	ASTM C-76, ASTM C1479 CLASS 'A' WALL B-TONGUE AND GROOVE	PIPE BEDDING PER DETAIL	BT/MANOUS MASTIC	ASTM C-443 STANDARD SPECIFICATION FOR JOINTS FOR CIRCULAR CONCRETE SEWER AND CULVERT PIPE USING RUBBER GASKETS (OIL RESISTANT)
SMOOTH LINED CORRUGATED HDPE N-12 BY ADVANCED DRAINAGE SYSTEMS (800) 733-9554 SURE-LOK BY HANCOCK (800) 537-9520	0.012	8" AND LARGER	STORM DRAINAGE	AASHTO M294-S	ASTM D-2321 PIPE BEDDING PER DETAIL	STANDARD COUPLERS (PRO LINK)	PVC DOUBLE BELL COUPLER WITH GASKET (PRO LINK 10.8)
		12" AND LARGER	STORM DRAINAGE	AASHTO M294-S	ASTM D-2321 PIPE BEDDING PER DETAIL	USE GASKET IN FINE SOILS	AVAILABLE THROUGH 24" BELL & SPIGOT WITH GASKET (SURE-LOK 10.8)
DUCTILE IRON (DI)	0.012	4" - 12"	SPECIAL	ASTM A-748 CLASS 50 STANDARD SPECIFICATION FOR DUCTILE IRON GRAVITY SEWER PIPE	PIPE BEDDING PER DETAIL	RUBBER GASKET COMPRESSION TYPE JOINT	GASKET TO BE OIL RESISTANT NITRILE-BUTADIENE (NBR)
POLYETHYLENE (PE)	0.010	4" - 6"	UNDERDRAINS AND SEPTIC DISPOSAL FIELDS ONLY	ASTM F-405 STANDARD SPECIFICATION FOR CORRUGATED POLYETHYLENE TUBING AND FITTINGS	SEE UNDERDRAN DETAIL	STANDARD COUPLINGS	N/A
CORRUGATED METAL PIPE (CMP)	0.022	12" DIA. AND LARGER	STORM DRAINAGE	ASTM A-760 STANDARD SPECIFICATION FOR CORRUGATED METAL PIPE, METALLIC-COATED FOR SEWERS AND DRAINS	ASTM A-807 STANDARD SPECIFICATION FOR INSTALLING CORRUGATED METAL STRUCTURAL PLATE PIPE FOR SEWERS	STANDARD COUPLINGS	N/A
HIGH PERFORMANCE (HP) PIPING	0.012	12" - 60"	STORM DRAINAGE	AASHTO M350 ASTM F2891	ASTM D2321	WATER TIGHT ASTM D-3212	EXTENDED REINFORCED INTEGRAL BELL AND GASKETED SPIGOT

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Bowman North Carolina Ltd.
4000 S. DR
Suite 101
RALEIGH, NC 27609
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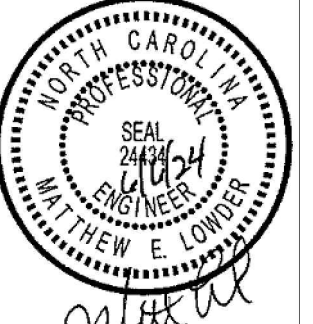
Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY

DATE	REVISION DESCRIPTION	DATE	REVISION DESCRIPTION
12/21/23	WAKE COUNTY REVIEW		
12/21/23	TOWN OF ZEBULON REVIEW		
12/21/23	TOWN OF ZEBULON REVIEW		
12/21/23	TOWN OF ZEBULON REVIEW		
12/21/23	NOTED REVIEW		
12/21/23	NOTED REVIEW		
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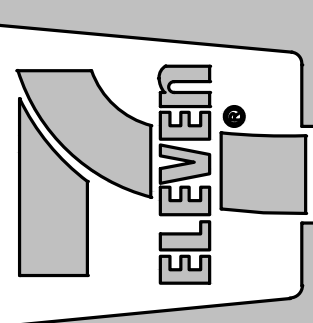
STORE OR BLDG NO.: N/A
VERSION OR PROJECT ID: N/A
DESIGN TEAM: DGNR, BRM & MCB
PM/DP: MIL
RW/RR: MIL
ISSUE DATE: 06/06/2024
ADDRESS: 1106 N ARENDELL AVE, ZEBULON, NC 27587

C6.4

Cad File Name: V:\220163 - Crosland Southeast - 7-Eleven - Kelly\220163-01-002 (ENG) - Crosland-7-Eleven - Zebulon, NC\Engineering\Engineering Plans\Construction Drawings\220163-01-002-SIT.dwg



Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



30° VALLEY - STANDARD

30° VALLEY - SPILL

STANDARD

SPILL

NOTES:
1. SCORE CURB / VALLEY GUTTER AT 15' O.C.
2. PROVIDE 1/2" EXPANSION JOINTS AT 90' O.C.
3. FOR TRANSITION OF CURB TO CURB OPENING INLET, SEE STANDARD DETAIL 33.

TOWN OF ZEBULON
STD. CURB & GUTTER & VALLEY GUTTER DETAIL
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 3
1 OF 1

SECTIONAL VIEW

NOTES:
1. PAVEMENT REPAIRS SHALL HAVE 6" COMPACTED H-BINDER AND 2" TOPPING OF SP9.5B.
2. TRENCH IS TO BE BACK FILLED IN 6" LIFTS AND COMPACTED TO 98% STANDARD DENSITY AS DETERMINED BY AASHTO TEST METHOD T-99 OR ASTM D-698 BEFORE PAVEMENT REPAIRS ARE MADE.
3. COMPACTION TEST MAY BE REQUIRED AT REQUEST OF INSPECTOR.
4. ALL EXISTING PAVED STREETS AND SECONDARY ROADS WHICH ARE OPEN CUT TO INSTALL SEWER OR WATER PIPE, MUST BE REPAIRED ACCORDING TO THIS DETAIL. CABG BACKFILL IS NOT ALLOWED IN ANY PART OF TRENCH WITHIN PAVEMENT.
5. CABG BACKFILL IS NOT ALLOWED IN ANY PART OF TRENCH WITHIN PAVEMENT.
6. FIBER OPTIC & GAS: #57 STONE OR FLOWABLE FILL CONCRETE (MINIMUM 50 PSI) BUT MIN. 6" COMPACTED CLASS II OR III (DEFINITION IN SECTION 02210 - PARAGRAPH 3B OF SPECS) FILL OVER TOP OF FIBER OPTIC CABLE OR GAS PIPE.

TOWN OF ZEBULON
FULL DEPTH ASPHALT REPAIR DETAIL FOR UTILITY CUTS
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 6
1 OF 1

SECTIONAL VIEW

1. PROVIDE 3/4" DEEP TOOLED SCORE AT 5'-0" O.C.
2. EXPANSION JOINTS TO BE PLACED 30'-0" O.C. LONGITUDINALLY, ADJACENT TO CURBS, AND WHEN BUTTING EXISTING STRUCTURES, CONCRETE, OR BUILDINGS.
3. CONCRETE TO BE 3000 P.S.I. AT 28 DAYS, AIR-ENTRAINED.
4. SUBGRADE SHOULD NOT CONTAIN ORGANIC MATTER OR PLASTIC CLAYS. WHEN FOUND, REFER TO SPEC OR CONTACT ENGINEER FOR DIRECTIONS.
5. AREAS OF FILL ARE TO BE COMPACTED TO 95% STANDARD PROCTOR USING MCDOT CLASS III BORROW OR BETTER. REMOVE TOPSOIL BEFORE PLACING BORROW.
6. SIDEWALK TRANSVERSE SLOPE MAY INCREASE TO 1/2 IN 12 WITH TOWN'S ENGINEER APPROVAL.

TOWN OF ZEBULON
TYP SIDEWALK in CUT or FILL SECTIONS
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 12
1 OF 1

SECTIONAL VIEW

1. PROVIDE 3/4" DEEP TOOLED SCORE AT 5'-0" O.C.
2. EXPANSION JOINTS TO BE PLACED 30'-0" O.C. LONGITUDINALLY, ADJACENT TO CURBS, AND WHEN BUTTING EXISTING STRUCTURES, CONCRETE, OR BUILDINGS.
3. CONCRETE TO BE 3000 P.S.I. AT 28 DAYS, AIR-ENTRAINED.
4. SUBGRADE SHOULD NOT CONTAIN ORGANIC MATTER OR PLASTIC CLAYS. WHEN FOUND, REFER TO SPEC OR CONTACT ENGINEER FOR DIRECTIONS.
5. AREAS OF FILL ARE TO BE COMPACTED TO 95% STANDARD PROCTOR USING MCDOT CLASS III BORROW OR BETTER. REMOVE TOPSOIL BEFORE PLACING BORROW.
6. SIDEWALK TRANSVERSE SLOPE MAY INCREASE TO 1/2 IN 12 WITH TOWN'S ENGINEER APPROVAL.

TOWN OF ZEBULON
TYP SIDEWALK in CUT or FILL SECTIONS
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 13
1 OF 1

PLAN VIEW

THICKEN S/W APPROACH TO 6", 2' BACK FROM EDGE OF DRIVE - BOTH SIDES

AS SHOWN ON PLAN BUT 12" MIN.

VERTICAL TRANSITION SECTION. PLACE CONCRETE AT CONCRETE DRIVES OR ASPHALT AT ASPHALT DRIVES.

PLACE 1/2" DP. JOINT HERE WHEN CROSSING EXISTING CONCRETE DRIVES

THICKEN S/W APPROACH TO 6", 2' BACK FROM EDGE OF DRIVE - BOTH SIDES

TOWN OF ZEBULON
SIDEWALK DETAIL X-ING EX. DRIVEWAYS
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 14
1 OF 1

LONGITUDINAL SECTION
NOT TO SCALE

SECTION A-A
ELEVATION OF SINGLE ACCESS RAMP
NOT TO SCALE

SINGLE ACCESS ISOMETRIC VIEW

NOTES:
- FIRST TWO FEET SHALL BE HANDICAP TILES WITH DIMPLES BY ALERT CAST OR APPROVED EQUAL.
- THE REMAINING FOUR FEET SHALL BE DYED CONCRETE WITH 70% CONTRAST.
- INSTALLATION PER MANUFACTURER'S INSTRUCTIONS.
- STAMPED CONCRETE NOT ALLOWED.

TOWN OF ZEBULON
SINGLE HANDICAP RAMP DETAIL
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 20
1 OF 1

PERSPECTIVE

NOTES:
1. WHEELCHAIR RAMPS SHALL BE PROVIDED AT LOCATIONS AS SHOWN ON THESE PLANS OR AS DIRECTED BY THE ENGINEER. WHEELCHAIR RAMPS SHALL BE LOCATED AS INDICATED IN THESE DETAILS; HOWEVER, THE LOCATION MAY BE ADJUSTED AS DIRECTED BY THE ENGINEER WHERE EXISTING LIGHT POLES, FIRE HYDRANTS, DROP INLETS, ETC. AFFECT PLACEMENT AT THESE LOCATIONS. NOT LESS THAN 2 FEET OF FULL HEIGHT CURB SHALL BE PLACED BETWEEN ADJACENT RAMPS.
2. NO SLOPE ON THE WHEELCHAIR RAMP SHALL EXCEED 1/12 (12:1) IN RELATIONSHIP TO THE GRADE OF THE STREET.
3. IN NO CASE SHALL THE WIDTH OF THE WHEELCHAIR RAMP BE LESS THAN 40" (3'-4") HOWEVER, WIDTH MAY EXCEED 40".
4. USE AIR ENTRAINED 3000 PSI CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NON-SKID TYPE SURFACE.
5. A 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE CONCRETE WHEELCHAIR RAMP JOINS THE CURB AND AS SHOWN ON STANDARD DRAWINGS.
6. CURB DEPRESSION MUST GO IN WHETHER OR NOT SIDEWALK IS PLACED.

TOWN OF ZEBULON
STANDARD ADA WHEELCHAIR SIDEWALK ACCESS AT CURB RETURNS
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 21
1 OF 2

SECTION A-A
PUBLIC STREET TIE-IN
NOT TO SCALE

SECTION B-B

TOWN OF ZEBULON
DOUBLE HANDICAP RAMP DETAIL
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 21
2 OF 2

PERSPECTIVE

SECTION A-A
IN-WALK HANDICAP RAMP
* THIS DETAIL APPLICABLE FOR PARALLEL PARKING IN MUNICIPAL APPLICATIONS ONLY

TOWN OF ZEBULON
HANDICAP PARKING STALL DETAIL *
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 22
1 OF 1

ELEVATIONAL VIEW

INCLUDES 2" BLOCK NUMBERS

6" TO 12"

STOP

R-1 ON 0.080" ALUMINUM SIGN BLANK.

GALV. STEEL SIGN POST 3/4" DIA BY 3 1/2" WIDE FLANGE

PEDESTRIAN AREA

2'-6" MIN.

NOTES:
1. STREET NAME SIGNS SHALL BE A MINIMUM OF EXTRUDED ALUMINUM SIGNS USING A MINIMUM OF 4" C-SERIES LETTERING IN HIGH INTENSITY SILVER & HIGH INTENSITY GREEN BACKGROUND (2" LETTERS FOR BLOCK NUMBERS).
2. ALL REFLECTIVE SIGNS SHALL BE MADE OF HIGH INTENSITY GRADE REFLECTIVE SHEETING OR APPROVED EQUIVALENT.
3. ALL SIGNS PLACED IN RIGHT-OF-WAY WILL BE APPROVED BY TOWN'S PUBLIC WORKS DIRECTOR.
4. ERECT STREET SIGNS PLUMB.
5. DEVELOPER SHALL BE RESPONSIBLE FOR FURNISHING & ERECTING ALL STREET NAME & REGULATORY SIGNS.
6. ALL HARDWARE MUST BE GALVANIZED.

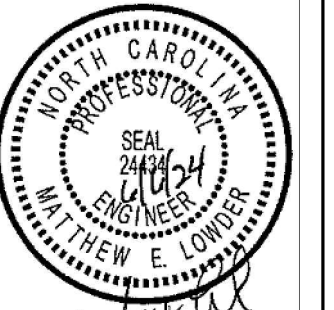
TOWN OF ZEBULON
STANDARD SIGN INSTALLATION DETAIL
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 30
1 OF 1

DATE	REVISION DESCRIPTION	DATE	REVISION DESCRIPTION
07/10/10	ISSUED		
07/10/10	REVISION 1		
07/10/10	REVISION 2		
07/10/10	REVISION 3		
07/10/10	REVISION 4		
07/10/10	REVISION 5		
07/10/10	REVISION 6		
07/10/10	REVISION 7		
07/10/10	REVISION 8		
07/10/10	REVISION 9		
07/10/10	REVISION 10		

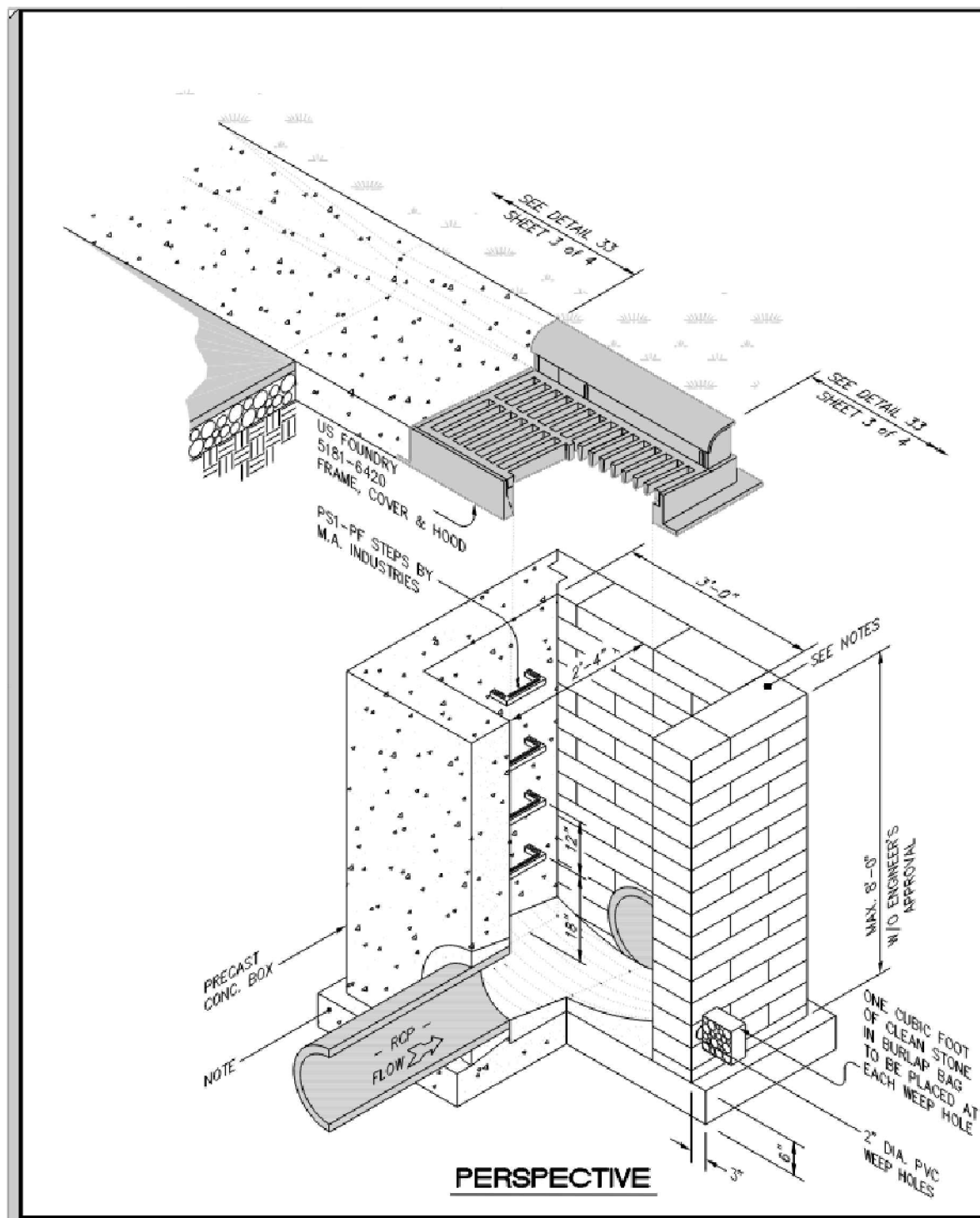
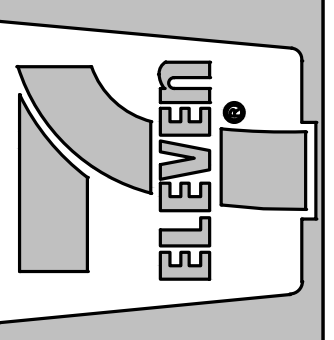
STORE OR BLDG NO.: N/A
VERSION OR PROJECT ID: N/A
DESIGN TEAM: DGNR, BRM & MCB
PM/DP: ML
RW/R: ML
ISSUE DATE: 06/08/2024
ADDRESS: 1106 N ARENDELL AVE, ZEBULON, NC 27587

SHEET TITLE
OFFSITE CONSTRUCTION DETAILS

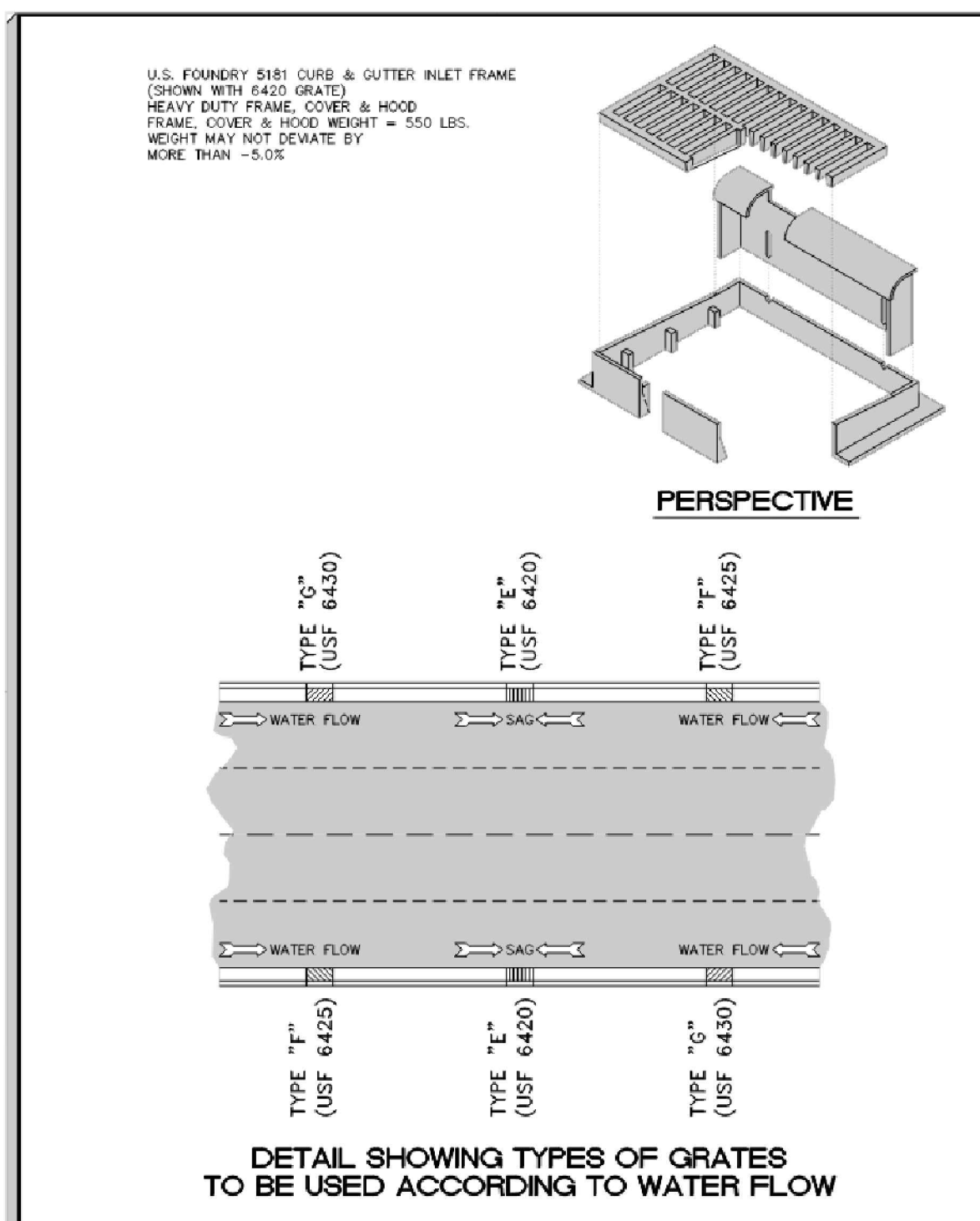
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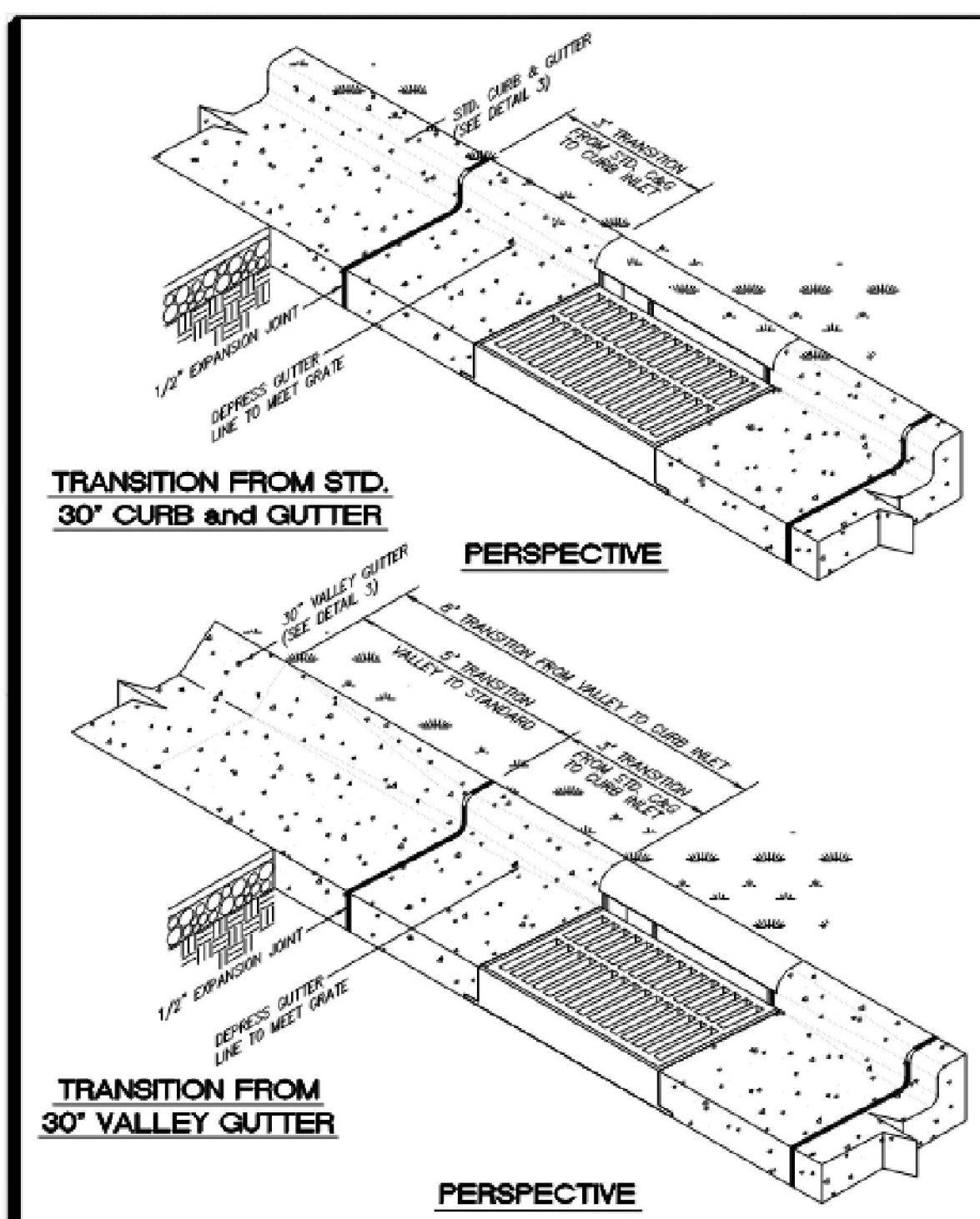
Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



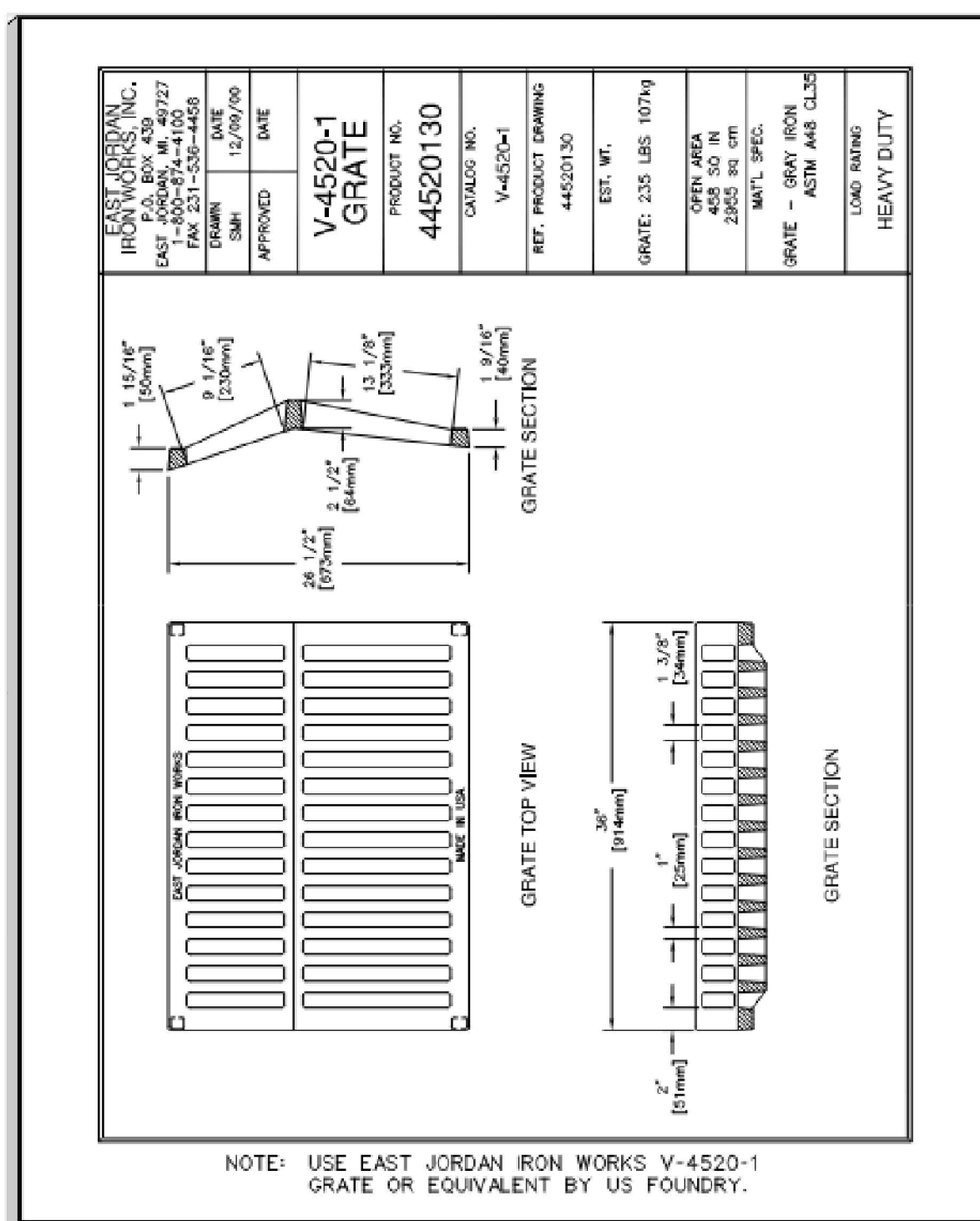
TOWN OF ZEBULON
STD. C&G INLET W/HOOD
DETAIL # 33
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 1 OF 4



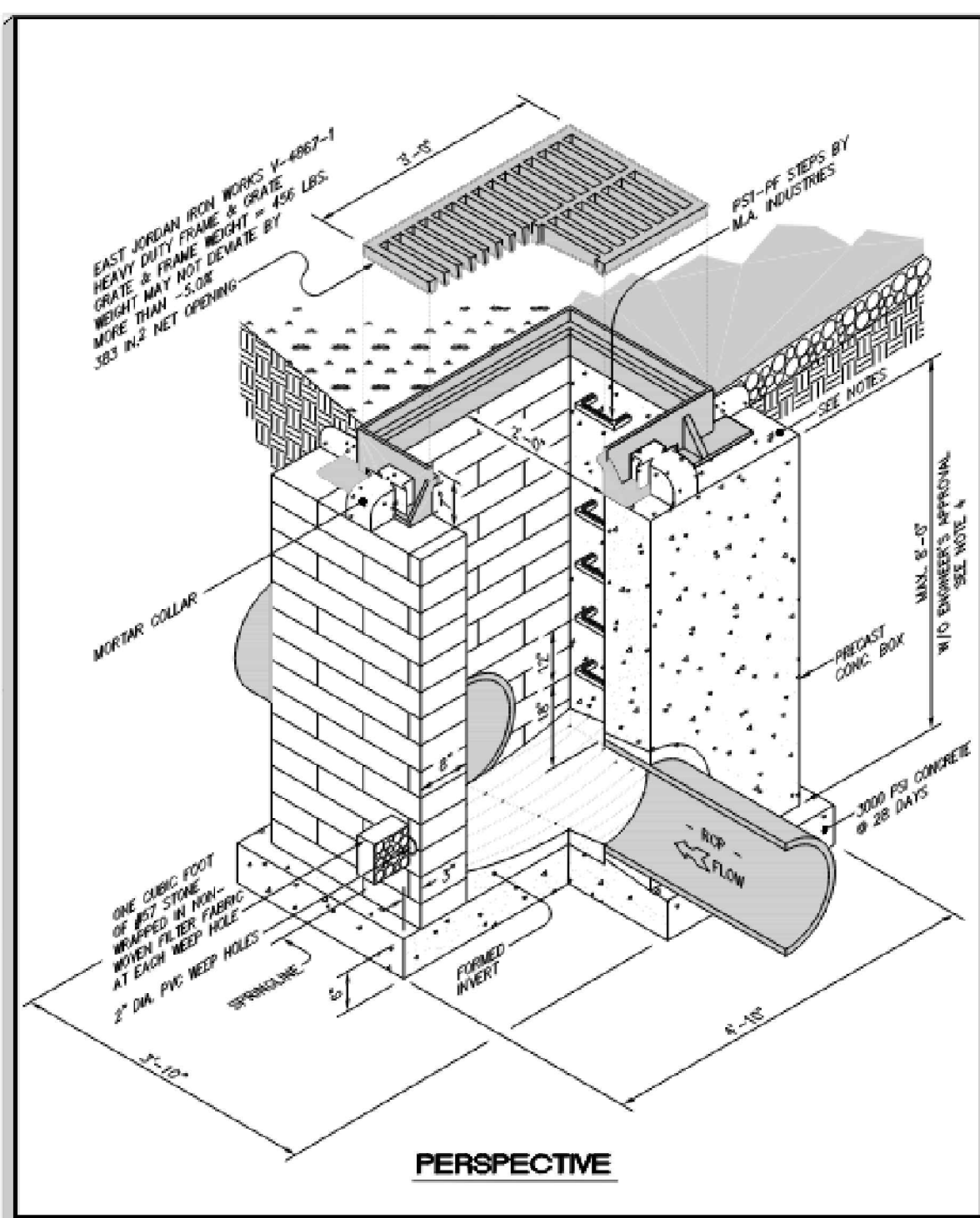
TOWN OF ZEBULON
STD. C&G INLET W/HOOD
DETAIL # 33
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 2 OF 4



TOWN OF ZEBULON
STD. TRANSITION FROM INLET
TO STD. C&G / VALLEY GUTTER
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 3 OF 4



TOWN OF ZEBULON
DETAIL FOR STORM DRAIN
WITH DRIVEWAY CONFLICT
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 4 OF 4



TOWN OF ZEBULON
2x3
DROP INLET
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 1 OF 1

D_i = INSIDE DIAMETER OF PIPE
D_o = OUTSIDE DIAMETER OF PIPE
B_d = TRENCH WIDTH
H = BACKFILL COVER ABOVE TOP OF PIPE

PIPE D _i	MAX. BURY B _d	MAX. BURY H CLASS II (0.01 CRACK)	MAX. BURY H CLASS IV (0.01 CRACK)
15"	4'	9.5'	14.5'
18"	4'	9.5'	15.0'
24"	4'	12.0'	23.5'
30"	5.0'	10.0'	17.0'
36"	4'	10.5'	18.0'
42"	6.5'	13.0'	19.0'
48"	7'	13.5'	20.0'
54"	8'	13.0'	18.5'
60"	11.0'	11.0'	18.0'
72"	13.0'	13.0'	19.0'

THIS TABLE ASSUMES TYPE 4 INSTALLATION & NO STONE BEDDING

TOWN OF ZEBULON
STD. TRENCH INSTALLATION FOR CONCRETE PIPE (FOR CONTRACTOR'S USE)
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 1 OF 3

D_i = INSIDE DIAMETER OF PIPE
D_o = OUTSIDE DIAMETER OF PIPE
B_d = TRENCH WIDTH
H = BACKFILL COVER ABOVE TOP OF PIPE

PIPE D _i	MAX. BURY B _d	MAX. BURY H CLASS II (0.01 CRACK)	MAX. BURY H CLASS IV (0.01 CRACK)
15"	4'	9.5'	14.5'
18"	4'	9.5'	15.0'
24"	4'	12.0'	23.5'
30"	5.0'	10.0'	17.0'
36"	4'	10.5'	18.0'
42"	6.5'	13.0'	19.0'
48"	7'	13.5'	20.0'
54"	8'	13.0'	18.5'
60"	11.0'	11.0'	18.0'
72"	13.0'	13.0'	19.0'

THIS TABLE ASSUMES TYPE 4 INSTALLATION & NO STONE BEDDING

TOWN OF ZEBULON
STD. TRENCH INSTALLATION FOR CONCRETE PIPE (FOR ENGINEER'S USE)
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 2 OF 3

Table 1 Equivalent USCS and AASHTO Soil Classification for SIDD Soil Designations

SIDD Soil	USCS	AASHTO	Percent Compaction	
			Standard Proctor	Modified Proctor
Gravelly Sand (Category I)	SM, SP, GM, GP	A1A3	100	95
			95	90
			80	81
Sandy Silty Clay (Category II)	GM, SM, ML, Also GC, SC with less than 20% passing #200 sieve	A2A4	100	95
			95	90
			80	75
Silty Clay (Category III)	CL, MH, OL, SC	A5A6	100	90
			95	85
			80	40
OH			100	90
			95	85
			80	40

Notes:

- Compaction and soils symbols - i.e. "98% Category I" refers to Category I soil materials with minimum standard Proctor compaction of 98%. See Table 1 for equivalent modified Proctor values.
- Soil in the outer bedding, haunch, and lower side zones, except within D_o/3 from the pipe springline, shall be compacted to at least the same compaction as the majority of the soil in the overfill zone.
- Subtrenches
 - A subtrench is defined as a trench with its top below finished grade by more than 0.1 H or, for roadways, its top is at an elevation lower than 0.3 m (1') below the bottom of the pavement base material.
 - The minimum width of a subtrench shall be 1.33 D_o or wider if required for adequate space to attain the specified compaction in the haunch and bedding zones.
 - For subtrenches with wall of natural soil, any portion of the lower side zone in the subtrench wall shall be at least as firm as an equivalent soil placed to the compaction requirements specified for the lower side zone and as firm as the majority of the soil in the overfill zone, or shall be removed and replaced with soil compacted to the specified level.
 - Type 1 installation = relatively high quality material & high compaction effort. Type 4 installation = little or no control over material and compaction.

