

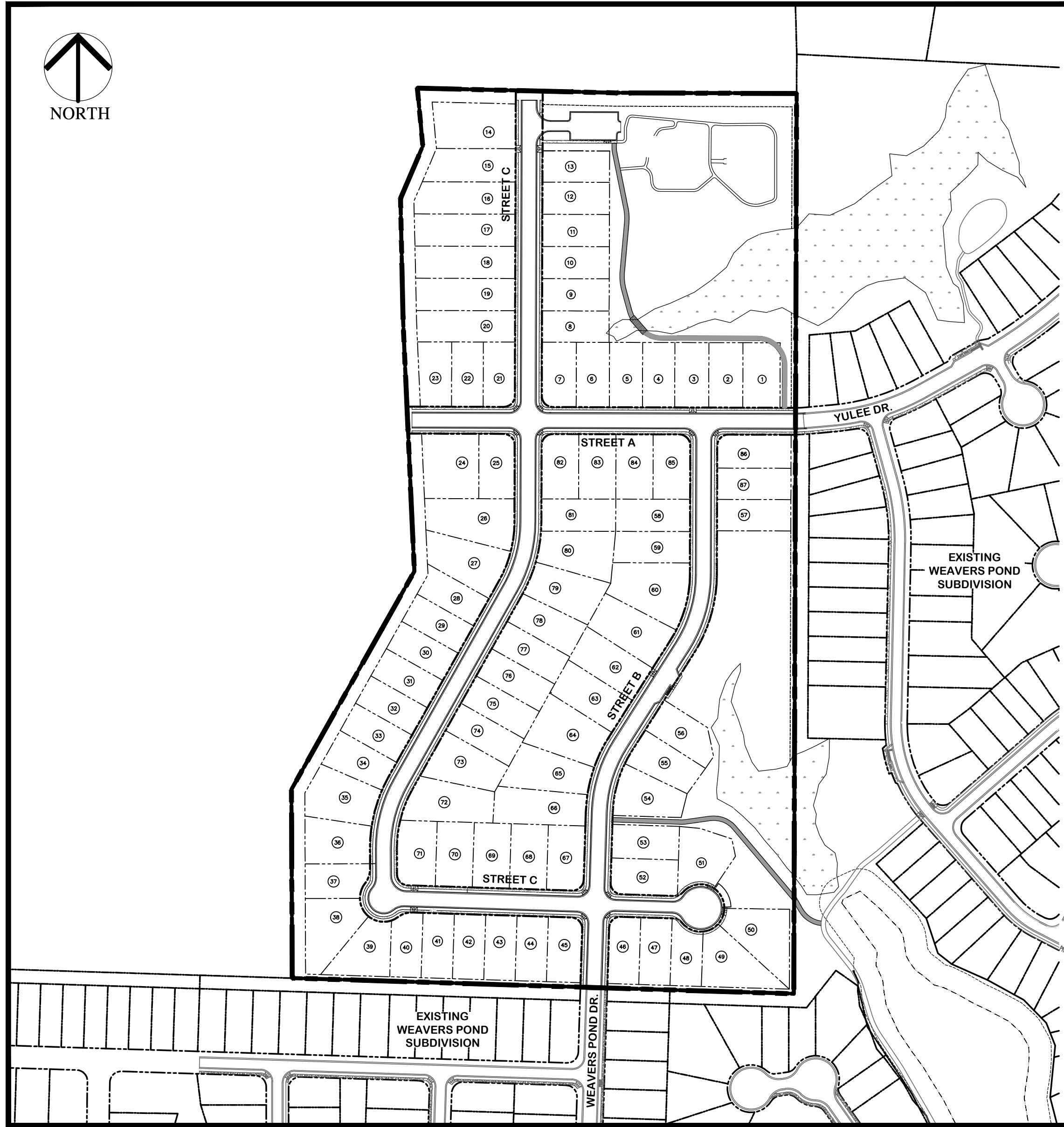
GENERAL NOTES

- 1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO TOWN OF ZEBULON ENGINEERING DESIGN SPECIFICATIONS AND CONSTRUCTION STANDARDS, AND CITY OF RALEIGH FOR WATER AND SANITARY SEWER.
2. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
4. BOUNDARY SURVEY PROVIDED BY CANTHORNE, MOSS & PANCIERA, P.C. PROFESSIONAL LAND SURVEYORS OF WAKE FOREST NC.
5. EXISTING TOPOGRAPHY WAS PROVIDED BY GEODATA CORP DIGITAL MAPPING SERVICES OF ZEBULON NC.
6. WETLAND SURVEY WAS PROVIDED BY JOYNER KEENY, PLLC PLANNING, SURVEYING & ENGINEERING OF ROCKY MOUNT NC.
7. ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS
8. PLAN IS SUBJECT TO REVISIONS DURING CONSTRUCTION DRAWING APPROVAL PROCESS.
9. CONSTRUCTION DRAWING APPROVAL IS REQUIRED BEFORE CONSTRUCTION ON THIS PROJECT MAY BEGIN. THE DEVELOPER SHALL BE RESPONSIBLE FOR PAYING ALL APPLICABLE DEVELOPMENT FEES PRIOR TO CONSTRUCTION DRAWING APPROVAL.
10. ALL ROADWAY INFRASTRUCTURE CONSTRUCTION SHALL CONFORM TO THE TOWN OF ZEBULON STANDARDS AND SPECIFICATIONS.
11. CONTRACTOR SHALL CONTACT THE TOWN OF ZEBULON TO SCHEDULE A PRE-CONSTRUCTION MEETING PRIOR TO BEGINNING CONSTRUCTION.
12. ALL ROADWAY, SIDEWALK AND STORM DRAINAGE IMPROVEMENTS IN ROW OR DEDICATED PUBLIC EASEMENTS WILL BE REQUIRED TO BE DEDICATED TO THE TOWN OF ZEBULON AT COMPLETION OF THE PROJECT.
13. AS-BUILT SITE PLANS FOR ROADWAY AND UTILITY WORK MUST BE SUBMITTED AND APPROVED PRIOR TO FINAL ACCEPTANCE. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RED-LINE LINE DRAWINGS.
14. DEVELOPER/OWNER IS RESPONSIBLE FOR CONTRACTING WITH THIRD PARTY NCDOT CERTIFIED TESTING FIRM. THE FIRM MUST BE APPROVED BY TOWN OF ZEBULON. MATERIAL TESTING IS REQUIRED FOR ALL ROADWAY WORK. FINAL REPORTING AND CERTIFICATION (SEALED) IS REQUIRED AT COMPLETION OF THE PROJECT BY THE GEO-TECHNICAL ENGINEER. TESTING IS REQUIRED FOR SUBGRADE, ROADWAY STONE, ASPHALT AND CURB AND GUTTER PER TOWN OF ZEBULON SPECS.
15. ALL CURB AND GUTTER REQUIRES CONCRETE TESTING FOR THE FOLLOWING REQUIREMENTS (SECTION 2.1.1):
16. i. 4" CONCRETE SLUMP
17. ii. TEMPERATURE - 50 AND 90 DEGREES
18. iii. AIR MIXTURE RANGE 3.5% TO 6.5%
19. iv. STRUCTURAL BREAK TEST - 7,14,28 DAYS @ 3,000PSI @ 28 DAYS
20. v. SAMPLES EVERY 1,000 LF OF CURB AND GUTTER TO ENSURE QUALITY
21. vi. MAX WATER-CEMENT RATIO BY WEIGHT: 0.594
22. vii. MINIMUM CEMENT CONTENT (LBS/CY): 602
23. CONCRETE SIDEWALK TESTING IS NOT REQUIRED; UNLESS CONSTRUCTION INSPECTOR DETERMINES THAT QUALITY IS INFERIOR AND DOES NOT MEET INDUSTRY STANDARDS. CONTRACTOR MUST MAINTAIN A 4" SLUMP FOR ALL SIDEWALK WORK. AIR TEMPERATURES AT PLACEMENT MUST BE 40 DEGREES AND RISING. SURFACE TEMPERATURES SHALL BE 50 DEGREES OR GREATER. (SECTION 2.2.2 E)
24. ASPHALT CORE SAMPLES SHOULD BE SELECTED EVERY 300 FEET OR MINIMUM OF TWO CORES PER ROADWAY FOR ANALYSIS OF THICKNESS AND DENSITY. ASPHALT MIX SE 9.5 B SHOULD BE COMPACTED TO A MINIMUM OF 90% OF THE MAXIMUM SPECIFIC GRAVITY. ASPHALT MIX OF 9.5 A SHOULD BE COMPACTED TO A MINIMUM OF 90% OF THE MAXIMUM SPECIFIC GRAVITY. THE CONTRACTOR IS RESPONSIBLE FOR DEVELOPING/CREATING A CHART/MAP OF THE CORED LOCATIONS FOR SUBMITTAL WITH THE TESTING. CORES WILL BE RANDOMLY TAKEN ALONG THE LONGITUDINAL DIRECTIONS ACROSS THE ROADWAY BUT NOT WITHIN ONE FOOT OF THE EDGE OF PAVEMENT. THE RESULTS OF THE SAMPLES GREATER THAN TEN FEET APART WILL NOT BE AVERAGED AND USED TO VERIFY COMPLIANCE WITH THE TOWN OF ZEBULON SPECIFICATIONS. (SECTION 2.6.H)
25. ROADWAY SUB-GRADE TESTING/INSTALLATION REQUIREMENTS: 98% STANDARD PROCTOR ON ALL SOILS EVERY 300'. ALL LOCATIONS TESTED SHALL MEET 98% TESTING REQUIREMENTS. AVERAGING OF DENSITY SCORES TO MEET STANDARD IS NOT ALLOWED. SUCCESSFUL PROOF ROLLS REQUIRED FOR ALL SUB-GRADE SOILS. (SECTION 2.5.2 A)
26. ROADWAY ABC STONE TESTING/INSTALLATION REQUIREMENTS: 98% STANDARD PROCTOR ON ALL ROADWAY ABC EVERY 150 FEET. ALL LOCATIONS TESTED SHALL MEET THE 98% TESTING REQUIREMENTS. AVERAGING OF DENSITY SCORES TO MEET STANDARDS IS NOT ALLOWED. SUCCESSFUL PROOF ROLLS REQUIRED FOR ALL ROADWAY ABC STONE. (SECTION 2.5.3 A)
27. IF THE ROADWAY SUBGRADE OR ROADWAY STONE IS EXPOSED TO PRECIPITATION (RAIN, SNOW, ICE, ETC.) GREATER THAN 0.10 OF AN INCH BEFORE IT IS COVERED WITH ABC STONE OR ASPHALT THE EXPOSED SUBGRADE OR ABC STONE MUST PASS AN ADDITIONAL PROOF ROLL. ADDITIONAL DENSITY IS NOT REQUIRED.
28. IMPERVIOUS SURFACE COVERAGE SHALL NOT EXCEED IMPERVIOUS SHOWN ON THE LOT. IMPERVIOUS SURFACE LIMITS WILL BE STRICTLY ENFORCED INTO PERPETUITY.
29. PRIOR TO BUILDING PERMITS A PLAT MUST BE RECORDED AT THE WAKE COUNTY REGISTER OF DEEDS OFFICE FOR ALL UTILITY EASEMENT DEDICATIONS.

ZONING CONDITIONS

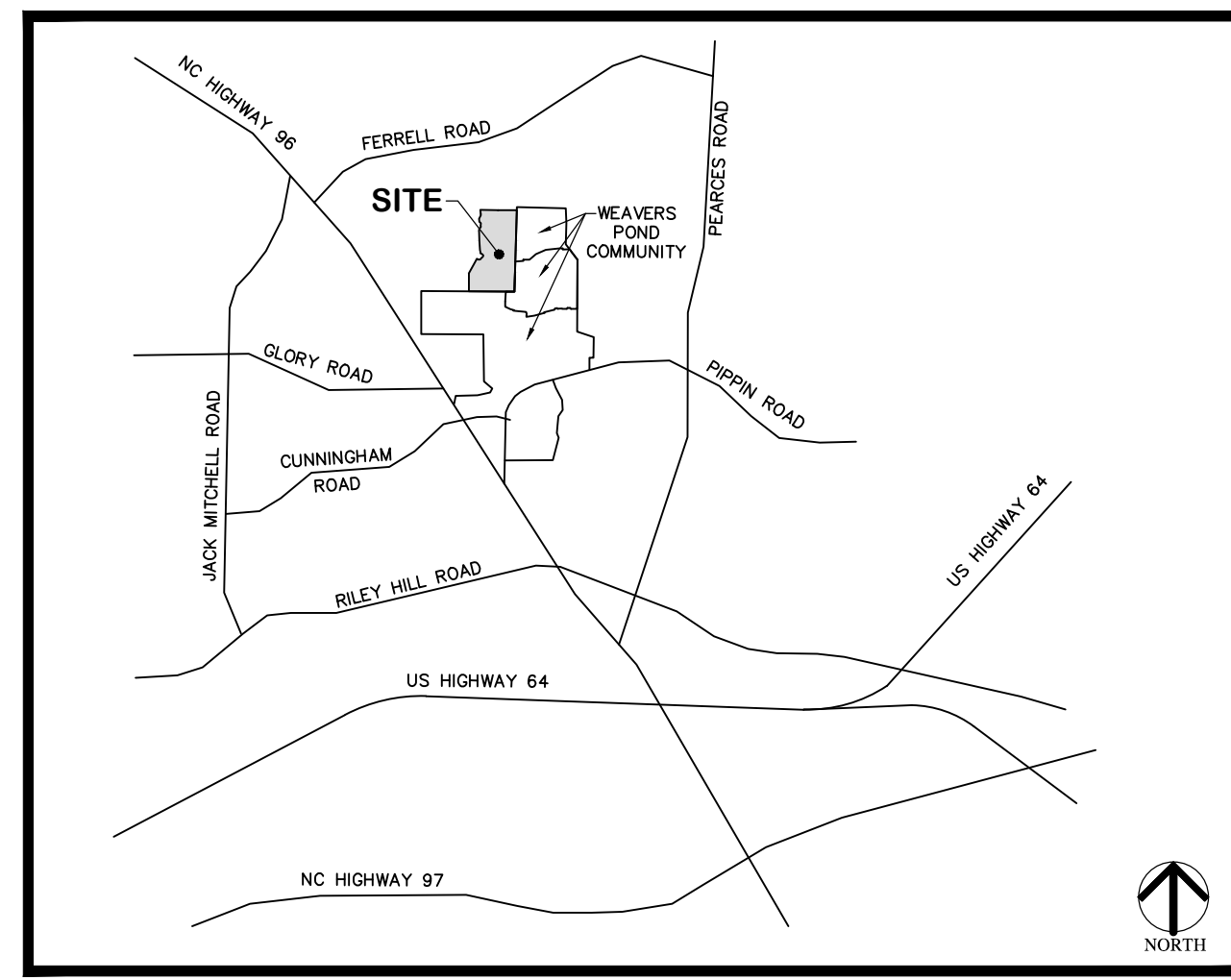
- 1. ALL LOTS SHALL BE A MINIMUM OF 8,700 SQUARE FEET.
2. ALL LOT WIDTHS SHALL BE A MINIMUM OF 70'.
3. ALL DWELLINGS WILL HAVE A MINIMUM TWO-CAR GARAGE.
4. GARAGE DOORS WILL HAVE WINDOWS AND CARRIAGE HARDWARE.
5. GARAGES: GARAGE DOORS SHALL BE RECESSED BEHIND THE FRONT PLANE OF THE HOME A MINIMUM OF 8" WHERE A HOME PROVIDES A FRONT PORCH. THE GARAGE MAY EXTEND BEYOND THE FRONT PLANE OF THE HOME, PROVIDED THE FRONT PORCH EXTENDS BEYOND THE FRONT PLANE OF THE GARAGE A MINIMUM OF 1'.
6. THE HOMES CONSTRUCTED SHALL HAVE A MINIMUM OF 30% THAT WILL CONTAIN EITHER FRONT PORCHES THAT WRAP AROUND THE CORNER OF THE FRONT FACADE OR SIDE-LOADED GARAGES. THE HOMES CONSTRUCTED WITH SIDE-LOADED GARAGES AND "T" DRIVEWAYS SHALL BE ALLOWED A SIDE SETBACK OF 5'.
7. FOR ALL LOTS, THE ENTIRE YARD WILL BE SODDED.
8. EXTERIOR BUILDING MATERIALS: EXTERIOR SIDING WILL BE PRIMARILY FIBER CEMENT WITH BRICK OR STONE ACCENTS. THE USE OF VINYL SIDING SHALL BE PROHIBITED EXCEPT FOR TRIM ELEMENTS OF THE DWELLING UNIT FACADE. SIDING STYLES WILL INCLUDE HORIZONTAL, SHAKE, OR BOARD AND BATTEN DESIGN. AT LEAST TWO (2) OF THE FOLLOWING MATERIALS SHALL BE USED ON EACH UNIT: FIBER-CEMENT, MASONRY BRICK, BRICK VENEER, MASONRY STONE, STONE VENEER, OR SYNTHETIC STONE.
9. FOUNDATIONS: FOUNDATIONS SHALL BE RAISED ABOVE THE FINISHED GRADE - AS MEASURED ALONG THE FRONT, STREET FACING FINISHED GRADE OF THE BUILDING PAD - A MINIMUM OF 18". FOUNDATION TYPES MAY INCLUDE: STEM WALL, RAISED SLAB, OR CRAWL SPACE.
10. AMENITIES WILL INCLUDE A DOG PARK, WALKING TRAILS, AND MAINTAINED OPEN SPACE. ALL OPEN SPACE AND AMENITIES WILL BE MAINTAINED BY THE HOA.
11. A MINIMUM OF 8" ROOF OVERHANG SHALL BE PROVIDED ALONG THE FRONT AND BACK OF EACH DWELLING UNIT.
12. A 10 FOOT UNDISTURBED BUFFER WILL BE MAINTAINED AROUND THE DEVELOPMENT, WHERE EXISTING PLANTS DO NOT MEET THE REQUIREMENTS OF THE UDO, PLANTINGS WILL BE SUPPLEMENTED TO MEET THE REQUIREMENT.
13. THE REQUIRED DECORATIVE FEATURES FOR EACH HOME CONSTRUCTED SHALL CONTAIN AT LEAST ONE OF THE FOLLOWING: A DECORATIVE FRONT DOOR (MINIMUM 25% GLAZING); WINDOW TRANSOM, DOOR SIDELIGHTS, OR DOOR TRANSOM.
14. WINDOW TREATMENTS: WINDOWS ON FRONT ELEVATIONS SHALL OFFER EITHER TRIM OR SHUTTERS. TRIM ALONG HEADERS AND SILLS SHALL BE A MINIMUM OF 3" WIDE. SHUTTERS ARE DECORATIVE AND MAY OR MAY NOT BE "OPERATIONAL". SHUTTERS SHALL HAVE A MINIMUM WIDTH OF 18".

- 15. PORCHES: FRONT PORCHES SHALL EXTEND BEYOND THE FRONT PLAIN OF THE GARAGE ON 30% OF THE HOMES CONSTRUCTED. FRONT PORCHES SHALL BE ALLOWED TO EXTEND BEYOND THE FRONT SETBACK OF THE BUILDING ENVELOP A MAXIMUM OF 10'.
16. ALL HOMES WILL HAVE A REAR PATIO OR DECK OF AT LEAST 100 SQUARE FEET.
17. ACCESSORY BUILDINGS SHALL BE CONSTRUCTED OF MATERIALS THAT MATCH THE SINGLE-FAMILY DWELLING.
18. IN ORDER TO PROMOTE VARIATION IN HOME APPEARANCE, NO FRONT ELEVATION OR PRIMARY SIDING COLOR SHALL BE CONSTRUCTED WITHIN TWO HOUSES OF AN IDENTICAL ELEVATION OR PRIMARY SIDING COLOR ON THE SAME SIDE OF THE STREET OR ACROSS THE STREET. FOR CORNER LOTS, NO IDENTICAL ELEVATION OR PRIMARY SIDING COLOR WILL BE CONSTRUCTED DIAGONALLY ACROSS AN INTERSECTION.
19. HOMEOWNERS ASSOCIATION WILL NOT ALLOW ANY RENTAL HOMES. THIS RESTRICTION SHALL BE RECORDED IN HOA COVENANTS, CONDITIONS AND RESTRICTIONS. HOA SHALL BE REQUIRED TO ANNUALLY REPORT HOMEOWNER STATUS TO THE TOWN OF ZEBULON.
20. HOMEOWNERS ASSOCIATION SHALL BE OPERATIONAL PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY.
21. HOMEOWNERS ASSOCIATION SHALL APPOINT ONE RESIDENT TO THE ADVISORY BOARD AT 25% RESIDENT OCCUPIED, ONE RESIDENT AT 50% OCCUPIED AND ONE RESIDENT AT 75% OCCUPIED.
22. ALL INDIVIDUAL WATER BOOSTER PUMPS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS MANUAL.
23. ALL HOME DESIGN AND CONSTRUCTION SHALL CONFORM TO SECTION 5.2 OF THE TOWN OF ZEBULON'S UNIFIED DEVELOPMENT ORDINANCE.
24. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED FOR ANY NEW RESIDENCES LOCATED NORTH OF YULEE DRIVE (AS EXTENDED THROUGH THE PROPERTY) UNTIL THE EARLIER OF (i) THE TOWN OPENS A PROPOSED NEW FIRE STATION AT W. JUDD STREET, OR, (ii) SEVEN (7) YEARS FROM THE DATE OF THE APPROVAL OF THE REZONING.



VICINITY MAP

SCALE: 1"=200'



VICINITY MAP NTS

SUBDIVISION PLAN INFORMATION

- 1. DEVELOPMENT NAME: WEAVER'S POINTE
2. WAKE COUNTY P.I.N.s: 1797701367
3. TOTAL NUMBER OF LOTS: 87 SINGLE FAMILY LOTS (2.0 UNITS/ACRE)
4. TRACT AREA: 43.10 AC
5. ZONING: R4-C
6. INSIDE TOWN LIMITS: YES
7. WATERSHED: NEUSE RIVER BASIN
8. DEDICATED STREET RIGHT OF WAY: 6.57 AC.
9. DISTURBED AREA: 38.0 AC.
10. OPEN SPACE PROVIDED: 11.7 ACRES
11. PROPOSED IMPERVIOUS SURFACE: STREETS/SIDEWALKS = 4.95 AC (INCLUDES GREENWAY, MAIL KIOSK AND AMENITIES) LOTS = 6.99 AC± (3,500 SF/LOT) TOTAL = 11.94 AC±
12. FEMA INFORMATION: THE SITE IS NOT WITHIN A FEMA FLOOD ZONE PER MAPS # 3720179700K - PANEL 1797 EFFECTIVE DATE 07/19/2022
13. DEVELOPER: GREYHILL DEVELOPMENT, LLC
9381 BARTONS CREEK RD
RALEIGH NC 27615-9705
(919)606-8956 (PHONE)
ATTN: GREY BERRY - FUTRELL DEVELOPMENT, LLC.
14. OWNER: GREYHILL DEVELOPMENT, LLC
9381 BARTONS CREEK RD
RALEIGH NC 27615-9705
(919)606-8956 (PHONE)
ATTN: GREY BERRY - FUTRELL DEVELOPMENT, LLC.
15. CONTACT PERSON: PIEDMONT LAND DESIGN, LLP
c/o MIKE SCHNEIDER
8522-204 SIX FORKS ROAD
RALEIGH, NORTH CAROLINA 27615
(919) 845-7703 (PHONE)
(919) 845-7703 (FAX)
MikeS@piedmontlanddesign.com (E-MAIL)

DRAWING INDEX

- SITE 1 COVER SHEET
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SITE 4 DETAILED SITE PLAN SHEET 1 OF 2
SITE 5 DETAILED SITE PLAN SHEET 2 OF 2
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SITE 12 STAGE ONE EROSION CONTROL PLAN
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SITE 16 STREET C PLAN AND PROFILE SHEET 1 OF 2
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L9.01 LANDSCAPE DETAILS
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SITE 22 SCM 2 DETAILS & PLANTING PLAN
SITE 23-33 DETAILS

BUILDING SETBACKS

- FRONT YARD: 30' - SEE ZONING CONDITION #15.
SIDE YARD: 10' - SEE ZONING CONDITION #6.
REAR YARD: 25'

Water and Sewer Permits (If Applicable)

The City of Raleigh consents to the connection and extension of the City's Public Sewer System as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit #
The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit #
The City of Raleigh consents to the connection to its Public Sewer System and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit #

Table with 2 columns: LOTS, QUANTITY. Single Family 87 Lots.

Table with 2 columns: SIZE, LENGTH. Values for 15", 18", 24", 30" sizes.

Table with 2 columns: SIZE, LENGTH. Values for 8" DIP, 12" DIP.

Table with 2 columns: STREET, LENGTH. Values for Street A, B, and C.

Table with 2 columns: SIZE, LENGTH. Values for 15", 18", 24", 30" sizes for HOA storm quantities.

Table with 2 columns: SIZE, PHASE 7. Values for 8" DIP and 8" PVC.

Table with 2 columns: TYPE, QUANTITY. Street Lights 19.

NUMBER OF SERVICE CONNECTIONS = 87
NUMBER OF STUBS = 0
NUMBER OF MAIN TIE-IN POINTS = 2
NUMBER OF SERVICE ABANDONMENTS = 0

SEWER FLOW DATA
NUMBER OF BEDROOMS=348
PROPOSED SEWER FLOW=348 X 75 GPD/BR=26,100 GPD

EROSION CONTROL, STORMWATER AND FLOODPLAIN MANAGEMENT APPROVED. EROSION CONTROL [] SEC- STORMWATER MGMT. [] SWF- FLOOD STUDY [] SWF- DATE. Includes environmental consultant signature area for Weaver's Pointe.

ATTENTION CONTRACTORS. The Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Utilities Inspector at 919-996-3245 or https://cityworks.raleighnc.gov/contractors/New and schedule a Pre-construction meeting prior to beginning any construction. Raleigh Water must be contacted at (919) 996-4540 at least twenty-four hours prior to beginning any work activity around critical water and sewer infrastructure. Failure to notify the Divisions in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure. Failure to call for inspection, install a downstream plug, have permitted plans on the jobsite, or any other violation of City of Raleigh Standards will result in a fine and possible exclusion from future work in the City of Raleigh.

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION. Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. City of Raleigh Development Approval and Raleigh Water Review Officer.

Public Water Distribution / Extension System. The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. Authorization to Construct See digital signature. W-4115. Public Sewer Collection / Extension System. The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. Authorization to Construct See digital signature. S-5459.

PLD PIEMONT LAND DESIGN PLLC. 8522-204 SIX FORKS ROAD RALEIGH, NORTH CAROLINA 27615. PHONE 919.845.7600. FAX 919.845.7703. ENGR. FIRM LICENSE NO. F-0843. Seal of Michael L. Schneider, Professional Engineer, License No. 050856. Date: 04-17-24.

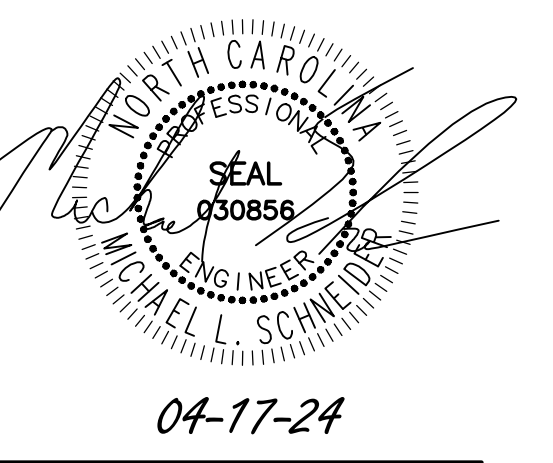
WEAVER'S POINTE SUBDIVISION
0 WEAVERS POND DRIVE
ZEBULON, NC

ISSUED: 02 FEB 2024. REVISIONS: 17 APRIL 20124 PER TOWN/WAKE COUNTY REVIEW. DRAWN BY: JET. CHECKED BY: MLS. PROJECT: FDCWP9. DWG. NO. SITE 1. COVER SHEET.

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HELMUTH AND MAYER P.L.L.C.
 8522-204 SIX FORKS ROAD
 RALEIGH, NORTH CAROLINA 27615
 919.845.7600 PHONE
 919.845.7703 FAX
 ENGR. FIRM LICENSE NO. F-0843



EXIST. CONDITIONS/DEMOLITION NOTES

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF ZEBULON AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
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4. CONTRACTOR IS RESPONSIBLE FOR REMOVING OR RELOCATING ALL UTILITIES IN CONFLICT WITH NEW CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO DISTURBANCE.
5. CONTRACTOR SHALL DISPOSE OF ALL MATERIALS IN ACCORDANCE WITH ALL LOCAL AND STATE REGULATIONS.

PROPERTY LINE TABLE		
LINE	BEARING	DISTANCE
L1	S29°25'35"W	410.17'
L2	S0°13'56"E	421.29'
L3	S88°12'45"E	1121.08'
L4	N0°10'44"E	314.71'
L5	N0°10'44"E	247.07'
L6	N0°10'44"E	902.26'
L7	N0°10'44"E	546.54'
L8	N89°49'16"W	402.92'
L9	N88°38'39"W	444.40'
L10	S5°21'34"E	130.41'
L11	S23°12'17"W	126.59'
L12	S1°13'47"E	277.68'
L13	S2°35'08"E	238.30'
L14	S2°35'08"E	317.62'
L15	S29°25'35"W	148.88'

WEAVER'S POINTE SUBDIVISION

**0 WEAVERS POND DRIVE
ZEBULON, NC**

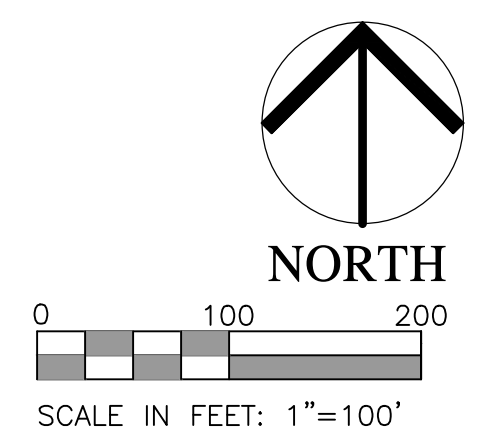
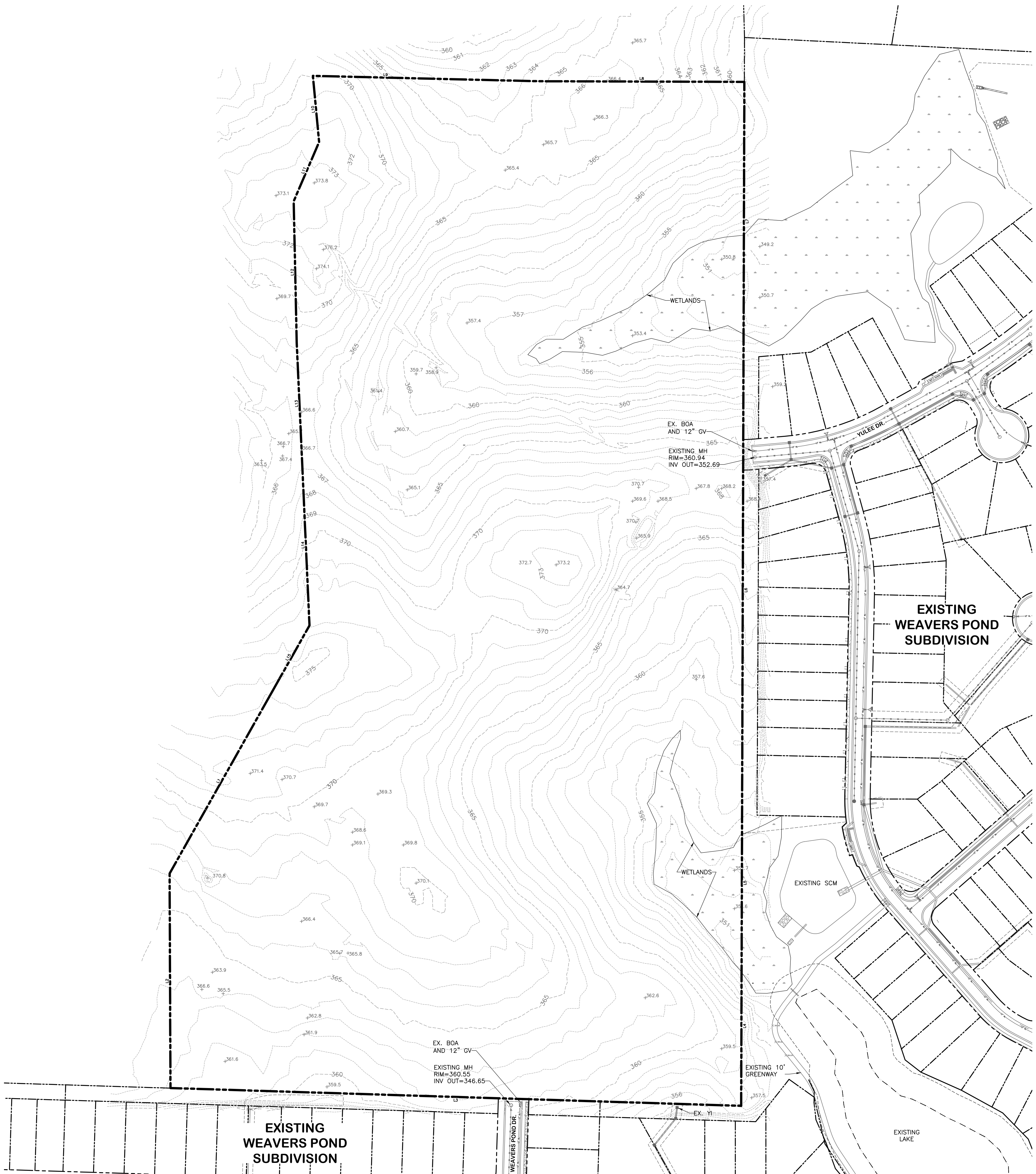
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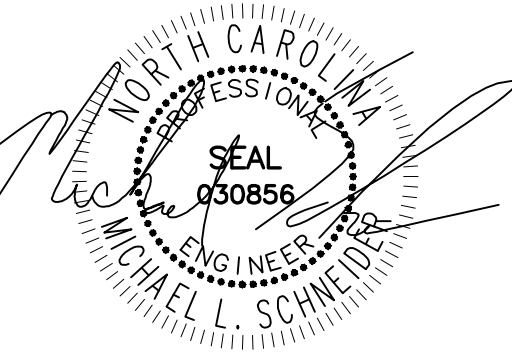
DRAWN BY: JET
 CHECKED BY: MLS
 PROJECT: FDCWP9

**EXISTING
CONDITIONS**

DWG. NO. **SITE 2**



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04-17-24

WEAVER'S POINTE SUBDIVISION

**0 WEAVERS POND DRIVE
ZEBULON, NC**

ISSUED: 14 FEB 2024

REVISIONS:

17 APRIL 20124
PER TOWN/WAKE COUNTY REVIEW

DRAWN BY: JET

CHECKED BY: MLS

PROJECT: FDCWP9

**OVERALL
SITE PLAN**

DWG. NO. **SITE 3**

GENERAL NOTES

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5. ALL GREENWAYS ARE TO BE PRIVATE.

STRIPING NOTES

1. ALL STRIPING SHALL BE THERMOPLASTIC.

LINE	BEARING	DISTANCE
L1	S29°25'35"W	410.17'
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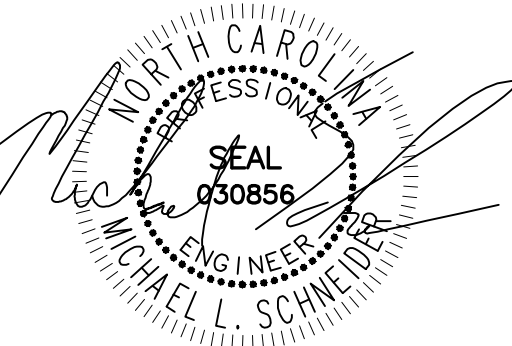


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HELMUTH & BOND

8522-204 SIX FORKS ROAD
RALEIGH, NORTH CAROLINA 27615
919.845.7600 PHONE
919.845.7703 FAX
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02-17-24

WEAVER'S POINTE SUBDIVISION

**0 WEAVERS POND DRIVE
ZEBULON, NC**

ISSUED: 14 FEB 2024

REVISIONS:

17 APRIL 20124
PER TOWN/WAKE COUNTY REVIEW

DRAWN BY: JET

CHECKED BY: MLS

PROJECT: FDCWP9

**DETAILED
SITE PLAN
SHEET 1 OF 2**

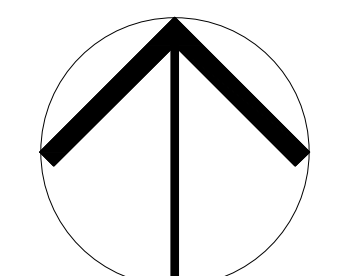
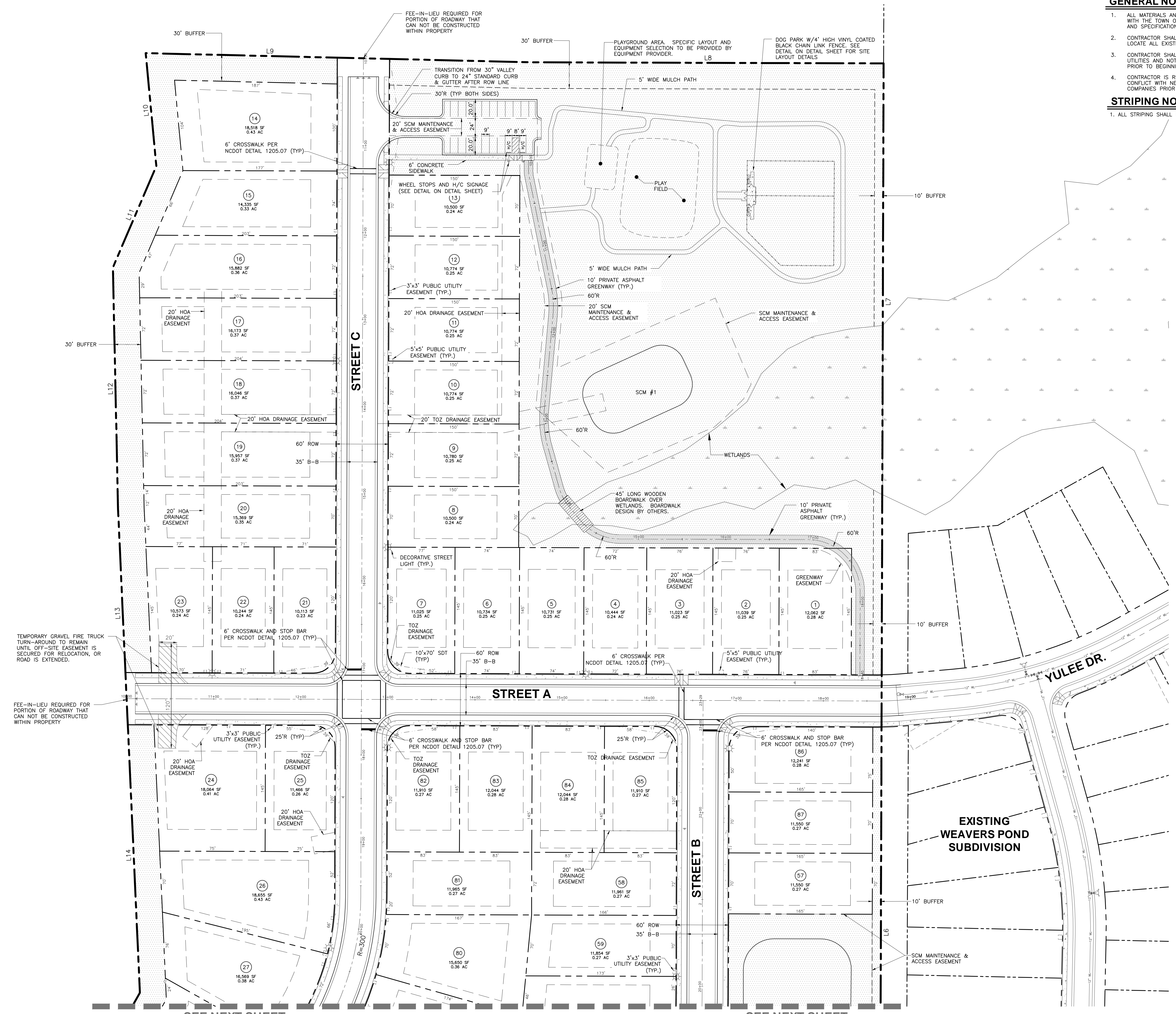
DWG. NO. **SITE 4**

GENERAL NOTES

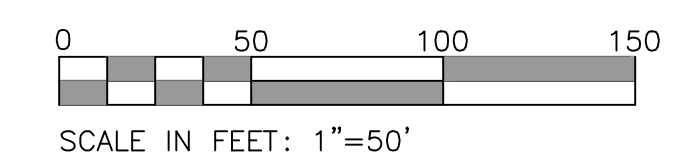
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STRIPING NOTES

1. ALL STRIPING SHALL BE THERMOPLASTIC.



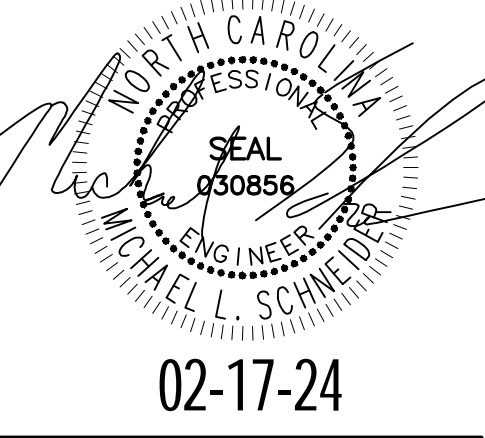
NORTH



SEE NEXT SHEET

SEE NEXT SHEET

F:\Projects\FDCWP9\Drawings\Site\FDCWP9_Base.dwg - 4-5-DETAILED SITE Apr 16, '24 - 11:05am



WEAVER'S POINTE SUBDIVISION
0 WEAVER'S POND DRIVE
ZEBULON, NC

ISSUED: 14 FEB 2024
 REVISIONS:
 17 APRIL 20124
 PER TOWN/WAKE COUNTY REVIEW

DRAWN BY: JET
 CHECKED BY: MLS
 PROJECT: FDCWP9
DETAILED SITE PLAN SHEET 2 OF 2
 DWG. NO. **SITE 5**

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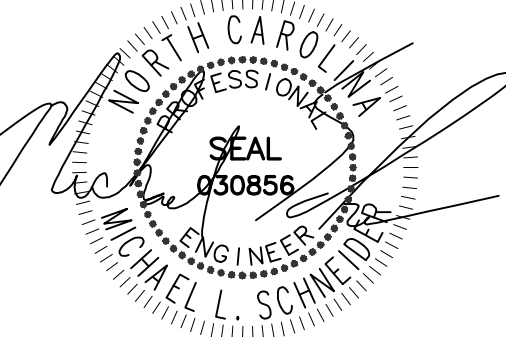
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HELMUTH&DUNN P.L.L.C.