TOWN OF ZEBULON
STD. TRENCH INSTALLATION (TRENCH CONDITION SHOWN)
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 3 OF 3

Table 2 Standard EMBANKMENT Installation Soils and Minimum Compaction Requirements

Installation Type	Bedding Thickness	Haunch and Outer Bedding		Lower Side
		98% Category I	90% Category I, 95% Category II	
Type 1	D _o /24 minimum, not less than 75 mm (3"). If rock foundation, use D _o /12 minimum, not less than 150 mm (6").	98% Category I	90% Category I, 95% Category II, or 100% Category III	
Type 2	D _o /24 minimum, not less than 75 mm (3"). If rock foundation, use D _o /12 minimum, not less than 150 mm (6").	90% Category I, 95% Category II	90% Category I, 95% Category II, or 95% Category III	
Type 3	D _o /24 minimum, not less than 75 mm (3"). If rock foundation, use D _o /12 minimum, not less than 150 mm (6").	95% Category I, 90% Category II, or 95% Category III	90% Category I, 95% Category II, or 95% Category III	
Type 4	D _o /24 minimum, not less than 75 mm (3"). If rock foundation, use D _o /12 minimum, not less than 150 mm (6").	No compaction required, except if Category III, use 95% Category III	No compaction required, except if Category III, use 95% Category III	

Notes:

- Compaction and soils symbols - i.e. "98% Category I" refers to Category I soil materials with minimum standard Proctor compaction of 98%. See Table 1 for equivalent modified Proctor values.
- The trench top elevation shall be no lower than 0.1 H below finished grade or, for roadways, its top shall be no lower than an elevation of 0.3 m (1') below the bottom of the pavement base material.
- Soil in bedding and haunch zones shall be compacted to at least the same compaction as specified for the majority of the soil in the backfill zone.
- The trench width shall be wider than shown if required for adequate space to attain the specified compaction in the haunch and bedding zones.
- For trench walls that are within 10 degrees of vertical, the compaction or firmness of the soil in the trench walls and lower side zone need not be considered.
- For trench walls with greater than 10 degree slopes that consist of embankment, the lower side shall be compacted to at least the same compaction as specified for the soil in the backfill zone.
- Type 1 installation = relatively high quality material & high compaction effort. Type 4 installation = little or no control over material and compaction.

TOWN OF ZEBULON
STD. TRENCH INSTALLATION (TRENCH CONDITION SHOWN)
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 4 OF 5

Table 3 Standard TRENCH Installations Soils and Minimum Compaction Requirements

Installation Type	Bedding Thickness	Haunch Outer Bedding		Lower Side
		98% Category I	90% Category I, 95% Category II, or 95% Category III	
Type 1	D _o /24 minimum, not less than 75 mm (3"). If rock foundation, use D _o /12 minimum, not less than 150 mm (6").	98% Category I	90% Category I, 95% Category II, or 100% Category III	
Type 2	D _o /24 minimum, not less than 75 mm (3"). If rock foundation, use D _o /12 minimum, not less than 150 mm (6").	90% Category I, 95% Category II	90% Category I, 95% Category II, or 95% Category III	
Type 3	D _o /24 minimum, not less than 75 mm (3"). If rock foundation, use D _o /12 minimum, not less than 150 mm (6").	95% Category I, 90% Category II, or 95% Category III	90% Category I, 95% Category II, or 95% Category III	
Type 4	D _o /24 minimum, not less than 75 mm (3"). If rock foundation, use D _o /12 minimum, not less than 150 mm (6").	No compaction required, except if Category III, use 95% Category III	No compaction required, except if Category III, use 95% Category III	

Notes:

- Compaction and soils symbols - i.e. "98% Category I" refers to Category I soil materials with minimum standard Proctor compaction of 98%. See Table 1 for equivalent modified Proctor values.
- The trench top elevation shall be no lower than 0.1 H below finished grade or, for roadways, its top shall be no lower than an elevation of 0.3 m (1') below the bottom of the pavement base material.
- Soil in bedding and haunch zones shall be compacted to at least the same compaction as specified for the majority of the soil in the backfill zone.
- The trench width shall be wider than shown if required for adequate space to attain the specified compaction in the haunch and bedding zones.
- For trench walls that are within 10 degrees of vertical, the compaction or firmness of the soil in the trench walls and lower side zone need not be considered.
- For trench walls with greater than 10 degree slopes that consist of embankment, the lower side shall be compacted to at least the same compaction as specified for the soil in the backfill zone.
- Type 1 installation = relatively high quality material & high compaction effort. Type 4 installation = little or no control over material and compaction.

TOWN OF ZEBULON
STD. TRENCH INSTALLATION (TRENCH CONDITION SHOWN)
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 5 OF 5

NO.	DATE	REVISION DESCRIPTION	DATE	REVISION DESCRIPTION
1	07/10/10	ISSUED		
2	07/10/10	REVISION 1		
3	07/10/10	REVISION 2		
4	07/10/10	REVISION 3		
5	07/10/10	REVISION 4		
6	07/10/10	REVISION 5		
7	07/10/10	REVISION 6		
8	07/10/10	REVISION 7		
9	07/10/10	REVISION 8		
10	07/10/10	REVISION 9		

STORE OR BLDG NO.:
N/A
VERSION OR PROJECT ID:
N/A
DESIGN TEAM:
DGNR, BRM & MCB
PM/DP: ML
RW/R: ML
ISSUE DATE: 06/02/2024
ADDRESS:
1106 N ARENDELL AVE
ZEBULON, NC 27597

TOWN OF ZEBULON
STD. TRENCH INSTALLATION (TRENCH CONDITION SHOWN)
SCALE: NOT TO SCALE
DATE: JULY 2010
SHEET # 5 OF 5

SHEET TITLE
OFFSITE
CONSTRUCTION
DETAILS

END SECTION DIMENSIONS					
DIA.	A	B	C	D	E
18"	7"	2'-3 1/4"	3'-11 1/2"	6'-2 3/4"	2'-6"
18"	9"	2'-3"	3'-11 3/4"	6'-2 3/4"	3'-0"
24"	9"	3'-7"	3'-1"	6'-8"	3'-11 3/4"
30"	1'-0"	4'-6 1/2"	1'-10 1/2"	6'-5"	5'-0"
36"	1'-4"	5'-0"	3'-1 1/2"	8'-1 1/2"	5'-11"
42"	1'-10 1/4"	5'-1 3/8"	3'-1"	8'-2 5/8"	6'-5 1/4"

NOTES:
 1. DESIGN OF END-SECTION SHALL CONFORM TO STANDARD REINFORCED SECTIONAL CONCRETE CULVERT PIPE.
 2. ANY TWIN BARREL SYSTEM GREATER THAN 42" RCP REQUIRES A HEADWALL.
 3. ANY SYSTEM OF MORE THAN 2 PIPES REQUIRES A HEADWALL.
 4. SEE NCDOT "ROADWAY STANDARD DRAWINGS" FOR HEADWALL CONSTRUCTION DETAILS.

PERSPECTIVE

TOWN OF ZEBULON
 STD. FLARED END SECTIONS
 DESIGN AID DETAIL
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 1 OF 1

PERSPECTIVE

TOWN OF ZEBULON
 STD. M.H. J.B.
 VARIABLE LENGTH
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 1 OF 3

RISE	PART NO.	F
1 1/2"	V-1084-05	3 1/4"
1"	V-1084-10	3 3/4"
1 1/2"	V-1084-15	4 1/4"
2"	V-1084-20	4 3/4"
2 1/2"	V-1084-25	5 1/4"
3"	V-1084-30	5 3/4"
3 1/2"	V-1084-35	6 1/4"
4"	V-1084-40	6 3/4"

REPLACEMENT RISER RINGS

BASIC RISER RING

COVER FACE

FRAME SECTION

COVER SECTION

FRAME TOP VIEW

COVER BACK

TOWN OF ZEBULON
 STANDARD MANHOLE COVER & RING
 ADJUSTABLE - EAST JORDAN IRON WORKS V-1084
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 2 OF 3

REQUESTED WORKING:
 NO VENT HOLES FOR COVERS USED IN STREET AND 4 HOLES FOR COVERS OUTSIDE STREET. THE EXCEPTION TO THIS IS WHERE MANHOLES COULD COLLECT STORM RUNOFF IN THEIR VICINITY. IN THIS CASE, THERE ARE TO BE NO VENT HOLES IN COVER.

PVC INSERT RING

FRAME SECTION

COVER SECTION

FRAME TOP VIEW

COVER BACK

TOWN OF ZEBULON
 STANDARD MANHOLE & RING
 US FOUNDRY 700 KL
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 3 OF 3

PERSPECTIVE

TOWN OF ZEBULON
 STD. MULTIPLE 2' x 3'
 CATCH BASIN DETAIL
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 1 OF 1

PERSPECTIVE

TOWN OF ZEBULON
 STD. 3' x VARIABLE LENGTH
 BOX WITH 2' x 3' C.B.
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 1 OF 2

PERSPECTIVE

TOWN OF ZEBULON
 STD. 3' x VARIABLE LENGTH
 PRECAST BOX WITH 2' x 3' C.B.
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 2 OF 2

SECTIONAL VIEW

TOWN OF ZEBULON
 TYPICAL SHRUB
 PLANTING DETAIL
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 1 OF 1

NOTE:
 PRUNE LOWER BRANCHES OF TREE BACK TO MAIN TRUNK SO THAT REMAINING HEAD IS APPROX. 1/2 OF TOTAL TREE HEIGHT

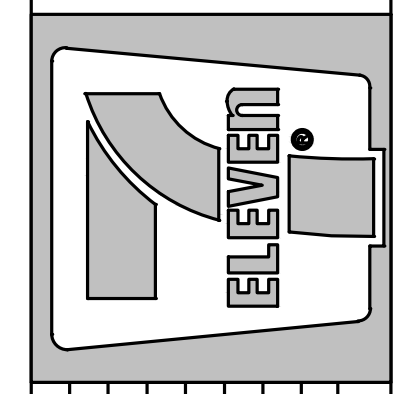
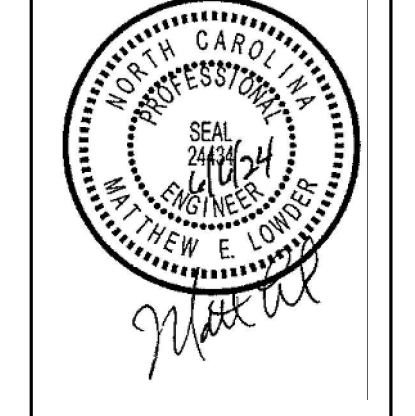
SECTIONAL VIEW

TOWN OF ZEBULON
 TYPICAL TREE STAKING
 and PLANTING DETAIL
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 1 OF 1

BAG DETAIL

INSTALLATION DETAIL

TOWN OF ZEBULON
 CATCH BASIN - SEDIMENT
 CONTROL DEVICES
 SCALE: NOT TO SCALE
 DATE: JULY 2010
 SHEET # 1 OF 1



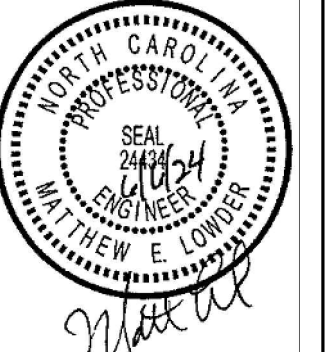
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OFFSITE CONSTRUCTION DETAILS

DRWG. NO. **C6.7**

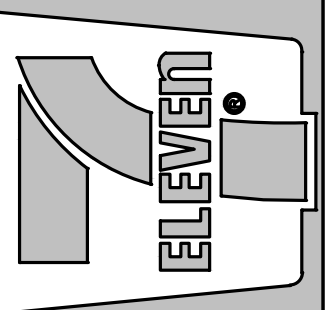
DATE	DESCRIPTION	REVISION DESCRIPTION

STORE OR BLDG NO.: N/A
 VERSION OR PROJECT ID: N/A
 DESIGN TEAM: DGNR, BRM & MCB
 PM/DP: ML
 RW/R: ML
 ISSUE DATE: 06/06/2024
 ADDRESS: 1106 N ARENDELL AVE, ZEBULON, NC 27587

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Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



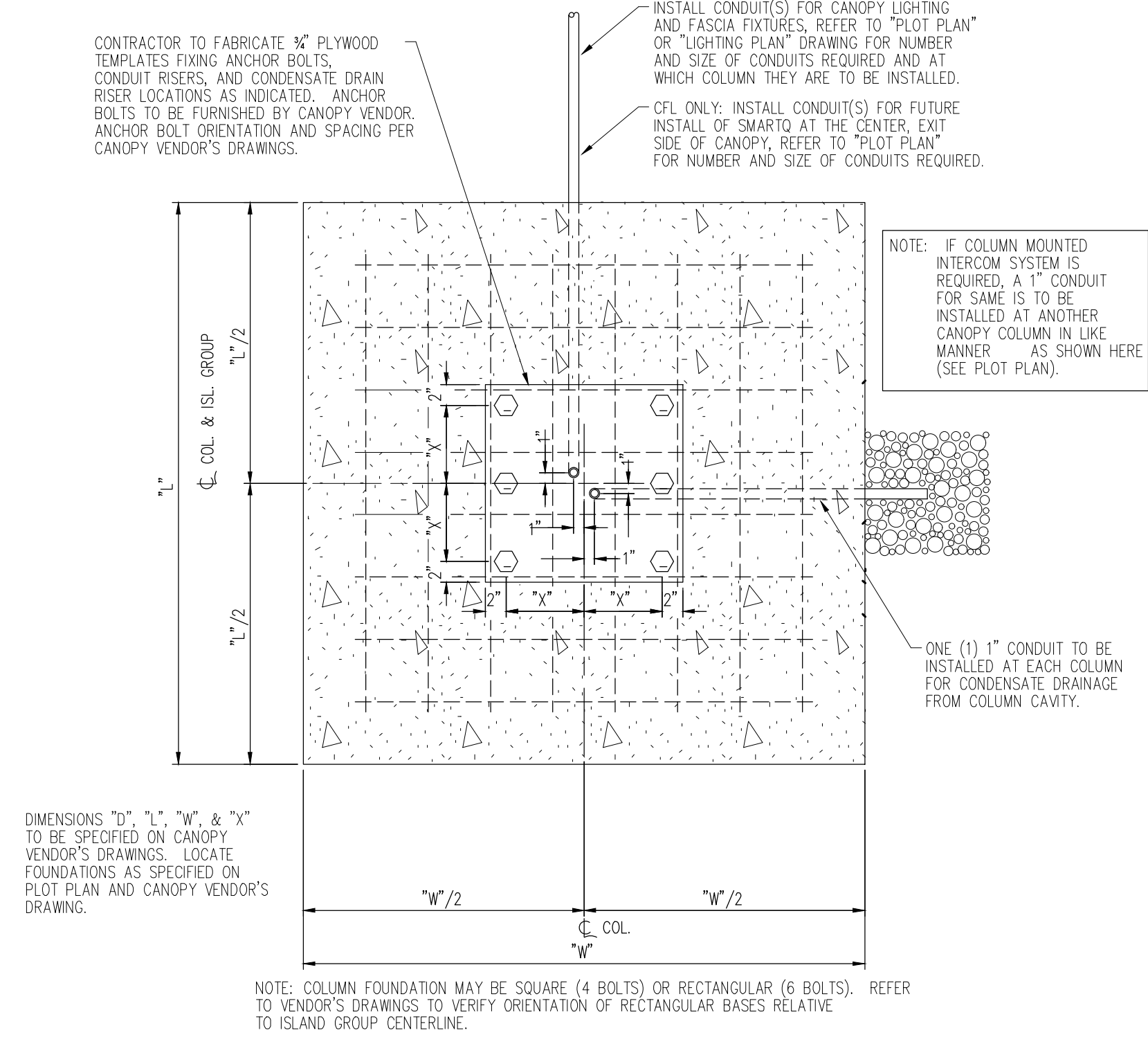
NO.	DATE	REVISION DESCRIPTION	DATE DESIGNED	REVISION DESCRIPTION
1	02/21/23	WAKE COUNTY REVIEW		
2	03/08/23	TOWN OF ZEBULON REVIEW		
3	03/15/23	TOWN OF ZEBULON REVIEW		
4	03/22/23	NOTOT REVIEW		
5	04/11/23	NOTOT REVIEW		
6	04/11/23	NOTOT REVIEW		
7	04/11/23	NOTOT REVIEW		
8	04/11/23	NOTOT REVIEW		
9	04/11/23	NOTOT REVIEW		

STORE OR BLDG NO.:
N/A
VERSION OR PROJECT ID:
N/A
DESIGN TEAM
DGNR: BRM & MCB
PM/DP: ML
RVWR: ML
ISSUE DATE: 06/06/2024
ADDRESS
1106 N ARENDELL AVE
ZEBULON, NC 27597

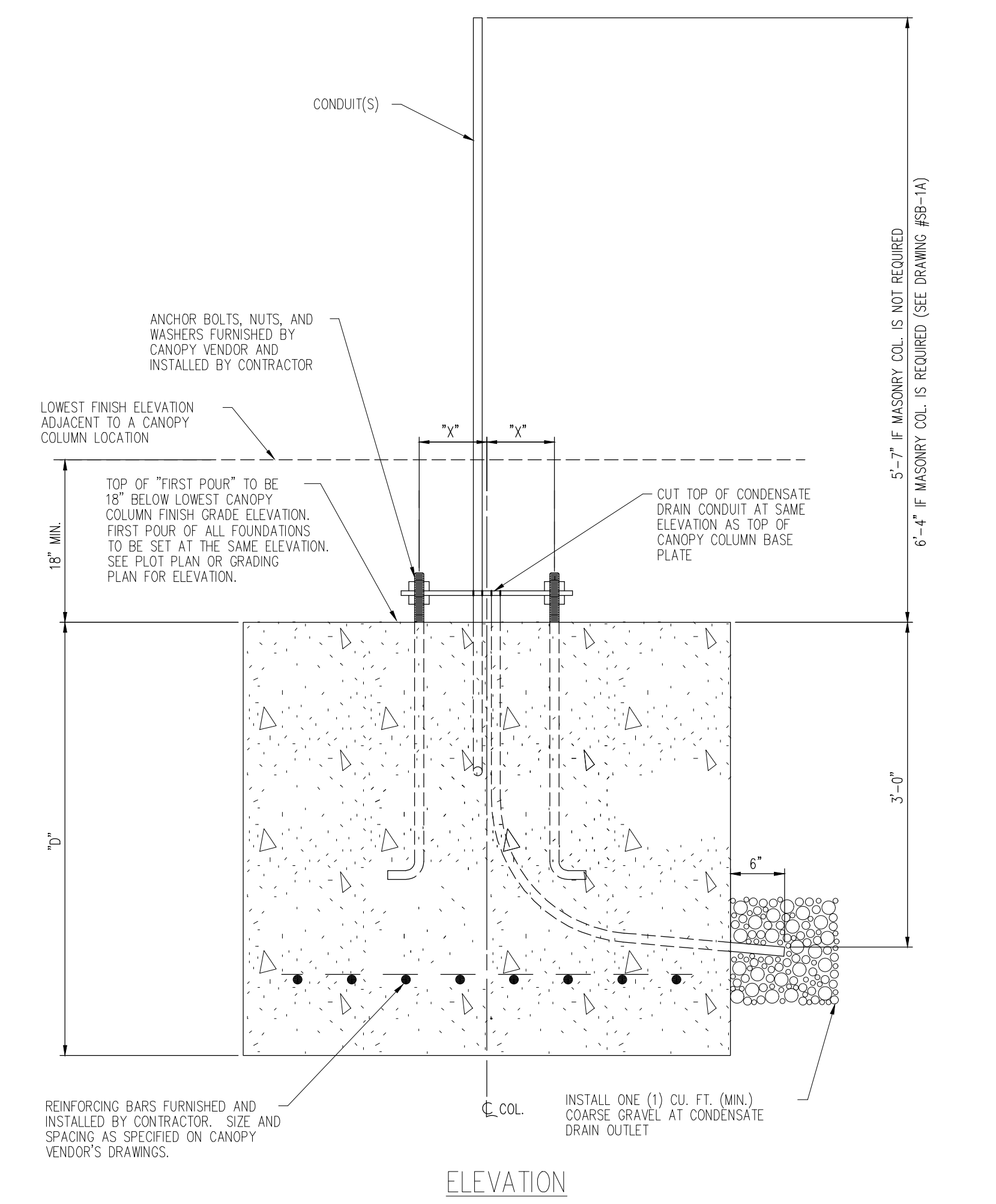
SHEET TITLE
GRADING & DRAINAGE DETAILS

DRWG. NO. **C6.8**

FIRST POUR

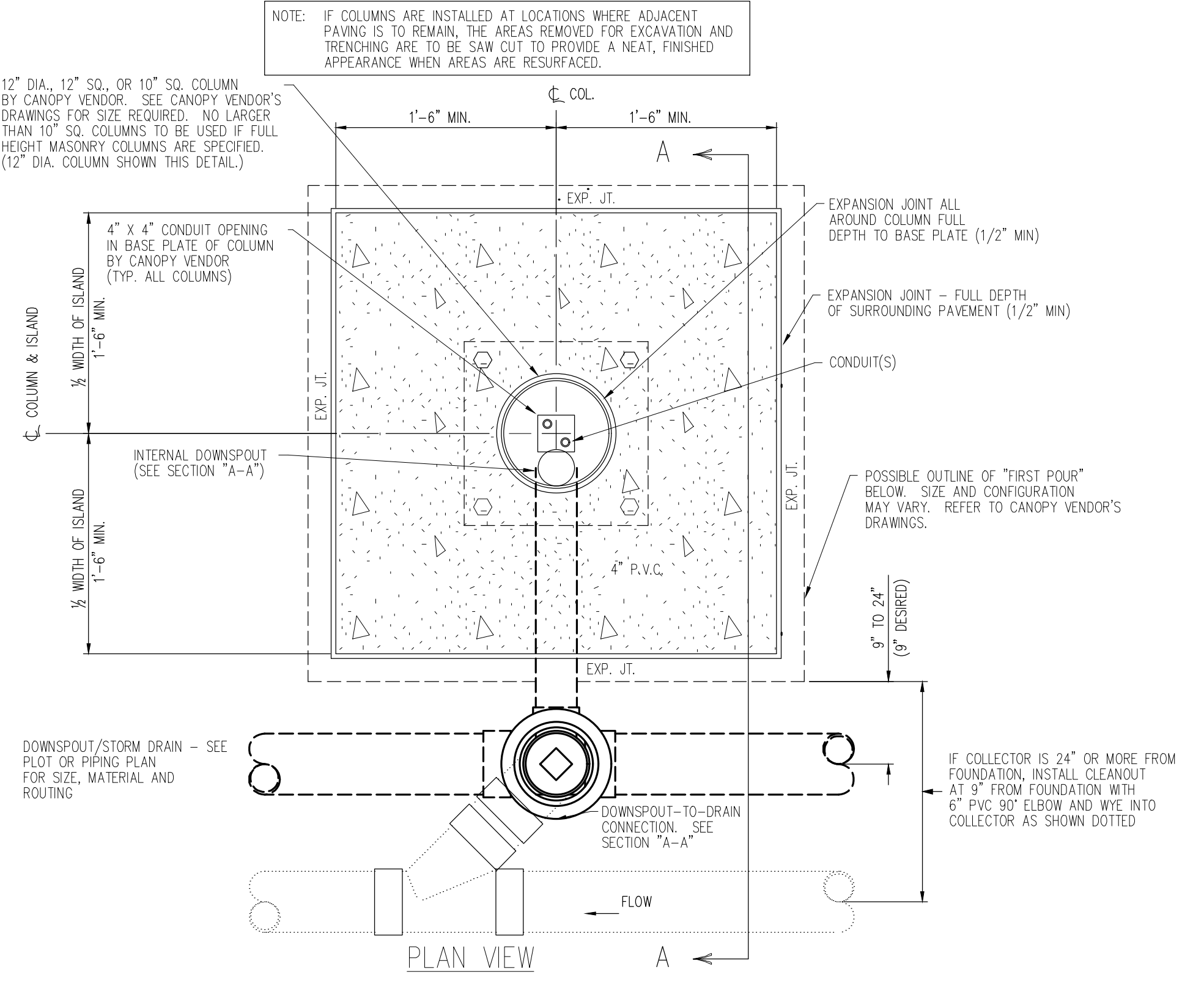


PLAN VIEW

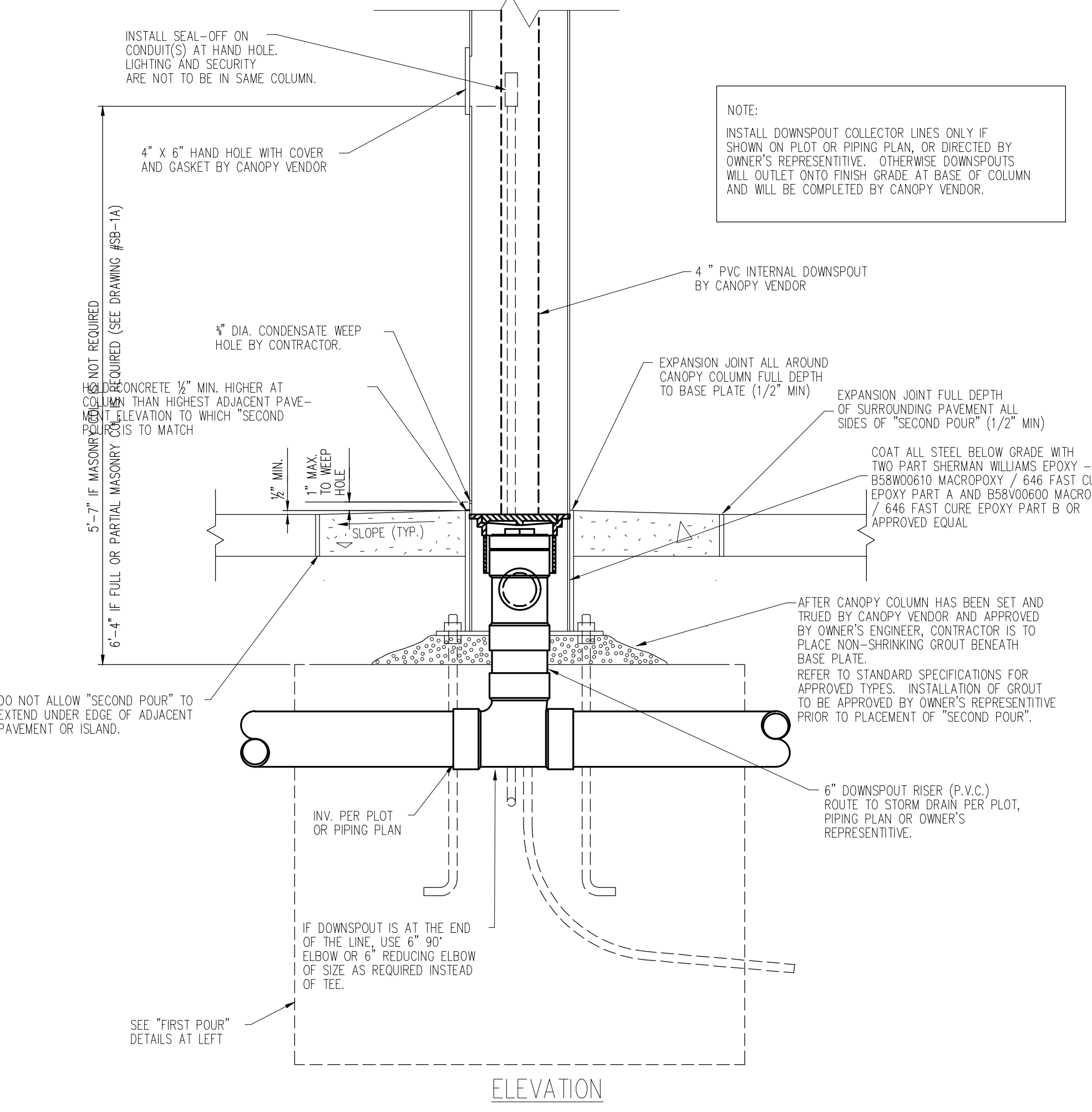


ELEVATION

SECOND POUR

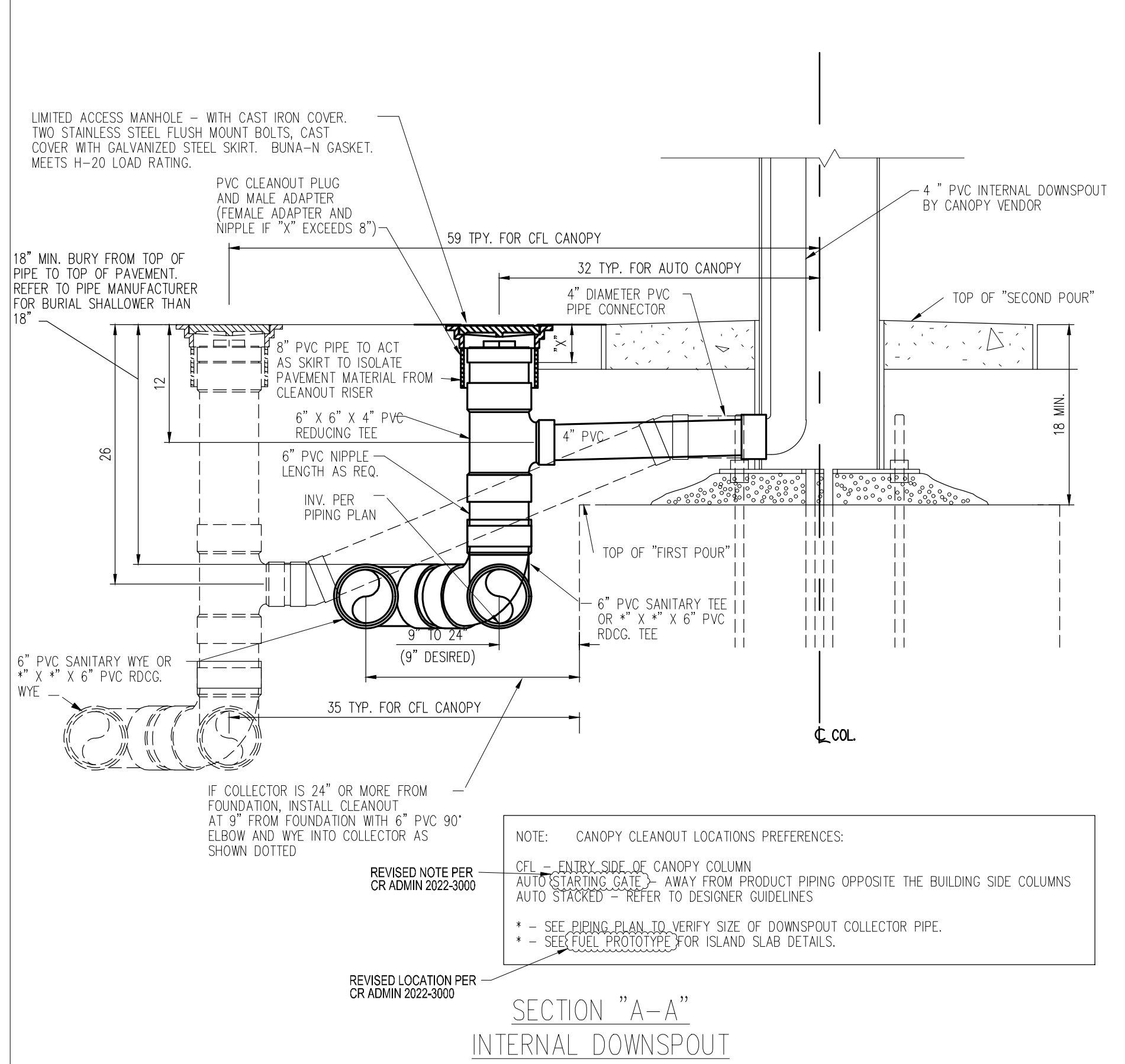


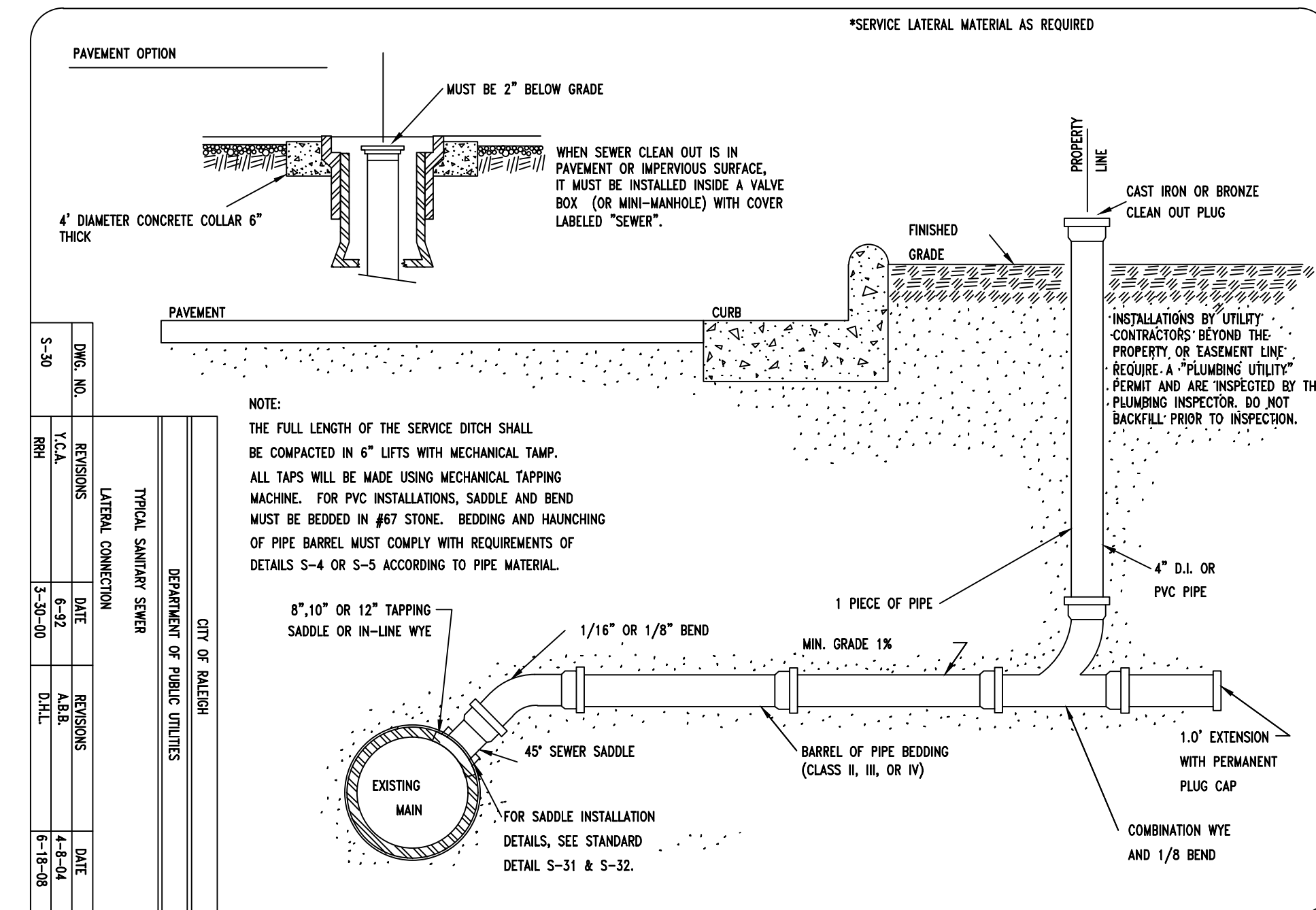
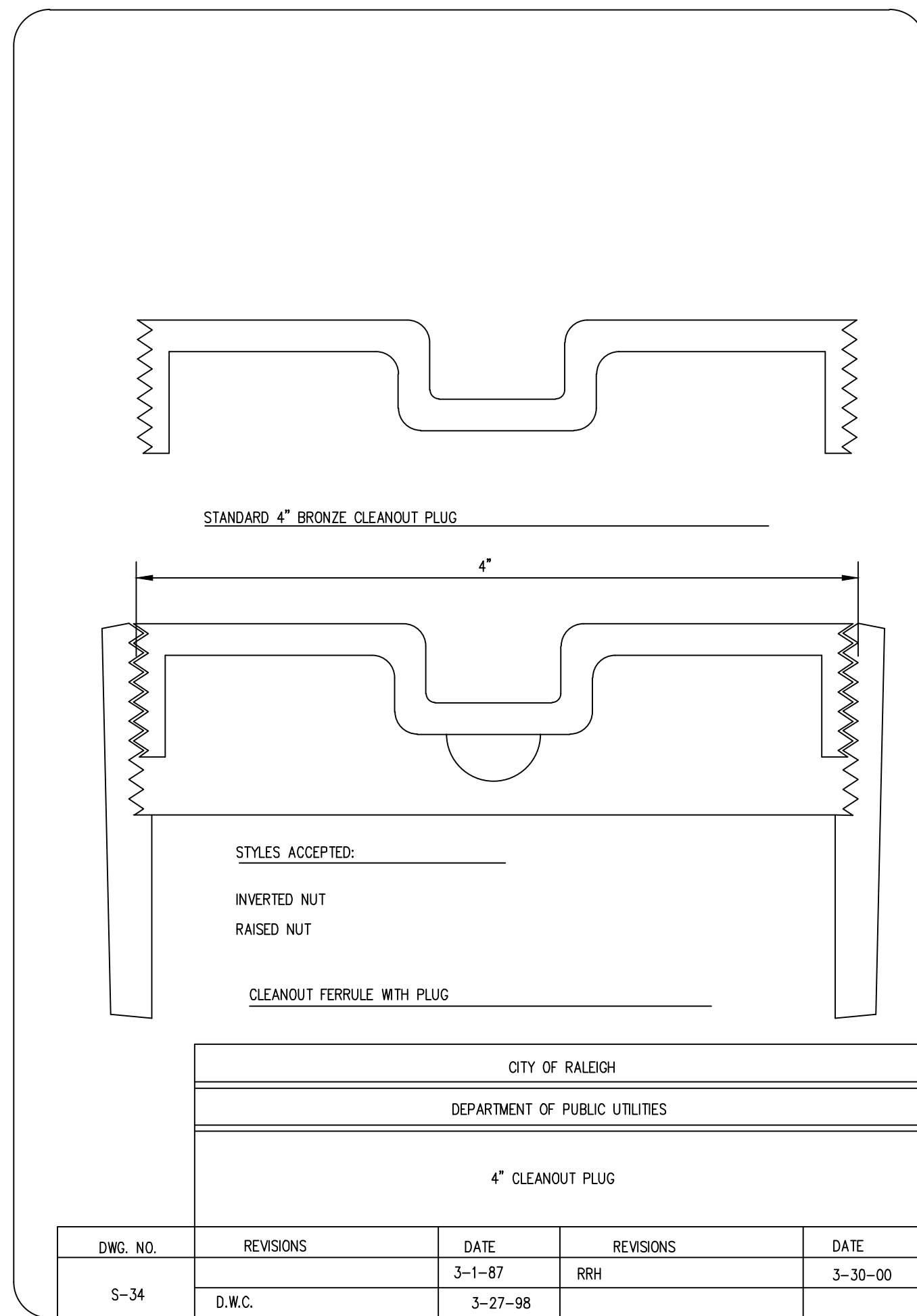
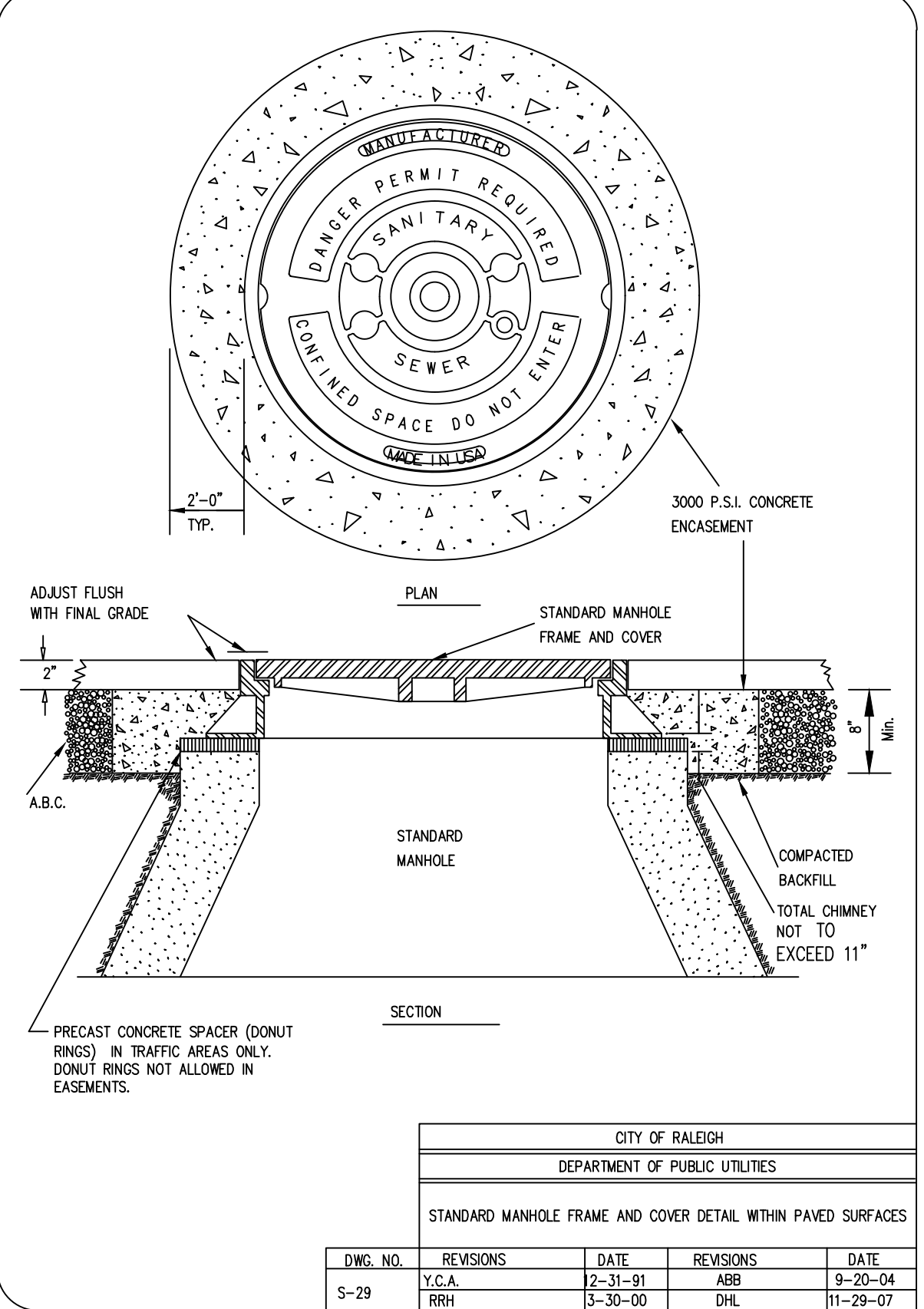
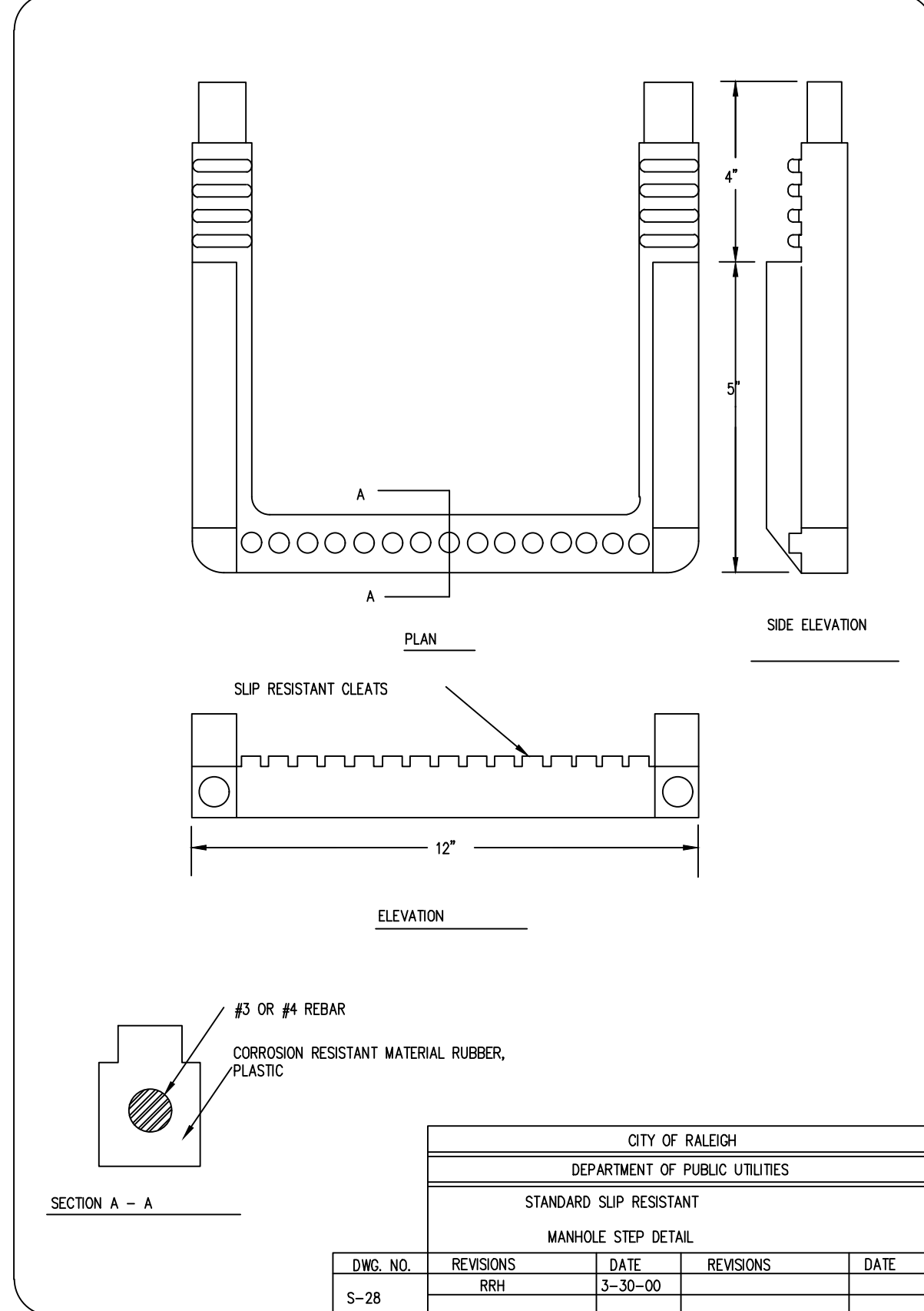
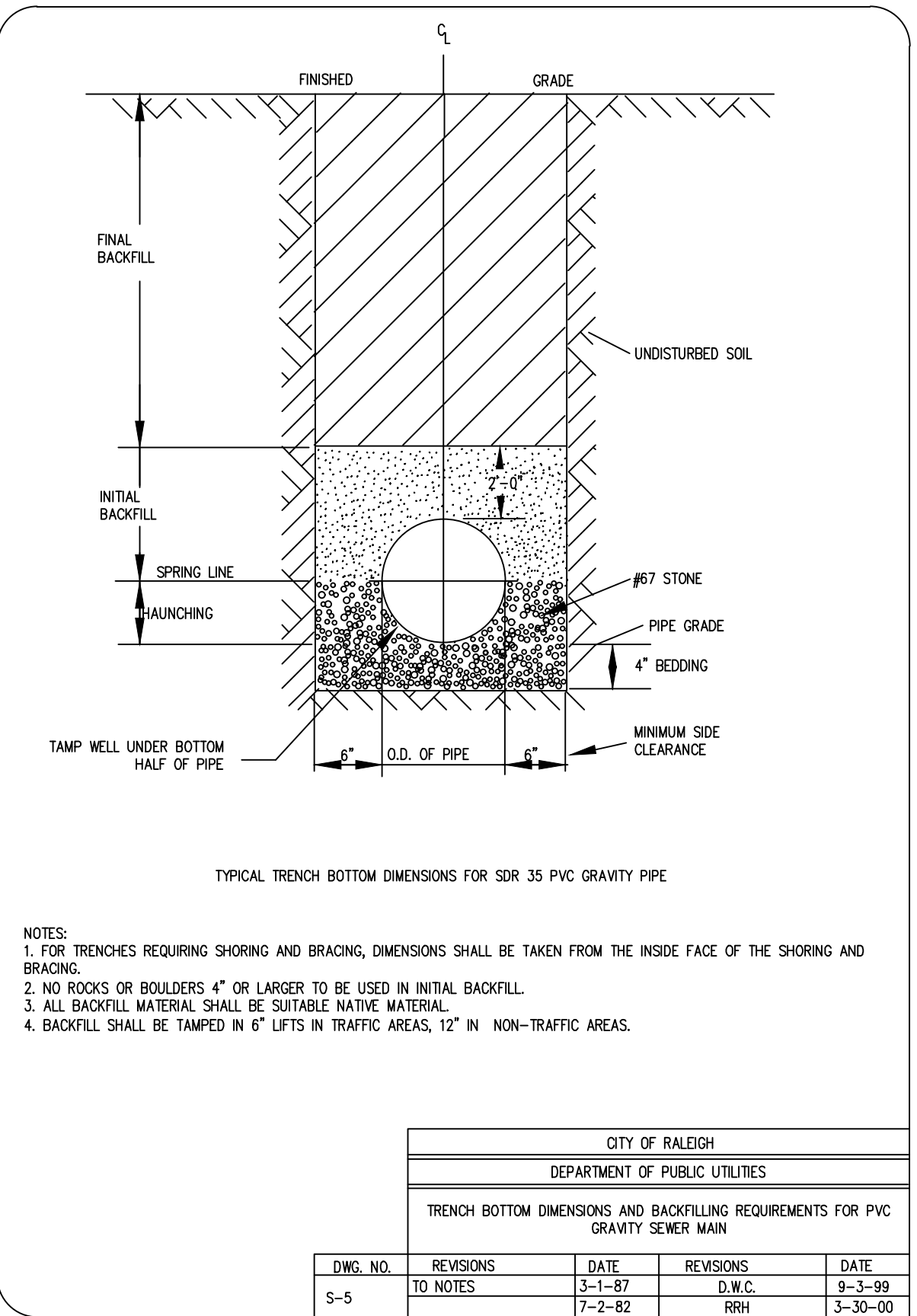
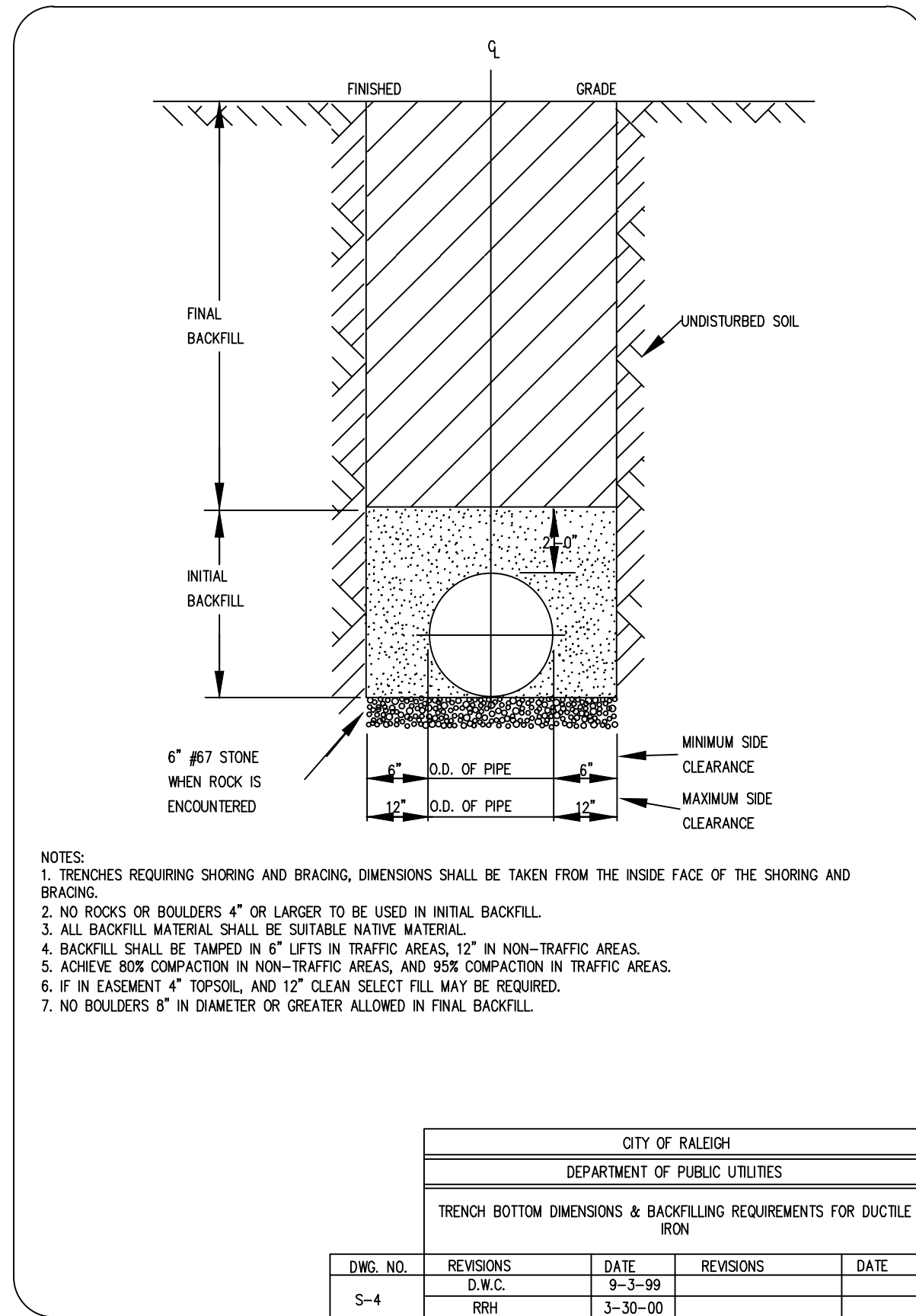
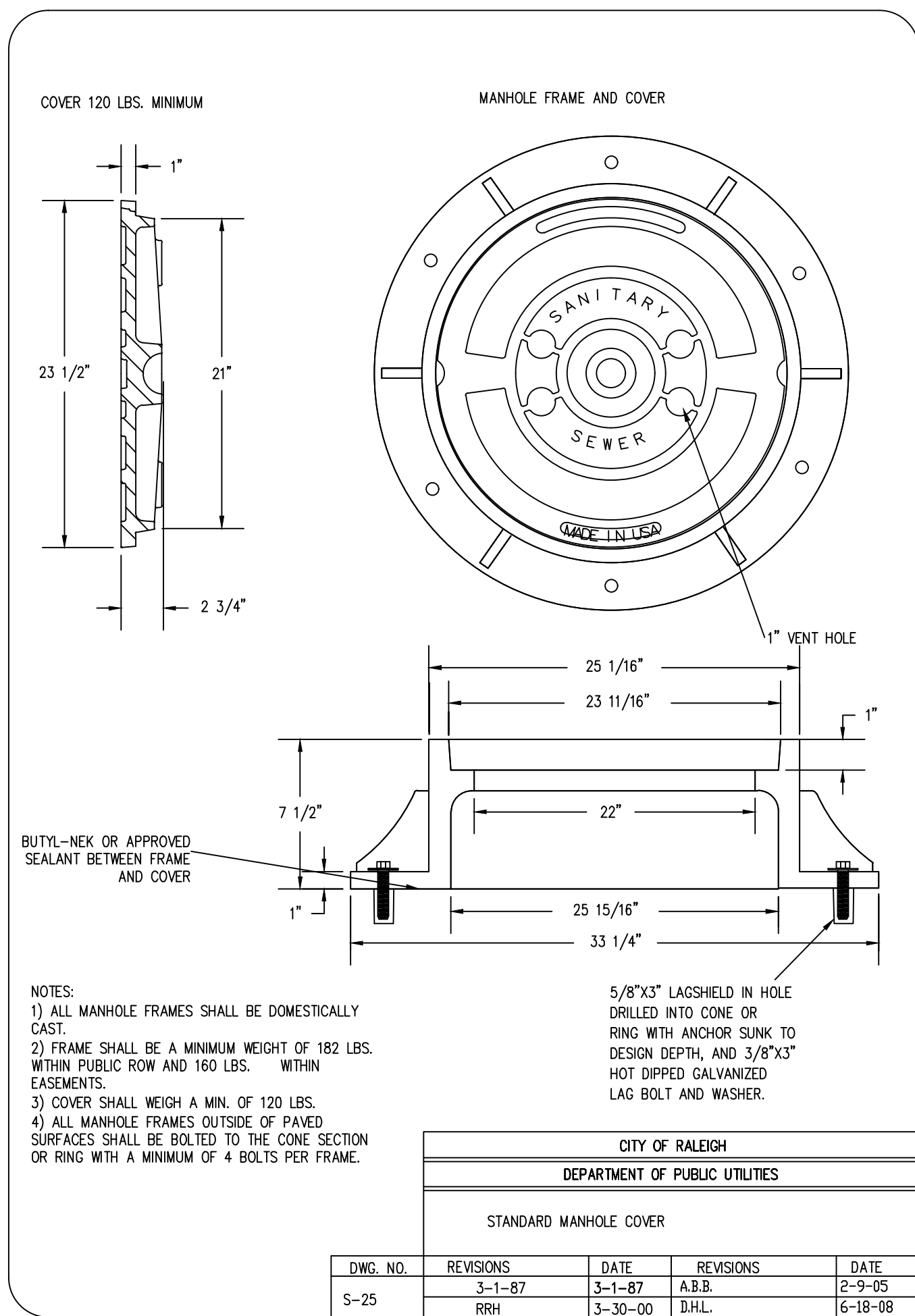
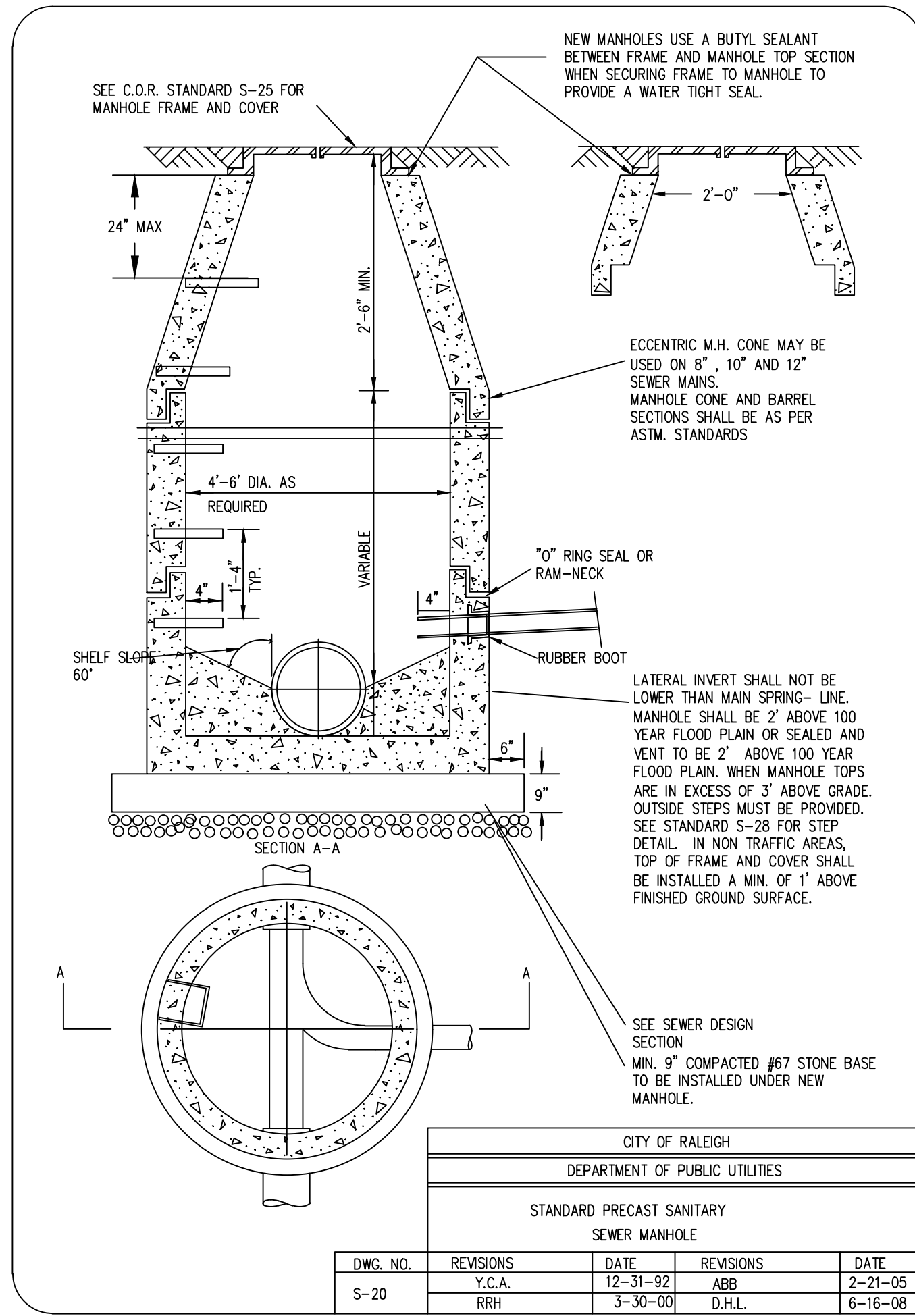
PLAN VIEW



ELEVATION

CANOPY DRAIN DETAILS





PUBLIC Water Distribution/Extension System

The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # W-4087

Authorization to Construct See digital signature

PUBLIC Sewer Collection/Extension System

The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # S-5404

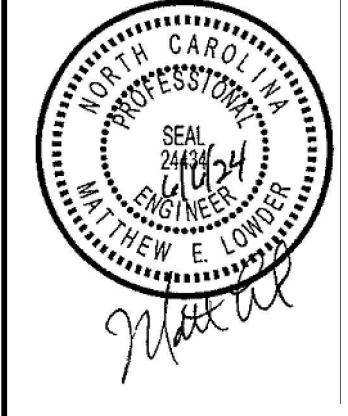
Authorization to Construct See digital signature

ATTENTION CONTRACTORS

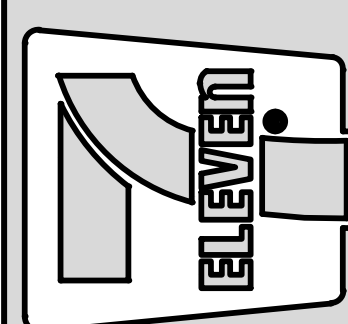
The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Utilities Department at (919) 966-4540 at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines and requires reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.



Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



NO.	DATE	REVISION DESCRIPTION	DATE	REVISION DESCRIPTION
1	12/21/08	WAKE COUNTY REVIEW		
2	1/15/09	TOWN OF ZEBULON REVIEW		
3	2/10/09	TOWN OF ZEBULON REVIEW		
4	2/10/09	TOWN OF ZEBULON REVIEW		
5	2/10/09	TOWN OF ZEBULON REVIEW		
6	2/10/09	TOWN OF ZEBULON REVIEW		
7	2/10/09	TOWN OF ZEBULON REVIEW		
8	2/10/09	TOWN OF ZEBULON REVIEW		
9	2/10/09	TOWN OF ZEBULON REVIEW		
10	2/10/09	TOWN OF ZEBULON REVIEW		

STORE OR BLDG NO.:
N/A

VERSION OR PROJECT ID:
N/A

DESIGN TEAM
DGNR, BRM & MCB

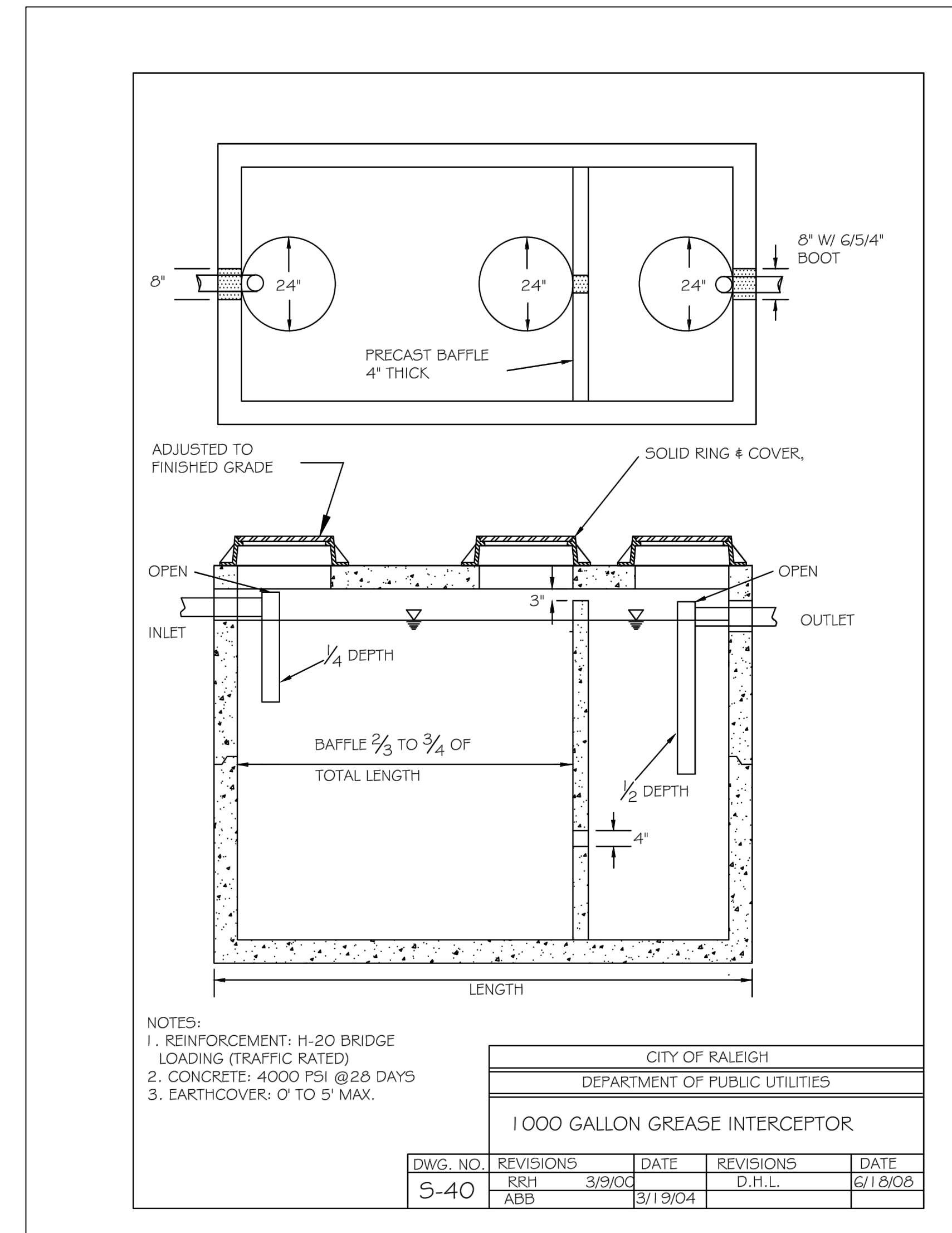
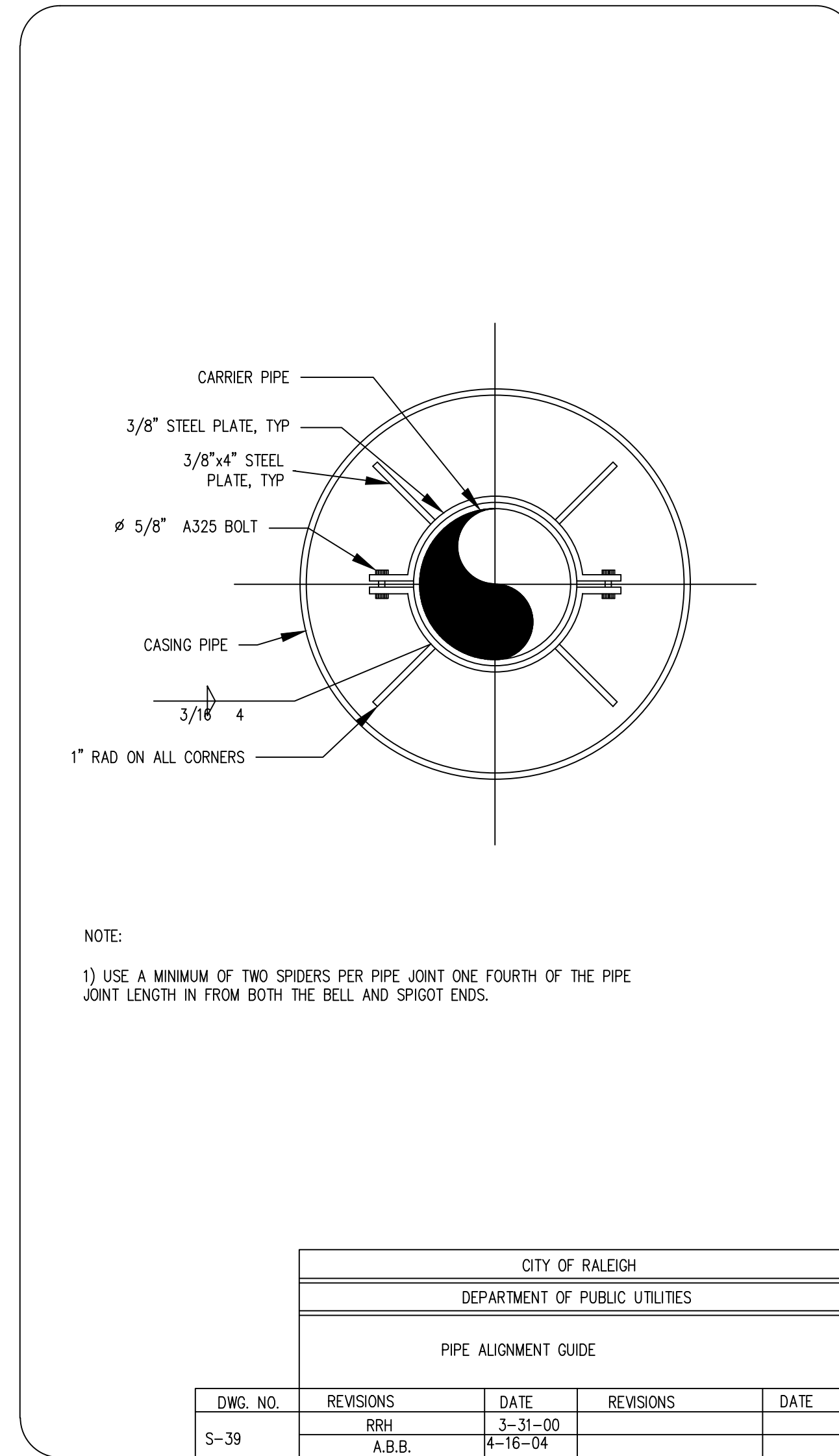
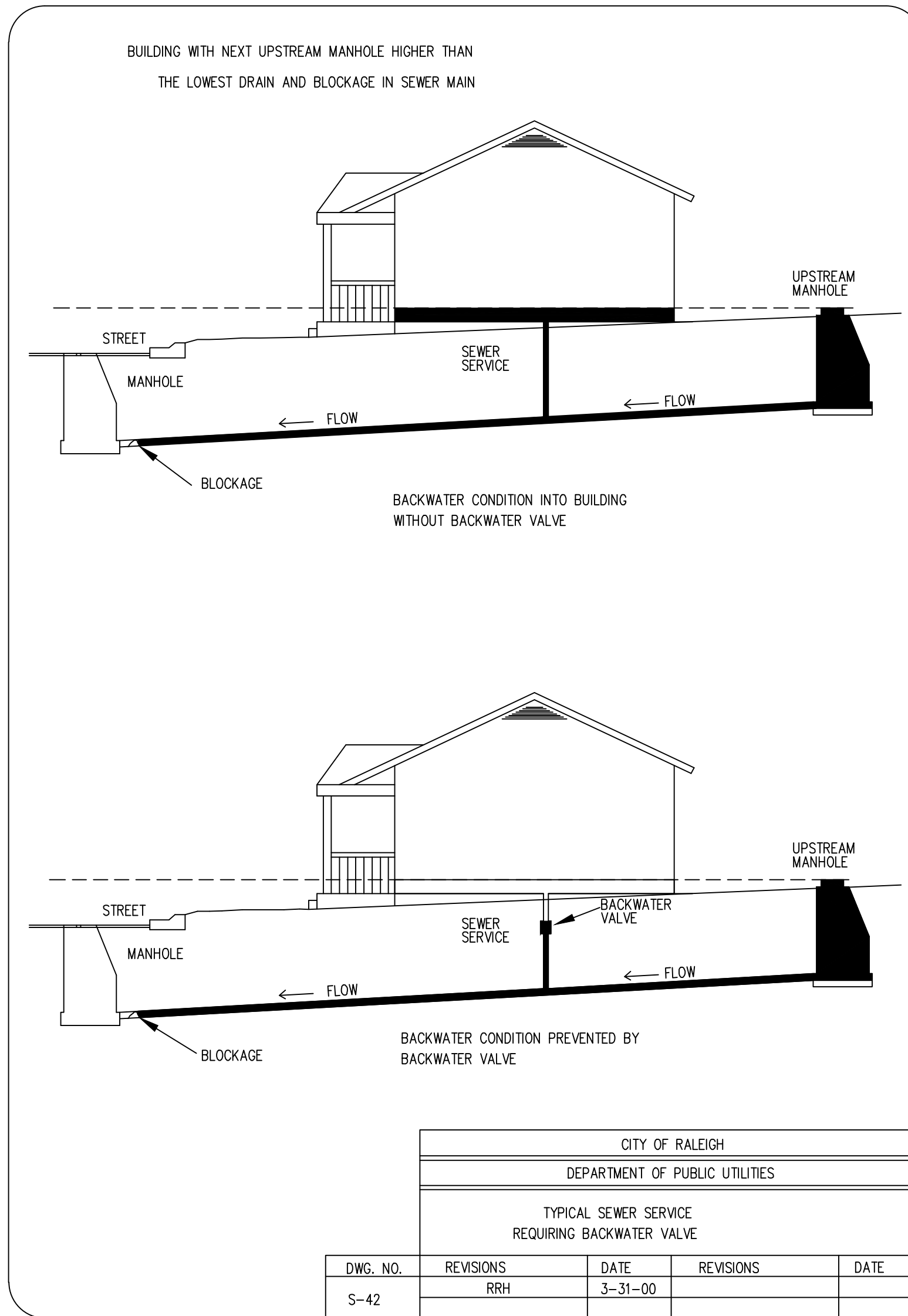
PM/DP: ML

RVVWR: ML

ISSUE DATE: 06/06/2024

ADDRESS
1106 N ARENDELL AVE
ZEBULON, NC 27587

SHEET TITLE
SEWER DETAILS



PUBLIC Water Distribution/Extension System

The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # VI-4287

Authorization to Construct See digital signature

PUBLIC Sewer Collection/Extension System

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City of Raleigh
Public Utilities Department Permit # S-5404

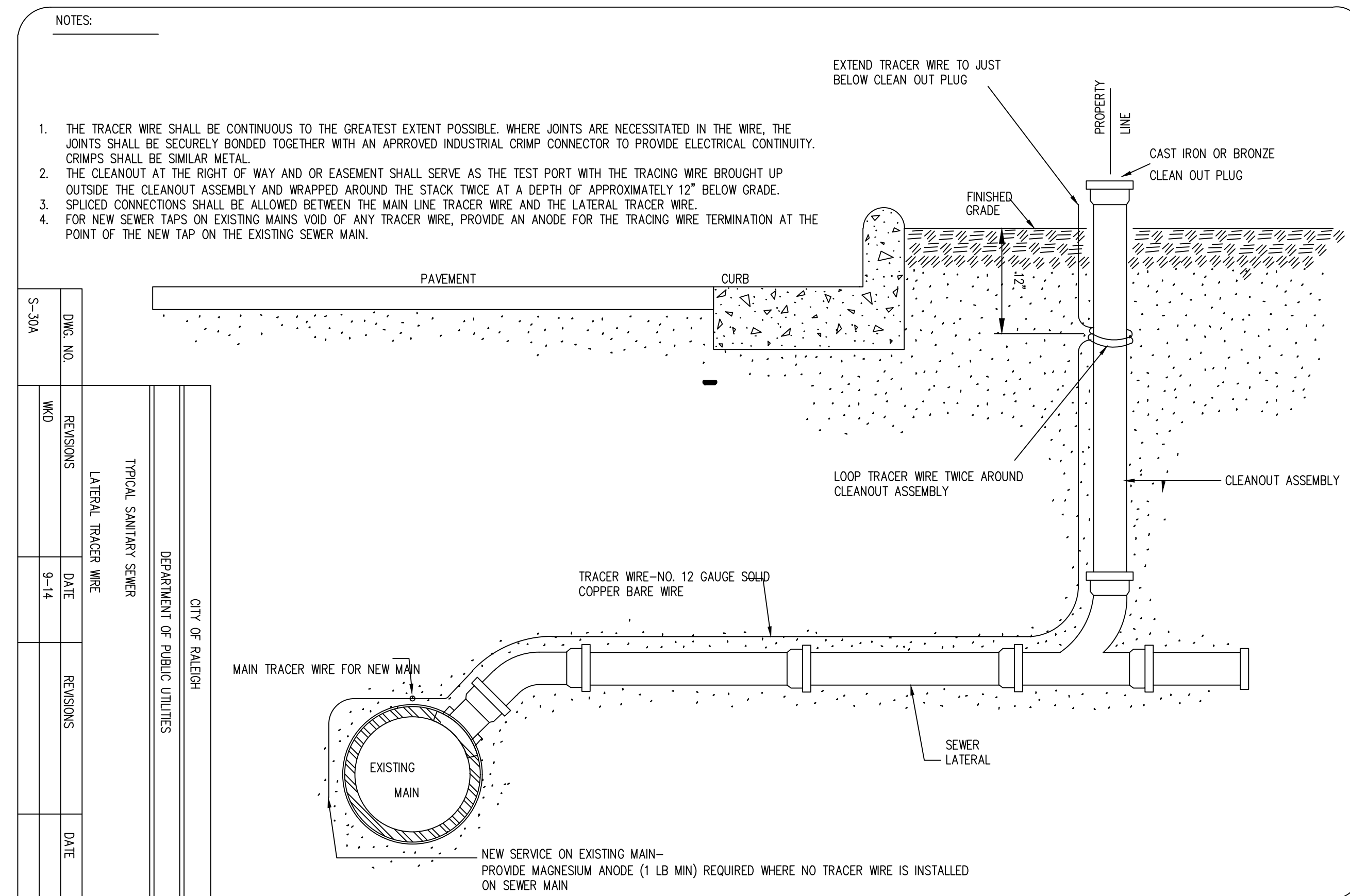
Authorization to Construct See digital signature

ATTENTION CONTRACTORS

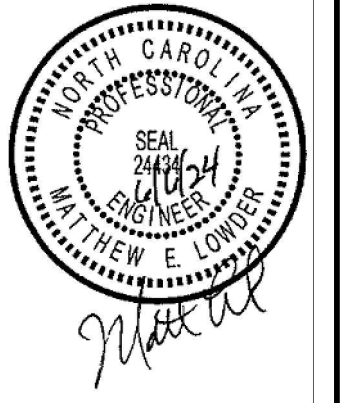
The **Construction Contractor** responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for contacting the **Public Utilities Department** at (919)996-4540 at least **twenty four hours** prior to beginning any of their construction.