8522-204 SIX FORKS ROAD
 RALEIGH, NORTH CAROLINA 27615
 919.845.7600 PHONE
 919.845.7703 FAX
 ENGR. FIRM LICENSE NO. F-0843



02-17-24

WEAVER'S POINTE SUBDIVISION

**0 WEAVERS POND DRIVE
 ZEBULON, NC**

ISSUED: 14 FEB 2024

REVISIONS:

▲ 17 APRIL 20124
 PER TOWN/WAKE COUNTY REVIEW

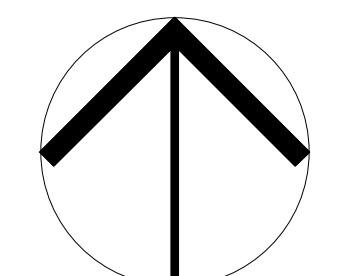
DRAWN BY: JET

CHECKED BY: MLS

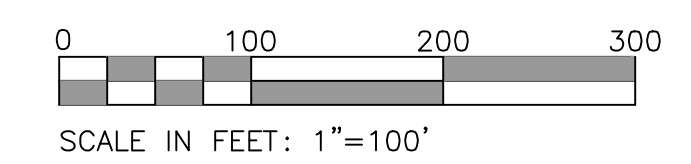
PROJECT: FDCWP9

**OVERALL
 GRADING PLAN**

DWG. NO. **SITE 6.0**



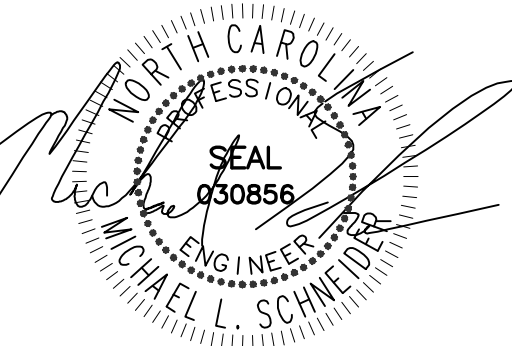
NORTH





HELMUTH & BOND

8522-204 SIX FORKS ROAD
RALEIGH, NORTH CAROLINA 27615
919.845.7600 PHONE
919.845.7703 FAX
ENGR. FIRM LICENSE NO. F-0843



02-17-24

WEAVER'S POINTE SUBDIVISION
0 WEAVERS POND DRIVE
ZEBULON, NC

ISSUED: 14 FEB 2024

REVISIONS:

17 APRIL 20124
PER TOWN/WAKE COUNTY REVIEW

DRAWN BY: JET

CHECKED BY: MLS

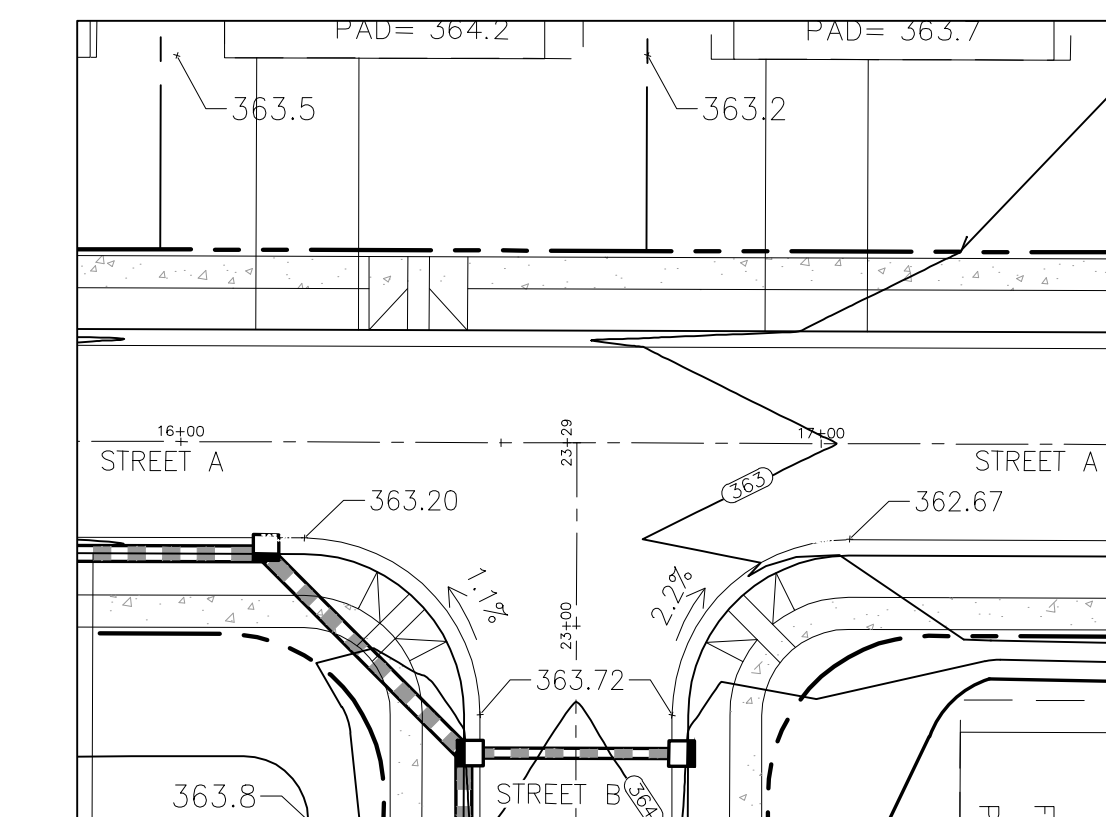
PROJECT: FDCWP9

DETAILED
GRADING PLAN
SHEET 1 OF 2

DWG. NO. SITE 7

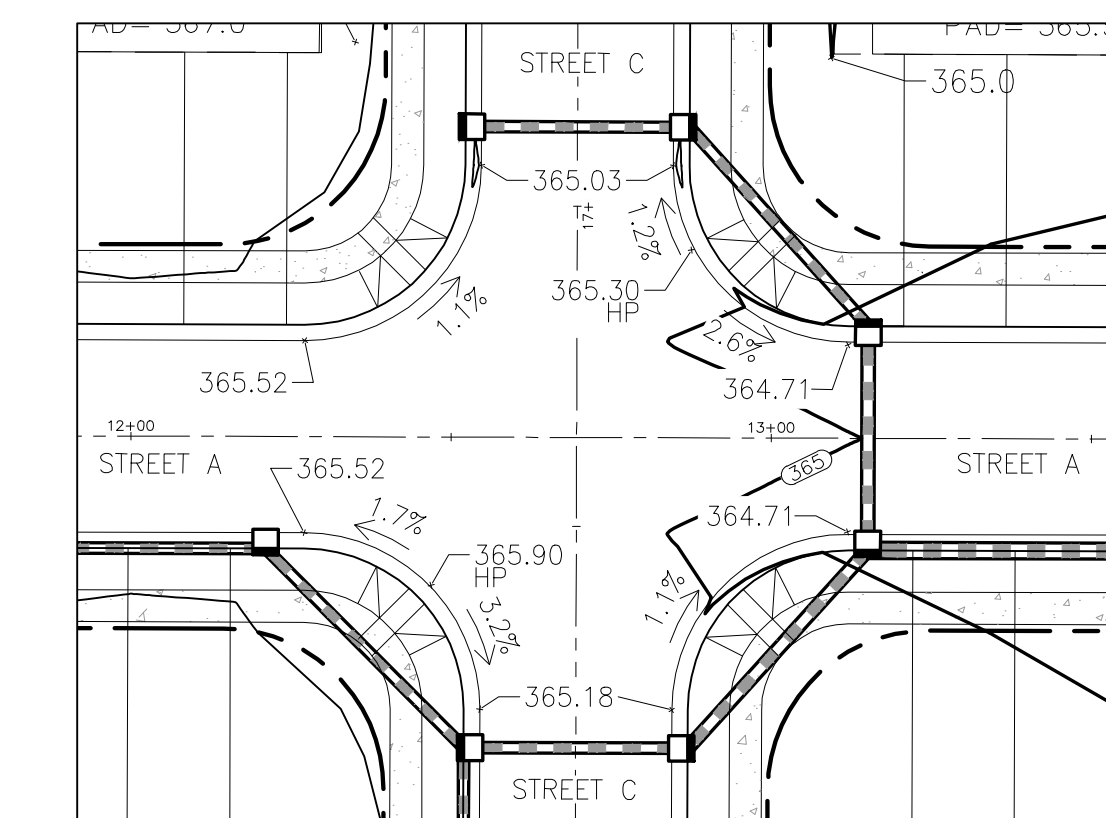
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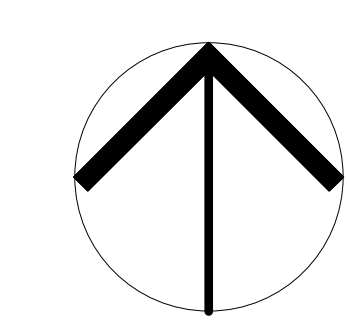
SPOT ELEVATIONS FOR STREET 'A' & STREET 'B' INTERSECTION

SCALE: 1"=30'



SPOT ELEVATIONS FOR STREET 'A' & STREET 'C' INTERSECTION

SCALE: 1"=30'



NORTH



SCALE IN FEET

SEE NEXT SHEET

SEE NEXT SHEET

F:\Projects\FDCWP9\Drawings\Site\FDCWP9_Base.dwg - 7-8 DETAILED GRADING Apr 16, '24 - 3:22pm

STANDARD UTILITY NOTES

- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition)
- Utility separation requirements:
 - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply sources such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to watertight specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well.
 - When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
 - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to watertight specifications.
 - 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer
 - Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 18" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49).
 - All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
- Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.
- Developer shall provide 30 days advance written notice to owner for any work required within an existing City of Raleigh Utility Easement traversing private property.
- Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24-hour advance notice to the City of Raleigh Public Utilities Department.
- SEWER BYPASS PUMPING - A bypass plan sealed by an NC Professional Engineer shall be provided to Raleigh Water prior to pumping operations for approval. The operations and equipment shall comply with the Public Utilities Handbook.
- 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all reuse mains.
- It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure.
- Install 3/4" copper* water services with meters located at ROW or within a 2'x2' Waterline Easement immediately adjacent. NOTE: it is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.
- Install 4" PVC* sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum.
- Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole.
- All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
- NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction.
- Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the RW FOG Program Coordinator prior to issuance of a UC and/or Building Permit. Contact (919) 996-4516 or foq@raleighnc.gov for more information.
- Cross-connection control protection devices are required based on the degree of health hazard involved as listed in Appendix B of the Rules Governing Public Water Systems in North Carolina.
- The devices shall meet the American Society of Sanitary Engineering (ASAE) standards and be on the University of Southern California approval list.
- The device and installation shall meet the guidelines of Appendix A - Guidelines and Requirements for the Cross Connection Program in Raleigh's Service Area.
- The devices shall be installed and tested (both, initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross connection control program, whichever is more stringent. Contact Cross.Connection@raleighnc.gov for more information.
- NOTICE for projects that involve an oversized main or urban main replacement. Any City reimbursement greater than \$250,000.00 must undergo the public bidding process.

GENERAL NOTES

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- AN INDIVIDUAL BOOSTER PUMP TANK SHALL BE INSTALLED ON ANY LOT HAVING WATER SERVICE PRESSURES BELOW 40 PSI.
- ALL SANITARY SEWER SHOWN ON PLAN IS 8" DIAMETER UNLESS OTHERWISE NOTED.

ATTENTION CONTRACTORS

The Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Utilities Inspector at 919-996-3245 or <https://cityworks.raleighnc.gov/contractors/New> and schedule a Pre-construction meeting prior to beginning any construction.

Raleigh Water must be contacted at (919) 996-4540 at least twenty-four hours prior to beginning any work activity around critical water and sewer infrastructure.

Failure to notify the Divisions in advance of beginning construction, will result in the issuance of monetary fines, and require reinstatement of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for Inspection, install a downstream plug, have permitted plans on the jobsite, or any other violation of City of Raleigh Standards will result in a fine and possible exclusion from future work in the City of Raleigh.

Public Water Distribution / Extension System

The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
 Public Utilities Department Permit # **W-4115**
 Authorization to Construct [See digital signature](#)

Public Sewer Collection / Extension System

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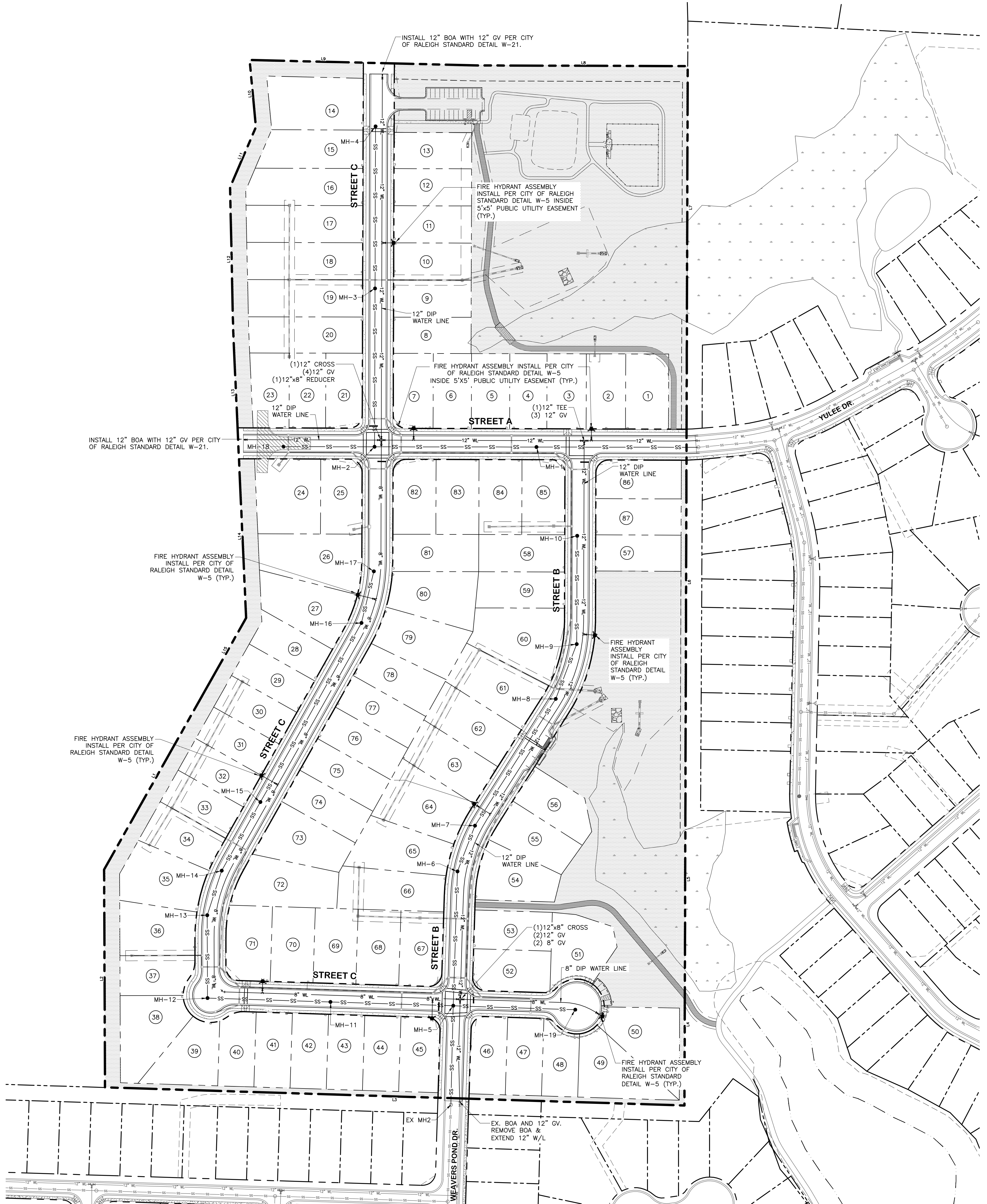
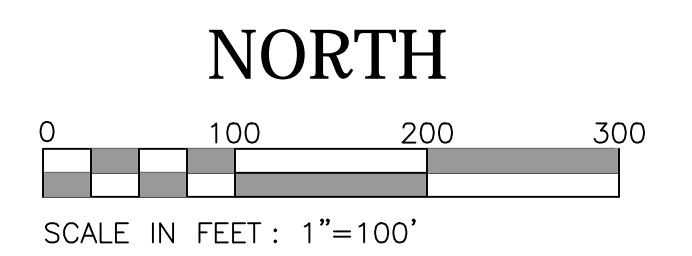
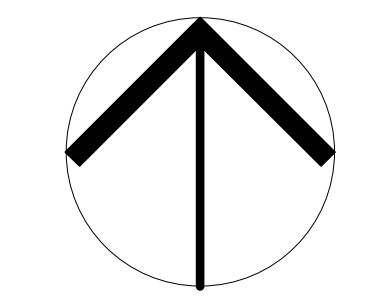
City of Raleigh
 Public Utilities Department Permit # **S-5459**
 Authorization to Construct [See digital signature](#)

INFRASTRUCTURE CONSTRUCTION PLAN APPROVAL

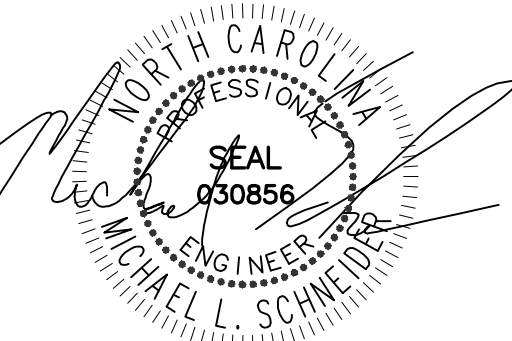
CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

All Construction must be in accordance with all Local, State, and Federal Rules and Regulations.

PUBLIC UTILITIES _____



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02-17-24

WEAVER'S POINTE SUBDIVISION

0 WEAVERS POND DRIVE
ZEBULON, NC

ISSUED: 14 FEB 2024

REVISIONS:

▲ 17 APRIL 20124
PER TOWN/WAKE COUNTY REVIEW

DRAWN BY: JET

CHECKED BY: MLS

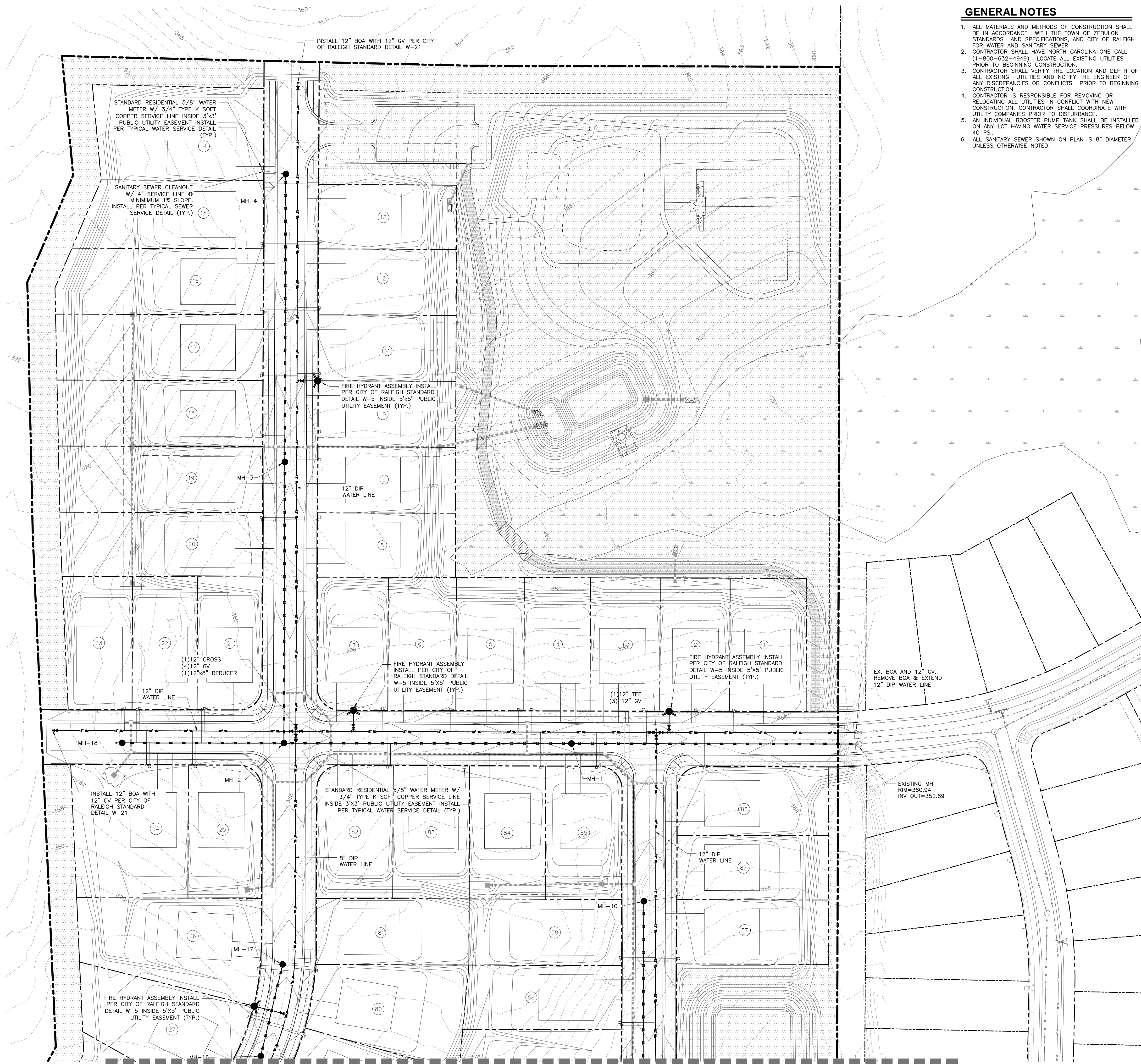
PROJECT: FDCWP9

DETAILED
UTILITY PAN
SHEET 1 OF 2

DWG. NO. SITE 10

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Public
Sewer Collection / Extension System

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City of Raleigh
Public Utilities Department Permit # _____

Authorization to Construct _____

Date _____

Public
Water Distribution / Extension System

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City of Raleigh
Public Utilities Department Permit # _____

Authorization to Construct _____

Date _____

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the **Public Utilities Department** at (919)996-4540 at least **twenty four hours** prior to beginning any of their construction.

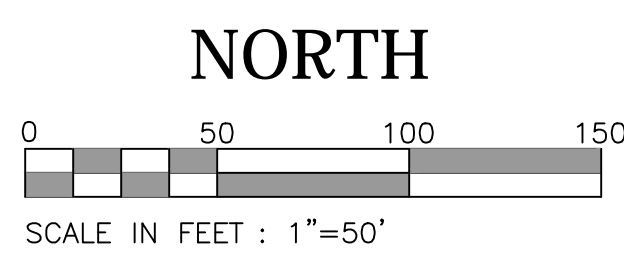
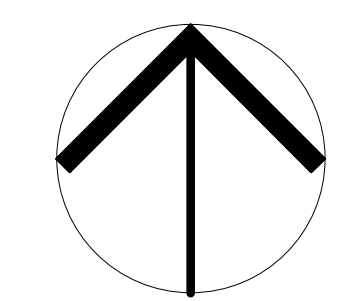
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INFRASTRUCTURE CONSTRUCTION PLAN APPROVAL

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

All Construction must be in accordance with all Local, State, and Federal Rules and Regulations.