Failure to notify both **City Departments** in advance of beginning construction, will result in the issuance of **monetary fines**, and require reinstatement of any water or sewer facilities not inspected as a result of this notification failure.

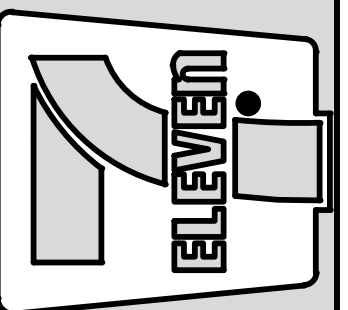
Failure to call for **Inspection, Install a Downstream Plug**, have **Permitted Plans** on the **Jobsite**, or any other **Violation of City of Raleigh Standards** will result in a **Fine and Possible Exclusion** from future work in the **City of Raleigh**.



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Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



NO.	DATE	REVISION DESCRIPTION	DATE	REVISION DESCRIPTION
1	02/22/23	WAKE COUNTY REVIEW		
2	03/04/24	TOWN OF ZEBULON REVIEW		
3	03/04/24	TOWN OF ZEBULON REVIEW		
4	03/04/24	TOWN OF ZEBULON REVIEW		
5	03/11/24	NADOT REVIEW		
6	03/11/24	NADOT REVIEW		
7	03/11/24	NADOT REVIEW		
8	03/11/24	NADOT REVIEW		
9	03/11/24	NADOT REVIEW		

STORE OR BLDG NO.: N/A

VERSION OR PROJECT ID: N/A

DESIGN TEAM

DGNR: BRM & MCB

PM/DP: ML

RVWR: ML

ISSUE DATE: 06/06/2024

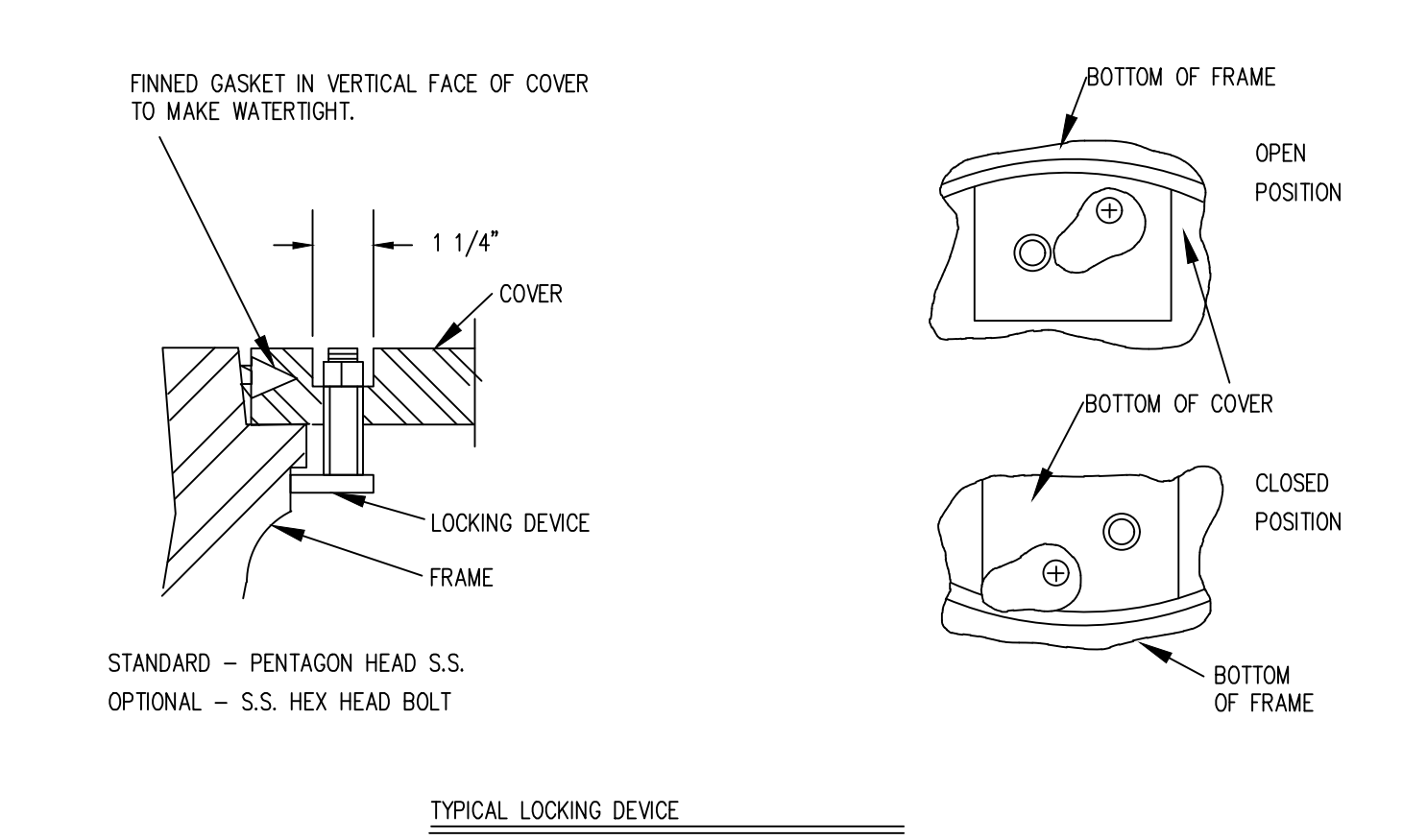
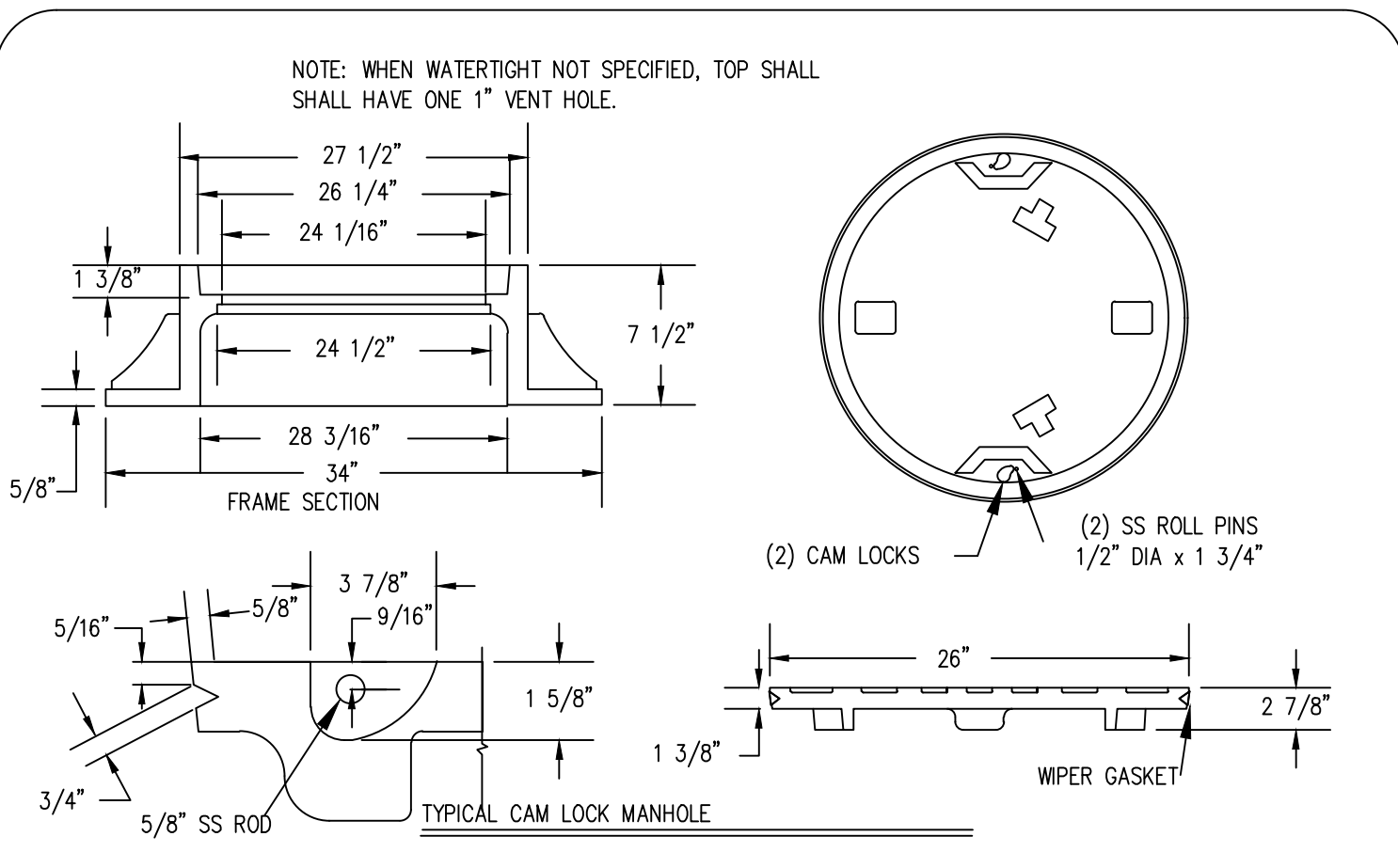
ADDRESS

1106 N ARENDELL AVE
ZEBULON, NC 27587

SHEET TITLE

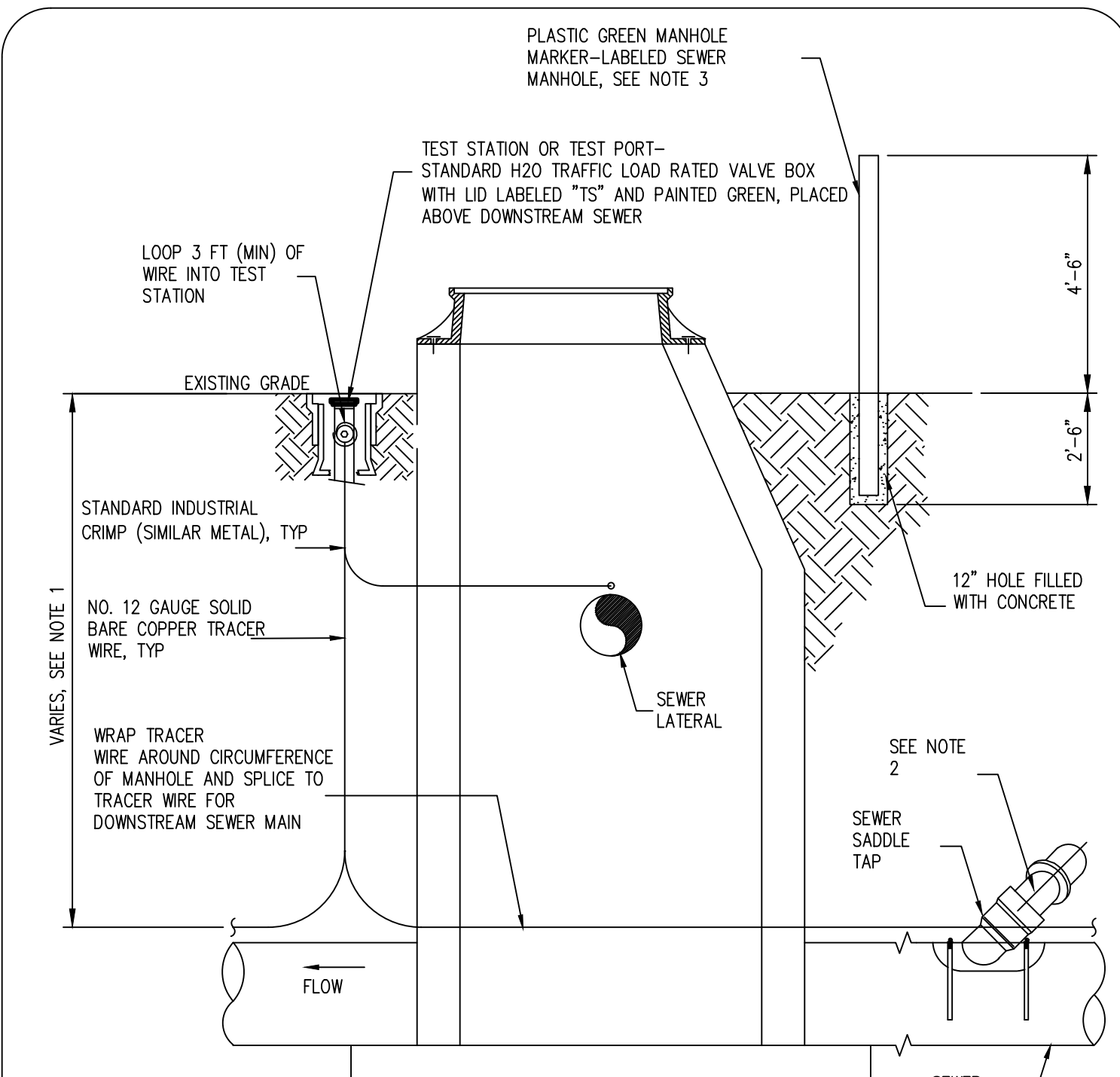
SEWER DETAILS

DRWG. NO. **C6.10**



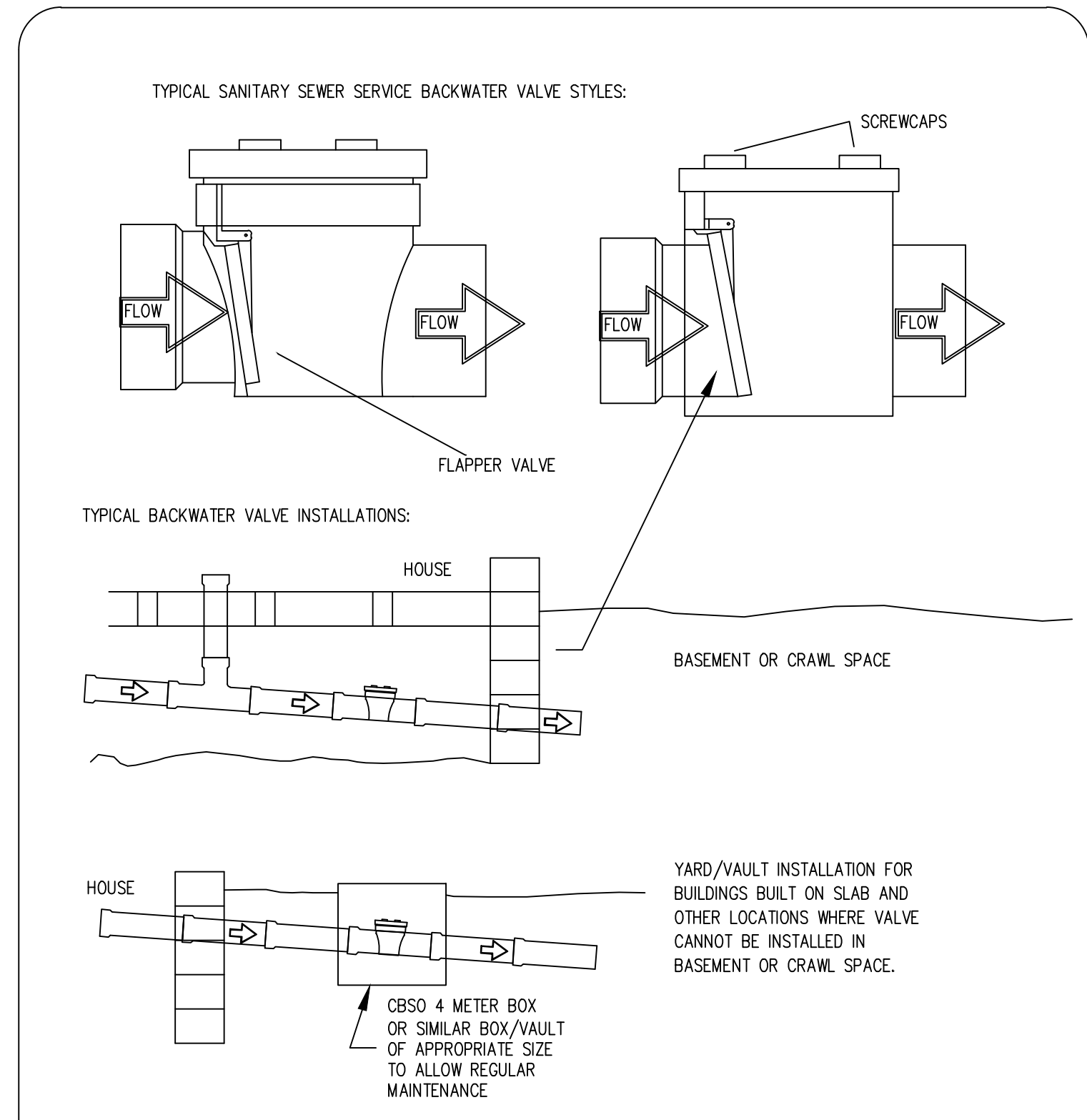
RING MUST BE ANCHORED IN ACCORDANCE WITH S-25

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
WATER-TIGHT MANHOLE FRAME WITH CAM LOCK COVER				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-27	RRH	3-30-00		
	DHL	6-18-08		



- NOTES:
1. THE TRACER WIRE SHALL BE CONTINUOUS TO THE GREATEST EXTENT POSSIBLE. FOR GRAVITY MAIN AND OR LATERAL INSTALLATIONS LESS THAN 8 FT, THE TRACING WIRE SHALL BE ATTACHED TO THE PIPE. TRACER WIRE SHALL BE LAID FLAT AND SECURELY AFFIXED TO THE PIPE AT 10 FOOT INTERVALS. FOR GRAVITY MAIN AND OR LATERAL INSTALLATION DEEPER THAN 8 FT, THE TRACING WIRE SHALL BE INSTALLED AT A DEPTH OF 7-8 FT. THE WIRE SHALL BE PROTECTED FROM DAMAGE DURING THE EXECUTION OF THE WORK. NO BREAKS OF CUTS IN THE TRACER WIRE SHALL BE PERMITTED.
 2. WHERE LATERAL TAPS ARE MADE BY SERVICE SADDLES, THE TRACER WIRE SHALL NOT BE ALLOWED TO BE PLACED BETWEEN THE SADDLE AND MAIN.
 3. MANHOLE MARKERS SHALL BE PLACED ADJACENT TO MANHOLES AT THE DISCRETION OF OWNER OR OWNER'S REPRESENTATIVE.

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
GRAVITY SEWER MAIN TRACER WIRE AND MANHOLE MARKER				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-20A	WKD	09-14		



- NOTES:
1. INSTALLATIONS OF GREATER THAN 4' IN DEPTH MAY REQUIRE MANHOLE.
 2. VALVES MUST BE INSTALLED IN A LOCATION AT WHICH THEY CAN BE CLEANED AND SERVICED REGULARLY.

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
TYPICAL SANITARY SEWER SERVICE BACK-WATER VALVE INSTALLATION				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-38	RRH	3-31-00		

PUBLIC Water Distribution/Extension System

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City of Raleigh
Public Utilities Department Permit # W-4287
Authorization to Construct See digital signature

PUBLIC Sewer Collection/Extension System

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City of Raleigh
Public Utilities Department Permit # S-5504
Authorization to Construct See digital signature

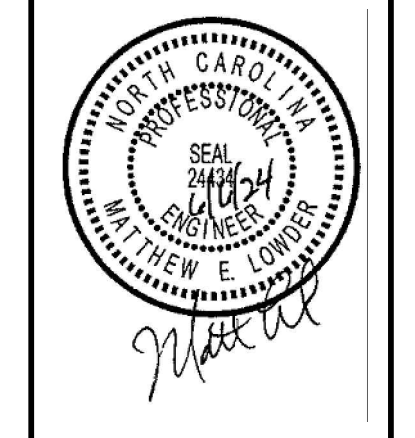
ATTENTION CONTRACTORS

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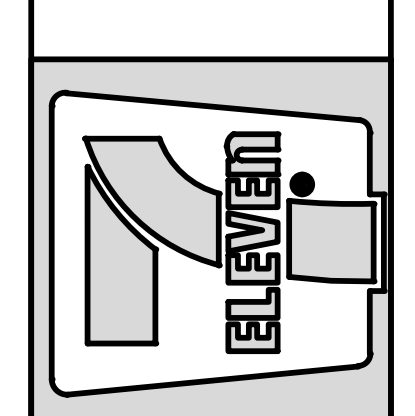
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7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY

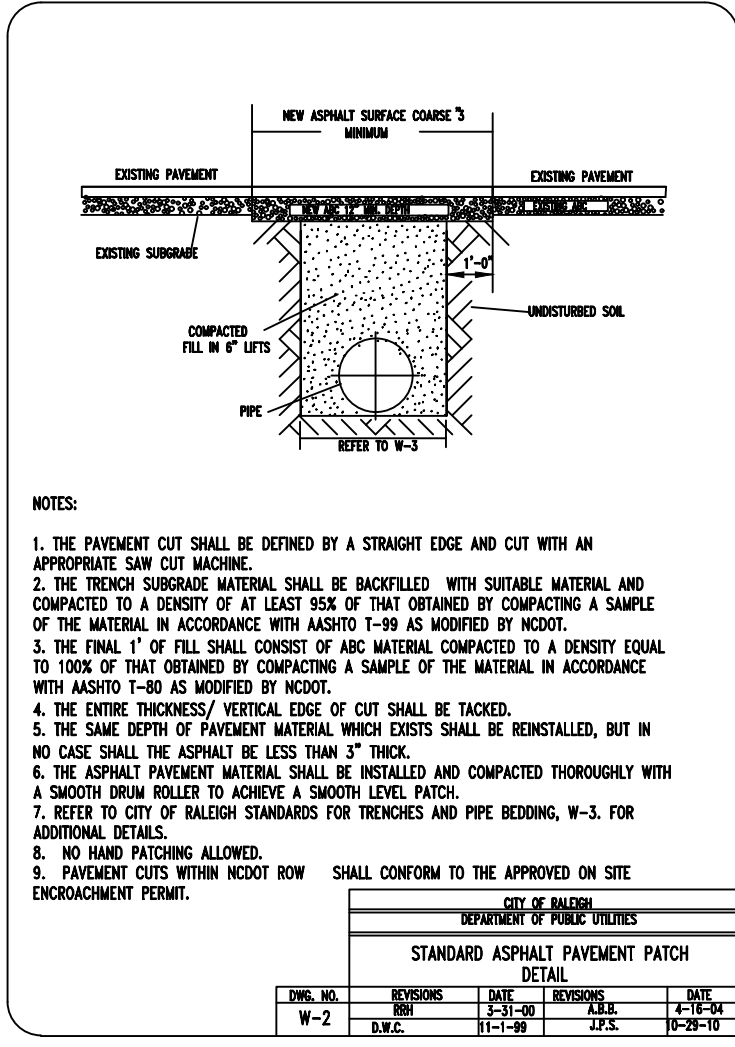


NO.	DATE	REVISION DESCRIPTION
1	02/22/23	WAKE COUNTY REVIEW
2	03/08/24	TOWN OF ZEBULON REVIEW
3	03/08/24	TOWN OF ZEBULON REVIEW
4	03/08/24	TOWN OF ZEBULON REVIEW
5	03/11/24	NCDOT REVIEW
6	03/11/24	NCDOT REVIEW
7	03/11/24	NCDOT REVIEW
8	03/11/24	NCDOT REVIEW
9	03/11/24	NCDOT REVIEW
10	03/11/24	NCDOT REVIEW

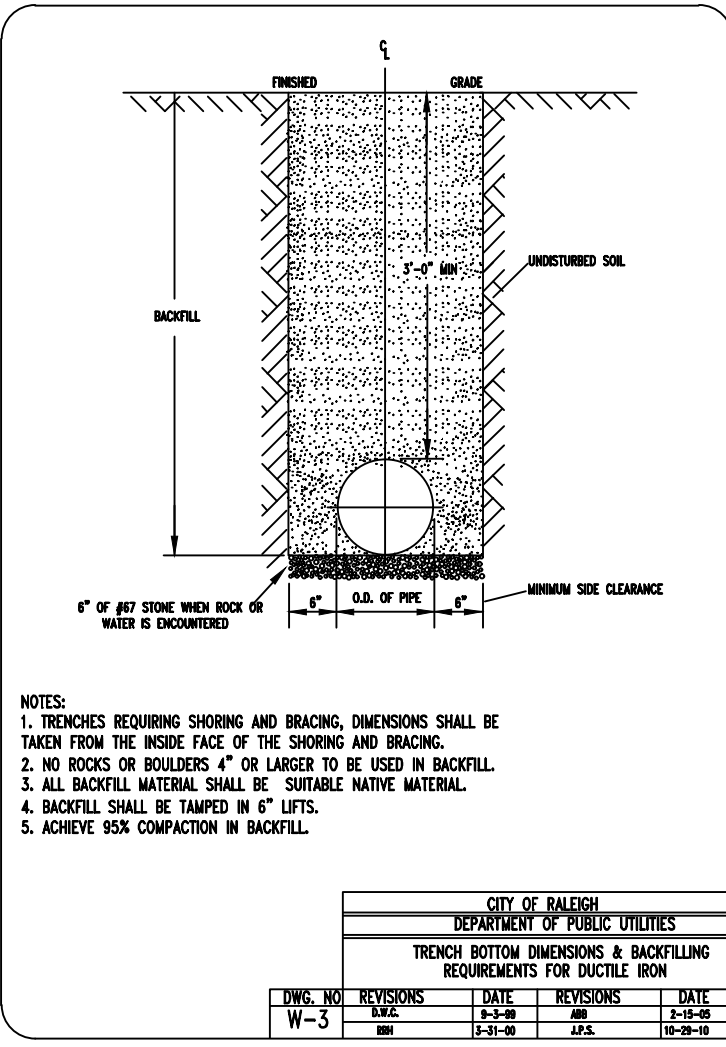
STORE OR BLDG NO.: N/A
VERSION OR PROJECT ID: N/A
DESIGN TEAM: DGNR, BRM & MCB
PM/DP: ML
RVWR: ML
ISSUE DATE: 06/06/2024
ADDRESS: 1106 N ARENDELL AVE, ZEBULON, NC 27587

SHEET TITLE: SEWER DETAILS

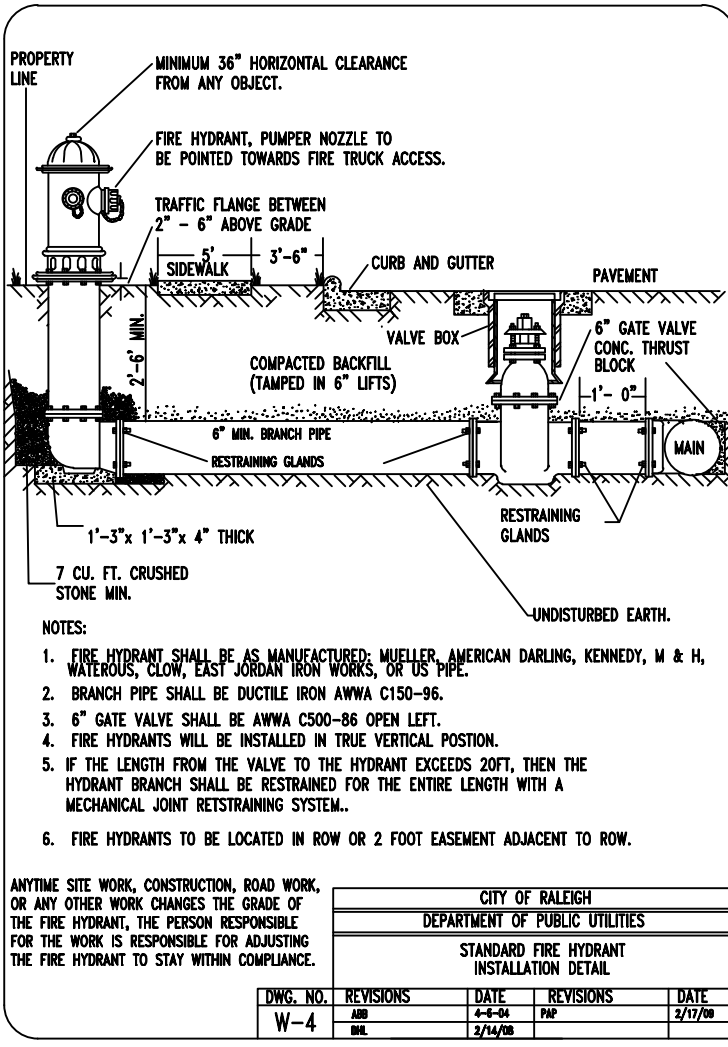
DRWG. NO. C6.11



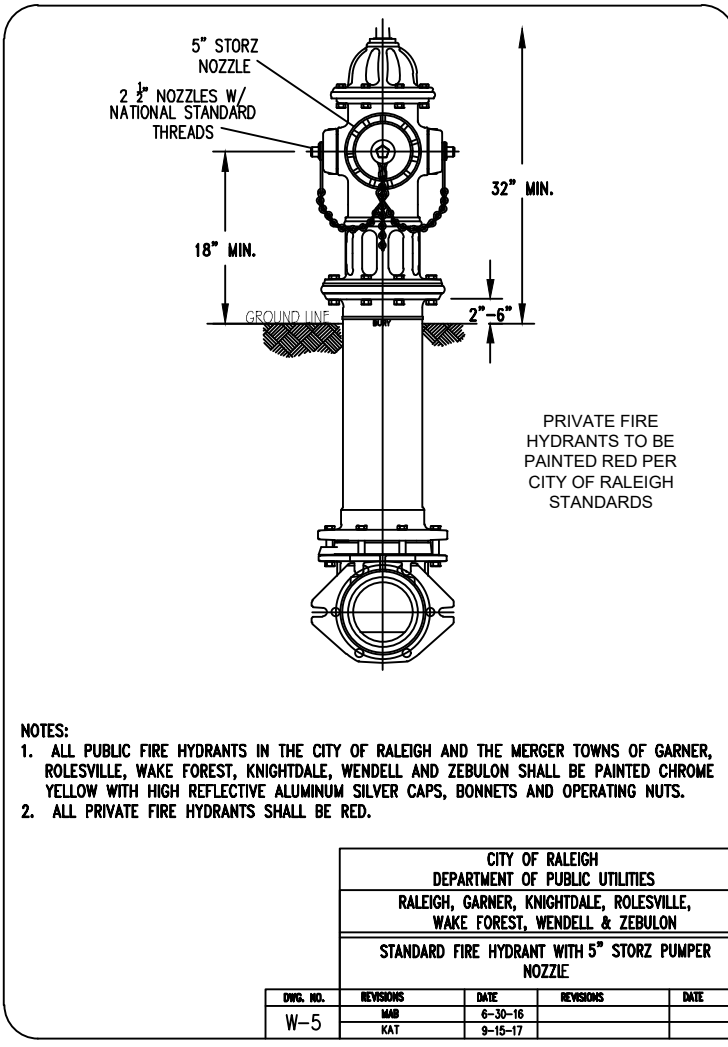
Notes for W-1, including pavement cut, trench backfill, and compacted fill requirements.



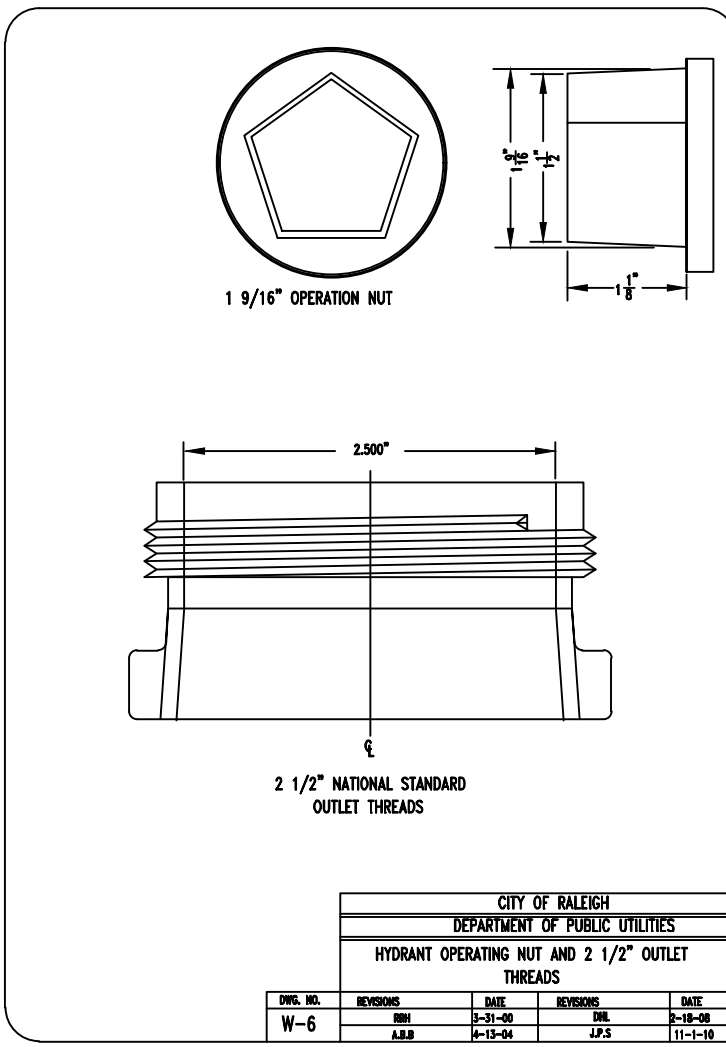
Notes for W-2, detailing trench backfill, pavement, and compacted fill specifications.



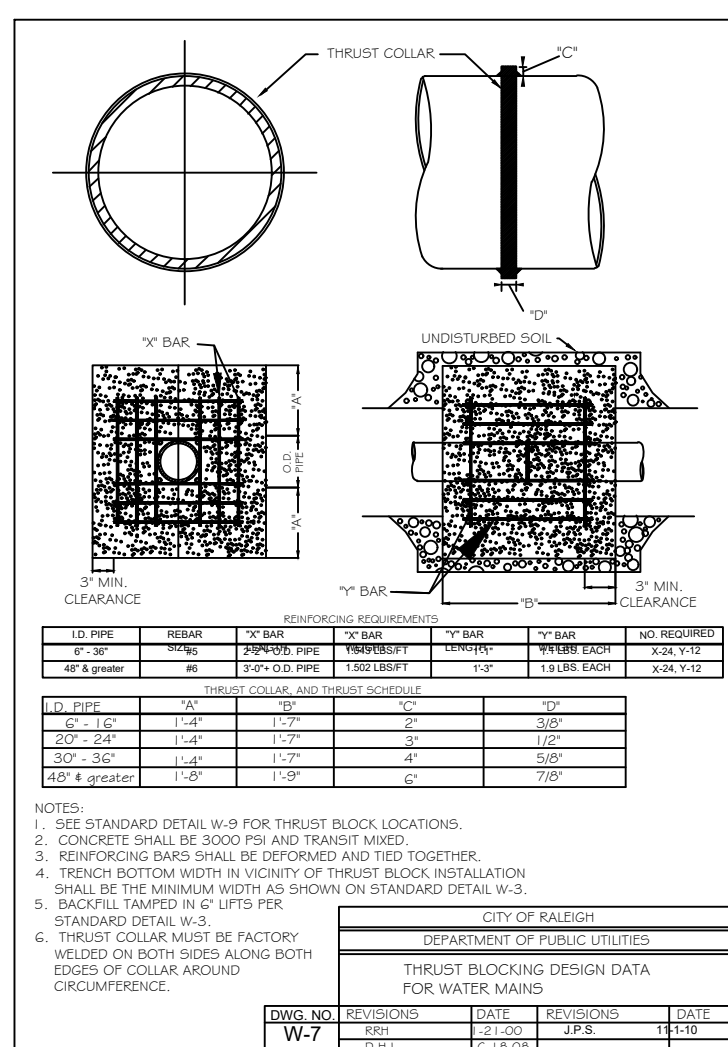
Notes for W-3, covering fire hydrant installation, trench backfill, and pavement details.



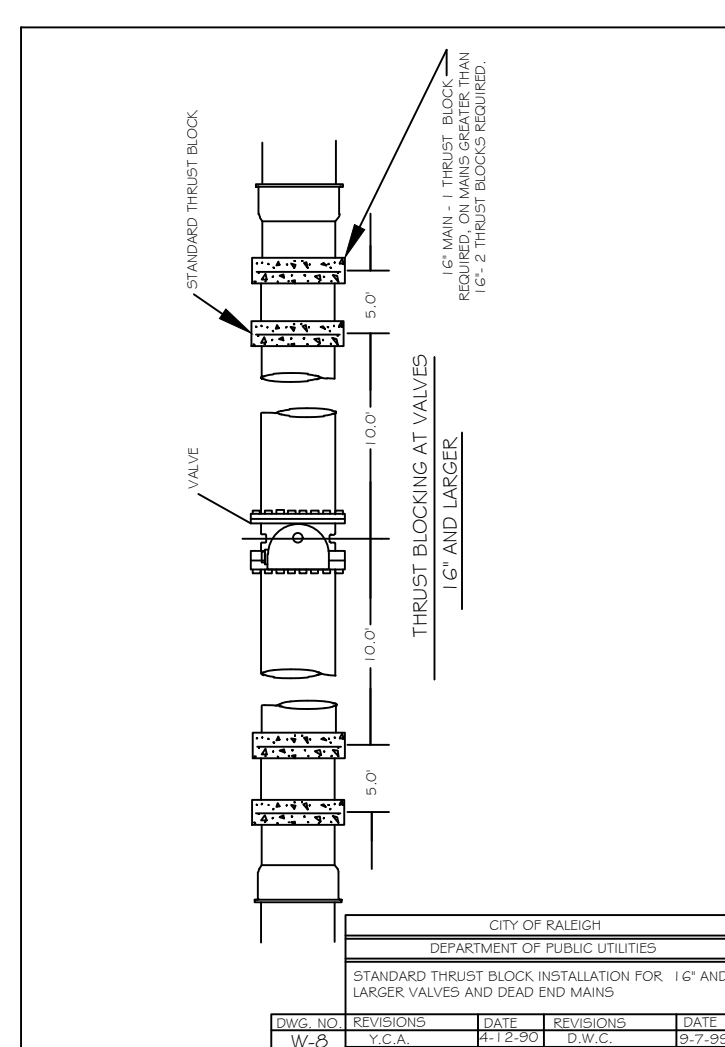
Notes for W-4, detailing fire hydrant access, trench backfill, and pavement requirements.



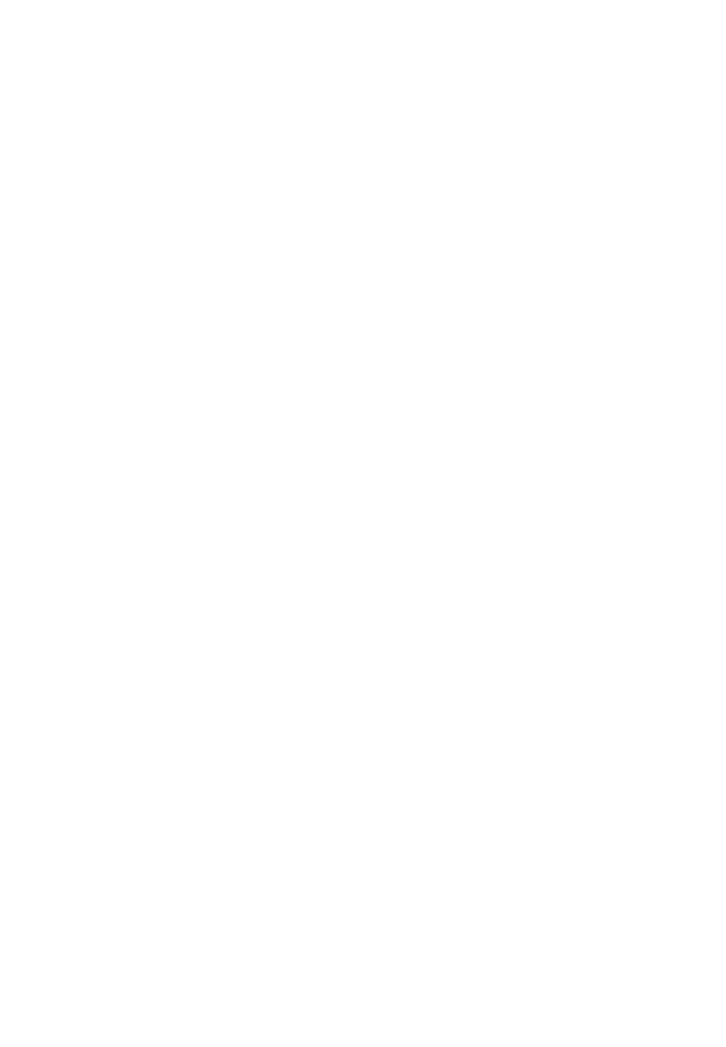
Notes for W-5, covering fire hydrant access, trench backfill, and pavement specifications.



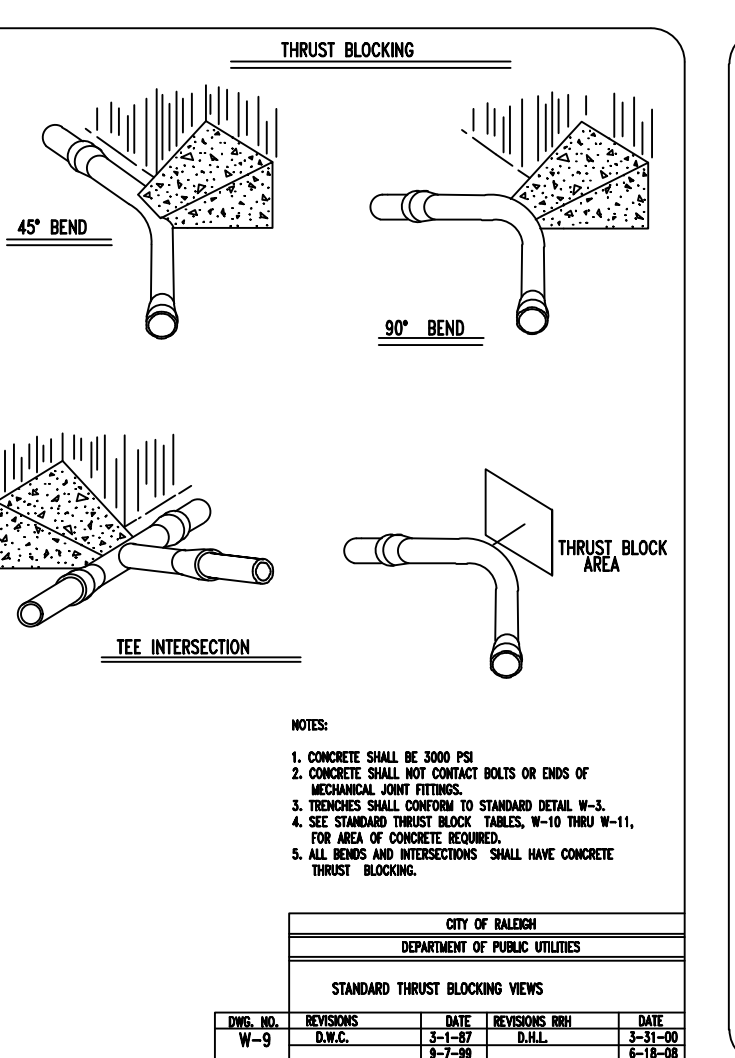
Notes for W-6, detailing fire hydrant access, trench backfill, and pavement details.



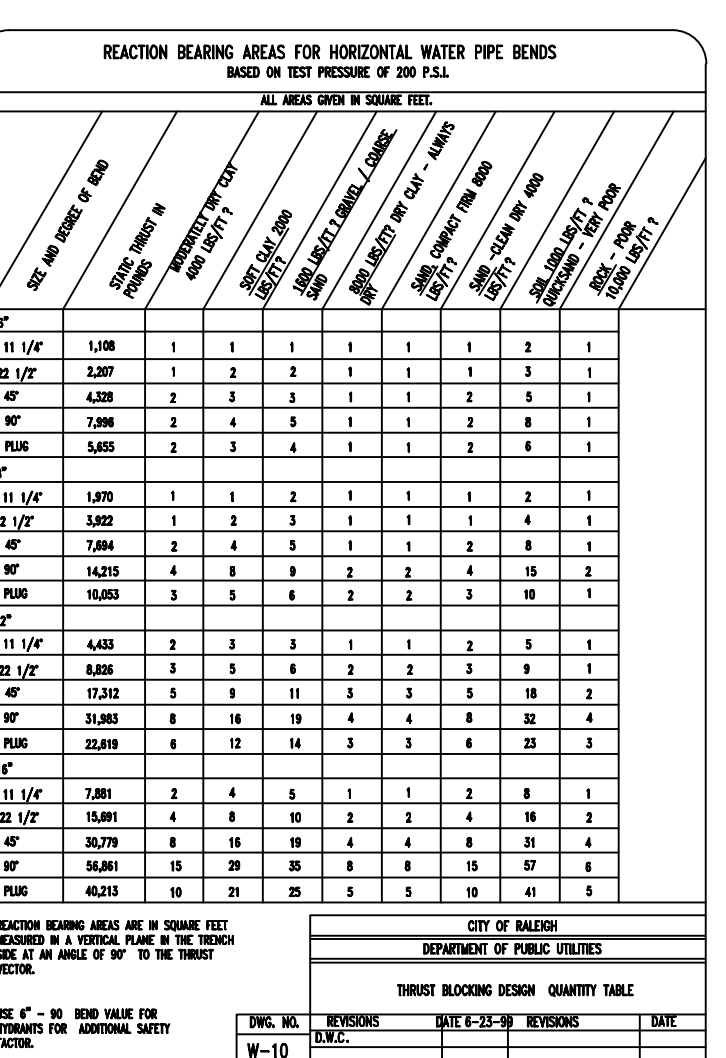
Notes for W-7, covering fire hydrant access, trench backfill, and pavement requirements.



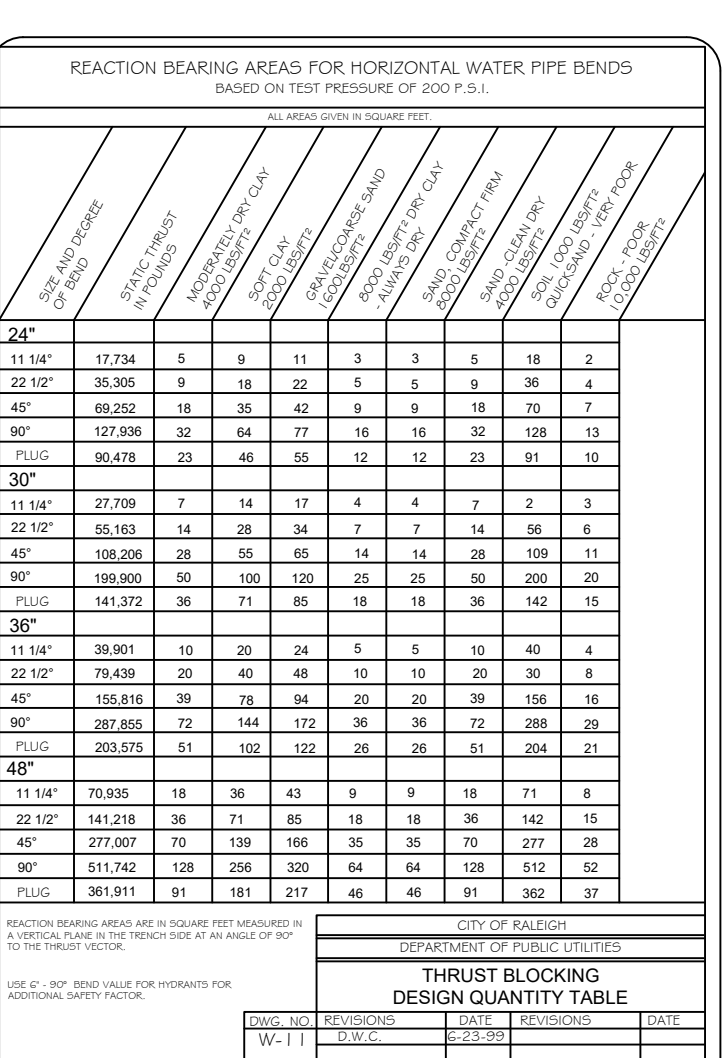
Notes for W-8, detailing fire hydrant access, trench backfill, and pavement specifications.



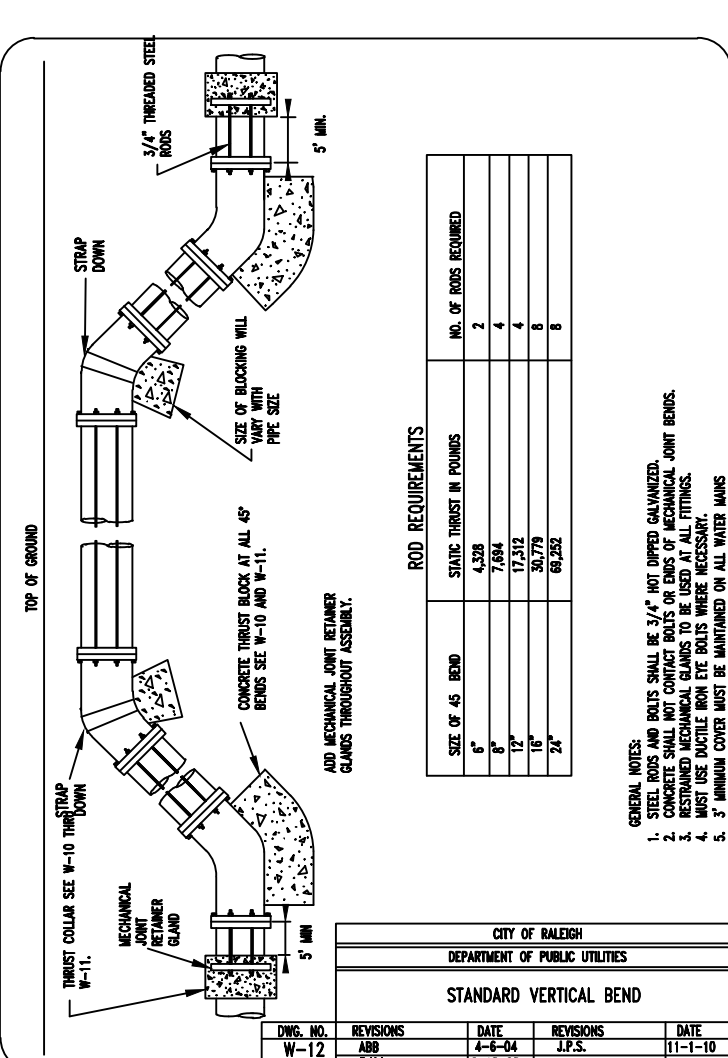
Notes for W-9, covering fire hydrant access, trench backfill, and pavement details.



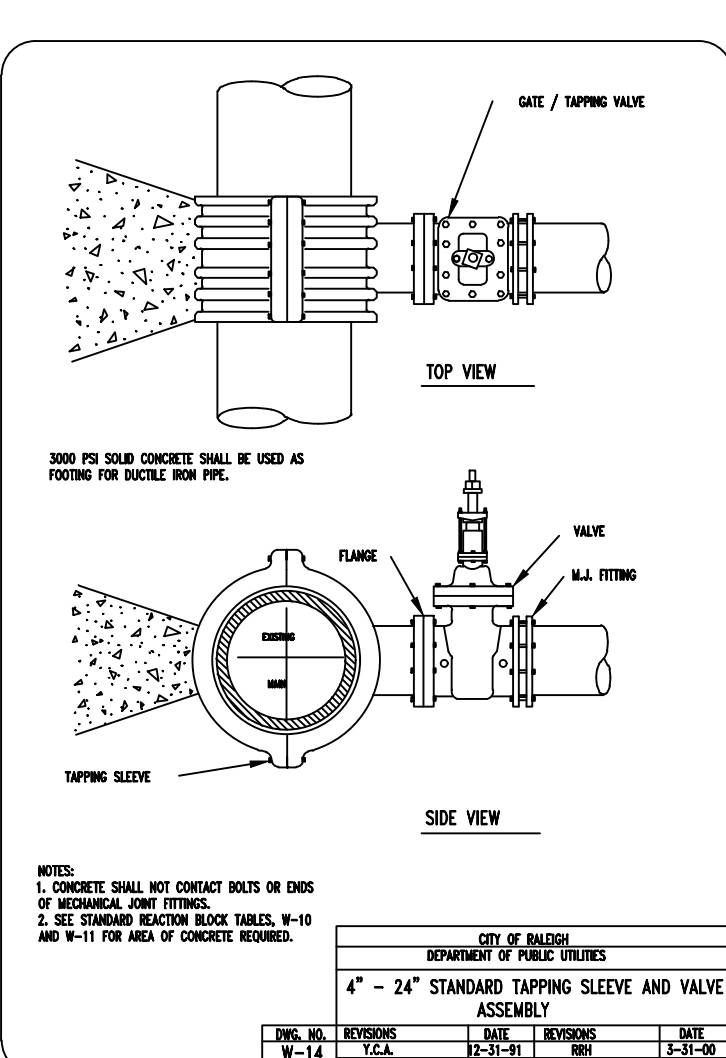
Notes for W-10, detailing fire hydrant access, trench backfill, and pavement requirements.



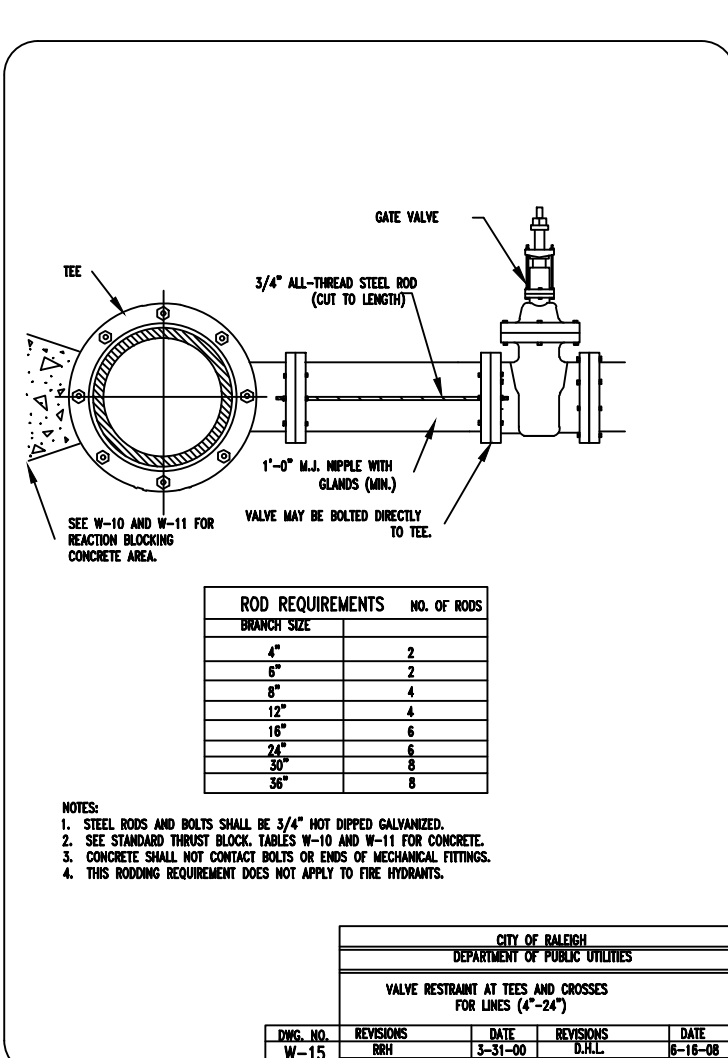
Notes for W-11, covering fire hydrant access, trench backfill, and pavement specifications.



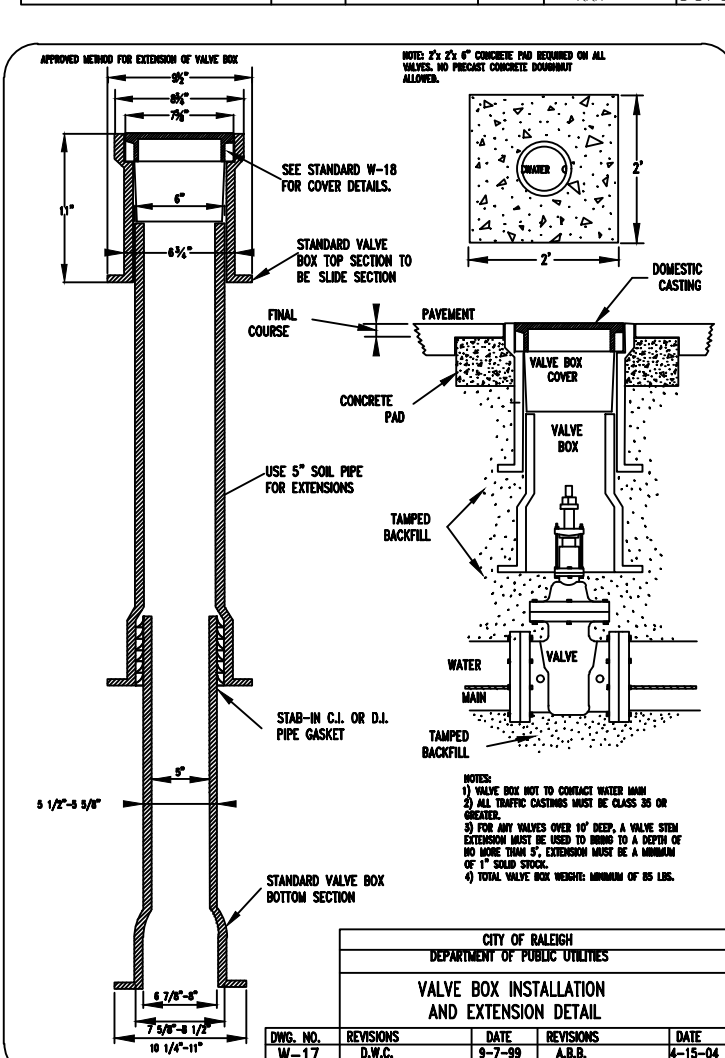
Notes for W-12, detailing fire hydrant access, trench backfill, and pavement details.



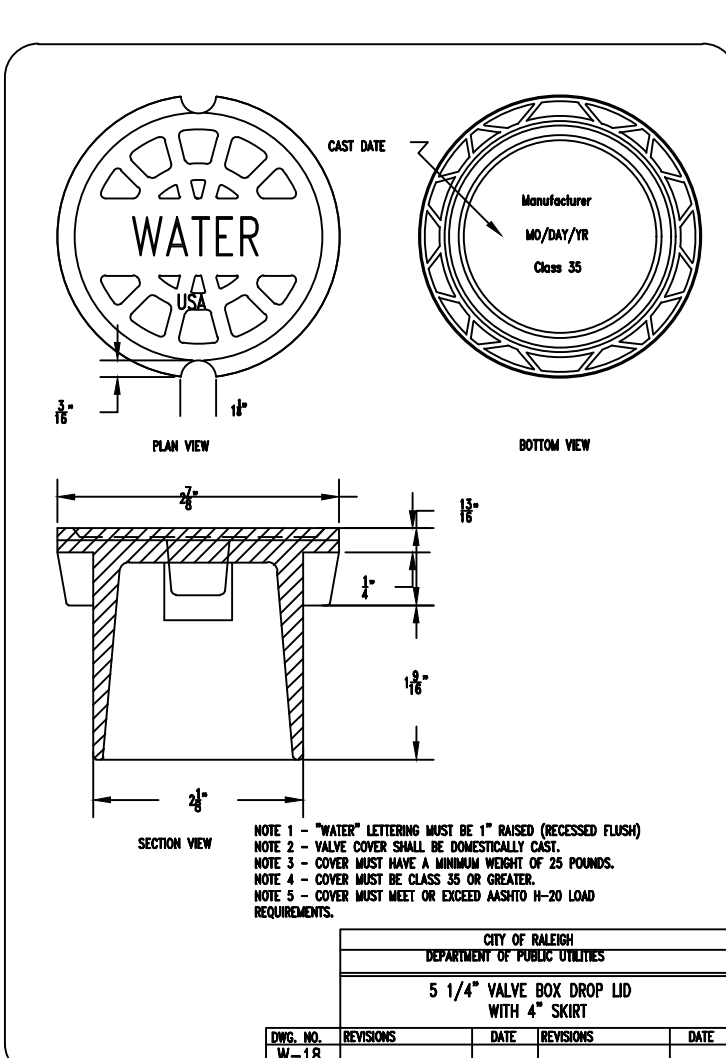
Notes for W-13, covering fire hydrant access, trench backfill, and pavement requirements.



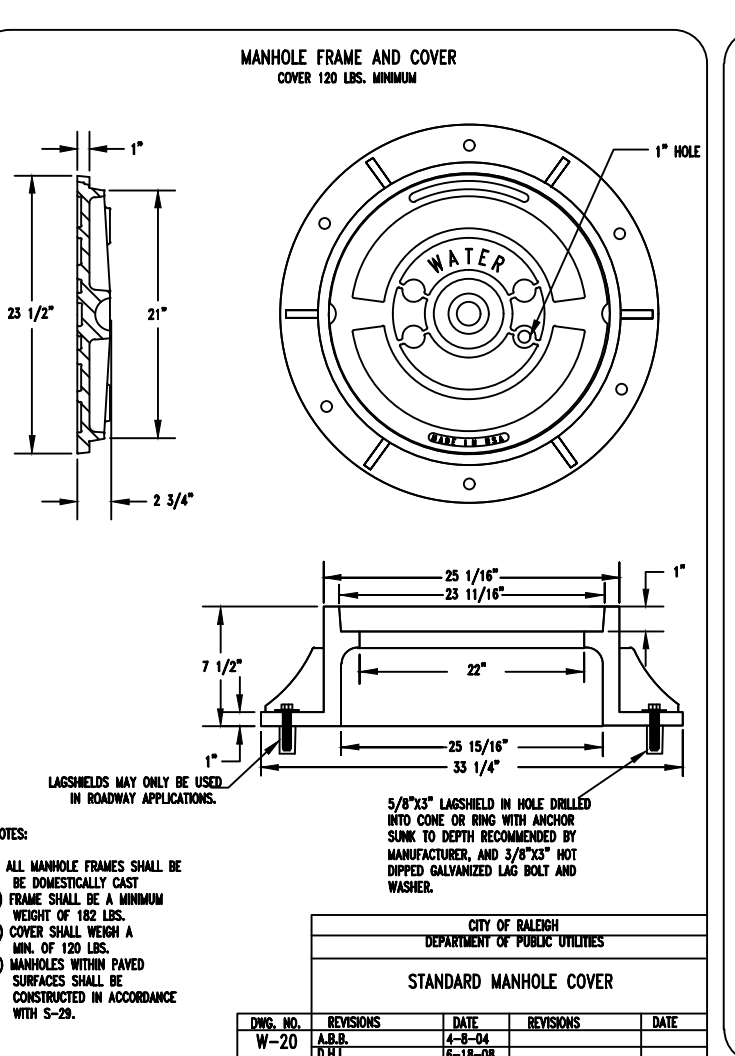
Notes for W-14, detailing fire hydrant access, trench backfill, and pavement specifications.



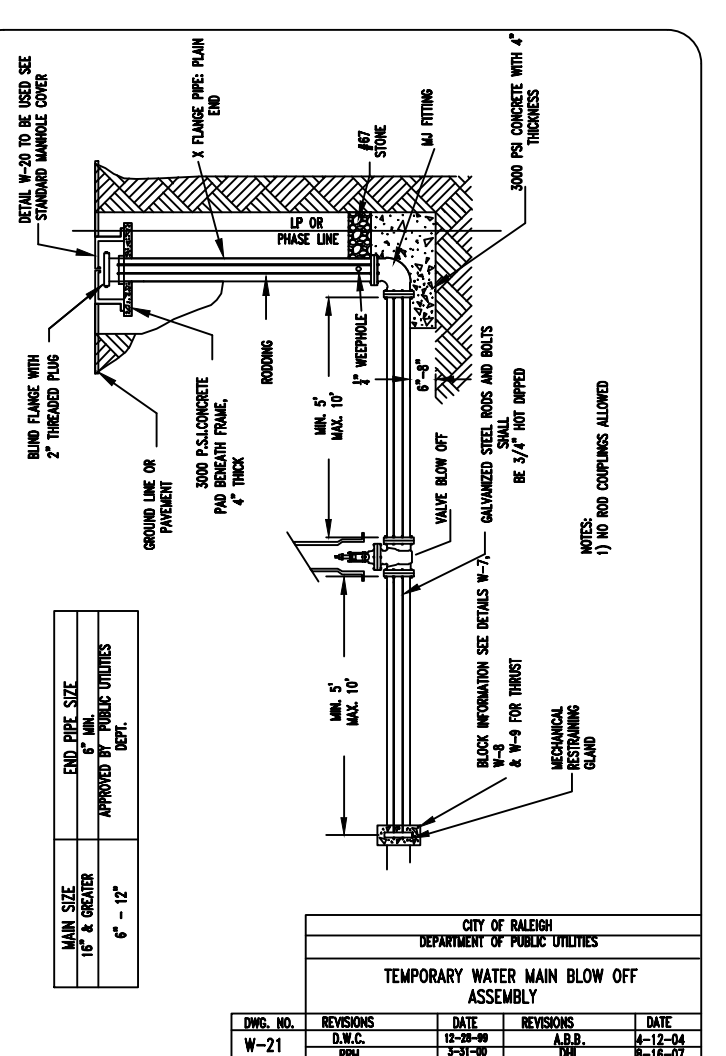
Notes for W-15, covering fire hydrant access, trench backfill, and pavement details.



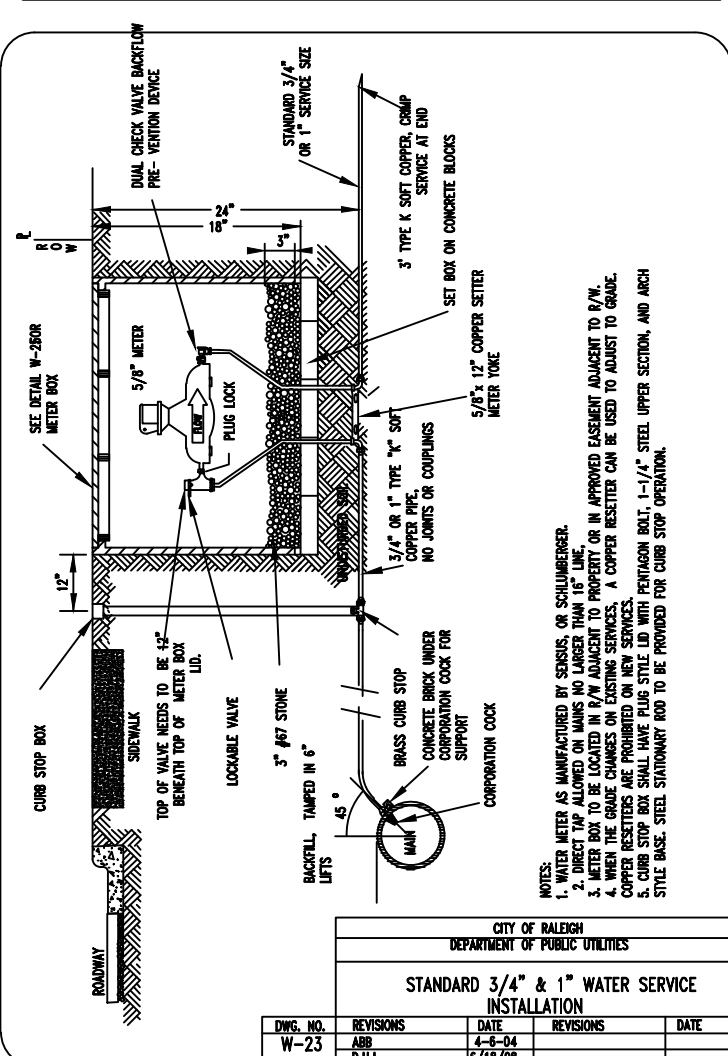
Notes for W-16, detailing fire hydrant access, trench backfill, and pavement requirements.



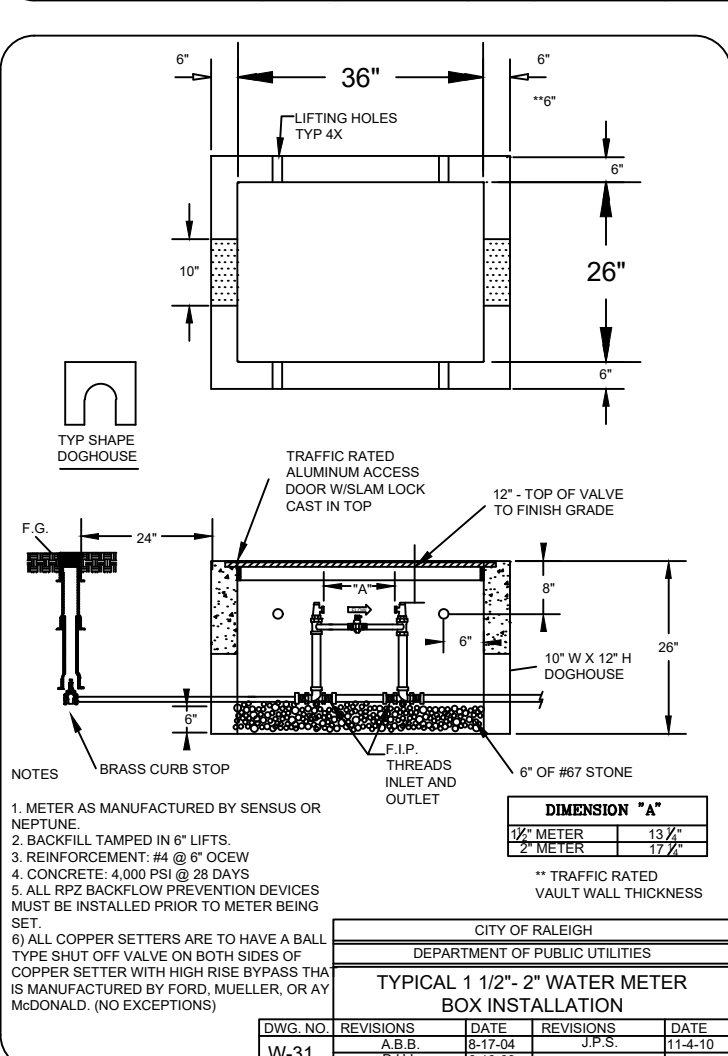
Notes for W-17, covering fire hydrant access, trench backfill, and pavement specifications.