PUBLIC UTILITIES: _____



SEE NEXT SHEET

SEE NEXT SHEET

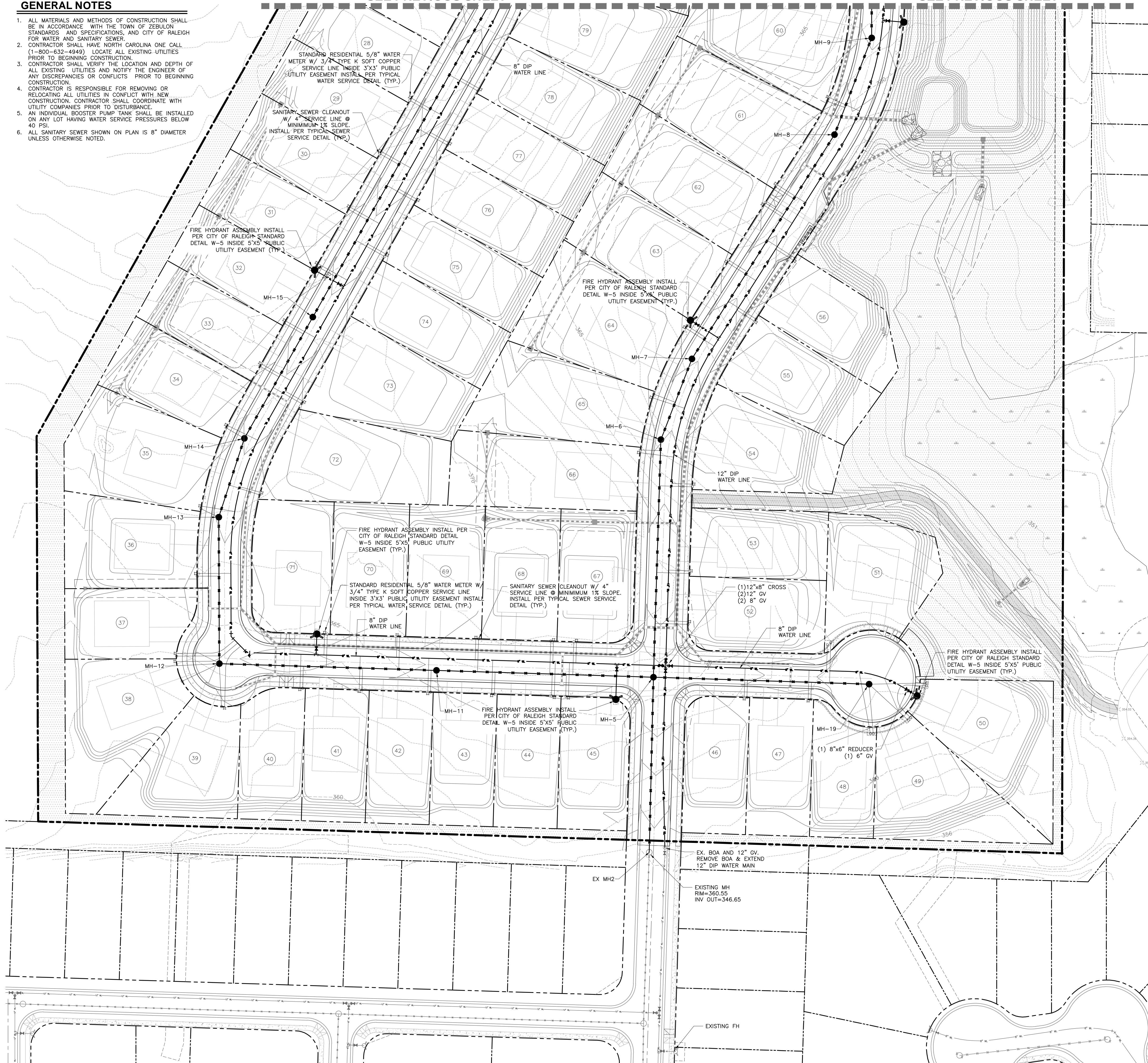
F:\Projects\FDCWP9\Drawings\Site\FDCWP9_Base.dwg - 10-11 DETAILED UTILITY Apr 16, '24 - 3:24pm

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SEE PREVIOUS SHEET

SEE PREVIOUS SHEET



PID
HEMONTIANDSIGN PLLC
 8522-204 SIX FORKS ROAD
 RALEIGH, NORTH CAROLINA 27615
 919.845.7600 PHONE
 919.845.7703 FAX
 ENGR. FIRM LICENSE NO. F-0843

NORTH CAROLINA
 PROFESSIONAL SEAL
 030856
 ENGINEER
 MICHAEL L. SCHNITZER
 02-17-24

WEAVER'S POINTE SUBDIVISION
0 WEAVER'S POND DRIVE
ZEBULON, NC

Public
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 City of Raleigh
 Public Utilities Department Permit # _____
 Authorization to Construct _____
 Date _____

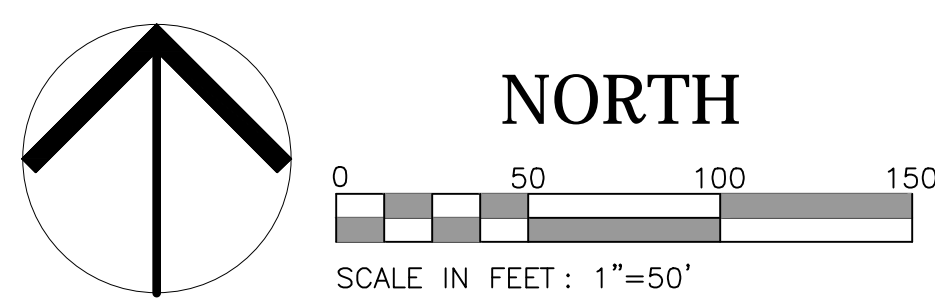
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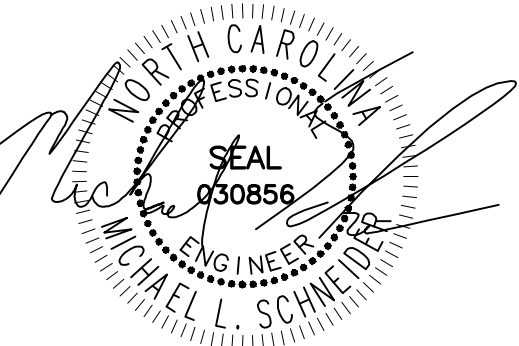
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 CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION
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 PUBLIC UTILITIES: _____

ISSUED: **14 FEB 2024**
 REVISIONS:
 17 APRIL 20124
 PER TOWN/WAKE COUNTY REVIEW

DRAWN BY: **JET**
 CHECKED BY: **MLS**
 PROJECT: **FDCWP9**
DETAILED UTILITY PLAN SHEET 2 OF 2
 DWG. NO. **SITE 11**



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04-17-24

WEAVER'S POINTE SUBDIVISION

0 WEAVERS POND DRIVE
ZEBULON, NC

ISSUED: 14 FEB 2024

REVISIONS:

▲ 17 APRIL 20124
PER TOWN/WAKE COUNTY REVIEW

DRAWN BY: JEB
CHECKED BY: MLS

PROJECT: FDCWP9

STAGE ONE
EROSION CONTROL
PLAN

DWG. NO. SITE 12

Required Wake County Basin Removal Sequence

- Schedule a site meeting with the Environmental Consultant to determine if a basin can be removed. Install silt fencing or other temporary erosion control measures as needed prior to removal of the basin.
- Contact NCDCEQ - Raleigh Regional Office (919) 791-4200 to determine the Division of Energy, Mineral and Land Resources contact person to receive dewatering notifications. At least 10 days prior to beginning dewatering activity, send Email to NCDCEQ-DEMLR contact person and copy Environmental Consultant that met you onsite. The email should include: EASC Jurisdiction: Wake County, Wake County Project: Name, Number, and Location (city/town), Environmental Consultant Name, and address the following: a) Reason for conversion, b) Basin #, c) Dewatering method, and d) all other necessary info from Part II, Section G, Item 4 of the NCG01. (Keep email for your NPDES monitoring documentation)
- After receiving positive confirmation from NCDCEQ-DEMLR that you may remove the basin OR on > Day 11, whichever is sooner. Remove Basin(s) and associated temporary diversion ditches. If pipes need to be extended, perform this operation at this time. Fine grade area in preparation for seeding.
- Perform seedbed preparation, seed, mulch and anchor any resulting bare areas immediately.
- Install velocity dissipators and/or level spreaders as required on the Erosion Control Plan.
- When site is fully stabilized, call Environmental Consultant for approval of removing remaining temporary erosion control measures and advice on when site can be issued a Certificate of Completion. Note: A meeting should also be scheduled with the Environmental Consultant to determine when a basin may be converted for stormwater use. Some municipalities may also require this.

STABILIZATION NOTES

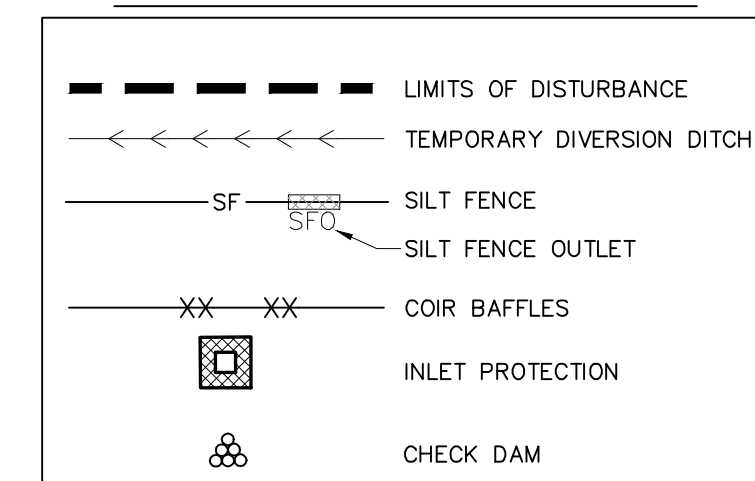
SLOPE	STABILIZATION
3:1 AND FLATTER	GRASS
3:1 TO 2:1 SLOPE	SLOPE ADAPTIVE PLANTS (SHRUBS AND VINES)
2:1 TO 1.5:1	RIP-RAP (OR AS APPROVED BY GEO-TECH)
STEEPER THAN 1.5 TO 1	RETAINING WALL
* SLOPES OF 2:1 OR STEEPER TO BE STABILIZED IMMEDIATELY WITH EXCELSIOR NETTING OR EQUAL	

*EROSION CONTROL MATTING SUFFICIENT FOR STABILIZATION IS REQUIRED FOR ALL SLOPES GREATER THAN 3:1 AND SLOPES GREATER THAN 5' TALL.

D) Ground Stabilization*		
Site Area Description	Stabilization Time Frame	Stabilization Time Frame Exceptions
Perimeter dikes, swales, ditches and slopes	7 days	None
High Quality Water (HQW) Zones	7 days	None
Slopes steeper than 3:1	7 days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed.
Slopes 3:1 or flatter	14 days	7-days for slopes greater than 50 feet in length
All other areas with slopes flatter than 4:1	14 days	None (except for perimeter and HQW Zones)

*"Extensions of time may be approved by the permitting authority based on weather or other site-specific conditions that make compliance impracticable." (Section II.B(2)(b))

EROSION CONTROL LEGEND

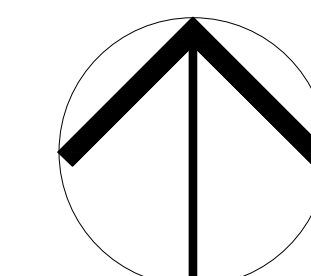
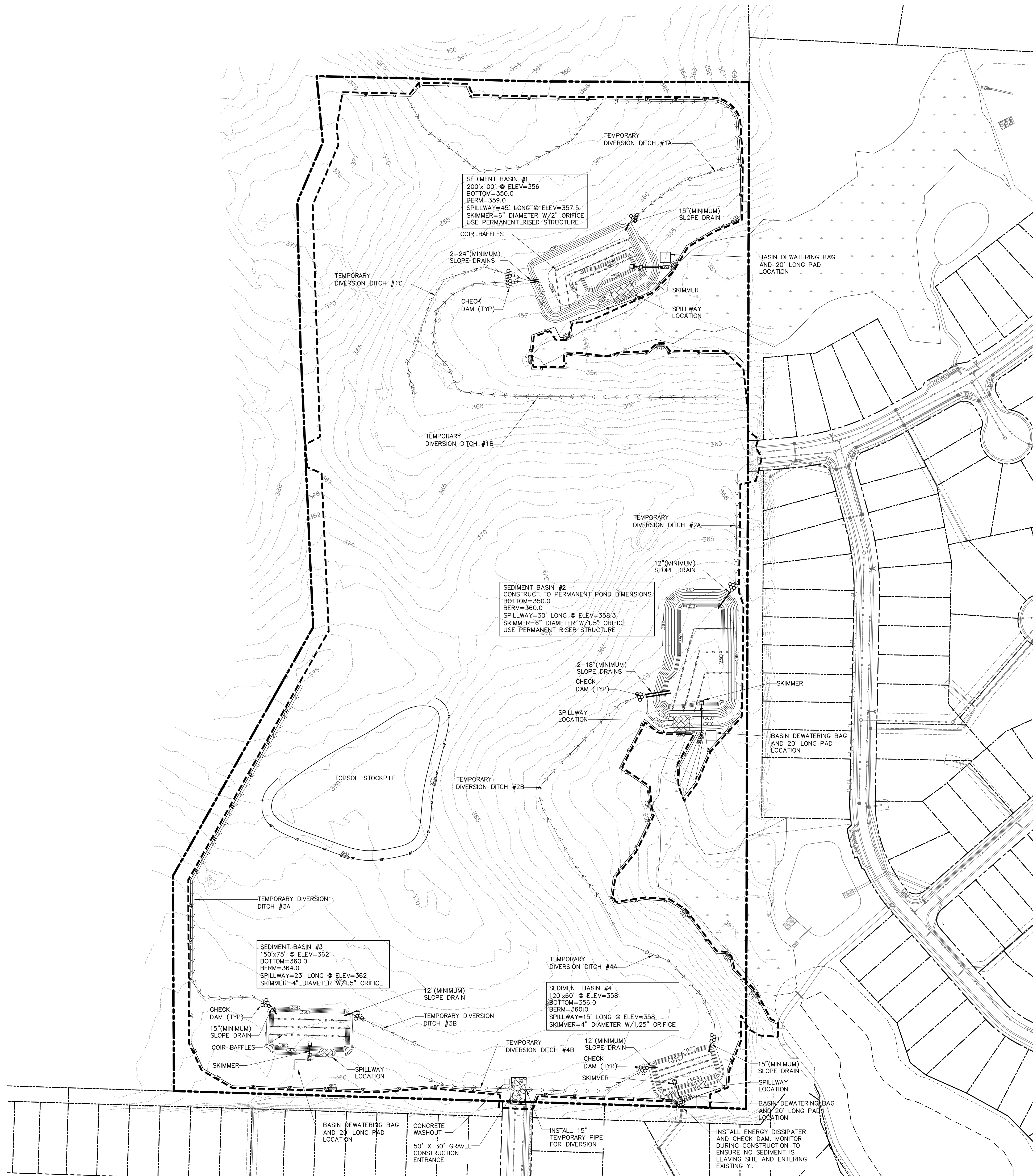


TEMPORARY DIVERSION DITCH DIMENSIONS

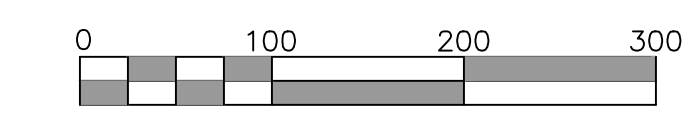
TEMPORARY DIVERSION DITCH #	BOTTOM WIDTH (FT)	DEPTH (FT)	LINING TYPE
1A	2.0	1.0	JUTE MAT
1B	2.0	2.0	JUTE MAT
2A	2.0	1.0	JUTE MAT
2B	2.0	2.0	JUTE MAT
3A	2.0	1.0	JUTE MAT
3B	2.0	1.0	JUTE MAT
4A	2.0	1.0	JUTE MAT
4B	2.0	1.0	JUTE MAT

DISTURBED AREA:

38.0 AC



NORTH



SCALE IN FEET : 1"=100'

Required Wake County Basin Removal Sequence

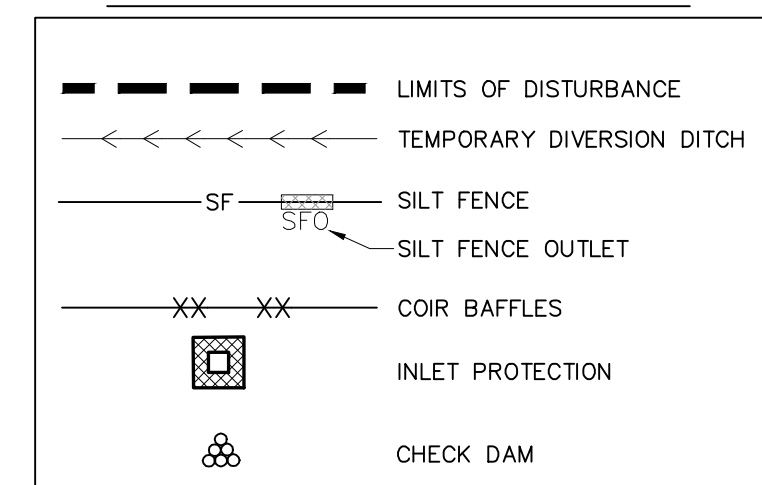
- 1. Schedule a site meeting with the Environmental Consultant to determine if a basin can be removed. Install silt fencing or other temporary erosion control measures as needed prior to removal of the basin.
2. Contact NCDEQ - Raleigh Regional Office (919) 791-4200 to determine the Division of Energy, Mineral and Land Resources contact person to receive dewatering notifications. At least 10 days prior to beginning dewatering activity, send Email to NCDEQ-DEMLR contact person and copy Environmental Consultant that met you onsite. The email should include: E&S: Jurisdiction: Wake County, Wake County Project: Name, Number, and Location (city/town), Environmental Consultant Name, and address the following: a) Reason for conversion, b) Basin #, c) Dewatering method, and d) all other necessary info from Part II, Section G, Item 4 of the NCG01. (Keep email for your NPDES monitoring documentation)
3. After receiving positive confirmation from NCDEQ-DEMLR that you may remove the basin OR on > Day 11, whichever is sooner. Remove Basin(s) and associated temporary diversion ditches. If pipes need to be extended, perform this operation at this time. Fine grade area in preparation for seeding.
4. Perform seedbed preparation, seed, mulch and anchor any resulting bare areas immediately.
5. Install velocity dissipators and/or level spreaders as required on the Erosion Control Plan.
6. When site is fully stabilized, call Environmental Consultant for approval of removing remaining temporary erosion control measures and advice on when site can be issued a Certificate of Completion. Note: A meeting should also be scheduled with the Environmental Consultant to determine when a basin may be converted for stormwater use. Some municipalities may also require this.

STABILIZATION NOTES

SLOPE STABILIZATION
3:1 AND FLATTER GRASS
3:1 TO 2:1 SLOPE SLOPE ADAPTIVE PLANTS (SHRUBS AND VINES)
2:1 TO 1.5:1 RIP-RAP (OR AS APPROVED BY GEO-TECH)
STEEPER THAN 1.5 TO 1 RETAINING WALL
* SLOPES OF 2:1 OR STEEPER TO BE STABILIZED IMMEDIATELY WITH EXCELSIOR NETTING OR EQUAL
* EROSION CONTROL MATTING SUFFICIENT FOR STABILIZATION IS REQUIRED FOR ALL SLOPES GREATER THAN 3:1 AND SLOPES GREATER THAN 5' TALL.

Table with 3 columns: Site Area Description, Stabilization Time Frame, and Stabilization Time Frame Exceptions. Includes rows for Perimeter dikes, High Quality Water (HQW) Zones, Slopes steeper than 3:1, Slopes 3:1 or flatter, and All other areas with slopes flatter than 4:1.

EROSION CONTROL LEGEND



DISTURBED AREA: 38.0 AC

CONSTRUCTION SCHEDULE

- 1. SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH THE ENVIRONMENTAL CONSULTANT. OBTAIN LAND-DISTURBING PERMIT. THE TOWN OF ZEBULON MAY ALSO REQUIRE A PRE-CONSTRUCTION CONFERENCE.
2. INSTALL GRAVEL CONSTRUCTION PADS, TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS OR OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. SEED TEMPORARY DIVERSIONS, BERMS AND BASINS IMMEDIATELY AFTER CONSTRUCTION.
3. CALL ENVIRONMENTAL CONSULTANT FOR ONSITE INSPECTION BY THE ENVIRONMENTAL CONSULTANT. TO OBTAIN CERTIFICATE OF COMPLIANCE. BEGIN CLEARING AND GRUBBING. MAINTAIN DEVICES AS NEEDED.
4. ROUGH GRADE SITE.
5. INSTALL STORM SEWER, AND PROTECT INLETS WITH GRAVEL YARD INLET PROTECTION. SEDIMENT TRAP. OTHER APPROVED MEASURES AS SHOWN ON THE PLAN. BEGIN CONSTRUCTION. BUILDING, ETC.
6. STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC. SEED AND MULCH DENuded AREAS AND STABILIZE TIME FRAMES. * PROMPT SEEDING, PARTICULARLY WHEN MOVING FROM ONE PHASE TO THE NEXT, WILL BE STRICTLY ENFORCED.
7. WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, CALL ENVIRONMENTAL CONSULTANT FOR INSPECTION BY THE ENVIRONMENTAL CONSULTANT.
8. IF SITE IS APPROVED, REMOVE TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS, ETC., AND SEED OUT OR STABILIZE ANY RESULTING BARE AREAS. ALL REMAINING PERMANENT EROSION CONTROL DEVICES SUCH AS VELOCITY DISSIPATORS SHOULD BE INSTALLED NOW.
9. WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR A FINAL SITE INSPECTION BY THE ENVIRONMENTAL CONSULTANT TO OBTAIN A CERTIFICATE OF COMPLETION.