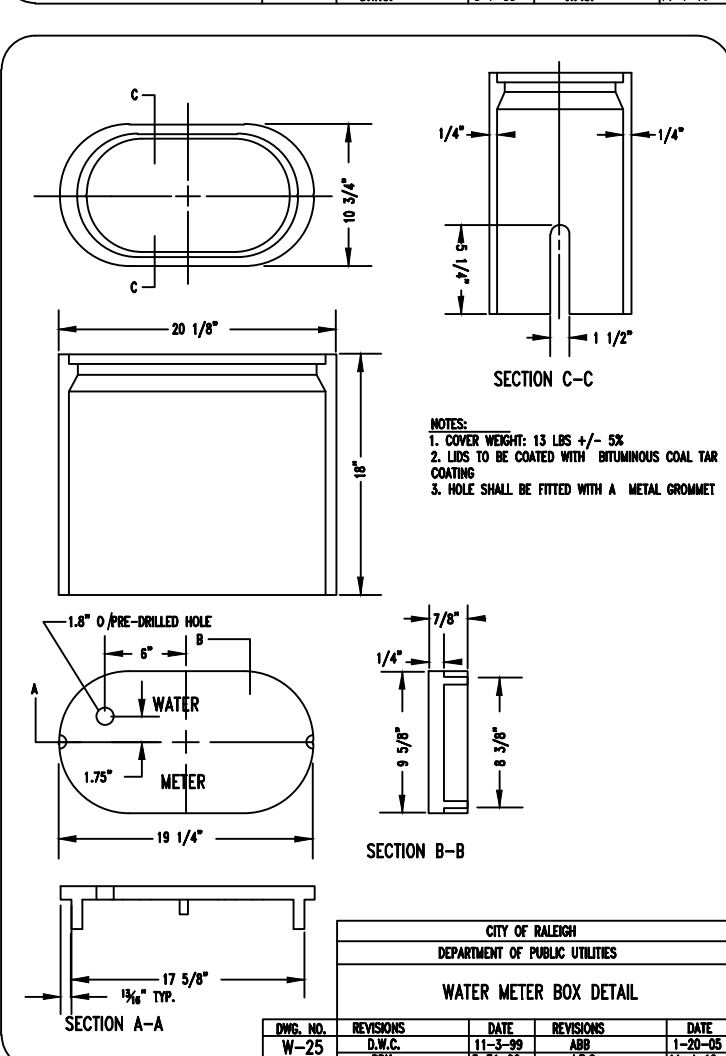
Notes for W-18, detailing fire hydrant access, trench backfill, and pavement details.



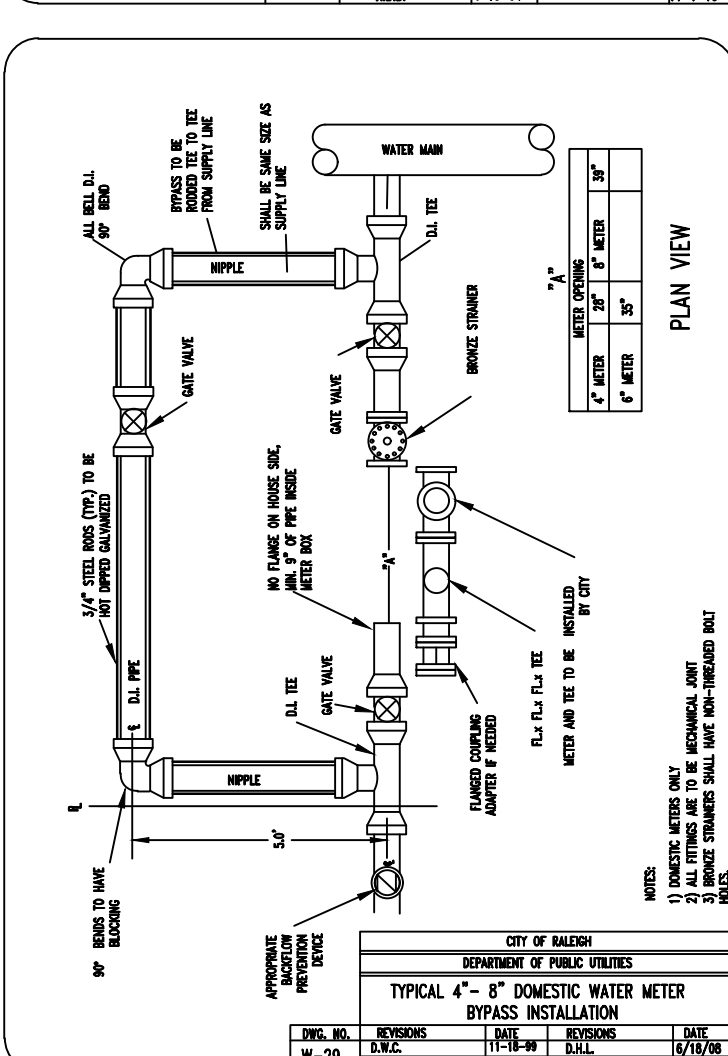
Notes for W-19, covering fire hydrant access, trench backfill, and pavement requirements.



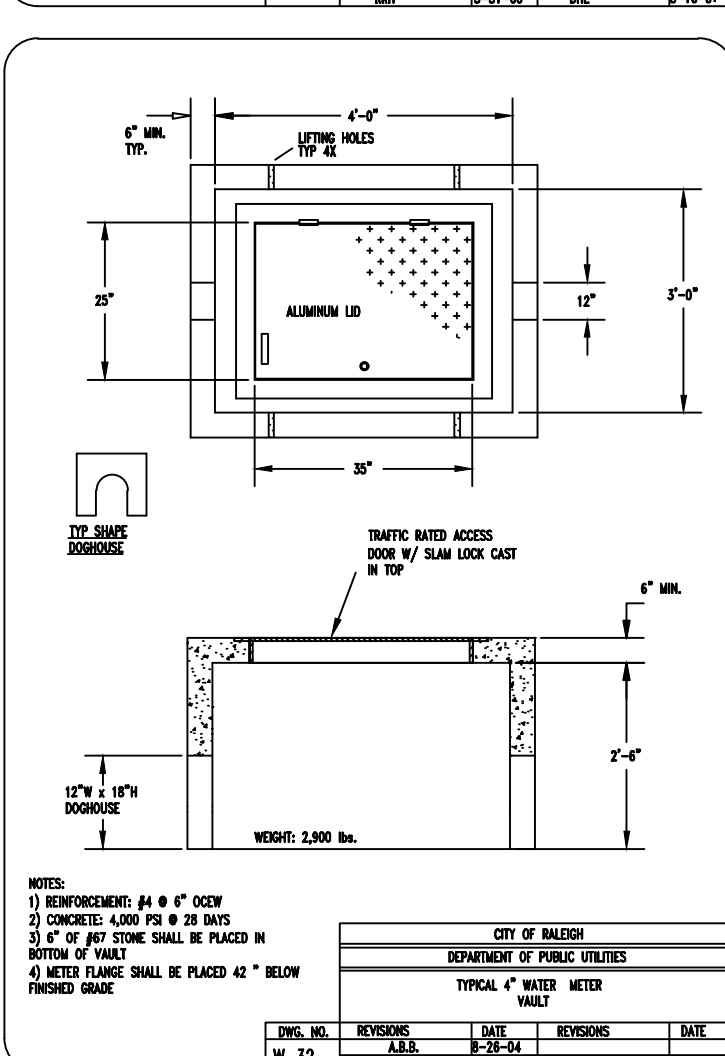
Notes for W-20, detailing fire hydrant access, trench backfill, and pavement specifications.



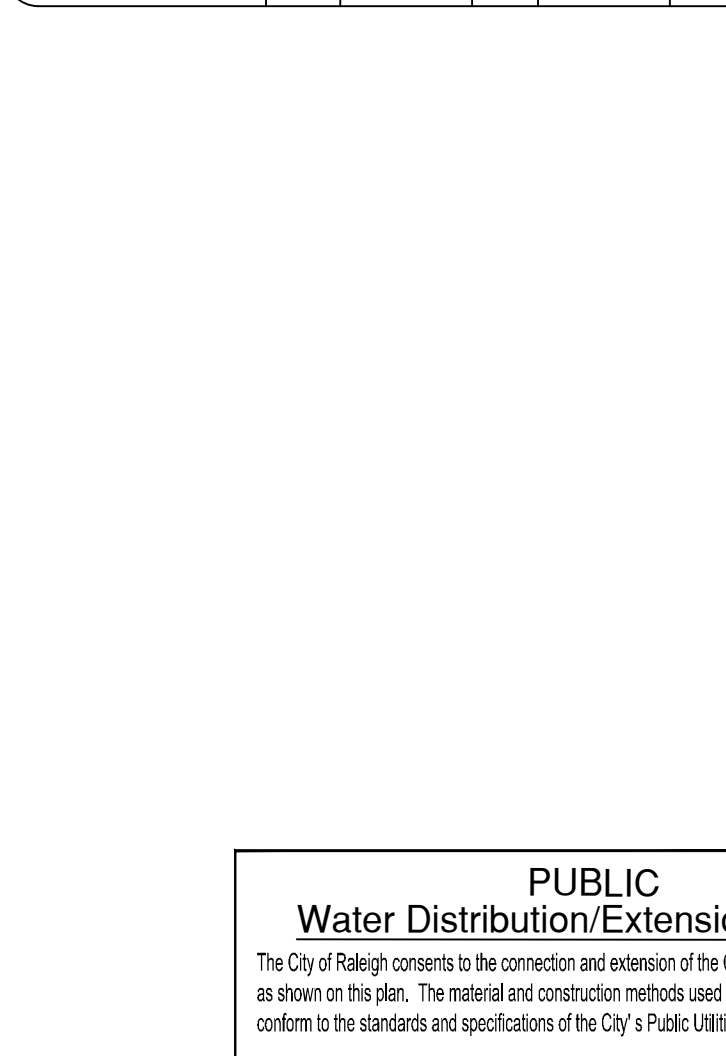
Notes for W-21, covering fire hydrant access, trench backfill, and pavement details.



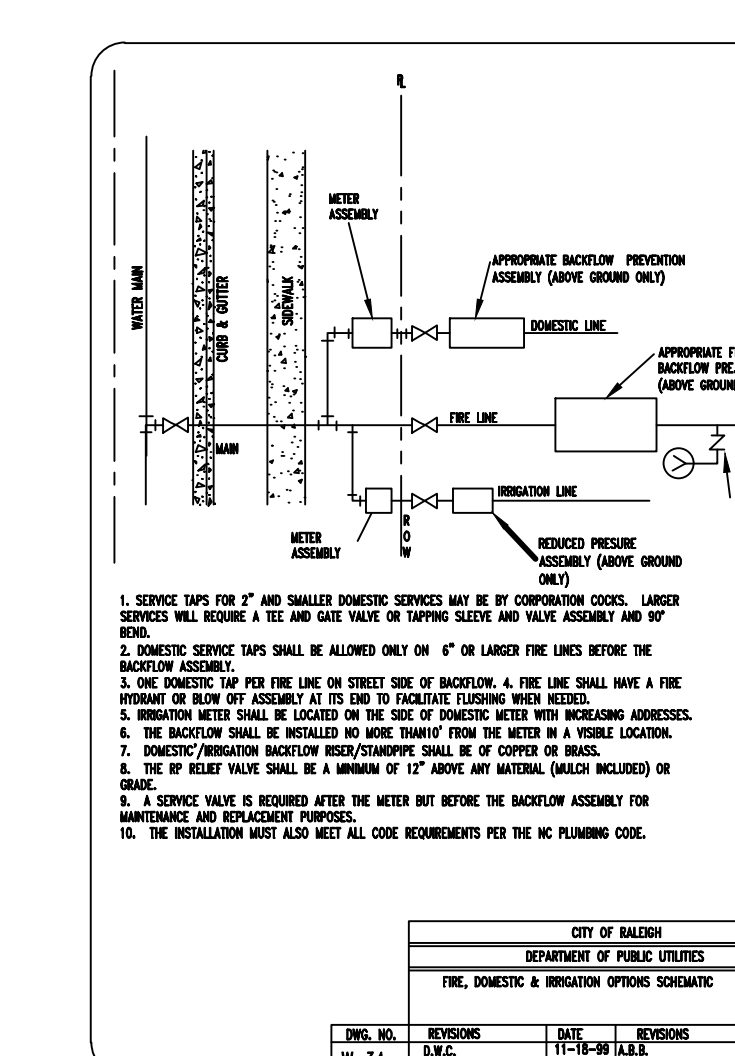
Notes for W-22, detailing fire hydrant access, trench backfill, and pavement requirements.



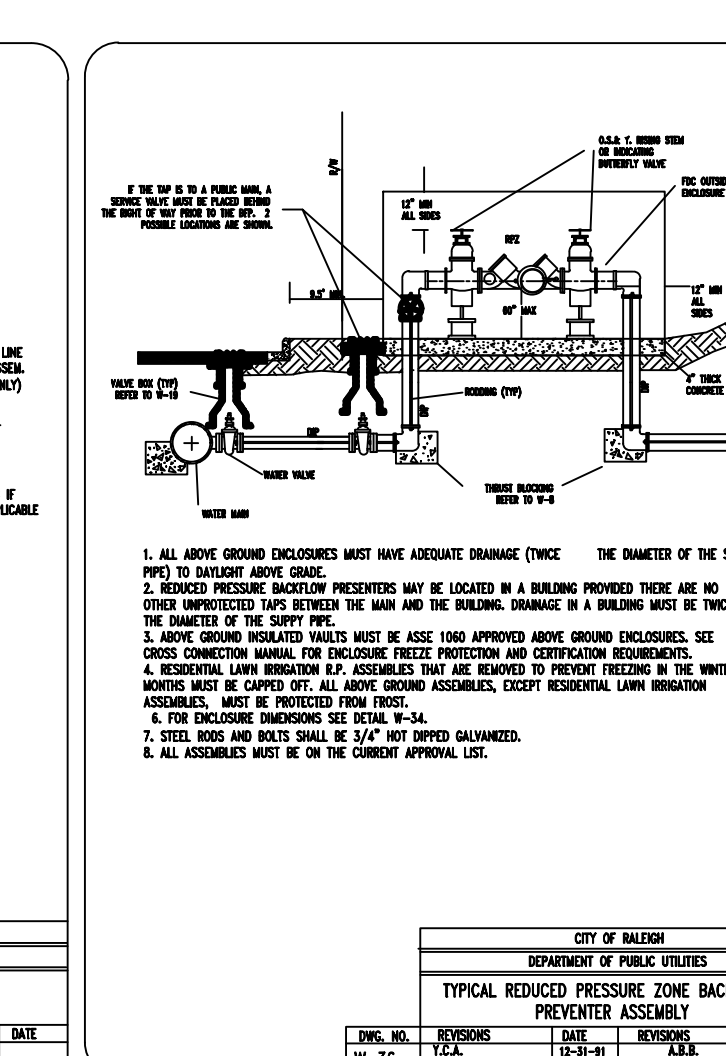
Notes for W-23, covering fire hydrant access, trench backfill, and pavement specifications.



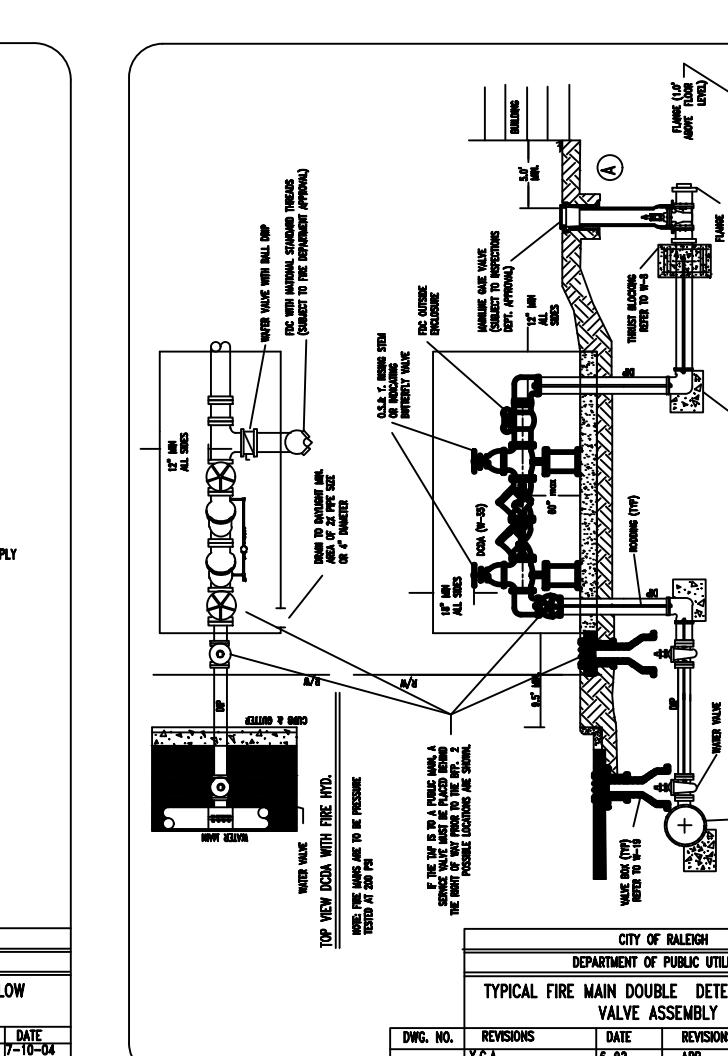
Notes for W-24, detailing fire hydrant access, trench backfill, and pavement details.



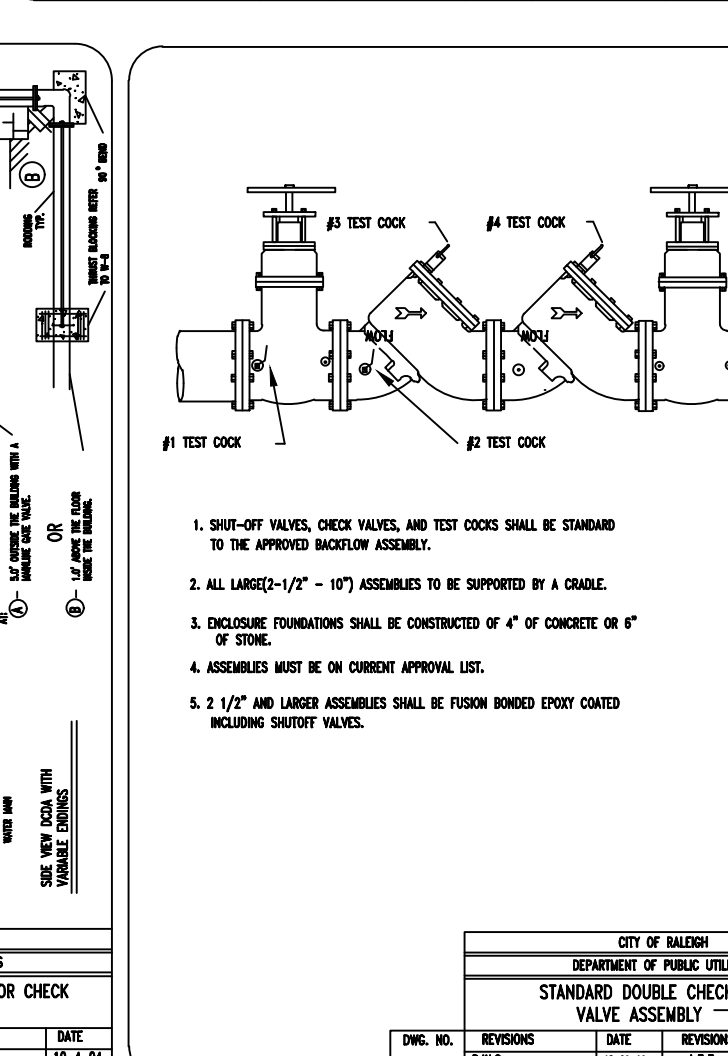
Notes for W-25, covering fire hydrant access, trench backfill, and pavement requirements.



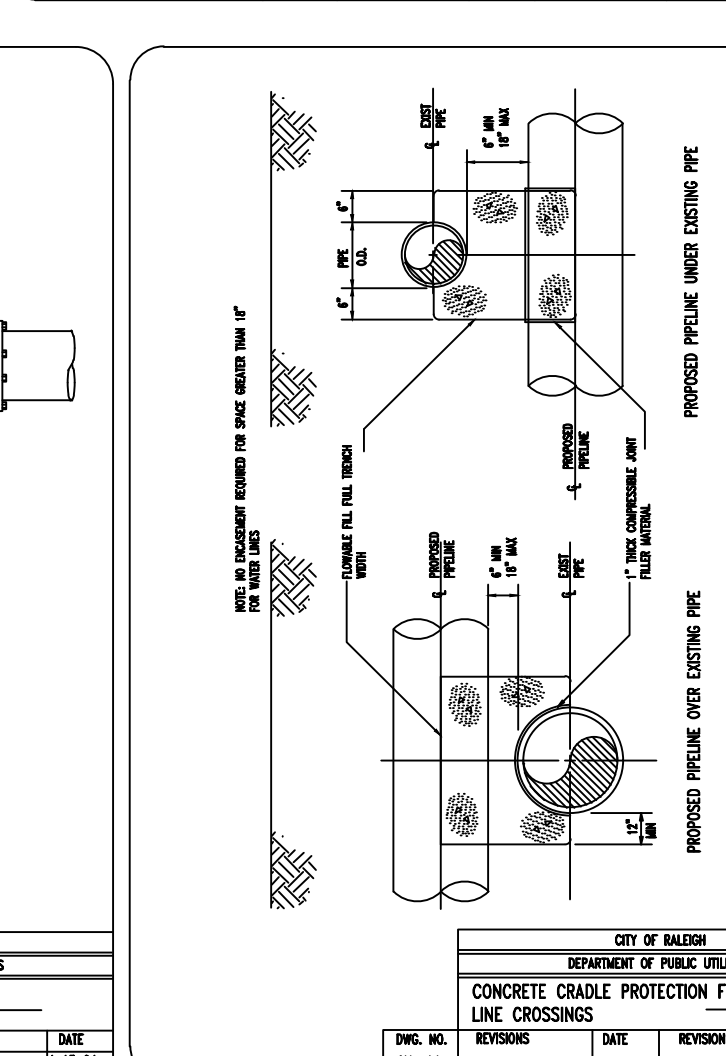
Notes for W-26, detailing fire hydrant access, trench backfill, and pavement specifications.



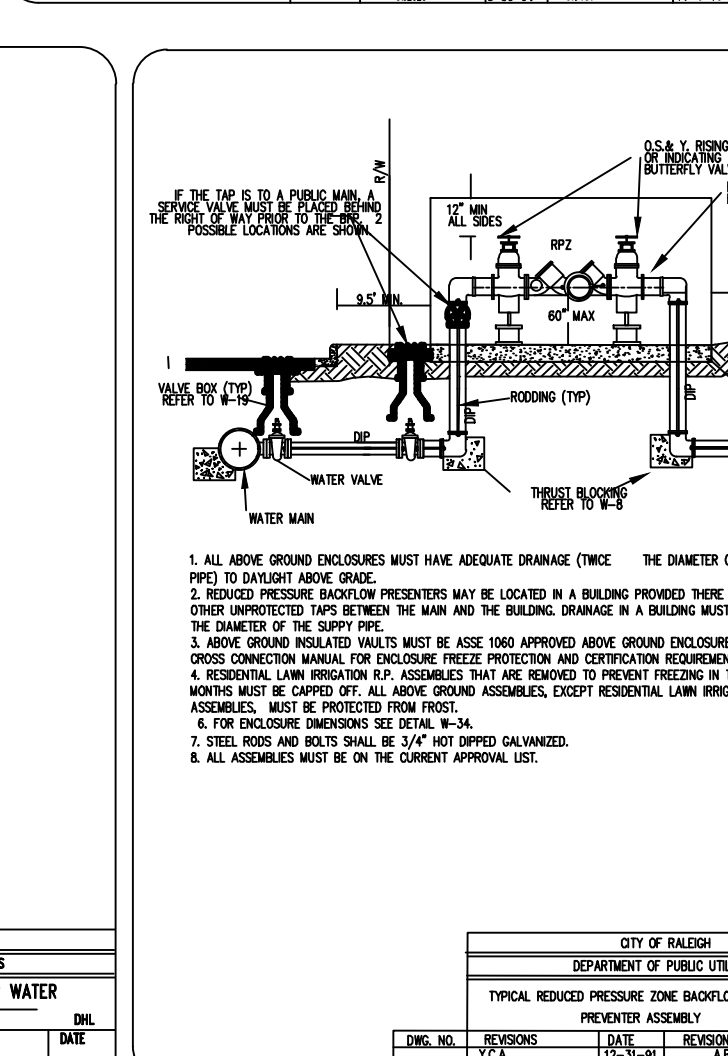
Notes for W-27, covering fire hydrant access, trench backfill, and pavement details.



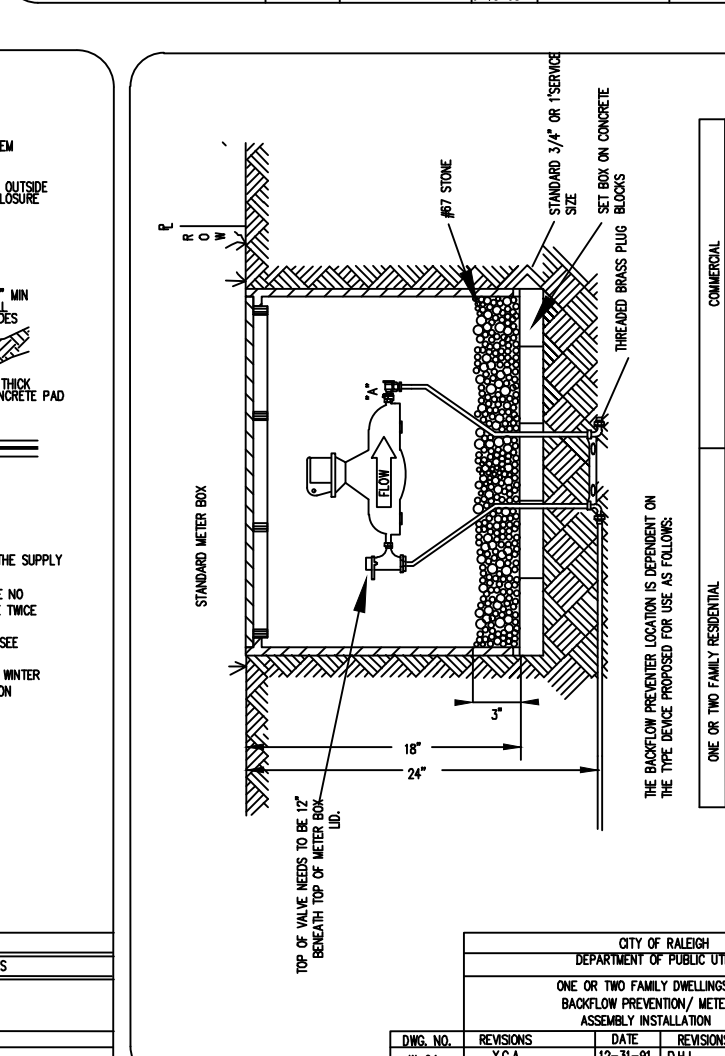
Notes for W-28, detailing fire hydrant access, trench backfill, and pavement requirements.



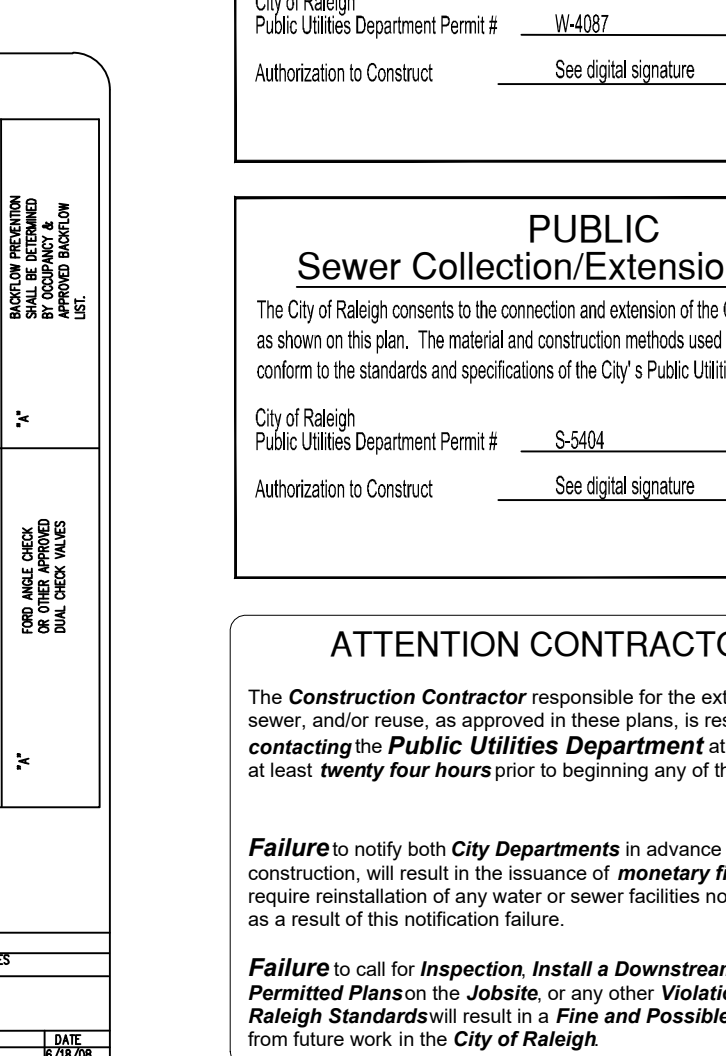
Notes for W-29, covering fire hydrant access, trench backfill, and pavement specifications.



Notes for W-30, detailing fire hydrant access, trench backfill, and pavement details.

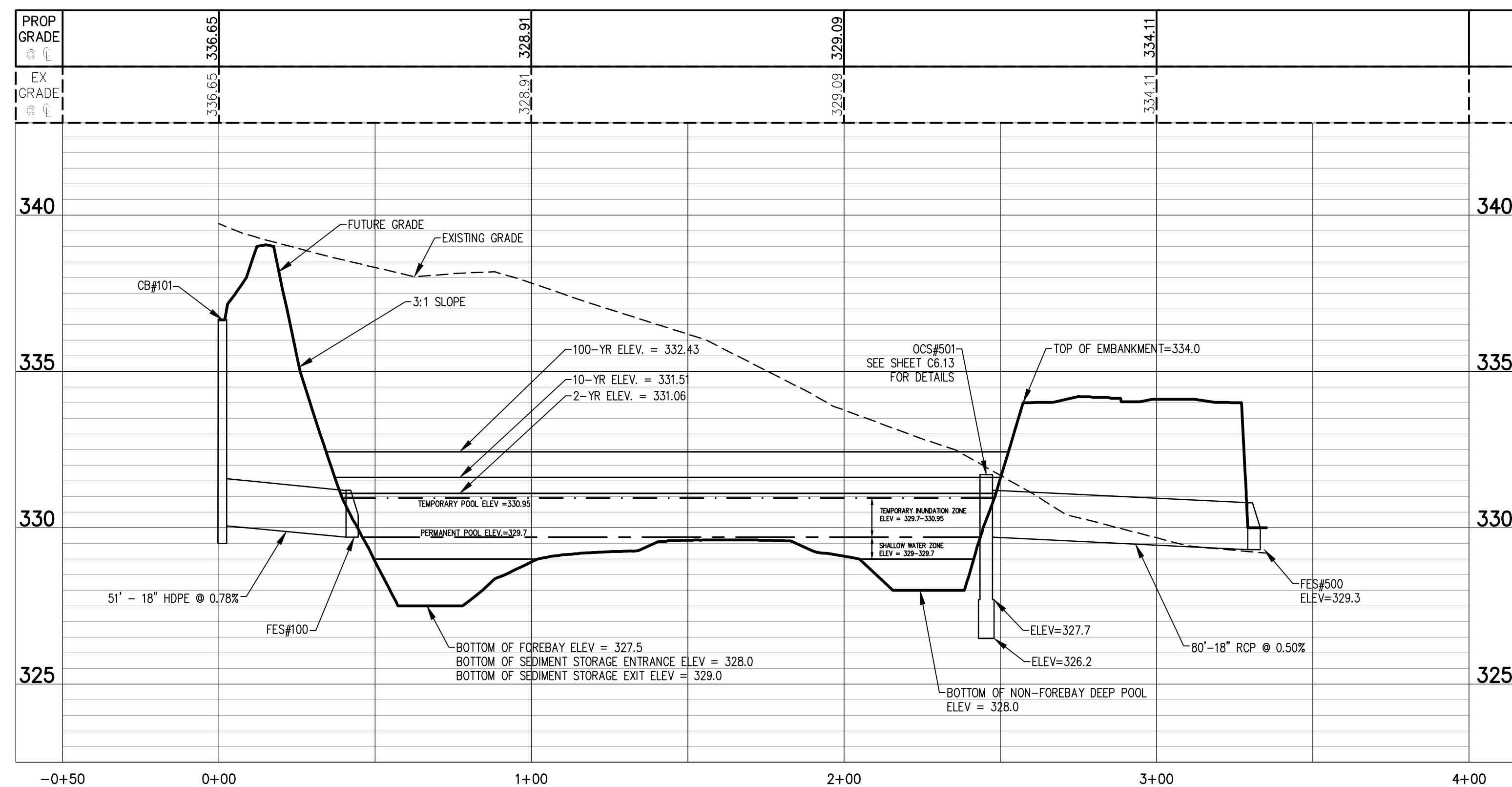
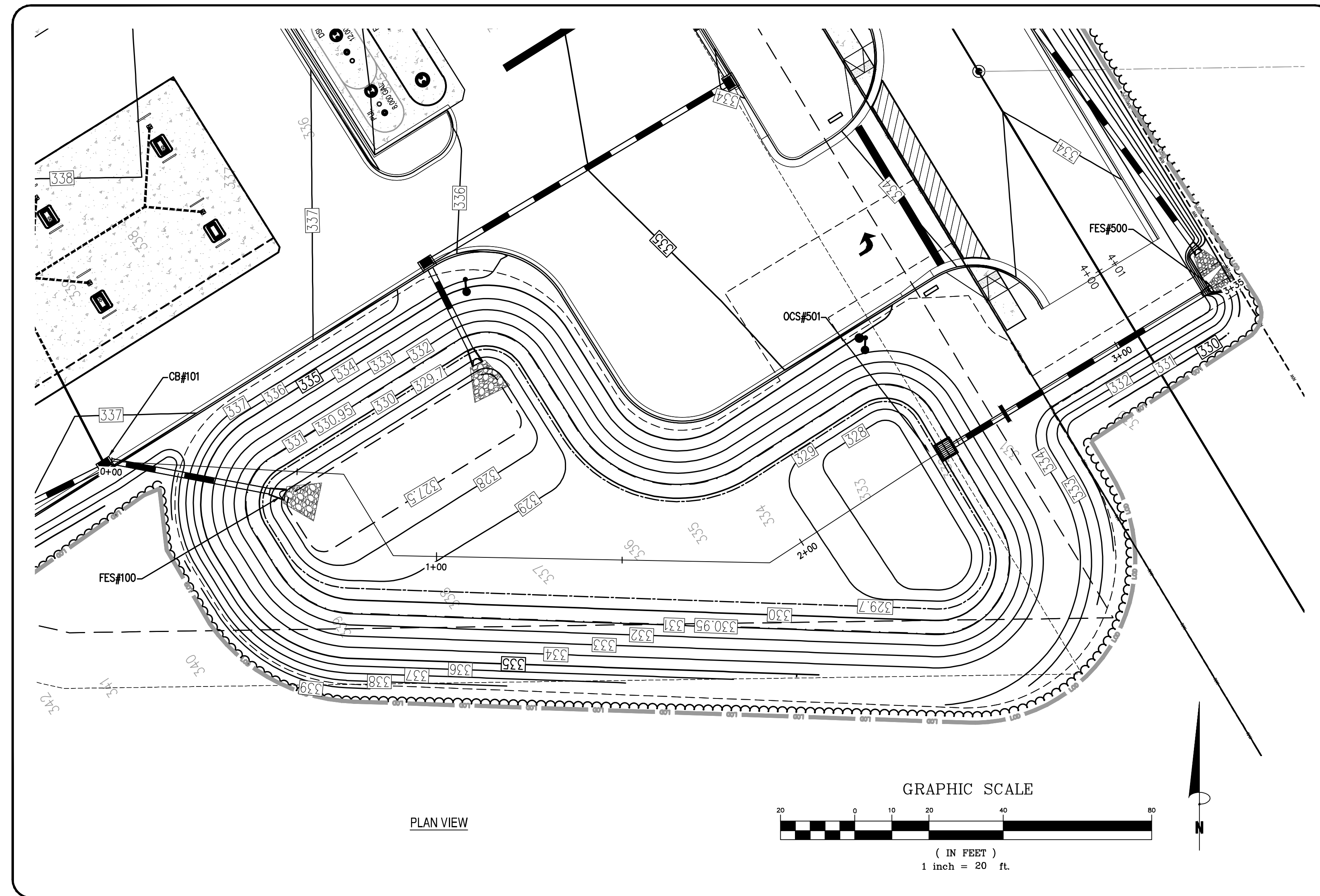


Notes for W-31, covering fire hydrant access, trench backfill, and pavement requirements.

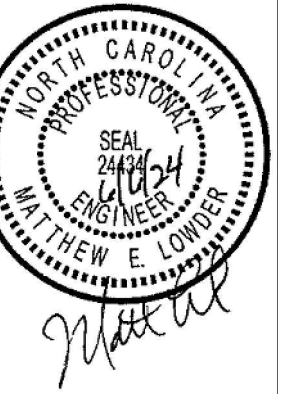


Notes for W-32, detailing fire hydrant access, trench backfill, and pavement specifications.

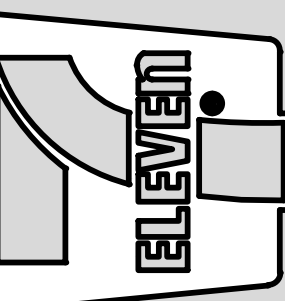
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POND PROFILE VIEW
 HORIZONTAL SCALE: 1"=30'
 VERTICAL SCALE: 1"=3'



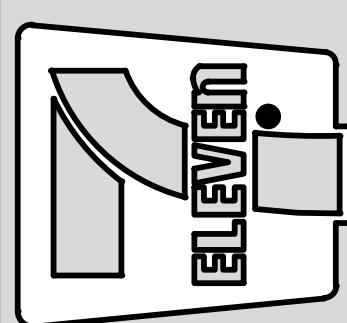
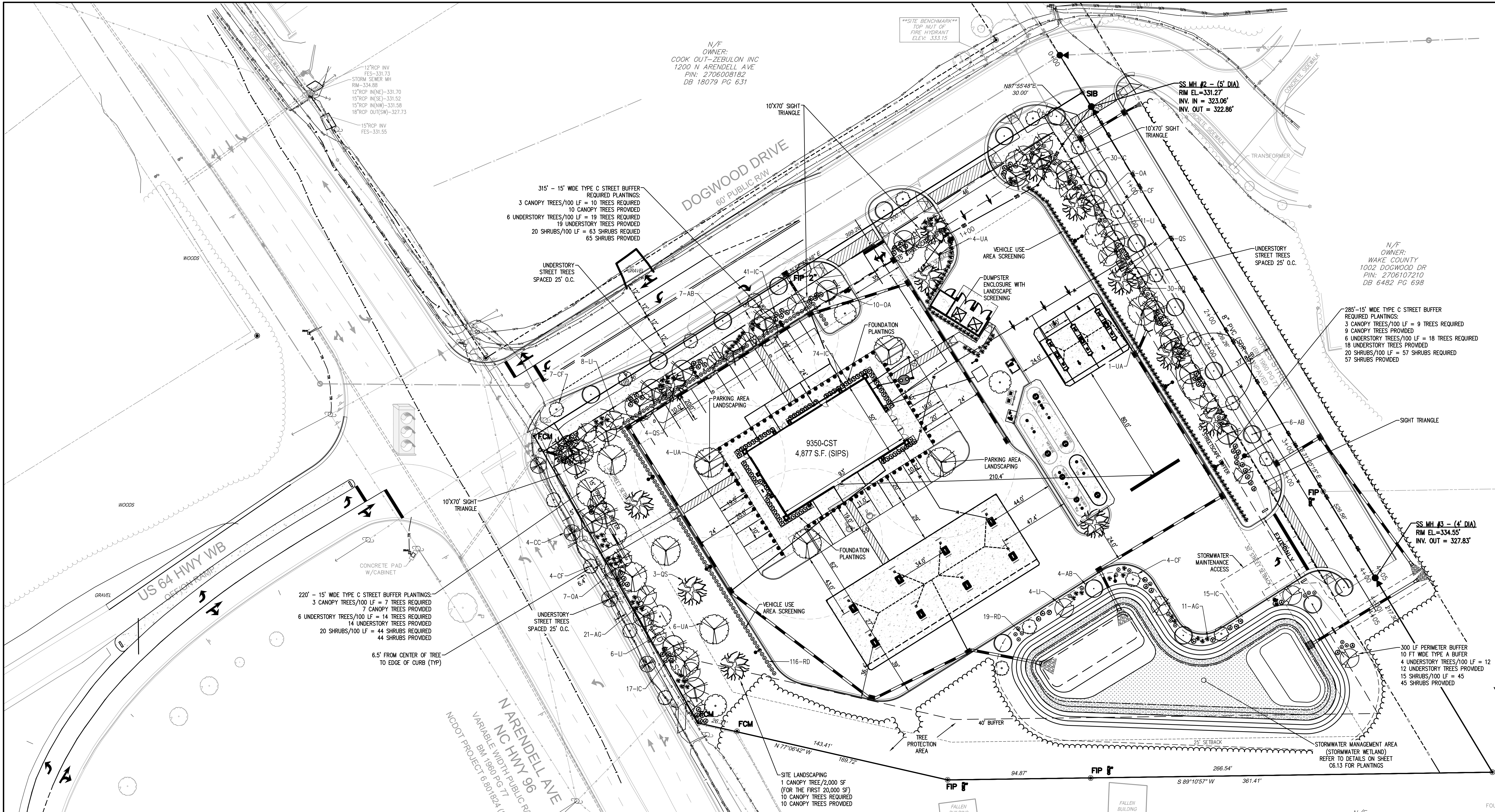
Crosland Southeast
 7-Eleven Store #42378
 Zebulon, NC
 WAKE COUNTY



NO.	DATE	REVISION DESCRIPTION
1	06/06/2024	ISSUE FOR CONSTRUCTION
2	06/06/2024	REVISED PER COMMENTS
3	06/06/2024	REVISED PER COMMENTS
4	06/06/2024	REVISED PER COMMENTS
5	06/06/2024	REVISED PER COMMENTS
6	06/06/2024	REVISED PER COMMENTS
7	06/06/2024	REVISED PER COMMENTS
8	06/06/2024	REVISED PER COMMENTS
9	06/06/2024	REVISED PER COMMENTS
10	06/06/2024	REVISED PER COMMENTS

STORE OR BLDG NO.:	N/A
VERSION OR PROJECT ID:	N/A
DESIGN TEAM:	DGNR, BRM & MCB
PM/DP:	ML
R/VWR:	ML
ISSUE DATE:	06/06/2024
ADDRESS:	1106 N ARENDELL AVE ZEBULON, NC 27587

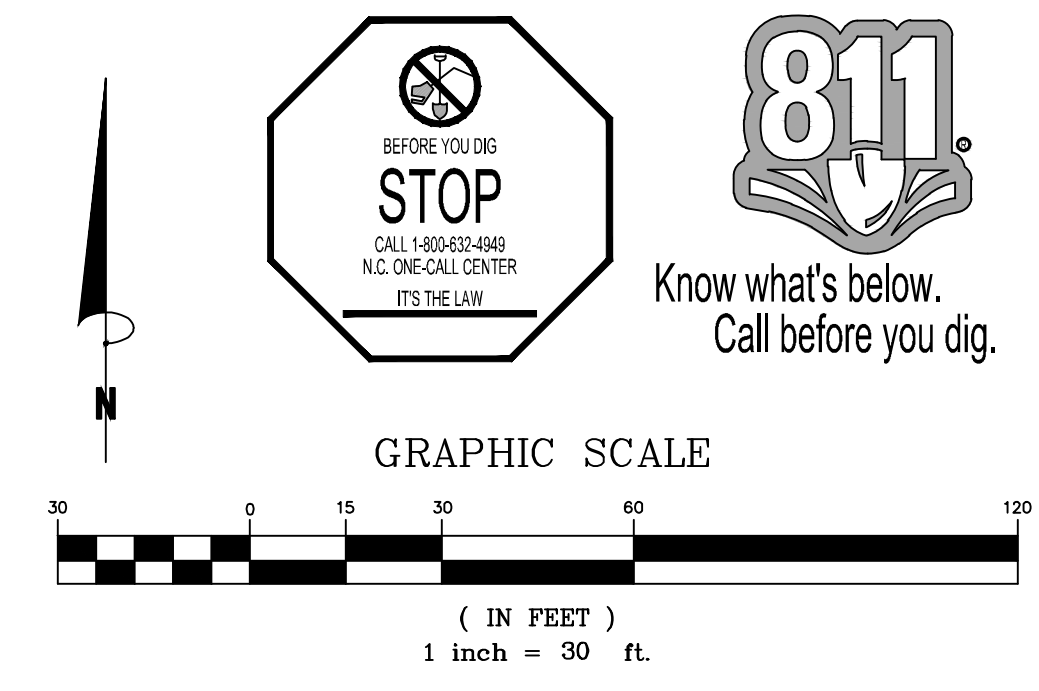
SHEET TITLE
**STORMWATER
 WETLAND
 PROFILE**



NO.	DATE	DESCRIPTION	BY	REVISION DESCRIPTION
1	06/06/2024	WAKE COUNTY REVIEW	...	...
2	06/06/2024	TOWN OF ZEBULON REVIEW	...	...
3	06/06/2024	TOWN OF ZEBULON REVIEW	...	...
4	06/06/2024	TOWN OF ZEBULON REVIEW	...	...
5	06/06/2024	TOWN OF ZEBULON REVIEW	...	...
6	06/06/2024	TOWN OF ZEBULON REVIEW	...	...
7	06/06/2024	TOWN OF ZEBULON REVIEW	...	...
8	06/06/2024	TOWN OF ZEBULON REVIEW	...	...
9	06/06/2024	TOWN OF ZEBULON REVIEW	...	...
10	06/06/2024	TOWN OF ZEBULON REVIEW	...	...

STORE OR BLDG NO.:	N/A
VERSION OR PROJECT ID:	N/A
DESIGN TEAM:	DGNR, BRM & MCB
PM/DP:	ML
RVWR:	ML
ISSUE DATE:	06/06/2024
ADDRESS:	1106 N ARENDELL AVE ZEBULON, NC 27587
SHEET TITLE:	LANDSCAPE PLAN
DRWG. NO.:	C7.0

MASTER PLANT LIST											
TYPE	SYM/KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SYMBOL	CALIPER	HEIGHT	SPREAD	ROOT	SPACING	OTHER
LARGE TREES	OS	13	<i>Quercus phellos</i>	Willow Oak		2.5"	8' MIN		B&B	AS SHOWN	
	UA	15	<i>Liriodendron tulipifera</i>	Tulip Poplar		2.5"	8' MIN		B&B	AS SHOWN	
	PC	12	<i>Pistacia chinensis</i>	Chinese Pistachio		2.5"	8' MIN		B&B	AS SHOWN	
UNDERSTORY TREES	OA	25	<i>OXYDENDRUM ARBOREUM</i>	Sourwood		1.5"	4' MIN		B&B	AS SHOWN	
	CC	4	<i>CERCIS CANADENSIS</i>	Eastern Redbud		1.5"	4' MIN		B&B	AS SHOWN	
	AB	17	<i>Acer buergerianum</i>	Trident Maple		1.5"	4' MIN		B&B	AS SHOWN	
	LI	29	<i>Amelanchier arborea</i>	Downy Serviceberry		-	4' MIN		B&B	AS SHOWN	
	CF	21	<i>Camus florida</i>	Flowering Dogwood		1.5"	4' MIN		B&B	AS SHOWN	
SHRUBS	RD	165	<i>Chamaecyparis pisifera 'Golden Map'</i>	Gold Map Cypress		-	18" MIN		3 GAL	AS SHOWN	
	AG	189	<i>Abelia grandiflora</i>	Glossy Abelia		-	18" MIN		3 GAL	AS SHOWN	
	IC	177	<i>Ilex cornuta 'Dwarf Burford'</i>	Dwarf Burford Holly		-	18" MIN		3 GAL	AS SHOWN	

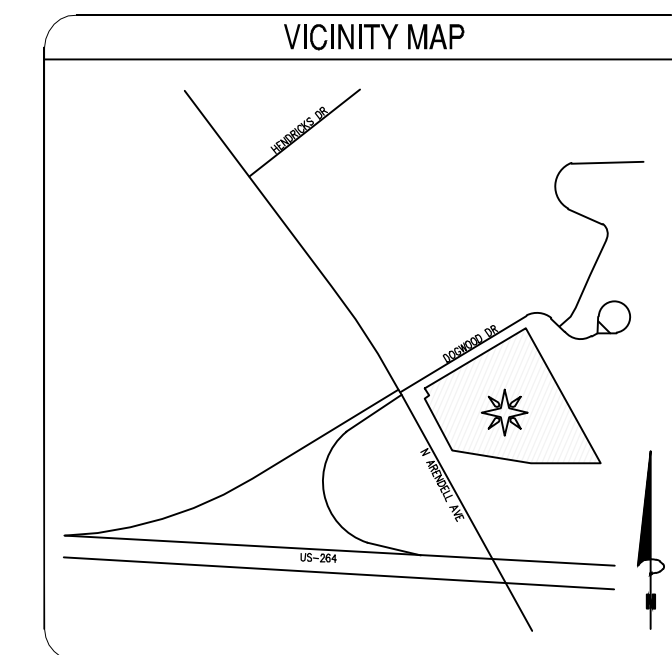


LANDSCAPE NOTES:

HYDROMULCH ALL DISTURBED AREAS OUTSIDE OF PROPERTY LIMITS (UNLESS SHOWN AS SOD).

THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.

SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.



EROSION CONTROL NOTES:

AN EROSION AND SEDIMENTATION CONTROL PERMIT SHALL BE REQUIRED BY WAKE COUNTY PRIOR TO START OF CONSTRUCTION.

SURVEY NOTE:

ALL EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A LAND SURVEY PREPARED BY: KCI ASSOCIATES OF NC

STREAM/WETLAND NOTE:

THERE ARE NO EXISTING STREAM AND/OR WETLAND FEATURES ON THE PROPOSED PARCEL. THERE ARE NO PROPOSED IMPACTS TO AN EXISTING STREAM AND/OR WETLAND FEATURES.

FLOOD ZONE NOTE:

THE PROPERTY IS LOCATED IN FLOOD ZONE X AS SHOWN ON FEMA FLOOD PANELS 370027000K & 370027000L, BOTH DATED JULY 19, 2022. MAPS SUBJECT TO CHANGE BY FEMA.

IRRIGATION NOTE:

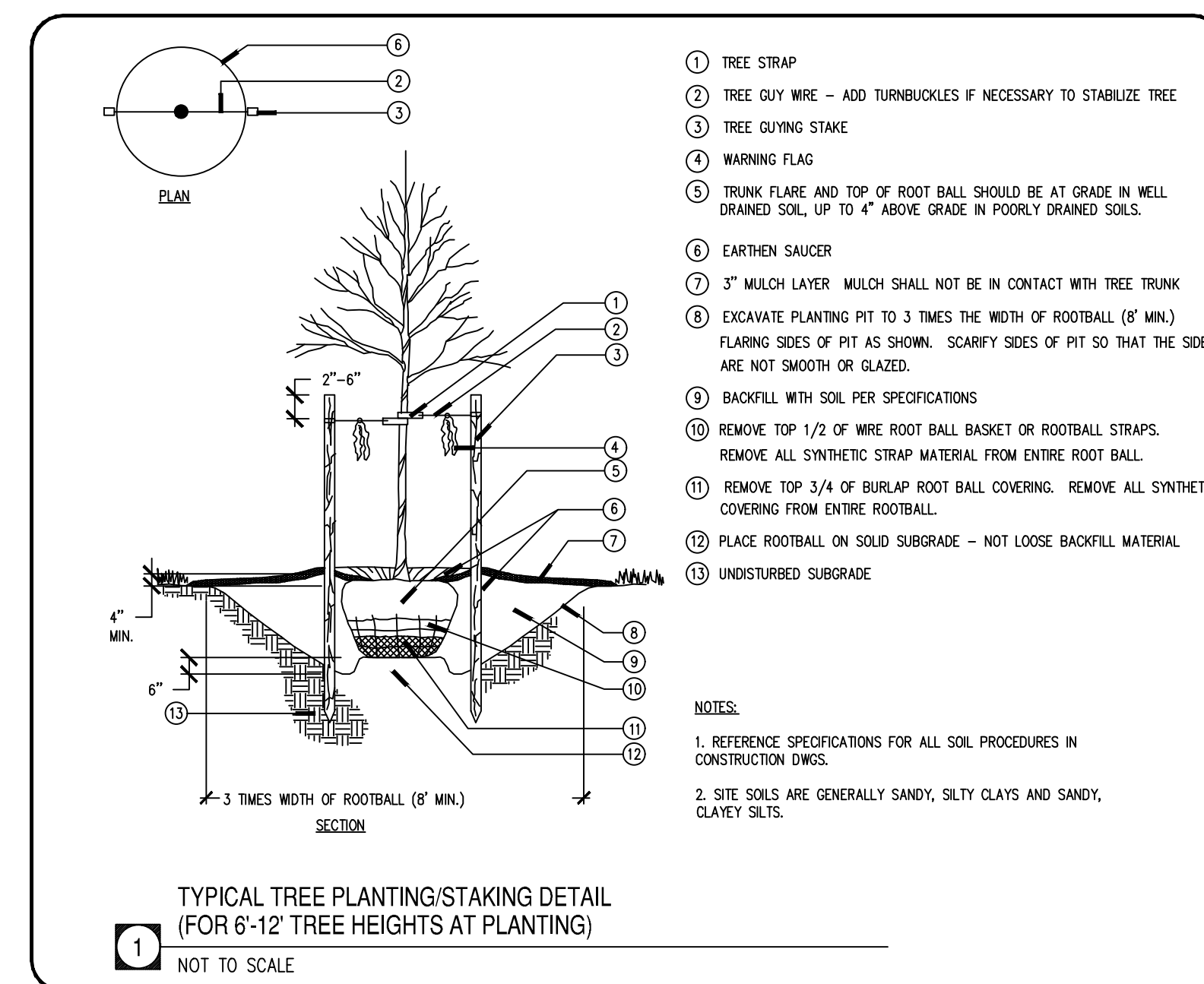
IRRIGATION SYSTEM TO BE A DESIGN-BUILD SYSTEM PROVIDED BY THE CONTRACTOR. IRRIGATION HEADS TO BE A MINIMUM OF 3" FROM EDGE OF CURB LINE. ALL LANDSCAPE BEDS TO HAVE CUT EDGE OR COMMERCIAL EDGING MATERIAL INSTALLED FULLY SEPARATING THE MULCH BED FROM ADJACENT LAWN AREA. ANY TREES OVER 2" CALIPER MUST BE STAKED AND TIED.

LANDSCAPING NOTES:

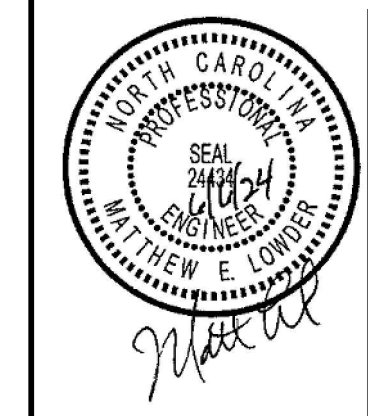
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING ALL REQUIRED LANDSCAPING FOR THE ENTIRE SITE, TO INCLUDE BUT NOT LIMITED TO: SODDED/SEEDED AREAS, SHRUB BEDS, PARKING LOT ISLANDS, ROADSIDE SIGN BASE(S) AND MONUMENT PLANTERS.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES REGARDING LANDSCAPING.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A HEALTHY STAND OF GRASS ON ALL SEEDED AREAS.
- IN THE EVENT THAT PLANTING BEDS AND MULCH ARE REQUIRED, THE CONTRACTOR SHALL INSTALL BLACK FABRIC WEED BLOCK LANDSCAPE MESH UNDER THE MULCH TO PREVENT WEED GROWTH.
- CONTRACTOR SHALL PROVIDE NATURAL TOPSOIL THAT IS FERTILE, FRIABLE, WITHOUT MIXTURE OF SUBSOIL MATERIALS, AND OBTAINED FROM A WELL DRAINED, AVAILABLE SITE. IT SHALL NOT CONTAIN SUBSTANCES WHICH MAY BE HARMFUL TO PLANT GROWTH. TOPSOIL SHALL BE SCREENED AND FREE FROM CLAY, LUMPS, STONES, ROOTS, PLANTS, OR SIMILAR SUBSTANCES 1" OR MORE IN DIAMETER, DEBRIS, OR OTHER OBJECTS WHICH MIGHT BE A HINDERANCE TO PLANTING OPERATIONS. TOPSOIL SHALL CONTAIN AT LEAST 4-6% ORGANIC MATTER BY WEIGHT AND HAVE A PH RANGE OF 5.5 TO 7.0.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE WATERING AND THE MAINTENANCE OF ALL LANDSCAPED AREAS UNTIL THE LATER OF: (a) THIRTY (30) DAYS FOLLOWING THE PLANTING OF THE GRASS AND SHRUBS, OR (b) THE DATE THAT BUILDINGS OPEN FOR BUSINESS TO THE PUBLIC.
- GENERAL CONTRACTOR IS TO CLEAN ENTIRE SITE OF ALL CONSTRUCTION DEBRIS AND RAKE ALL GRASS AREAS.
- PROVIDE LANDSCAPE PLANS TO OWNER AND AS REQUIRED BY LOCAL JURISDICTION TO THE BLDG. DEPT. FOR REVIEW AND APPROVAL PRIOR TO START OF WORK.
- ALL LANDSCAPING, TREES, SHRUBS, ETC. SHALL NOT INTERFERE WITH THE VISIBILITY OF PROJECT SIGNAGE.
- CONTRACTOR TO VERIFY QUANTITIES PRIOR TO COMMENCING WORK.
- OPEN AREAS WITHIN PLANTING BEDS SHALL BE MULCHED.

GENERAL LANDSCAPE NOTES:

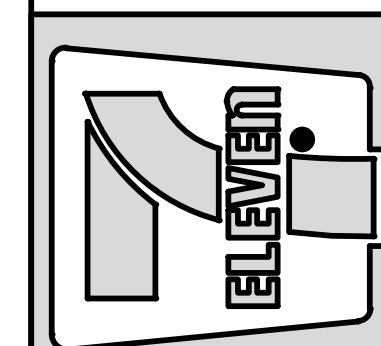
- ANY DISTURBED AREAS NOT SCHEDULED FOR HARDSCAPE, PLANTINGS, OR MULCH SHALL BE SEEDED LAWN.
- NO PLANT SUBSTITUTIONS ARE PERMITTED WITHOUT WRITTEN APPROVAL OF THE OWNERS REPRESENTATIVE.
- ALL PLANT AND BED LINE LOCATIONS SHALL BE STAKED IN THE FIELD AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- ALL PLANTINGS SHALL BE INSTALLED WITH THE SPECIFIED LAYER OF MULCH. REFERENCE DETAILS AND SPECIFICATIONS FOR DEPTH AND TYPE OF MULCH. ALL TREES AND SHRUBS SHALL BE PLANTED IN MULCH BEDS AND SHALL BE SEPARATED FROM TURF GRASS AREAS.
- GRASS COVERAGE TO EXTEND FROM PROPERTY LINES TO BACK OF CITY SIDEWALKS AND/OR CURBS.
- MINIMUM TREE SIZE AT PLANTING IS 2" CALIPER (FOR SINGLE STEM TREES). ALL MULTI-STEM PLANTS MUST BE TREE FORM, MAXIMUM 3 TO 5 TRUNKS, AND MINIMUM 8 FEET TALL.
- ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.
- FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 18" NEW TOPSOIL, OR TILL AND AMEND THE TOP 18" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES.
- LARGE MATURING TREES MAY NOT BE PLANTED WHERE THERE ARE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
- ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLANT 15' FROM ALL UNDERGROUND UTILITIES (SEWER AND STORM DRAINAGE, GAS, WATER, PHONE, AND ELECTRICAL LINES.)
- ATTENTION LANDSCAPER: NOTIFY OWNER OF ANY SIGN, POWER LINE, OR OTHER CONFLICTS BEFORE PLANTING NEW TREES.



Bowman
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4000 Sibley Dr.
Suite 101
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Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY



NO.	DATE	DESCRIPTION	BY
1	06/06/2024	WAKE COUNTY REVIEW	
2	06/06/2024	TOWN OF ZEBULON REVIEW	
3	06/06/2024	TOWN OF ZEBULON REVIEW	
4	06/06/2024	TOWN OF ZEBULON REVIEW	
5	06/06/2024	NADOT REVIEW	
6	06/06/2024	NADOT REVIEW	

STORE OR BLDG NO.:
N/A

VERSION OR PROJECT ID:
N/A

DESIGN TEAM
DGNR: BRM & MCB

PM/DP: ML

RVWR: ML

ISSUE DATE: 06/06/2024

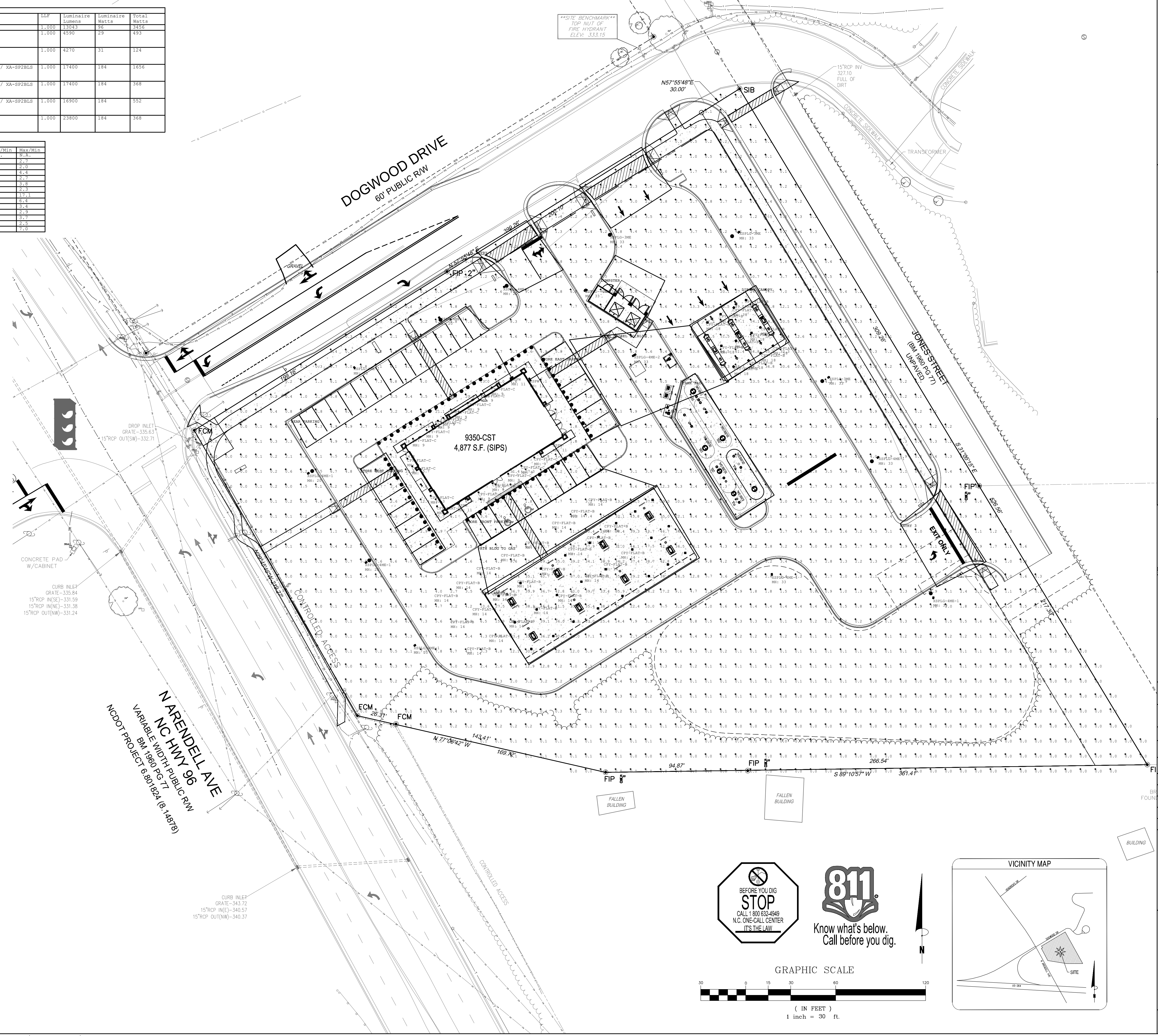
ADDRESS
1106 N ARENDELL AVE
ZEBULON, NC 27587

SHEET TITLE
LANDSCAPING NOTES

DRWG. NO.
C7.1

Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
□	16	CPY-FLAT-B	SINGLE	CPY250-B-DM-F-8-UL-WH-5TK-BL	1.000	13063	96	3056
□	17	CPY-FLAT-C	SINGLE	CPY250-B-4L-5TK7-F-DI-DM-BR-B2	1.000	4990	29	493
□	4	XSPW	SINGLE	XSPW-B-RW-3ME-4L-5TK-UL-BR	1.000	4270	31	124
□	9	XSPLG-4ME-1	SINGLE	XSPLG-D-HT-4ME-24L-5TK7-UL-BR-N w/ XA-SP2BLS	1.000	17400	184	1656
□	1	XSPLG-4ME-2-BLS	2 @ 90 DEGREES	XSPLG-D-HT-4ME-24L-5TK7-UL-BR-N w/ XA-SP2BLS	1.000	17400	184	368
□	3	XSPLG-3ME	SINGLE	XSPLG-D-HT-3ME-24L-5TK7-UL-BR-N w/ XA-SP2BLS	1.000	16900	184	552
□	1	XSPLG-4ME-2	Back-Back	XSPLG-D-HT-4ME-24L-5TK7-UL-BR-N	1.000	23800	184	368

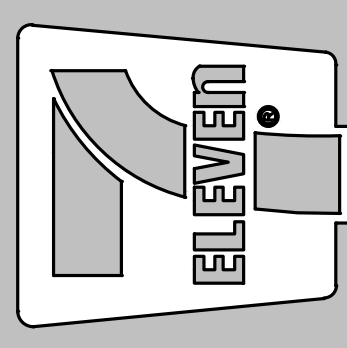
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE TOP	Illuminance	FC	3.1	66.8	0.0	N.A.	N.A.
VEHICLE CANOPY	Illuminance	FC	47.2	66.3	24.3	1.9	2.7
PUMPSTER	Illuminance	FC	2.4	2.4	3.8	1.4	2.0
ENTRY 1	Illuminance	FC	3.7	3.7	2.2	2.6	4.4
ENTRY 2	Illuminance	FC	2.4	2.8	1.4	1.9	2.2
ENTRY 3	Illuminance	FC	2.0	3.0	0.8	2.5	3.8
GAS CANOPY	Illuminance	FC	35.6	47.3	20.4	1.8	2.3
PATH SIDE TO GAS	Illuminance	FC	3.6	23.1	1.7	3.7	13.3
PATH DISTEL TO BLDG	Illuminance	FC	2.6	26.1	4.1	2.1	6.4
REAR PARKING	Illuminance	FC	3.8	8.8	2.6	2.2	3.4
STORE FRONT PARKING	Illuminance	FC	2.9	3.9	2.0	2.0	2.9
STORE WEST PARKING	Illuminance	FC	2.3	2.6	1.5	1.5	1.7
PARK PAD	Illuminance	FC	3.0	3.0	2.0	1.5	2.0
	Illuminance	FC	2.9	7.9	1.9	2.0	7.0



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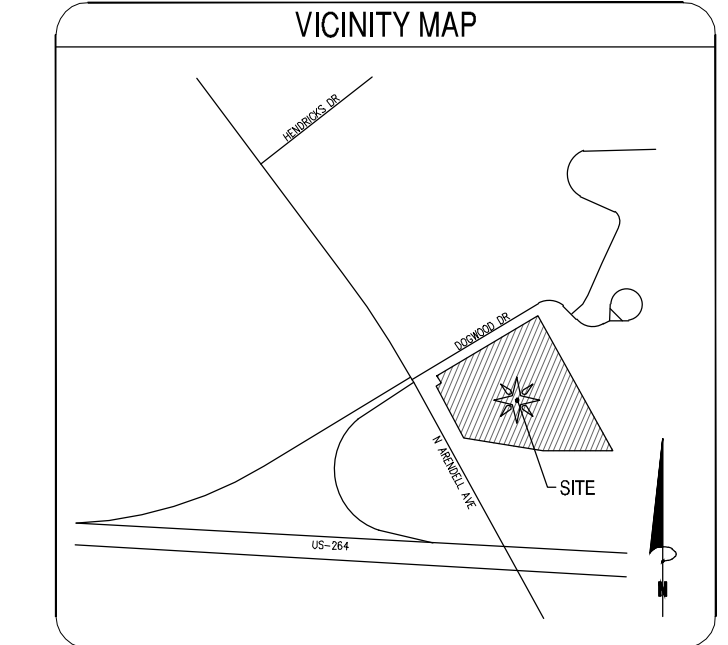
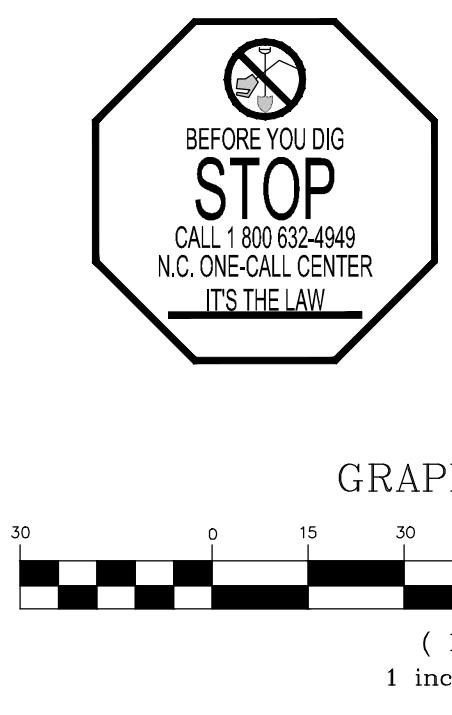
Crosland Southeast
7-Eleven Store #42378
Zebulon, NC
WAKE COUNTY

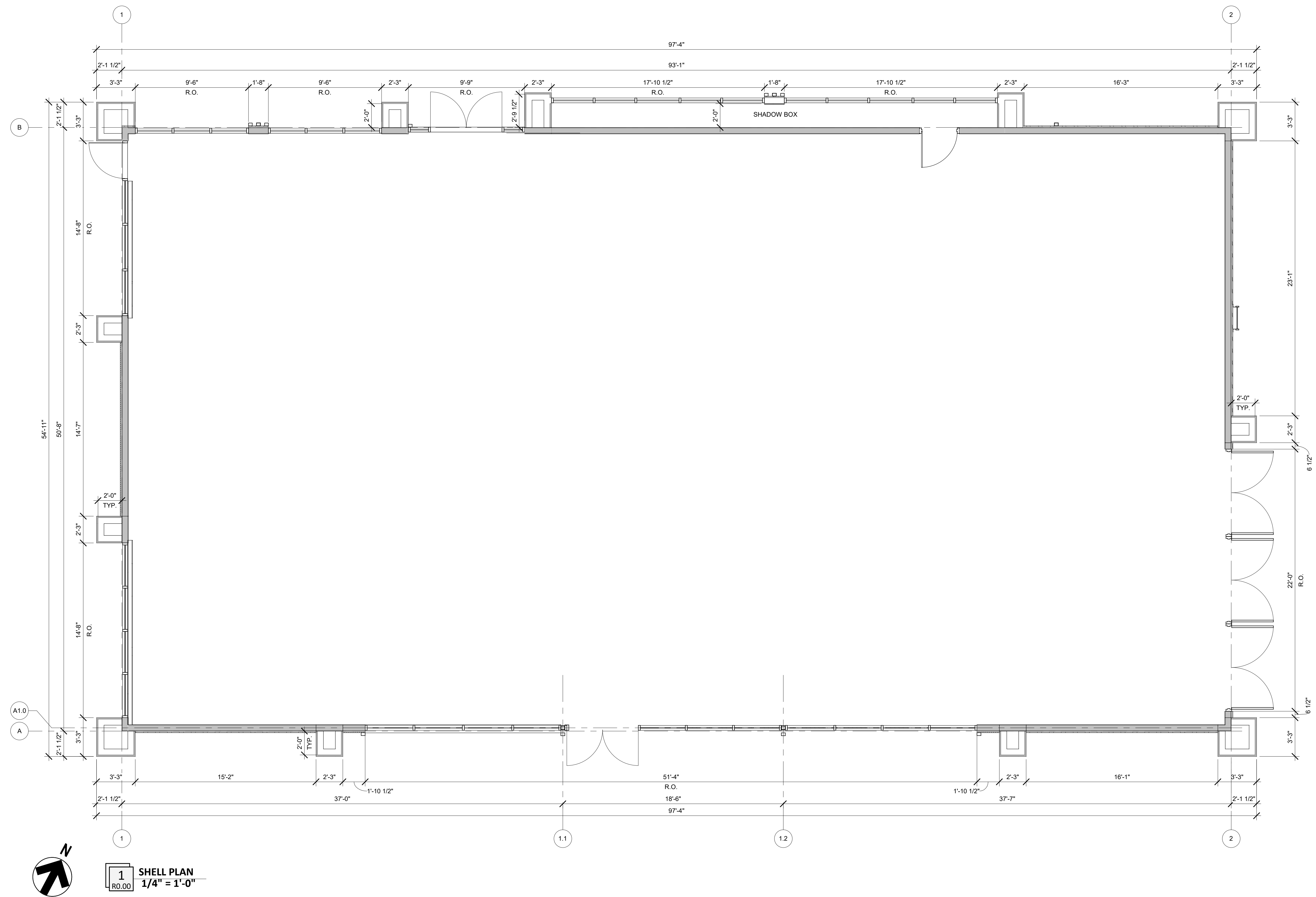


NO.	DATE	DESCRIPTION	BY	REVISION DESCRIPTION
1	02/22/23	WAKE COUNTY REVIEW		
2	03/02/23	TOWN OF ZEBULON REVIEW		
3	03/02/23	TOWN OF ZEBULON REVIEW		
4	03/02/23	TOWN OF ZEBULON REVIEW		
5	03/02/23	TOWN OF ZEBULON REVIEW		
6	03/02/23	TOWN OF ZEBULON REVIEW		
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8	03/02/23	TOWN OF ZEBULON REVIEW		
9	03/02/23	TOWN OF ZEBULON REVIEW		
10	03/02/23	TOWN OF ZEBULON REVIEW		

STORE OR BLDG NO.:
N/A
VERSION OR PROJECT ID:
N/A
DESIGN TEAM:
DGNR: BRM & MCB
PM/DP: ML
RVWR: ML
ISSUE DATE: 06/06/2024
ADDRESS:
1106 N ARENDELL AVE
ZEBULON, NC 27587

SHEET TITLE:
PHOTOMETRIC PLAN
DRWG. NO.:
C8.0





1 SHELL PLAN
R.O.00 1/4" = 1'-0"

NOT FOR CONSTRUCTION

04/28/2023
Architect Name - RYAN M. FAUST
Architect Number - 14521
THE SEAL & SIGNATURE APPLY ONLY TO THE DOCUMENT TO WHICH THEY ARE AFFIXED & WE EXPRESSLY DISCLAIM ANY RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS, ESTIMATES, REPORTS OR OTHER DOCUMENTS OR INSTRUMENTS RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THE PROJECT.