SOIL STOCKPILE NOTES

- 1. SEEDING OR COVERING STOCKPILES WITH TARPS OR MULCH IS REQUIRED AND WILL REDUCE EROSION PROBLEMS. TARPS SHOULD BE KEPT IN AT THE TOP OF THE SLOPE TO KEEP WATER FROM RUNNING UNDERNEATH THE PLASTIC.
2. IF A STOCKPILE IS TO REMAIN FOR FUTURE USE AFTER THE PROJECT IS COMPLETE (BUILDERS, ETC.), THE FINANCIAL RESPONSIBLE PARTY MUST NOTIFY WAKE COUNTY A NEW RESPONSIBLE PARTY FOR THAT STOCKPILE. APPROVED PLAN SHALL PROVIDE FOR THE USE OF STAGED SEEDING AND MULCHING ON A CONTINUAL BASIS WHILE THE STOCKPILE IS IN USE.
3. ESTABLISH AND MAINTAIN A VEGETATIVE BUFFER AT THE TOE OF THE SLOPE (WHERE PRACTICAL).
4. HEIGHT SHALL NOT EXCEED 35'

GENERAL EROSION CONTROL NOTES

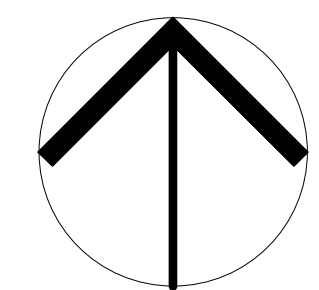
- 1. ALL SEDIMENT BASINS SHALL HAVE A 15' MAINTENANCE EASEMENT, WHICH IS TO BE IN EFFECT ONLY UNTIL THE BASIN IS REMOVED.
2. SEDIMENT SHALL BE REMOVED FROM BASINS WHEN SEDIMENT STORAGE REACHES 50%. SEDIMENT BASINS ARE TO REMAIN IN PLACE DURING THE HOME CONSTRUCTION PHASE OF THE PROJECT AND ONLY REMOVED WITH APPROVAL FROM THE WAKE COUNTY WATERSHED MANAGER.
3. ALL SEDIMENT BASINS REQUIRE BAFFLES INSTALLED PER DETAILS ON DETAIL SHEET.
4. DIVERSIONS SHALL BE MODIFIED AS NEEDED TO ENSURE SEDIMENT LADEN WATER GOES INTO THE APPROPRIATE BASIN AT ALL TIMES.
5. THE WATERSHED MANAGER MAY DETERMINE THAT FLOCCULANTS WILL BE REQUIRED DURING CONSTRUCTION, IF NECESSARY.

BASIN REMOVAL SEQUENCE

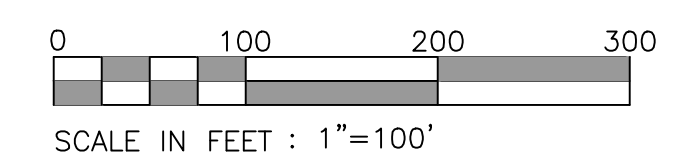
- 1. SCHEDULE A SITE MEETING WITH THE ENVIRONMENTAL CONSULTANT TO DETERMINE IF A BASIN CAN BE REMOVED. INSTALL SILT FENCING OR OTHER TEMPORARY EROSION CONTROL MEASURES AS NEEDED PRIOR TO REMOVAL OF THE BASIN.
2. CONTACT NCDEQ - RALEIGH REGIONAL OFFICE (919) 791-4200 TO DETERMINE THE DIVISION OF ENERGY, MINERAL AND LAND RESOURCES CONTACT PERSON TO RECEIVE DEWATERING NOTIFICATIONS. AT LEAST 10 DAYS PRIOR TO BEGINNING DEWATERING ACTIVITY, SEND EMAIL TO NCDEQ-DEMLR CONTACT PERSON AND COPY ENVIRONMENTAL CONSULTANT THAT MET YOU ONSITE. THE EMAIL SHOULD INCLUDE: E&S: JURISDICTION: WAKE COUNTY, WAKE COUNTY PROJECT: NAME, NUMBER, AND LOCATION (CITY/TOWN), ENVIRONMENTAL CONSULTANT NAME, AND ADDRESS THE FOLLOWING: A) REASON FOR CONVERSION, B) BASIN #, C) DEWATERING METHOD, AND D) ALL OTHER NECESSARY INFO FROM PART II, SECTION G, ITEM 4 OF THE NCG01. (KEEP EMAIL FOR YOUR NPDES MONITORING DOCUMENTATION)
3. AFTER RECEIVING POSITIVE CONFIRMATION FROM NCDEQ-DEMLR THAT YOU MAY REMOVE THE BASIN OR ON > DAY 11, WHICHEVER IS SOONER, REMOVE BASIN(S) AND ASSOCIATED TEMPORARY DIVERSION DITCHES. IF PIPES NEED TO BE EXTENDED, PERFORM THIS OPERATION AT THIS TIME. FINE GRADE AREA IN PREPARATION FOR SEEDING.
4. PERFORM SEEDBED PREPARATION, SEED, MULCH AND ANCHOR ANY RESULTING BARE AREAS IMMEDIATELY.
5. INSTALL VELOCITY DISSIPATORS AND/OR LEVEL SPREADERS AS REQUIRED ON THE EROSION CONTROL PLAN.
6. WHEN SITE IS FULLY STABILIZED, CALL ENVIRONMENTAL CONSULTANT FOR APPROVAL OF REMOVING REMAINING TEMPORARY EROSION CONTROL MEASURES AND ADVICE ON WHEN SITE CAN BE ISSUED A CERTIFICATE OF COMPLETION. NOTE: A MEETING SHOULD ALSO BE SCHEDULED WITH THE ENVIRONMENTAL CONSULTANT TO DETERMINE WHEN A BASIN MAY BE CONVERTED FOR STORMWATER USE. SOME MUNICIPALITIES MAY ALSO REQUIRE THIS.

ENERGY DISSIPATER SCHEDULE

Table with 5 columns: DOWNSTREAM STRUCTURE, SIZE (IN), VELOCITY (FPS), RIP RAP TYPE, and L X W X THK. Lists various structure sizes and corresponding rip rap specifications.

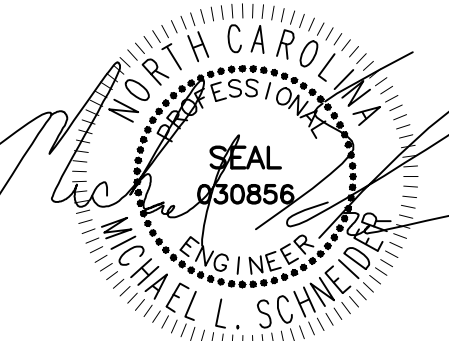


NORTH



SCALE IN FEET : 1"=100'

PLD HELMUT AND DESIGN PLLC
8522-204 SIX FORKS ROAD
RALEIGH, NORTH CAROLINA 27615
919.845.7600 PHONE
919.845.7703 FAX
ENGR. FIRM LICENSE NO. F-0843



04-17-24

WEAVER'S POINTE SUBDIVISION

0 WEAVER'S POND DRIVE
ZEBULON, NC

ISSUED: 14 FEB 2024

REVISIONS:

17 APRIL 20124
PER TOWN/WAKE COUNTY REVIEW

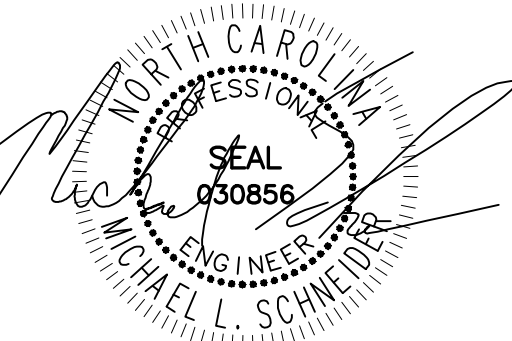
DRAWN BY: JET
CHECKED BY: MLS

PROJECT: FDCWP9

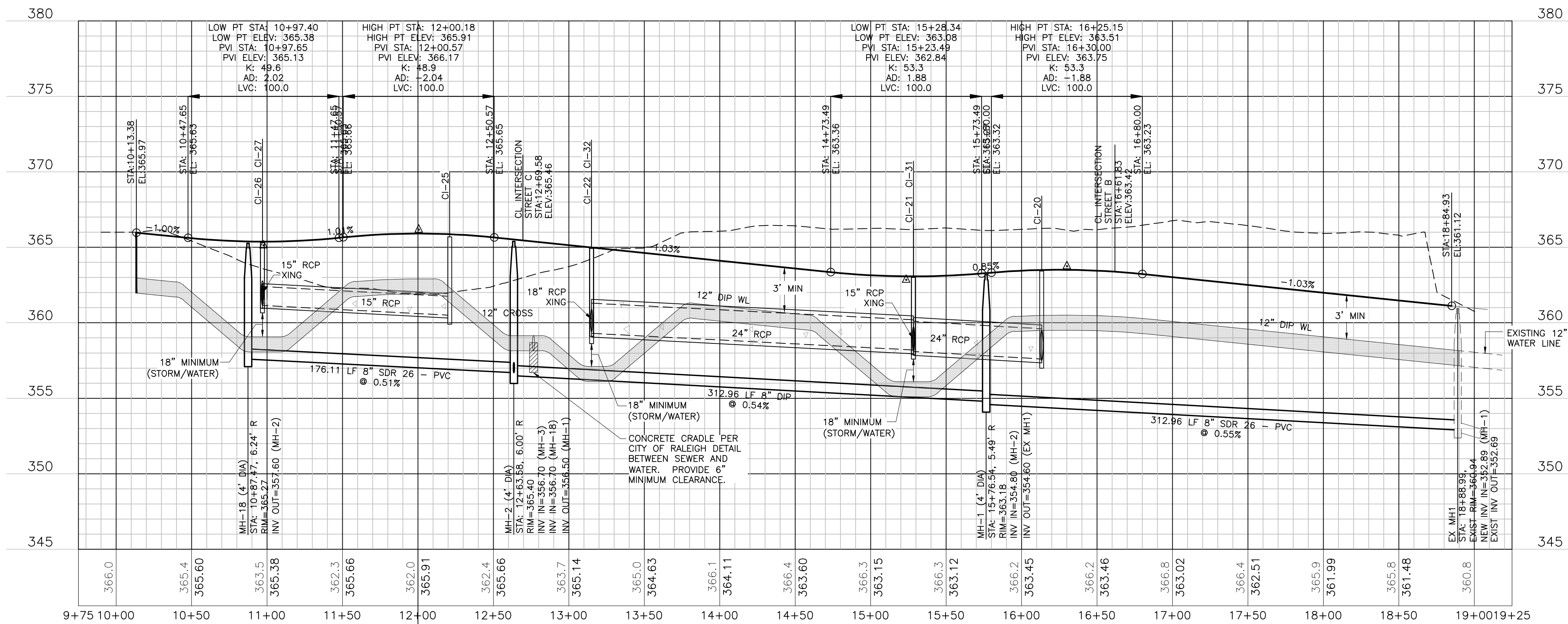
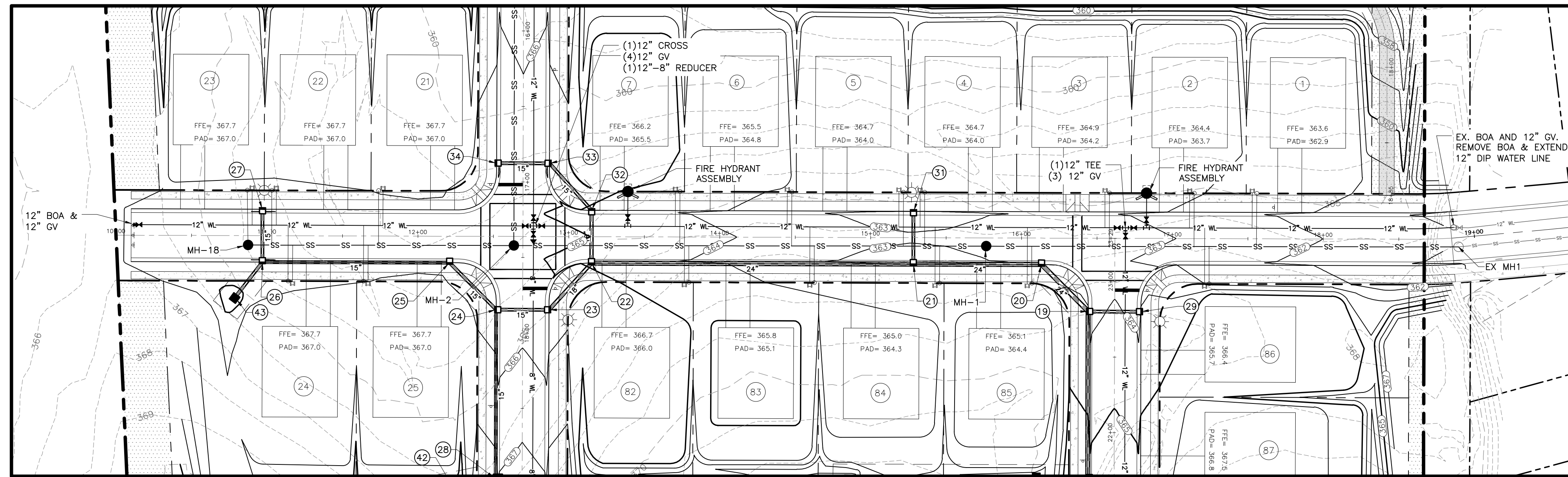
STAGE TWO
EROSION CONTROL
PLAN

DWG. NO. SITE 13

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04-17-24



WEAVER'S POINTE SUBDIVISION

**0 WEAVERS POND DRIVE
ZEBULON, NC**

ISSUED: 14 FEB 2024

REVISIONS:

17 APRIL 20124
PER TOWN/WAKE COUNTY REVIEW

DRAWN BY: JET
CHECKED BY: MLS

PROJECT: FDCWP9

**STREET A
PLAN & PROFILE**

DWG. NO. **SITE 14**

Public

Water Distribution / Extension System

The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # _____

Authorization to Construct _____

Date _____

Public

Sewer Collection / Extension System

The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # _____

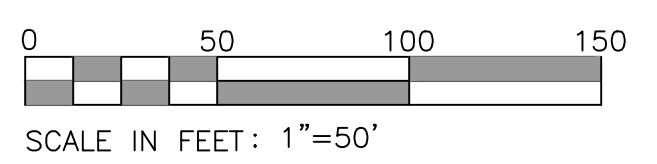
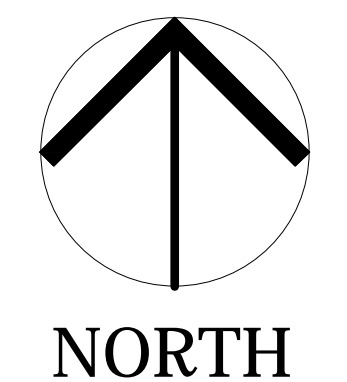
Authorization to Construct _____

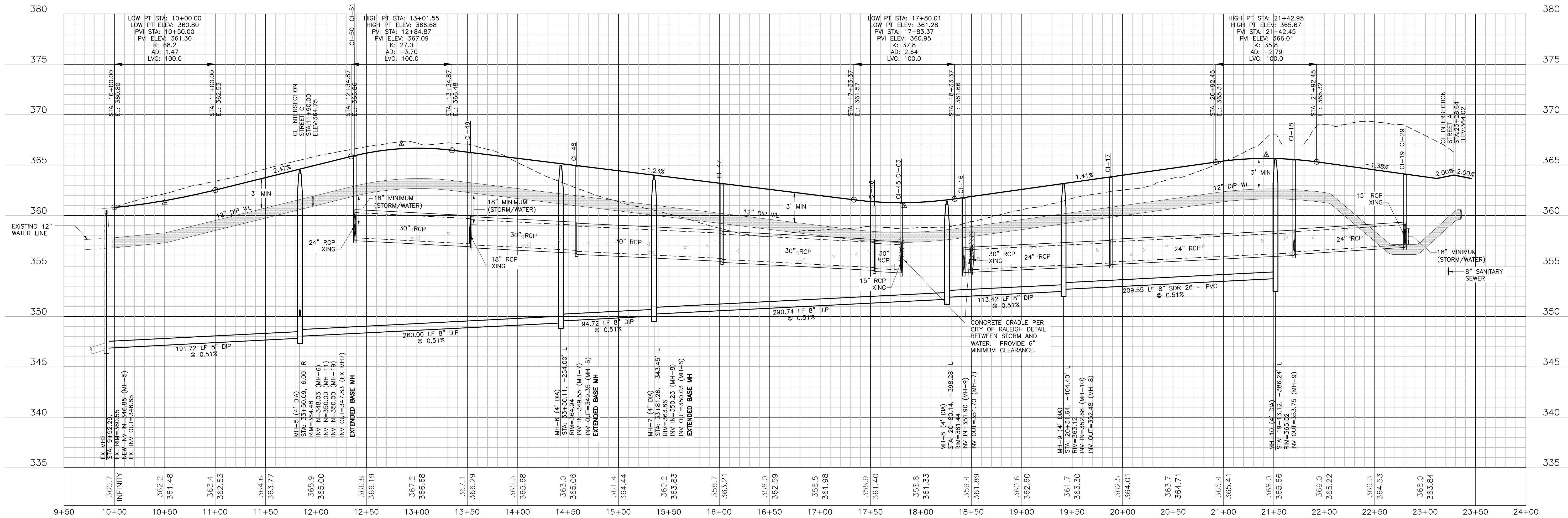
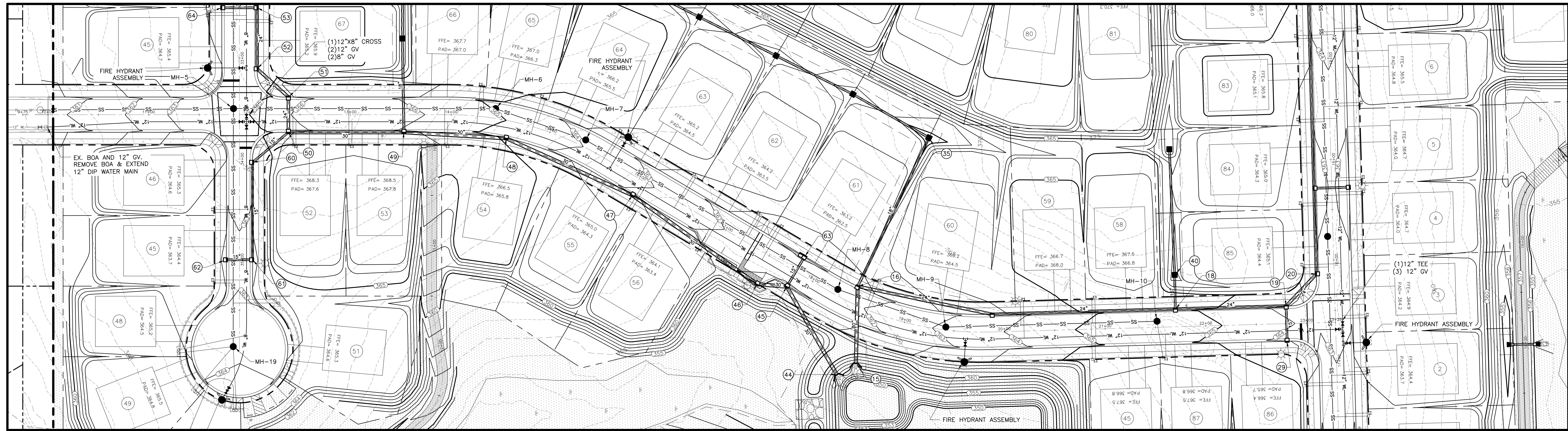
Date _____

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the *Public Utilities Department* at (919)996-4540 at least *twenty four hours* prior to beginning any of their construction.

Failure to call for inspection, install a downstream plug, have Permitted Plans on the jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.





Public
Water Distribution / Extension System

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City of Raleigh
Public Utilities Department Permit # _____

Authorization to Construct _____

Date _____

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Sewer Collection / Extension System

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City of Raleigh
Public Utilities Department Permit # _____

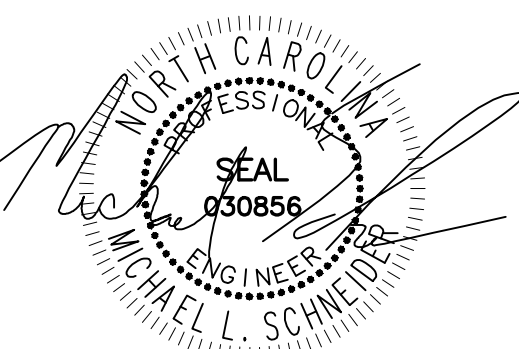
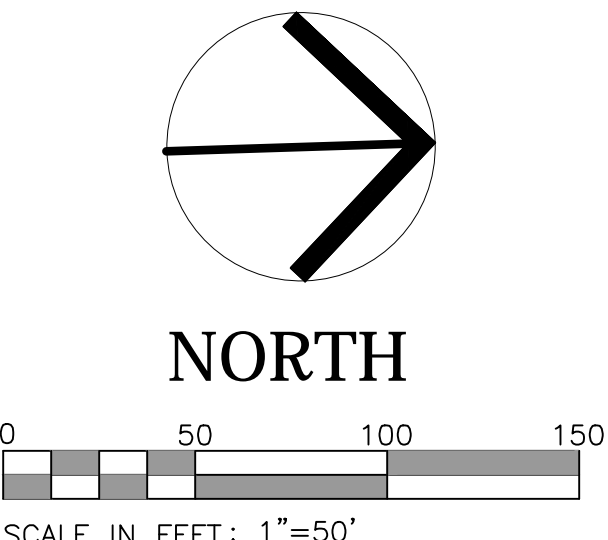
Authorization to Construct _____

Date _____

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04-17-24

WEAVER'S POINTE SUBDIVISION
0 WEAVER'S POND DRIVE
ZEBULON, NC

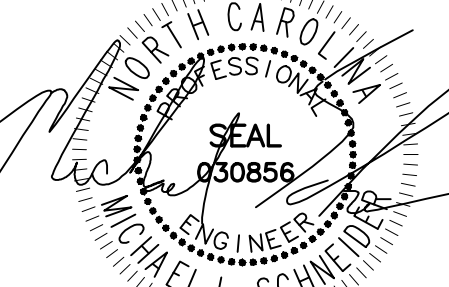
ISSUED: 14 FEB 2024

REVISIONS:
17 APRIL 20124
PER TOWN/WAKE COUNTY REVIEW

DRAWN BY: JET
CHECKED BY: MLS
PROJECT: FDCWP9

STREET B
PLAN & PROFILE

DWG. NO. **SITE 15.0**



04-17-24

WEAVER'S POINTE SUBDIVISION

0 WEAVERS POND DRIVE ZEBULON, NC

ISSUED: 14 FEB 2024

REVISIONS:

17 APRIL 20124
PER TOWN/WAKE COUNTY REVIEW

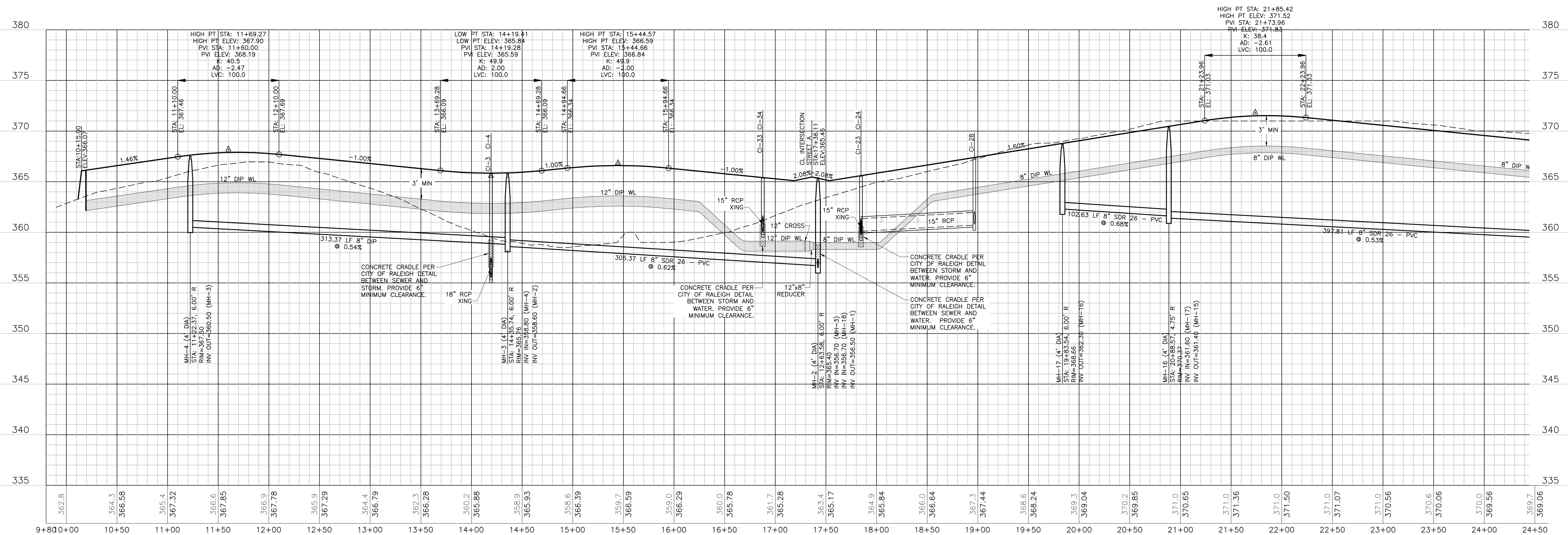
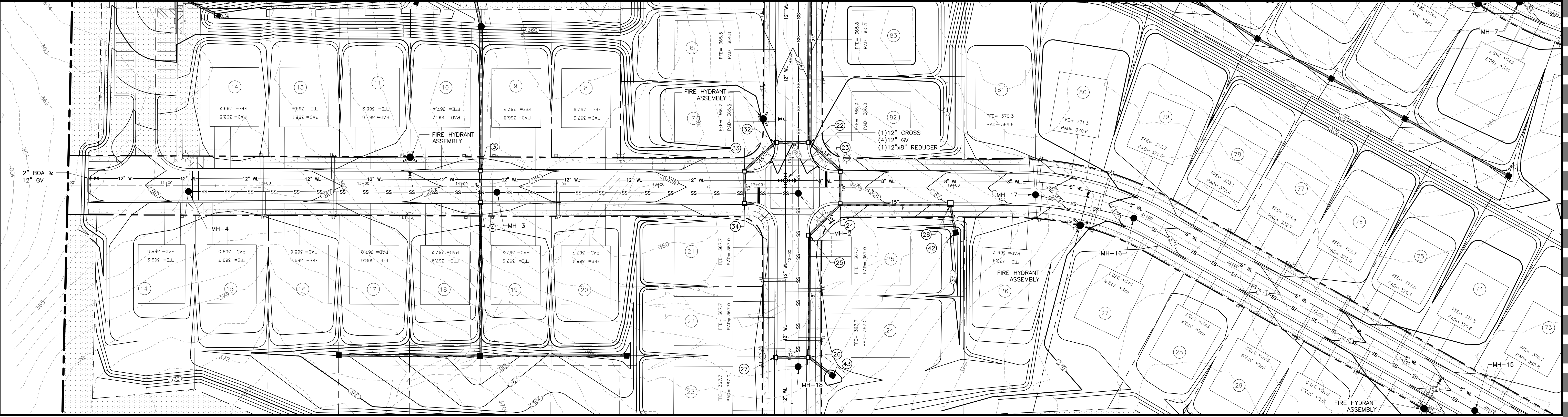
DRAWN BY: JET
CHECKED BY: MLS

PROJECT: FDCWP9

STREET C
PLAN & PROFILE
SHEET 1 OF 2

DWG. NO. SITE 16

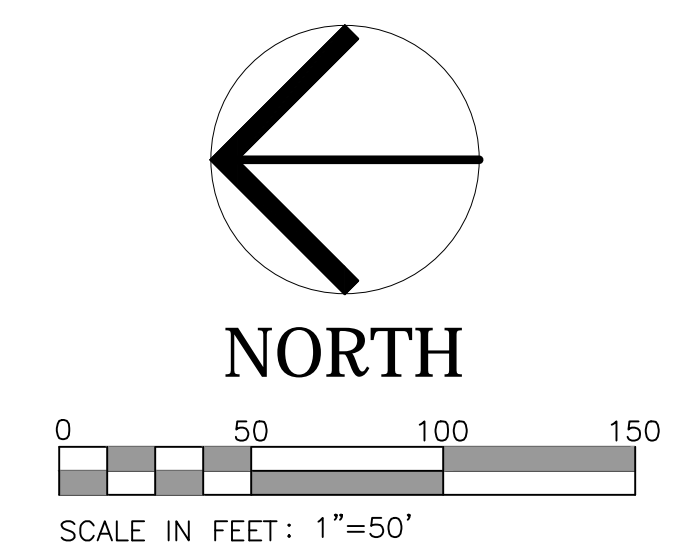
SEE NEXT SHEET

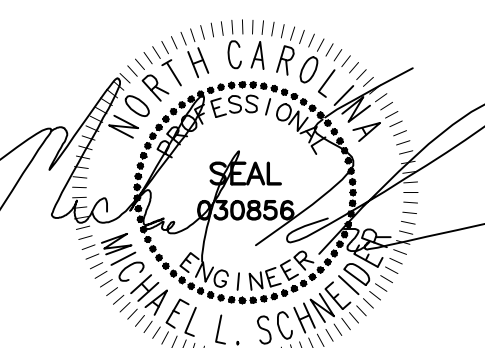


Public
Water Distribution / Extension System
The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.
City of Raleigh
Public Utilities Department Permit # _____
Authorization to Construct _____
Date _____

Public
Sewer Collection / Extension System
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City of Raleigh
Public Utilities Department Permit # _____
Authorization to Construct _____
Date _____

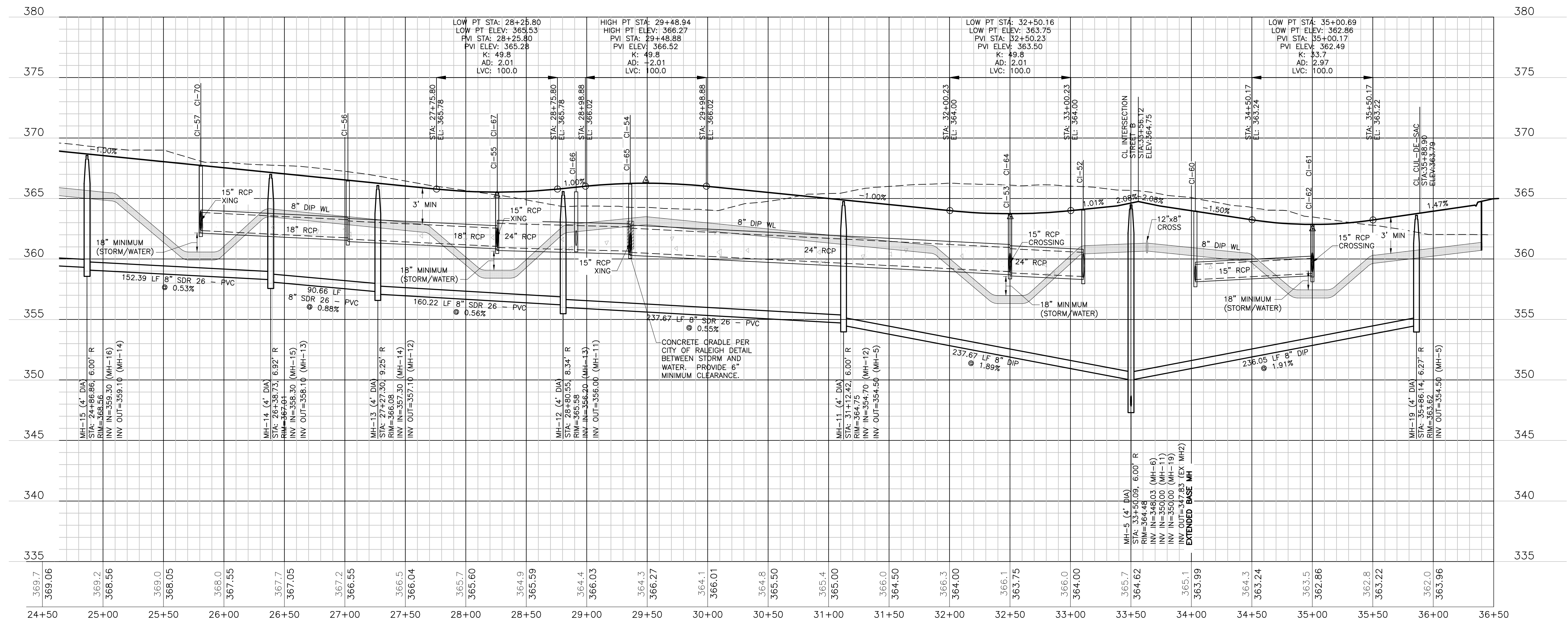
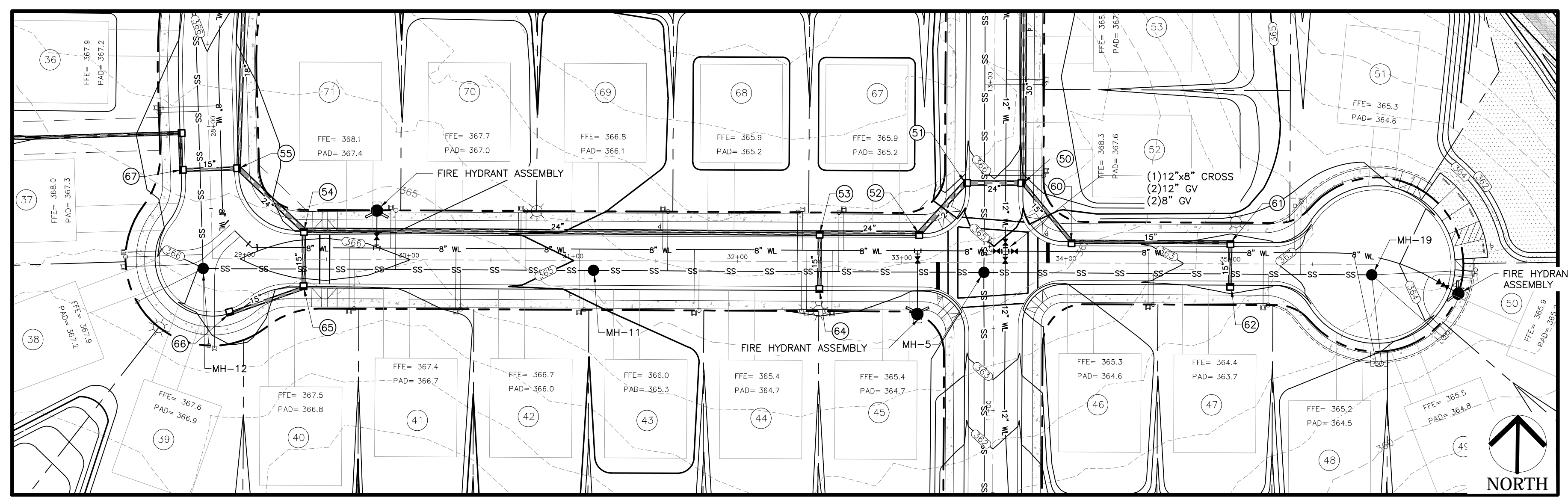
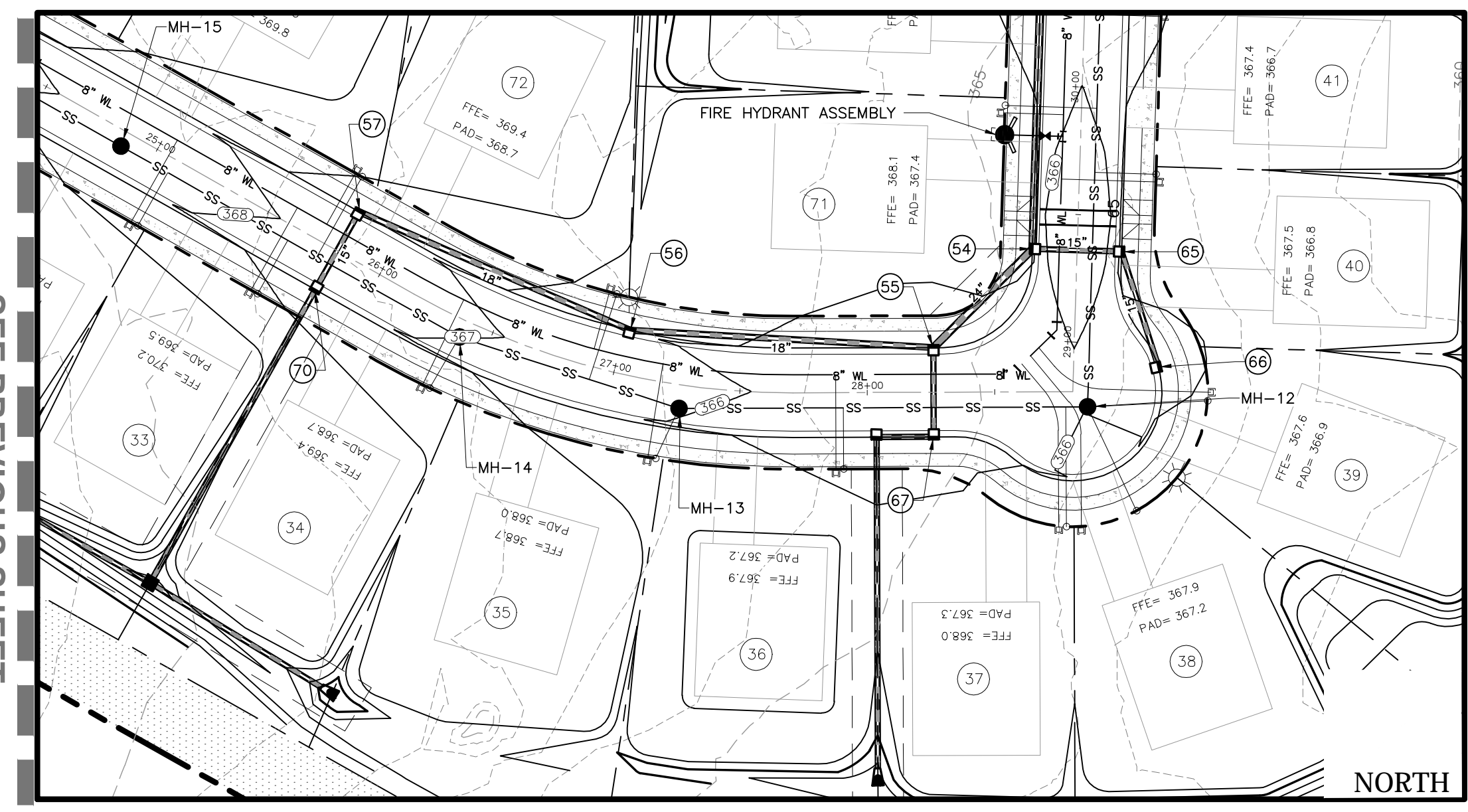
ATTENTION CONTRACTORS
The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Utilities Department at (919)996-4540 at least twenty four hours prior to beginning any of their construction.
Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.





04-17-24

SEE PREVIOUS SHEET



WEAVER'S POINTE SUBDIVISION

0 WEAVER'S POND DRIVE
 ZEBULON, NC

ISSUED: 14 FEB 2024

REVISIONS:
 17 APRIL 20124
 PER TOWN/WAKE COUNTY REVIEW

DRAWN BY: JET
 CHECKED BY: MLS
 PROJECT: FDCWP9

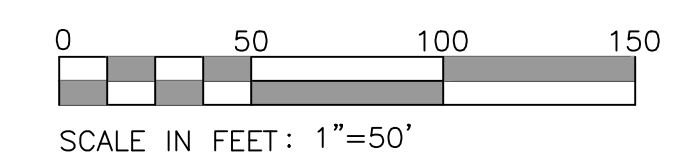
STREET C
 PLAN AND PROFILE
 SHEET 2 OF 2

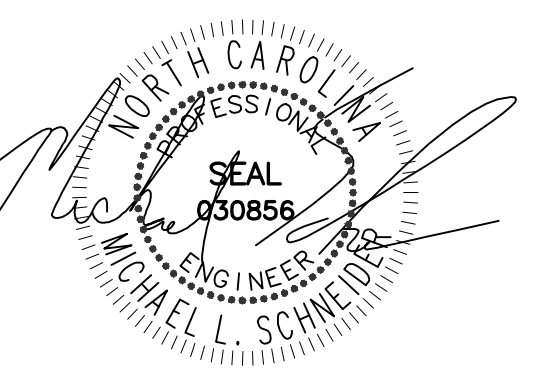
DWG. NO. SITE 17

Public
Water Distribution / Extension System
 The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.
 City of Raleigh
 Public Utilities Department Permit # _____
 Authorization to Construct _____
 Date _____

Public
Sewer Collection / Extension System
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 City of Raleigh
 Public Utilities Department Permit # _____
 Authorization to Construct _____
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02-17-24

WEAVER'S POINTE SUBDIVISION

**0 WEAVERS POND DRIVE
ZEBULON, NC**

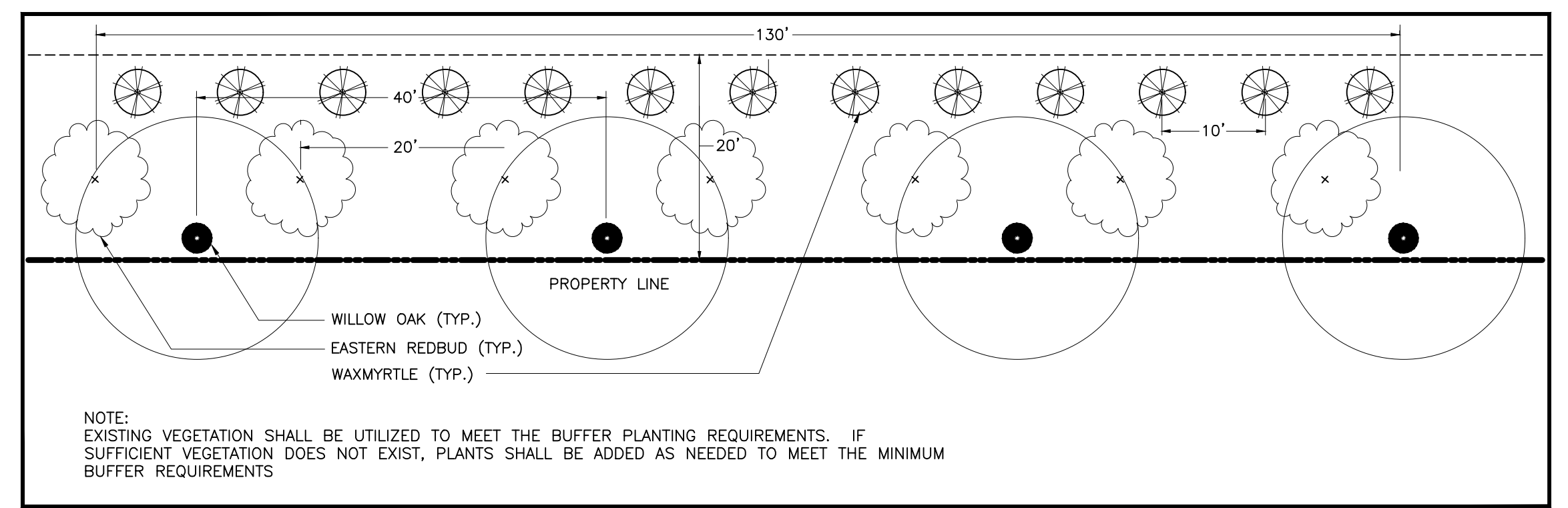
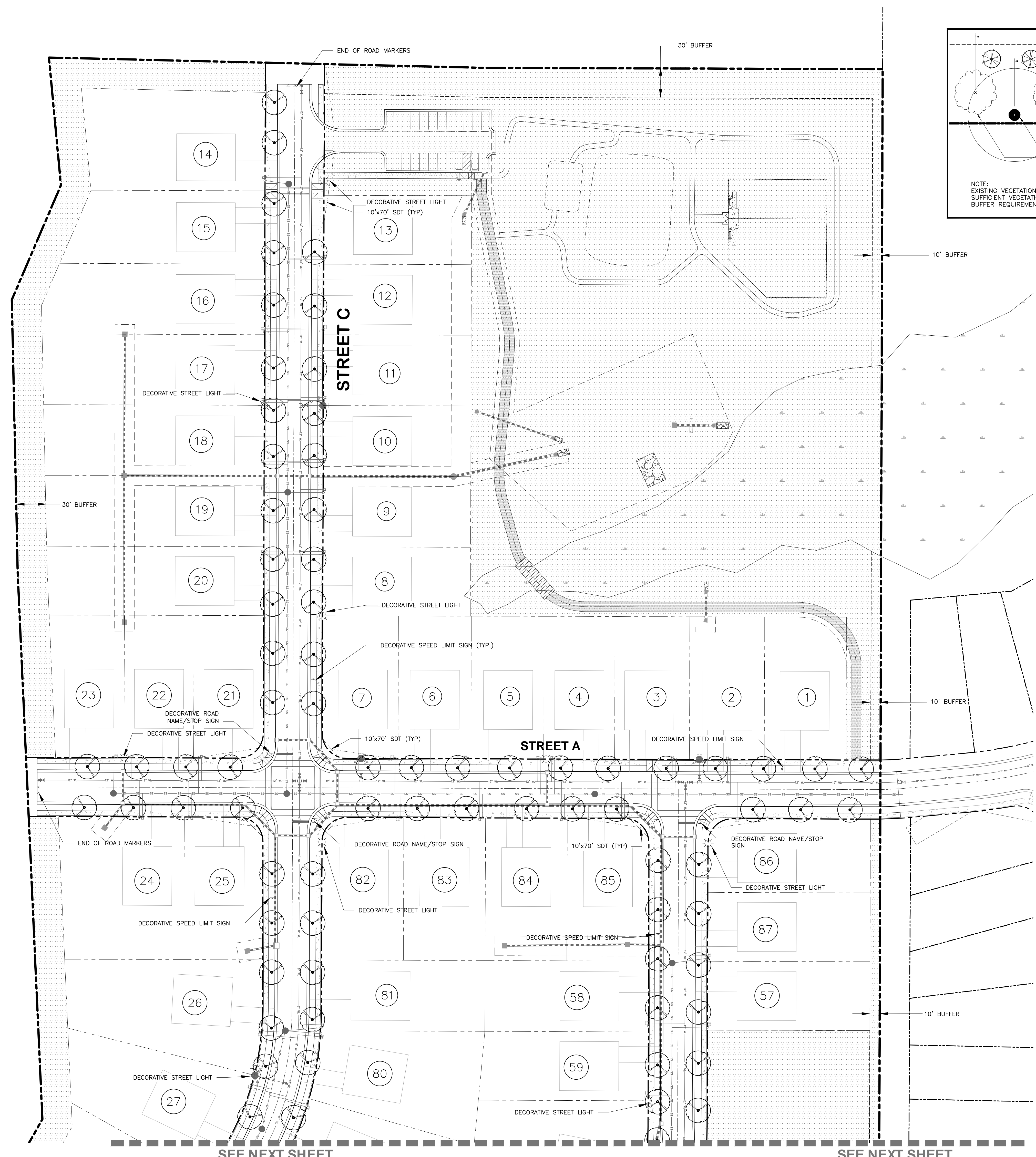
ISSUED: 14 FEB 2024