REVISIONS	
NO.	DESCRIPTION

Drawing Size: 30 x 42
Drawn By: JMA
Project #: 22121
Checked By: ADF

Title: SHELL PLAN

Sheet Number: R0.00

Date: 04/28/2023 **Store #:** 1055397

EXTERIOR MATERIALS SCHEDULE			
(NOT ALL MATERIALS IN SCHEDULE ARE USED)			
NO.	MATERIAL	MANUFACTURER	COLOR
MR-1	MEMBRANE ROOFING	DURLAST	WHITE
N-1	FIBER CEMENT PANEL	NICHIHA	VINTAGE BRICK, PAINTED SHERWIN WILLIAMS SW7005 "PURE WHITE"
N-2	FIBER CEMENT PANEL	NICHIHA	RIBBED, COLOR TO MATCH SHERWIN WILLIAMS SW7659 "GRIS"
CP-1	EDGE METAL PARAPET CAP	DURLAST - ALL TERM EDGE	COAL BLACK
P-2	EXTERIOR HM DOORS, FRAMES, TRASH ENCLOSURE GATE, GRAVEL GUARDS, AND LIGHT POLES	SHERWIN WILLIAMS	SHERWIN WILLIAMS SW6232 "MISTY"
MT-2	PREFINISHED METAL PARAPET DETAIL		COLOR TO MATCH SHERWIN WILLIAMS SW6232 "TRICORN BLACK"
P-6	EXTERIOR BOLLARDS	SHERWIN WILLIAMS	SHERWIN WILLIAMS SW6258 "TRICORN BLACK"
S-1	ALUMINUM STOREFRONT GLAZING	MAPES	LUMISHADE CANOPY
C-1	PREFINISHED ALUMINUM CANOPY	MAPES	MATTE BLACK BAKED ENAMEL W/ REAR GUTTER CONNECTIONS
WDS-1	WOOD LOOK SIDING	NICHIHA	VINTAGE WOOD - CEDAR - VERTICAL



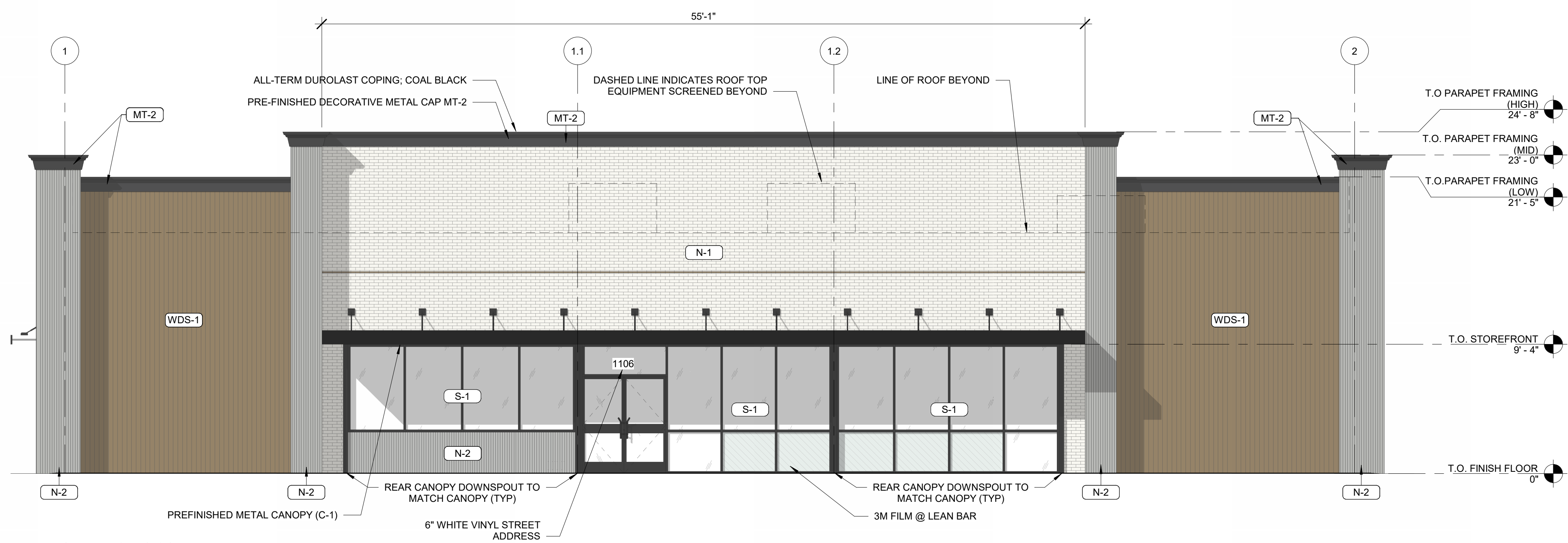
UDO SECTION 5.3.1.F.7: COMMERCIAL BUILDING FENESTRATION REQUIRED:
SECONDARY BUILDING WALL
TOTAL AREA = (15'-1" X 97'-4") = 1,492 SQFT
TRANSPARENCY SQFT = (1,492 SQFT X 30%) = 448 SQFT
PROVIDED:
(9'-4" X 34'-6") + (6'-4" X 16'-5") = 427 SQFT

UDO SECTION 5.3.1.F.7: COMMERCIAL BUILDING FENESTRATION REQUIRED:
SECONDARY BUILDING WALL
TOTAL AREA = (15'-1" X 54'-11") = 829 SQFT
TRANSPARENCY SQFT = (829 SQFT X 30%) = 249 SQFT
PROVIDED:
(9'-4" X 14'-8") + (9'-4" X 14'-8") = 274 SQFT

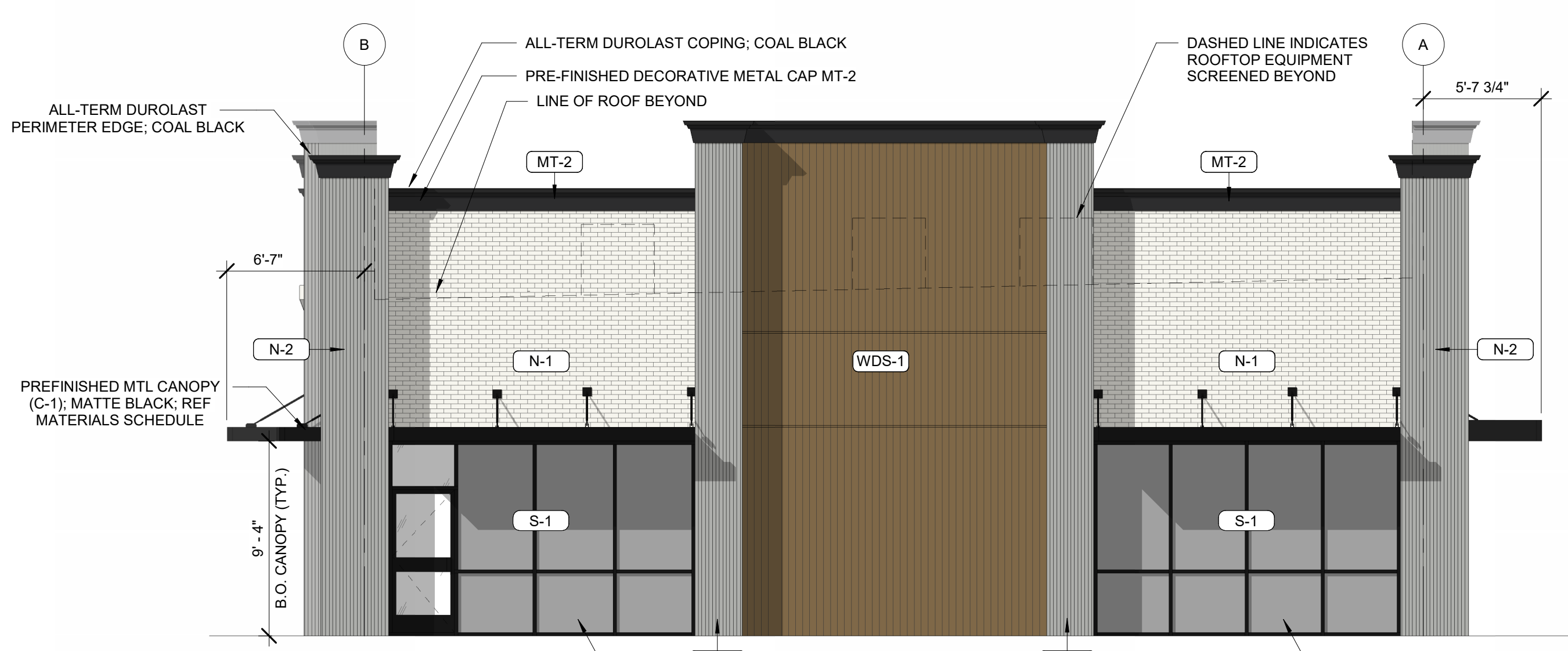
ELEVATION MEETS THE REQUIRED MINIMUM PERCENTAGE OF 30% GLAZING HOWEVER, THE GLAZING IS SPANDREL DUE TO INTERIOR LAYOUT, BACK OF HOUSE AND RESTROOM USES. DESIGN CHANGES TO INCLUDE CANOPIES ON THIS FACADE WERE ADDED BASED ON DISCUSSION WITH CITY STAFF TO AID WITH THE ELEVATIONS SCALE AND INTEREST.

UDO SECTION 5.3.1.F.7: COMMERCIAL BUILDING FENESTRATION REQUIRED:
PRIMARY BUILDING WALL
TOTAL AREA = (15'-1" X 97'-4") = 1,492 SQFT
TRANSPARENCY SQFT = (1,492 SQFT X 40%) = 597 SQFT
PROVIDED:
(9'-4" X 9'-6") + (9'-4" X 9'-6") + (9'-4" X 9'-9") + (9'-4" X 17'-10 1/2") + (9'-4" X 17'-10 1/2") = 602 SQFT

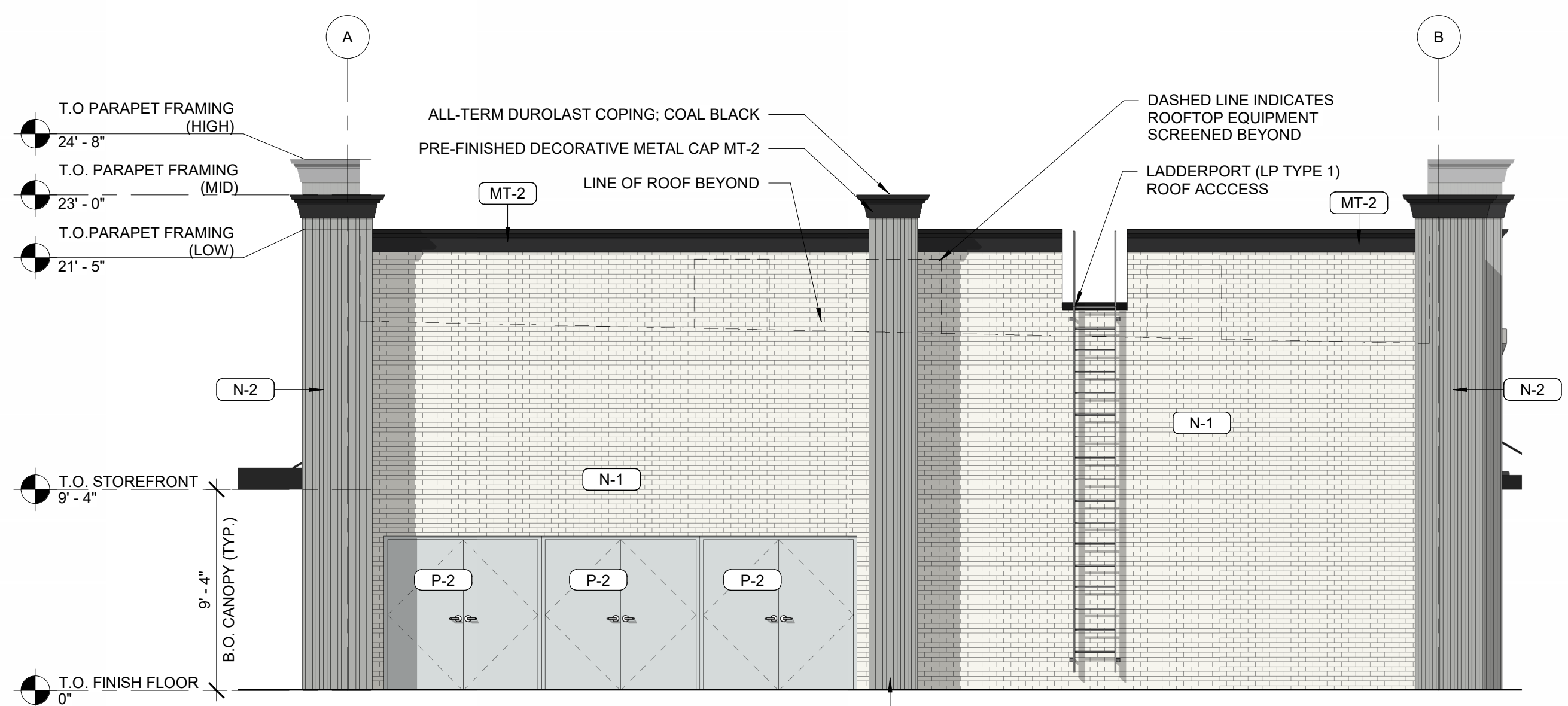
ELEVATION MEETS MINIMUM 40% TRANSPARENCY REQUIREMENT FOR A PRIMARY BUILDING WALL



4
R1.00
ELEVATION - FACING SOUTH
3/16" = 1'-0"

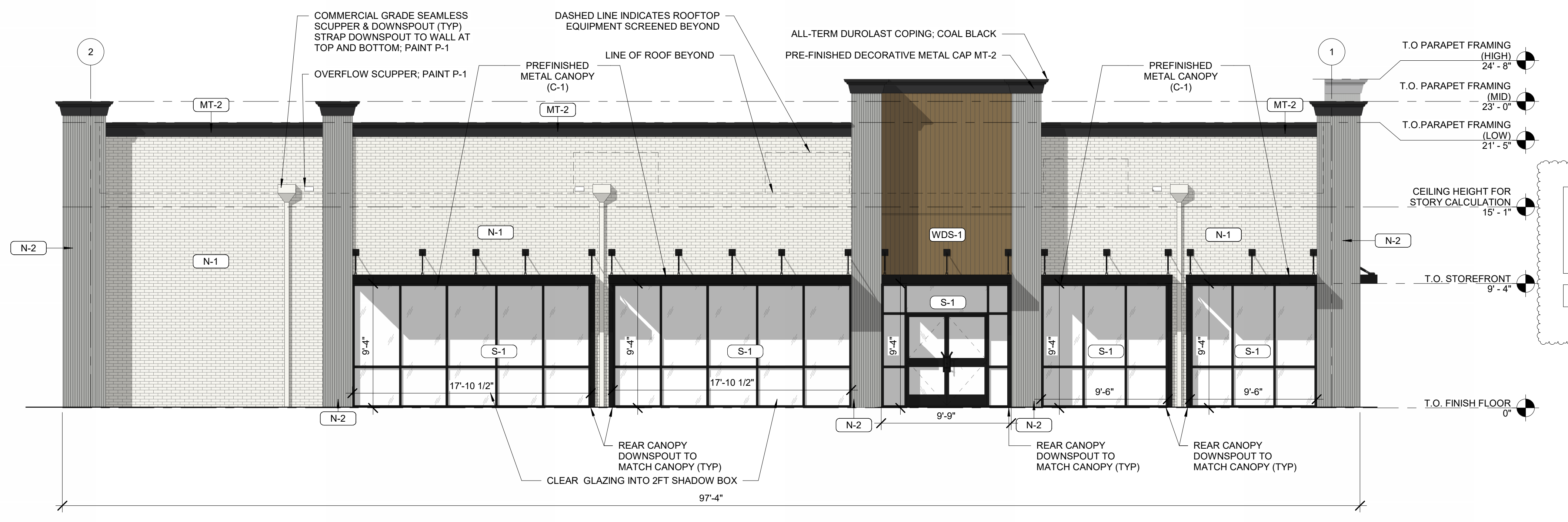


3
R1.00
ELEVATION - FACING WEST
3/16" = 1'-0"



2
R1.00
ELEVATION - FACING EAST
3/16" = 1'-0"

ELEVATION DOES NOT MEET THE 30% MINIMUM TRANSPARENCY REQUIREMENT. APPLICANT NOTES VIEW OF THIS WALL FROM THE ADJACENT SECONDARY STREET VIEW WILL BE SCREENED BY MULTIPLE DIFFERENT DESIGN ASPECTS INCLUDING: REQUIRED DUMPSTER ENCLOSURE AND LANDSCAPE SCREENING, STREET TREES, CANOPY AND UNDERSTORY TREES AND SHRUBS WITHIN THE REQUIRED STREET BUFFER, AND PROPOSED FUELING AREA AND ASSOCIATED STRUCTURES.



1
R1.00
ELEVATION - FACING NORTH
3/16" = 1'-0"

NOT FOR CONSTRUCTION

04/28/2023
Architect Name - RYAN M. FAUST
Architect Number - 14521

THE SEAL & SIGNATURE APPLY ONLY TO THE DOCUMENT TO WHICH THEY ARE AFFIXED & WE EXPRESSLY DISCLAIM ANY RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS, ESTIMATES, REPORTS OR OTHER DOCUMENTS OR INSTRUMENTS RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THE PROJECT.

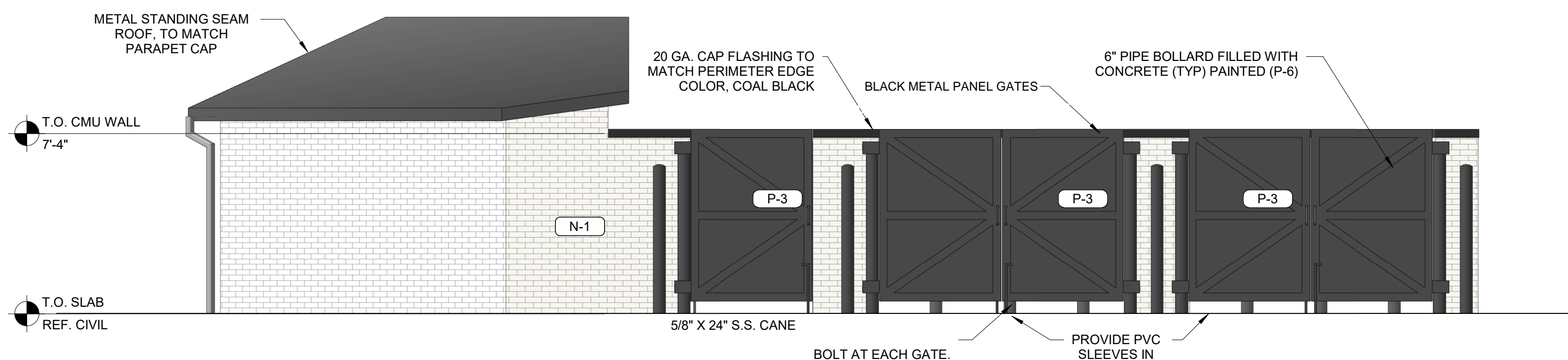
REVISIONS	
NO.	DESCRIPTION
1	05/07/2023 Revision 2

Drawing Size: 30 x 42
Project #: 22121
Drawn By: JMA
Checked By: ADF

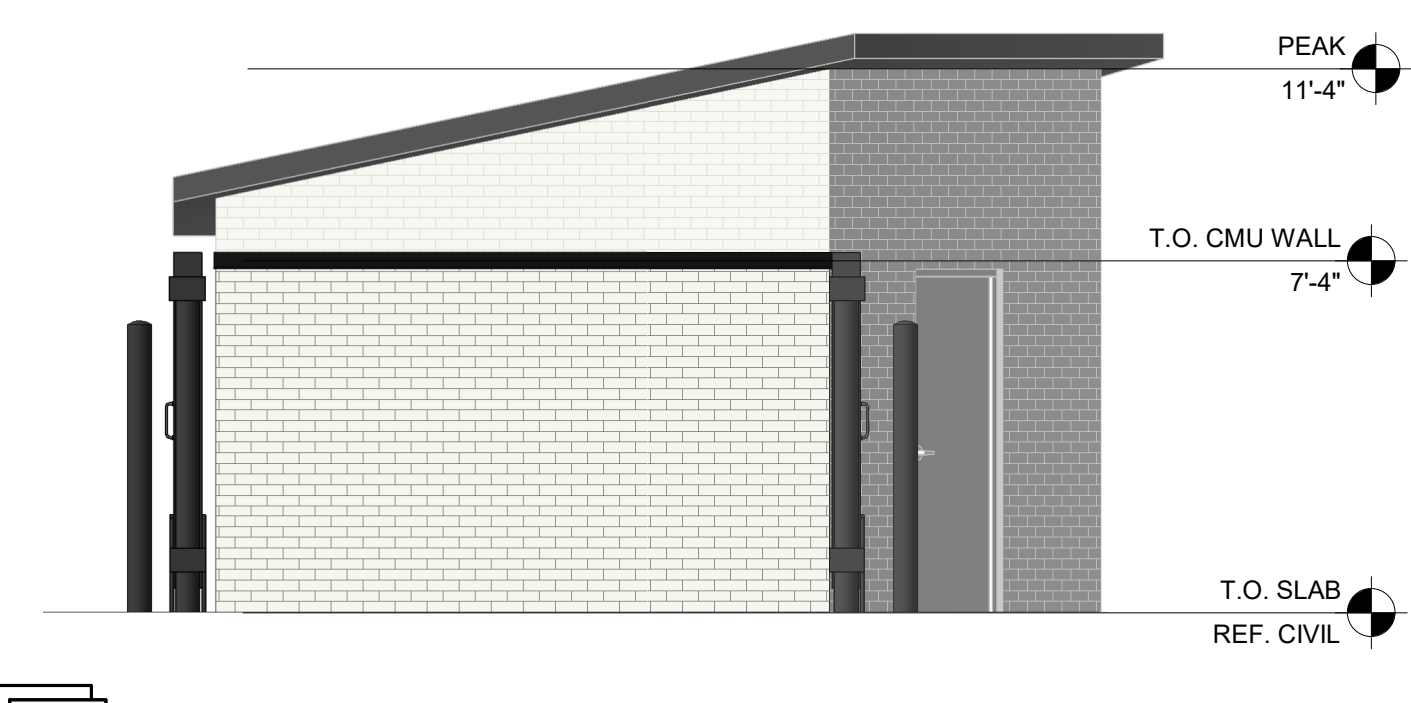
REVIEW BOARD ELEVATIONS

Sheet Number:
R1.00

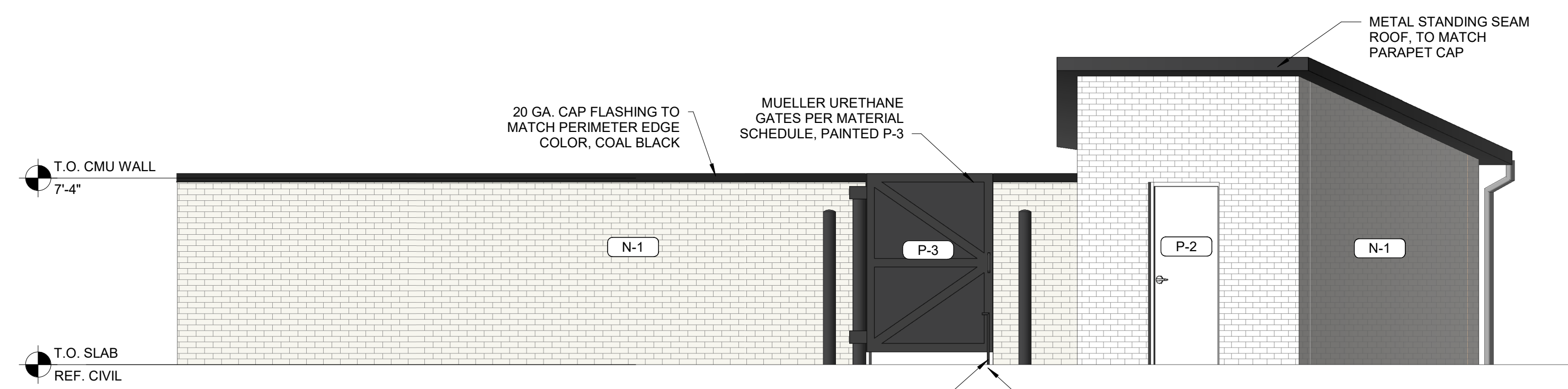
Date: 04/28/2023 Store #: 1055397



1 FRONT DUMPSTER ENCLOSURE ELEVATION
1/4" = 1'-0"

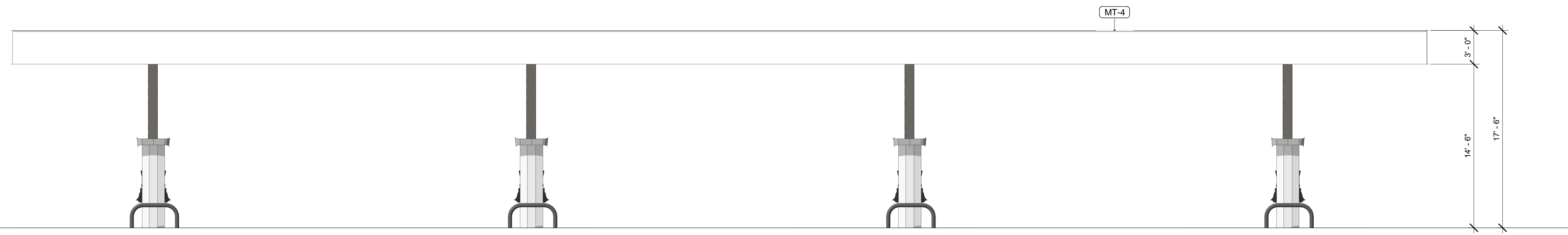


2 SIDE DUMPSTER ENCLOSURE ELEVATION
1/4" = 1'-0"

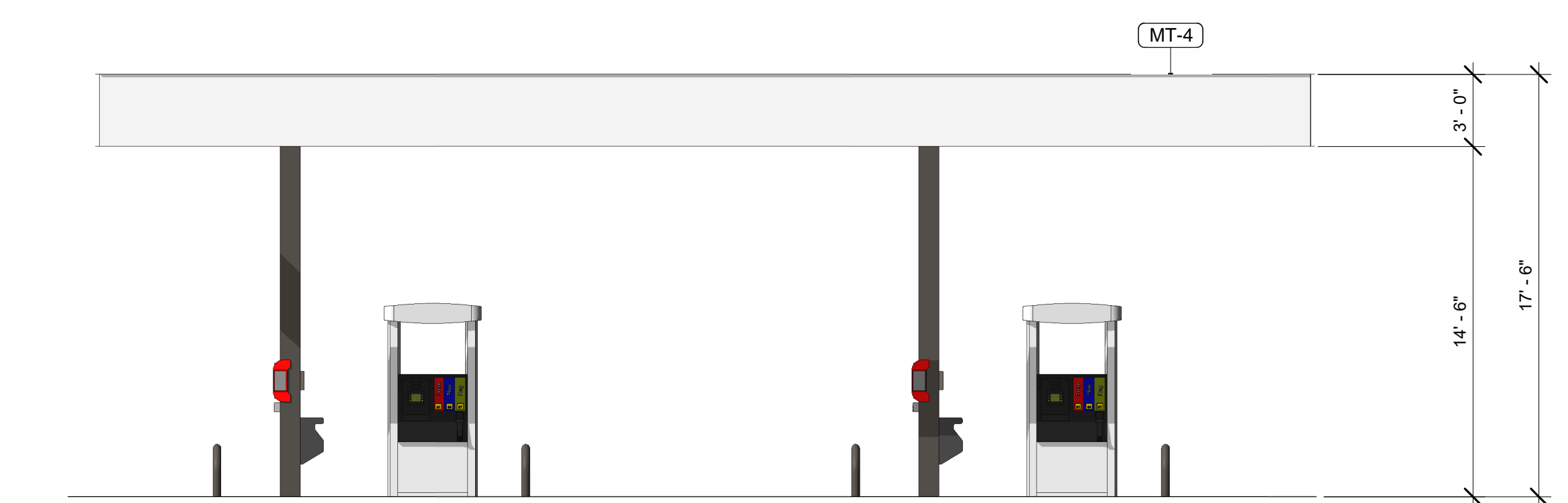


3 REAR DUMPSTER ENCLOSURE ELEVATION
1/4" = 1'-0"

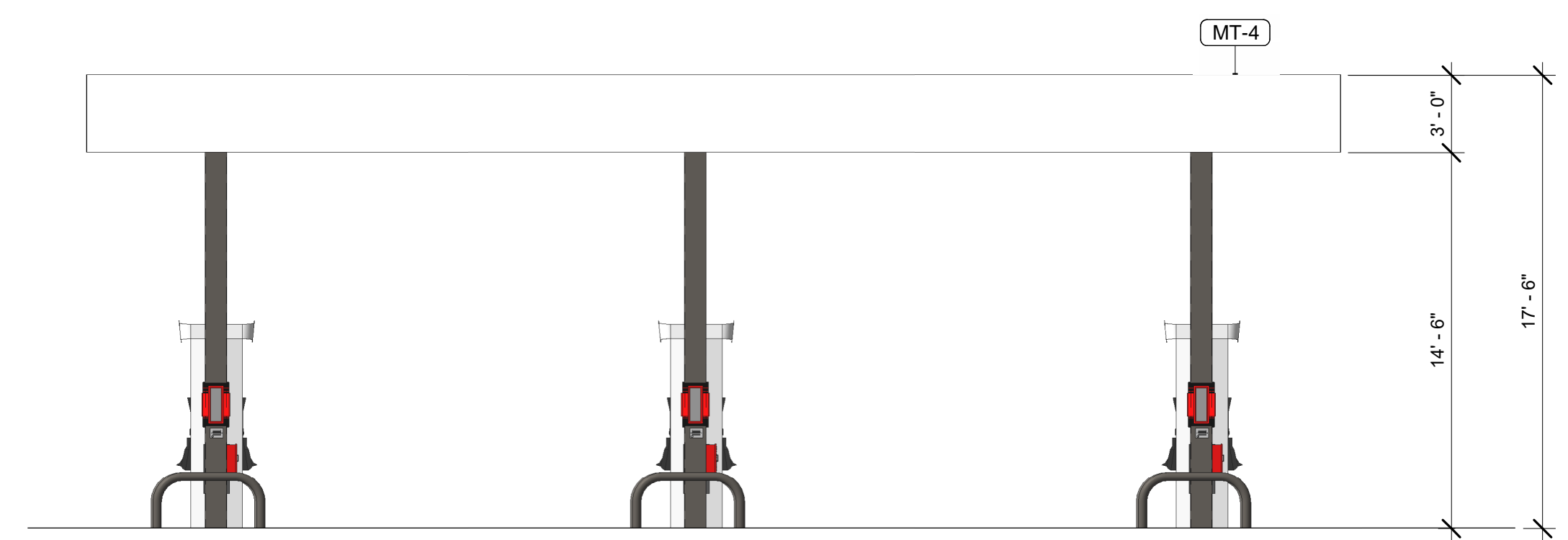
EXTERIOR MATERIALS SCHEDULE		
(NOT ALL MATERIALS IN SCHEDULE ARE USED)		
NO.	MATERIAL	COLOR
MR-1	MEMBRANE ROOFING	DUROLAST WHITE
N-1	FIBER CEMENT PANEL	NICHIHA VINTAGE BRICK, PAINTED SHERWIN WILLIAMS SW7005 "PURE WHITE"
N-2	FIBER CEMENT PANEL	NICHIHA RIBBED, COLOR TO MATCH SHERWIN WILLIAMS SW7659 "GRIS"
CP-1	EDGE METAL PARAPET CAP	DUROLAST - ALL TERM EDGE COAL BLACK
P-2	EXTERIOR HM DOORS, FRAMES, TRASH ENCLOSURE GATE, GRAVEL GUARDS, AND LIGHT POLES	SHERWIN WILLIAMS SHERWIN WILLIAMS SW6232 "MISTY"
MT-2	PREFINISHED METAL PARAPET DETAIL	COLOR TO MATCH SHERWIN WILLIAMS SW6258 "TRICORN BLACK"
P-6	EXTERIOR BOLLARDS	SHERWIN WILLIAMS SHERWIN WILLIAMS SW6258 "TRICORN BLACK"
S-1	ALUMINUM STOREFRONT GLAZING	KAWNEER 451T VG - #29 BLACK FINISH
C-1	PREFINISHED ALUMINUM CANOPY	MAPES LUMISHADE CANOPY MATTE BLACK BAKED ENAMEL W/ REAR GUTTER CONNECTIONS
WDS-1	WOOD LOOK SIDING	NICHIHA VINTAGE WOOD - CEDAR - VERTICAL
MT-4	FUEL CANOPY FASCIA	REYNOBOND EASTMAN WHITE - PY-25



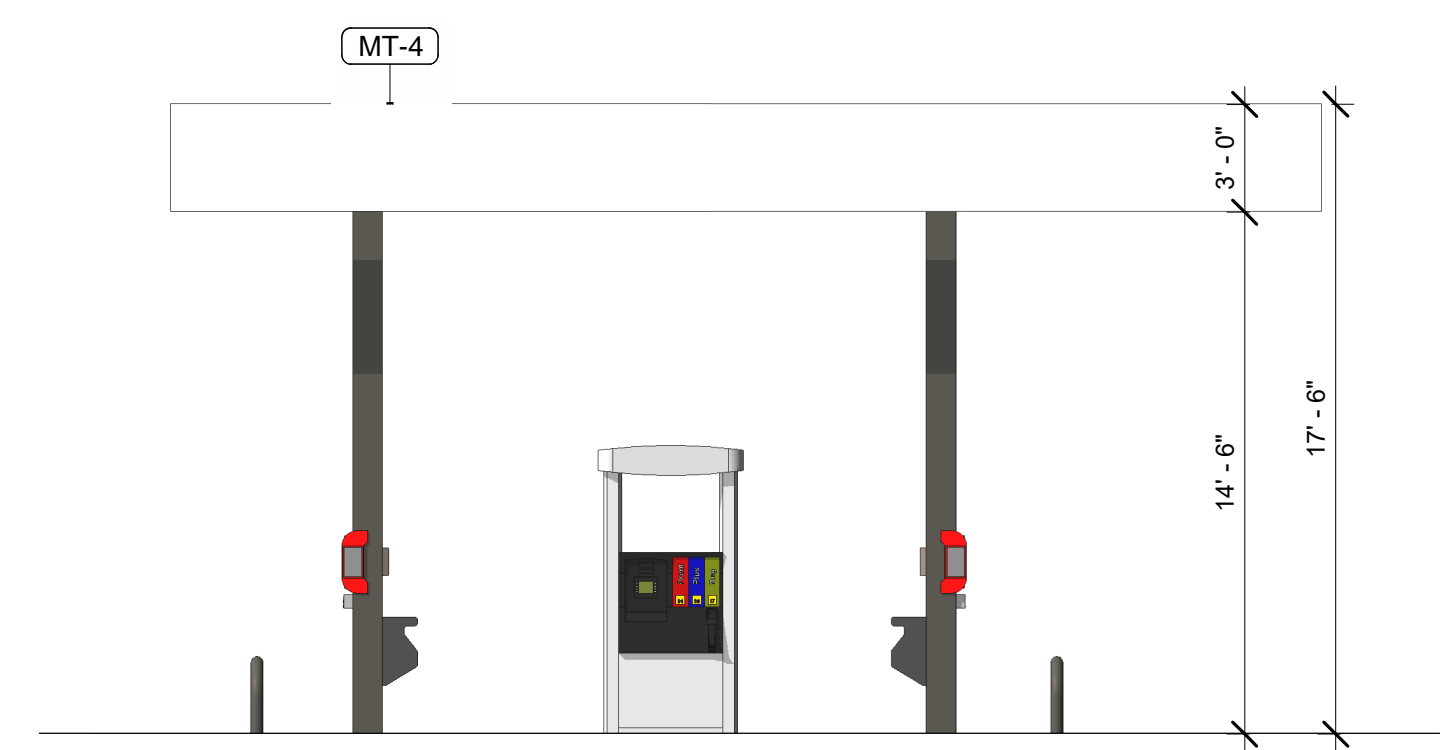
4 FUEL CANOPY LONG ELEVATION - 8 DISPENSERS TOTAL
3/16" = 1'-0"



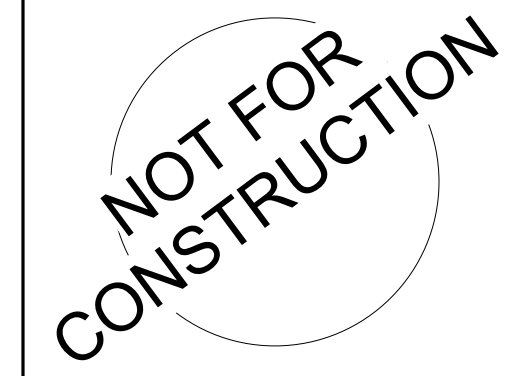
5 FUEL CANOPY SHORT ELEVATION
3/16" = 1'-0"



6 DIESEL CANOPY LONG ELEVATION
3/16" = 1'-0"



7 DIESEL CANOPY SHORT ELEVATION
3/16" = 1'-0"



NO.	DATE	DESCRIPTION