REVISIONS:
 17 APRIL 20124
 PER TOWN/WAKE COUNTY REVIEW

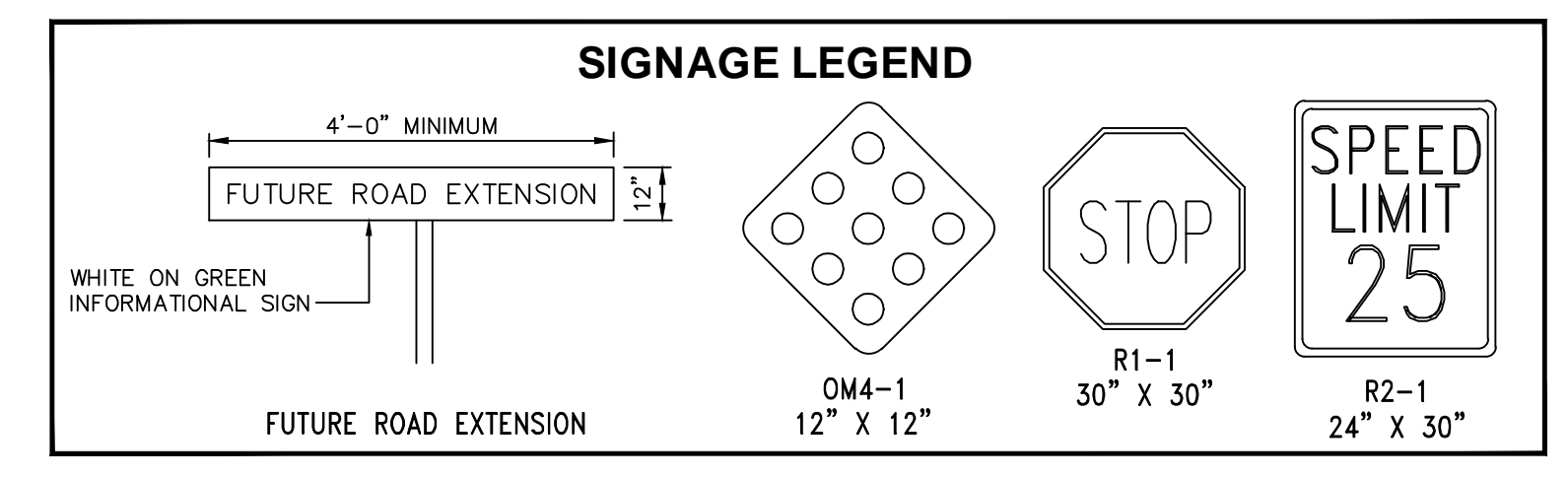
DRAWN BY: JET
 CHECKED BY: MLS
 PROJECT: FDCWP9

**LANDSCAPE AND LIGHTING
SHEET 1 OF 2**

DWG. NO. **SITE 18**



10' AND 30' PERIMETER BUFFER DETAIL

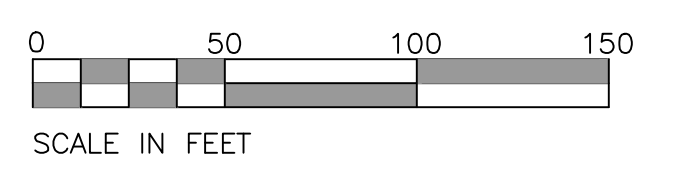


KEY	PLANT LIST		QUAN.	CAL.	HT.	ROOT	REMARKS
	BOTANICAL NAME	COMMON NAME					
STREET TREES							
QN	<i>Quercus nuttallii</i>	Nuttall Oak	57	2 1/2"	10-12'	B&B	STREET TREE
QS	<i>Quercus shumardii</i>	Shumard Oak	57	2 1/2"	10-12'	B&B	STREET TREE
UP	<i>Ulmus parvifolia 'Emer II'</i>	Chinese Lacebark Elm	57	2 1/2"	10-12'	B&B	STREET TREE

SYMBOLS: B&B = BALLED & BURLAPPED

LIGHTING NOTES
 FIXTURE TYPE: LED MITCHELL SERIES - 75 WATT (WITHOUT BANDING OR RIBBON)
 8.19 FIXTURE, 2.71 POLE (16' FIBERGLASS)
 TOTAL # OF FIXTURES = 19

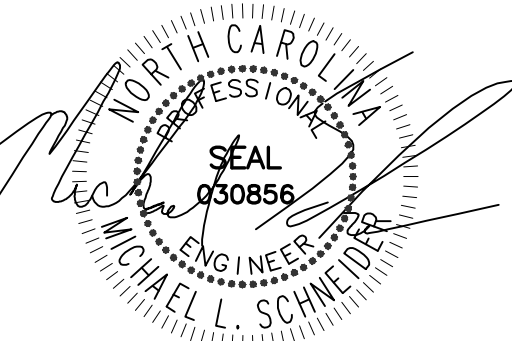
SIGNAGE NOTES
 1. ALL SIGNS SHALL USE PRISMATIC SHEETING THAT MEETS MINIMUM RETROREFLECTIVITY STANDARDS FOUND IN THE LATEST EDITION OF THE MUTCD.
 2. ALL SIGNS SHALL HAVE DECORATIVE POST PER DETAIL ON DETAIL SHEET.



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SEE NEXT SHEET

SEE NEXT SHEET



02-17-24

WEAVER'S POINTE SUBDIVISION

**0 WEAVERS POND DRIVE
 ZEBULON, NC**

ISSUED: 14 FEB 2024

REVISIONS:

▲ 17 APRIL 20124
 PER TOWN/WAKE COUNTY REVIEW

DRAWN BY: JET

CHECKED BY: MLS

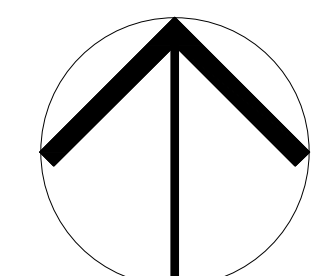
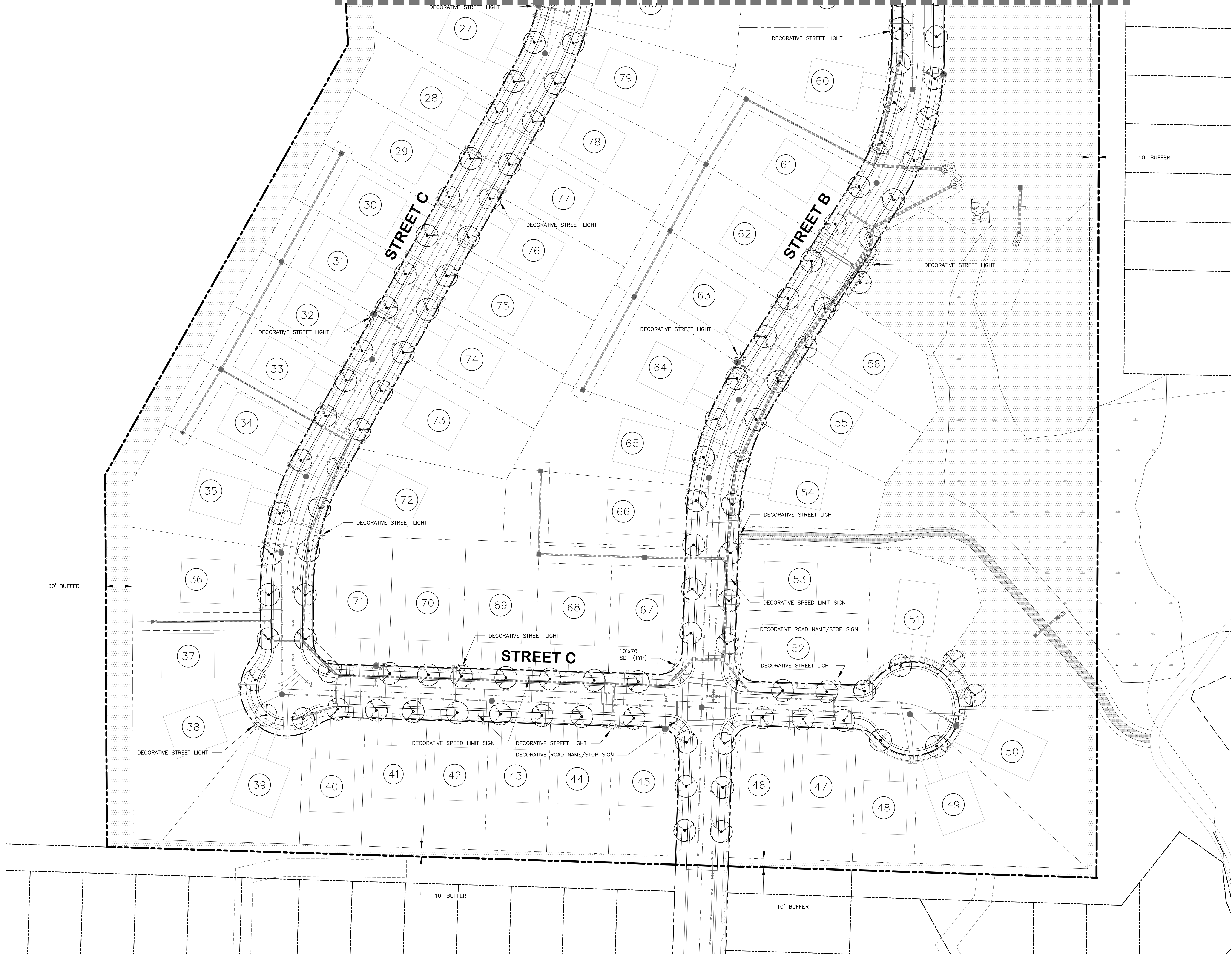
PROJECT: FDCWP9

**LANDSCAPE AND
 LIGHTING PLAN
 SHEET 2 OF 2**

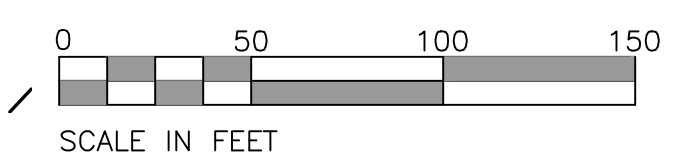
DWG. NO. **SITE 19**

SEE PREVIOUS SHEET

SEE PREVIOUS SHEET



NORTH



4/18/2024 9:23 AM C:\Sectors\LAND\02_DP_Studs\DP--TemporaryFiles-PotentialProj_no_number\24XXX_PLD--Weaver's Pointe_PLD--Weaver's Pointe-SP01.dwg

Town of Zebulon UDO Landscape & Screening Requirements
Project: Weaver's Pointe
Date: 04.16.2024 (Rev. ##.##.####)
UDO September 2023

Stormwater Control Measure Planting (SCM #1)				
Buffer Type:				Type A
Length of SCM				713 LF
Understory Trees Required (1.5 cal. 4' ht min. @ 4/100 LF)	713 x	0.04	=	28.5 EA
Understory Trees Provided (1.5 cal. 4' ht min. @ 4/100 LF)				28 EA
Shrubs Required (18" ht min., @ 15/100 LF)(Min. 50% Evergreen)	713 x	0.15	=	107.0 EA
Shrubs Provided (18" ht min., @ 15/100 LF)(Min. 50% Evergreen)				110 EA

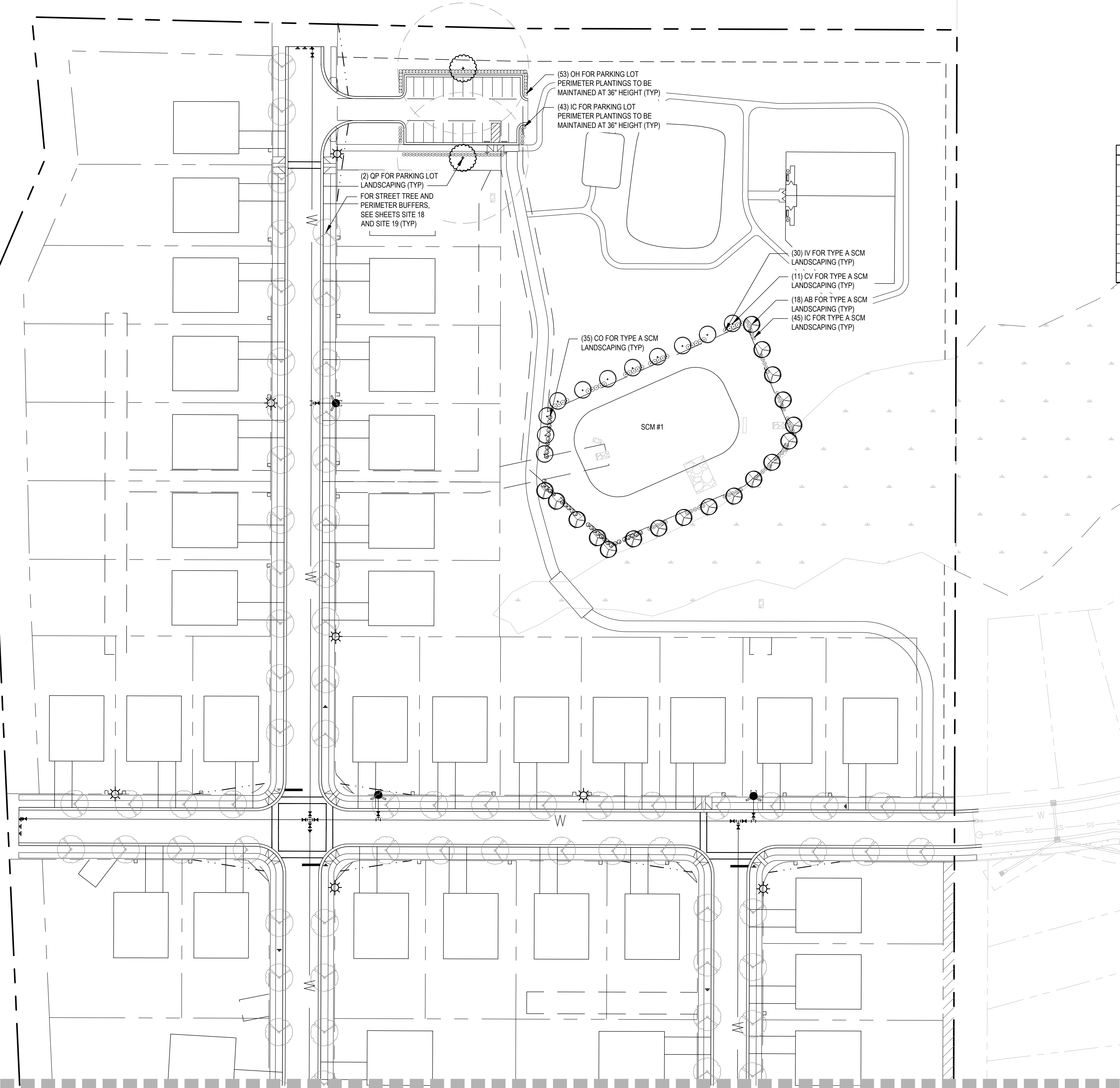
Stormwater Control Measure Planting (SCM #1)				
Buffer Type:				Type A
Length of SCM				877 LF
Understory Trees Required (1.5 cal. 4' ht min. @ 4/100 LF)	877 x	0.04	=	35.1 EA
Understory Trees Provided (1.5 cal. 4' ht min. @ 4/100 LF)				35 EA
Shrubs Required (18" ht min., @ 15/100 LF)(Min. 50% Evergreen)	877 x	0.15	=	131.6 EA
Shrubs Provided (18" ht min., @ 15/100 LF)(Min. 50% Evergreen)				133 EA

Parking Lot Landscaping				
Vehicular Parking Lot Spaces				23 EA
Shade Trees Required (2.5" cal. 8' ht min. @ 1/12 Spaces)	23 /	12		1.9 EA
Shade Trees Provided (2.5" cal. 8' ht min.)				2 EA
Perimeter Plantings - LF of parking lot				286 LF
Evergreen Shrubs Required (18" ht min., @ max. 3' o.c.)	286 /	3	=	95.3 EA
Evergreen Shrubs Provided (18" ht min., @ max. 3' o.c.)				96 EA

Every parking space must be within 60' radius from canopy tree trunk
 Unless otherwise stated, all plant sizes are the minimum at the time of planting.

PLANT LIST - L4.01

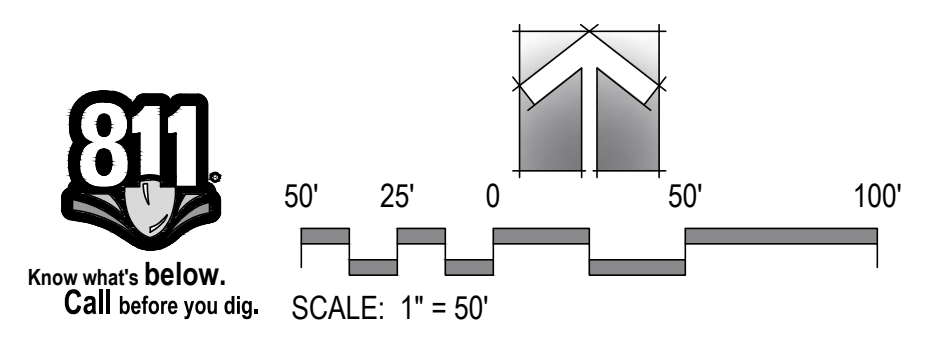
QTY	SYM	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT AT INSTALLATION	HEIGHT AT MATURITY	WIDTH AT MATURITY	REMARKS
T R E E S								
18	AB	Acer buergerianum 'Aeryn'	Aeryn Trident Maple	1.5" MIN	4' MIN	25-35'	20-30'	Understory - Type A Buffer
11	CV	Chionanthus virginicus	Fringetree	1.5" MIN	4' MIN	12-30'	12-20'	Understory - Type A Buffer
2	QP	Quercus phellos	Willow Oak	2.5" MIN	8' MIN	40-70'	25-50'	Street Tree
S H R U B S								
35	CO	Chamaecyparis obtusa 'Nana Gracilis'	Hinoki False-cypress		18" MIN	3'-6"	2'-4"	Type A Buffer
88	IC	Ilex cornuta 'Carissa'	Carissa Chinese Holly		18" MIN	3'-4"	4'-6"	Type A Buffer/Parking Shrubs
30	IV	Itea virginica	Virginia Sweetspire		18" MIN	4'-8"	3'-6"	Type A Buffer
53	OH	Osmanthus heterophyllus 'Goshiki'	Goshiki Holly Osmanthus		18" MIN	3'-5"	3'-5"	Parking Shrubs



SEE L9.01 FOR LANDSCAPE DETAILS.

Project ID: 1250338

PARKING LOT & SCM LANDSCAPE PLAN NORTH



SEE L4.02 FOR SOUTH PLAN

Developer
Weaver's Pointe Subdivision
 0 Weaver's Pointe Drive
 Zebulon, North Carolina 27597

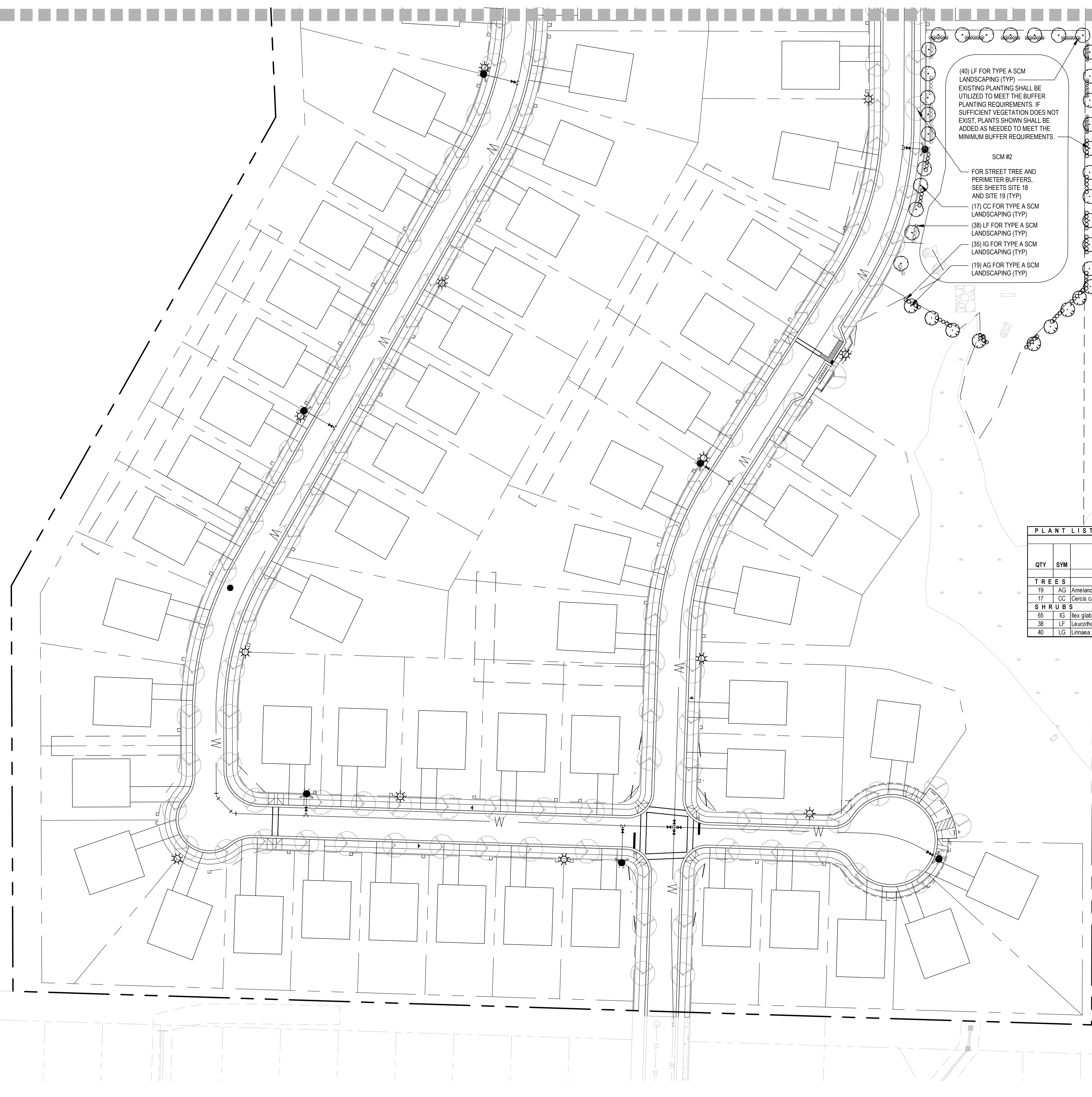


PROJECT:	PLD-24XXX	DATE:	
ISSUE:	Construction Documents	DATE:	02.14.2024
REVISIONS:	1st Review Comments	DATE:	04.19.2024
DRAWN BY:	MKP	CHECKED BY:	KT
CONTENT:	PARKING LOT & SCM LANDSCAPE PLAN NORTH		

L4.01

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SEE L4.01 FOR NORTH PLAN



(40) LF FOR TYPE A SCM LANDSCAPING (TYP)
EXISTING PLANTING SHALL BE UTILIZED TO MEET THE BUFFER PLANTING REQUIREMENTS. IF SUFFICIENT VEGETATION DOES NOT EXIST, PLANTS SHOWN SHALL BE ADDED AS NEEDED TO MEET THE MINIMUM BUFFER REQUIREMENTS.

SCM #2
FOR STREET TREE AND PERIMETER BUFFERS, SEE SHEETS SITE-18 AND SITE-19 (TYP)

(17) CC FOR TYPE A SCM LANDSCAPING (TYP)
(38) LF FOR TYPE A SCM LANDSCAPING (TYP)
(35) IG FOR TYPE A SCM LANDSCAPING (TYP)
(19) AG FOR TYPE A SCM LANDSCAPING (TYP)

PLANT LIST - L4.02

QTY	SYM	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT AT INSTALLATION	HEIGHT AT MATURITY	WIDTH AT MATURITY	REMARKS
T R E E S								
19	AG	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	1.5" MIN	4' MIN	20'-25'	15'-20'	Understory - Type A Buffer
17	CC	Cercis canadensis	Eastern Redbud	1.5" MIN	4' MIN	20'-30'	25'-35'	Understory - Type A Buffer
S H R U B S								
65	IG	Ilex glabra 'Shamrock'	Shamrock Inkberry Holly		18" MIN	3'-5'	3'-5'	Type A Buffer
38	LF	Leucothoe fontanesiana	Dog Hobble		18" MIN	2'-6"	4'-8"	Type A Buffer
40	LG	Liriodendron x grandiflora	Glossy Abelia		18" MIN	2'-8"	3'-6"	Type A Buffer

Town of Zebulon UDO Landscape & Screening Requirements
Project: Weaver's Pointe
Date: 04.16.2024 (Rev. ###.###.####)
UDO September 2023

Buffer Type:	Length of SCM	Understory Trees Required (1.5 cal. 4' ht min. @ 4/100 LF)	Understory Trees Provided (1.5 cal. 4' ht min. @ 4/100 LF)	Shrubs Required (18" ht min., @ 15/100 LF)(Min. 50% Evergreen)	Shrubs Provided (18" ht min., @ 15/100 LF)(Min. 50% Evergreen)	Type A
Stormwater Control Measure Planting (SCM #1)	713 LF	28.5	29	107.0	110	EA
Stormwater Control Measure Planting (SCM #1)	877 LF	35.1	36	131.6	133	EA

Parking Lot Landscaping

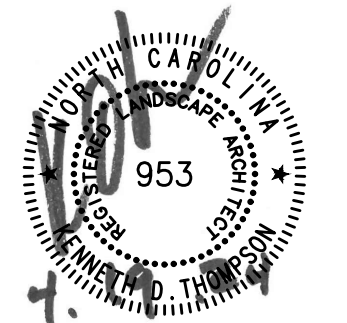
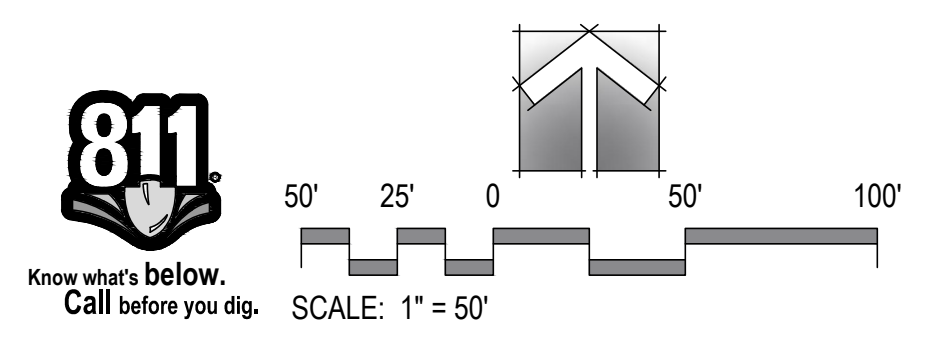
Requirement	Quantity	Type
Vehicular Parking Lot Spaces	23	EA
Shade Trees Required (2.5" cal. 8' ht min. @ 1/12 Spaces)	23 / 12	EA
Shade Trees Provided (2.5" cal. 8' ht min.)	2	EA
Perimeter Plantings - LF of parking lot	286 LF	EA
Evergreen Shrubs Required (18" ht min., @ max. 3' o.c.)	286 / 3	EA
Evergreen Shrubs Provided (18" ht min., @ max. 3' o.c.)	96	EA

Every parking space must be within 60' radius from canopy tree trunk
Unless otherwise stated, all plant sizes are the minimum at the time of planting.

SEE L9.01 FOR LANDSCAPE DETAILS.

Project ID: 1250338

PARKING LOT & SCM LANDSCAPE PLAN SOUTH



PROJECT:	PLD-24XXX	DATE:	
ISSUE:	Construction Documents	DATE:	02.14.2024
REVISIONS:	1st Review Comments	DATE:	04.19.2024
DRAWN BY:	MKP	CHECKED BY:	KT
CONTENT:	PARKING LOT & SCM LANDSCAPE PLAN SOUTH		

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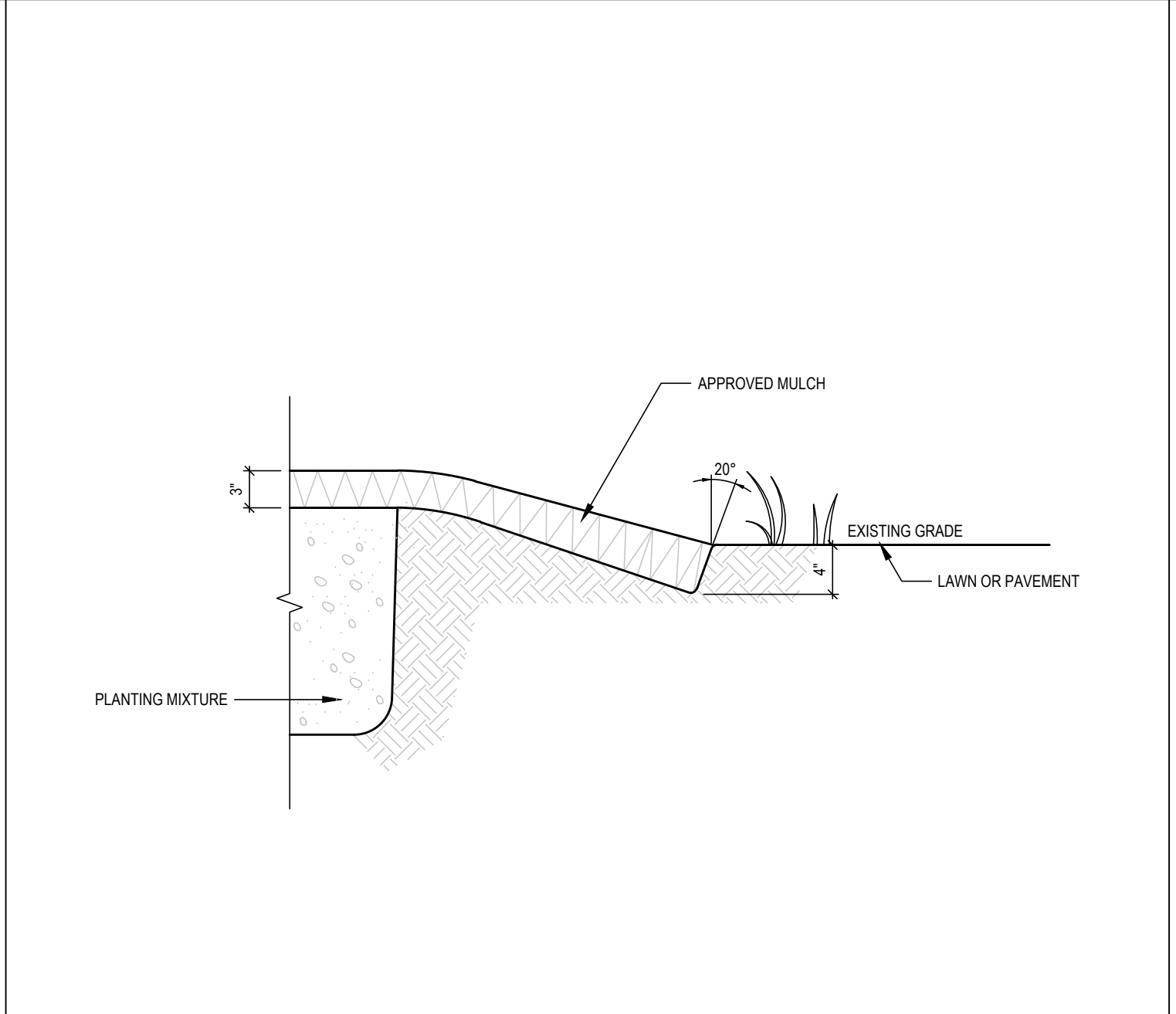
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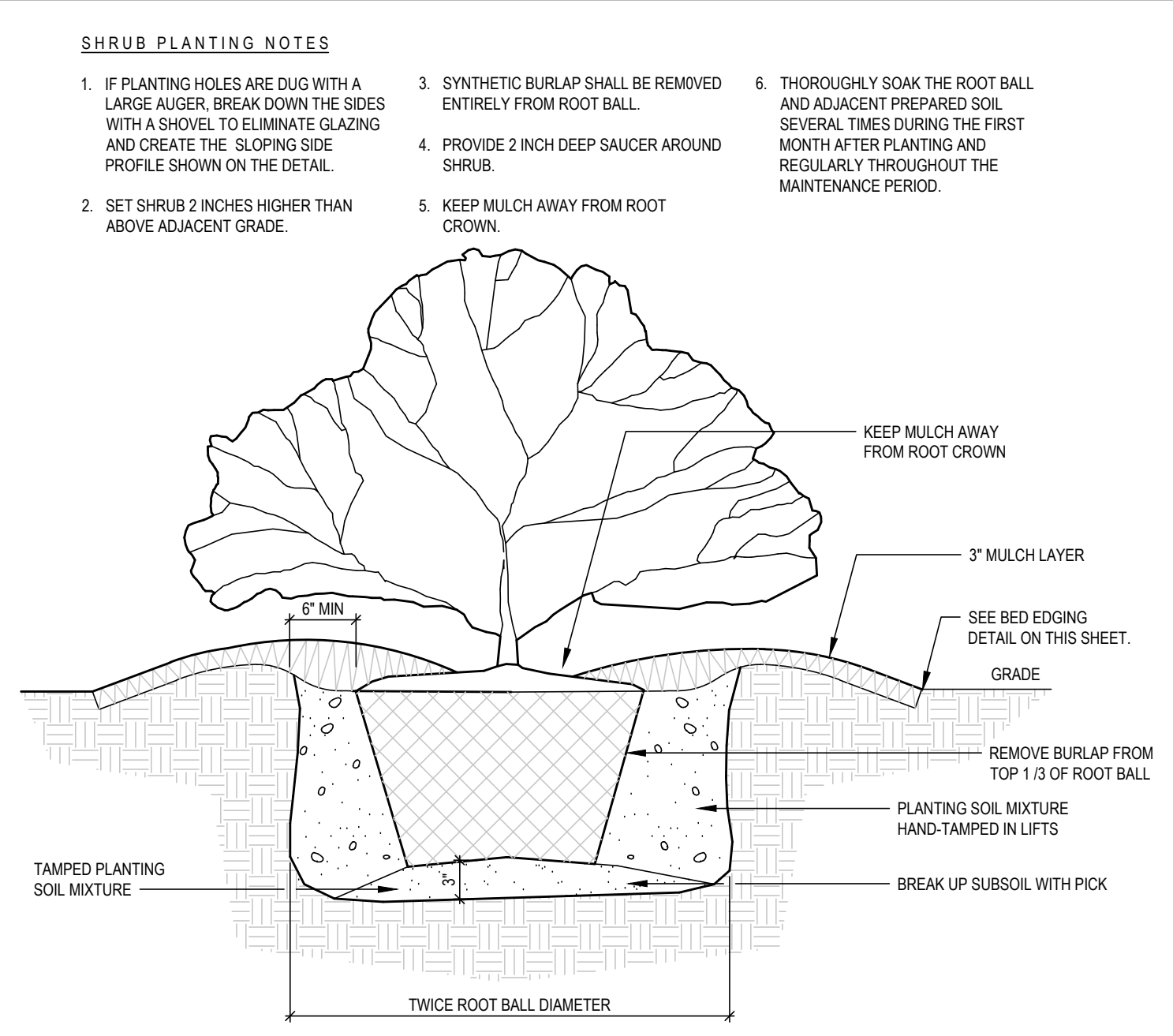
LANDSCAPE NOTES:

- CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF UTILITIES PRIOR TO INSTALLATION
- THE PLAN DEPICTS REQUIRED PLANTINGS REQUIRED BY THE TOWN OF ZEBULON.
- ALL PLANT MATERIAL TO COMPLY WITH AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- ALL PLANTS TO BE COMPACT, UNIFORM AND WELL GROWN.
- LOCATION OF PLANT MATERIAL TO BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL CONSTRUCTION TO CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF RALEIGH.
- ALL PLANTING BEDS ARE TO BE MULCHED TO A DEPTH OF 3 INCHES, WITH AGED TRIPLE SHREDDED HARDWOOD MULCH FROM A SINGLE SOURCE COMMERCIAL VENDOR WITH A MAXIMUM PARTICLE SIZE OF 2 INCHES, FREE OF WEED SEED AND WASTE MATERIALS. NO PINE STRAW PERMITTED. KEEP MULCH 4 TO 6 INCHES AWAY FROM TREE TRUNKS OR STEMS.
- ALL LAWN AREAS TO BE SEEDED OR/AND SODDED AS PER MANUFACTURE'S SPECIFICATIONS. REFER TO LANDSCAPE PLAN(S). ALL DISTURBED AREA SHALL EITHER BE MULCH OR LAWN.
- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.
- HVAC EQUIPMENT AND UTILITY DEVICES (TO INCLUDE, BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW-DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE OR WALL.
- ALL CONFLICTS BETWEEN PROPOSED LANDSCAPE, UTILITIES AND STORMWATER WILL BE RESOLVED PRIOR TO APPLICATION FOR BUILDING PERMITS. UTILITY AND STORMWATER PLANS DEPICTED IN THIS SUBMITTAL ARE PRELIMINARY AND ARE SUBJECT TO CHANGE WITH THE DEVELOPMENT OF CONSTRUCTION DOCUMENTS.
- ALL STREET TREES SHALL BE PLANTED IN ACCORDANCE WITH TOWN OF ZEBULON STANDARDS
- MIN. 20' DISTANCE SHALL BE PROVIDED BETWEEN LIGHT POLES AND TREE TRUNKS.
- TREES SHALL BE 30' MIN FROM STOP SIGNS AND 10' MIN FROM DRIVEWAYS AND UTILITY POLES.
- TREES SHALL NOT BE IN THE CURVE TRANSITIONING FROM ONE STREET TO ANOTHER.
- TREES WITHIN 20 FT. OF OVERHEAD POWER LINE(S) SHOULD BE UNDERSTORY TREES.
- CONTRACTOR SHALL NOT PLANT TREES/SHRUBS AT ANY LOCATION WHERE THEY WILL INTERFERE WITH PEDESTRIANS EXITING AUTOS PARKED IN PARALLEL SPACES.
- A TREE IMPACT PERMIT IS REQUIRED FOR TREES INSTALLED IN THE PUBLIC RIGHT-OF-WAY PRIOR TO ISSUANCE OF ANY BUILDING PERMITS.
- THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).

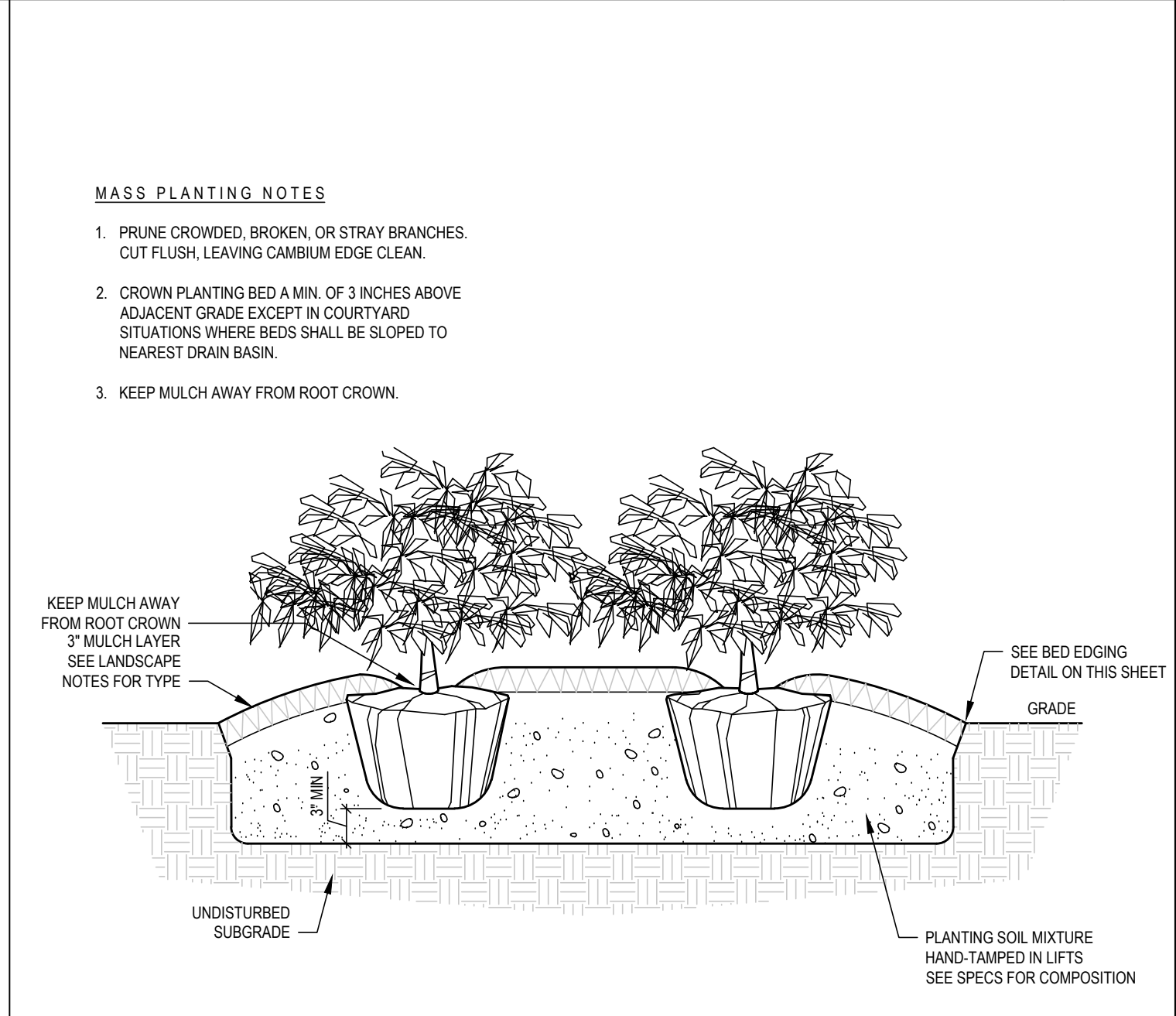
LANDSCAPE NOTES
SCALE: NTS 4



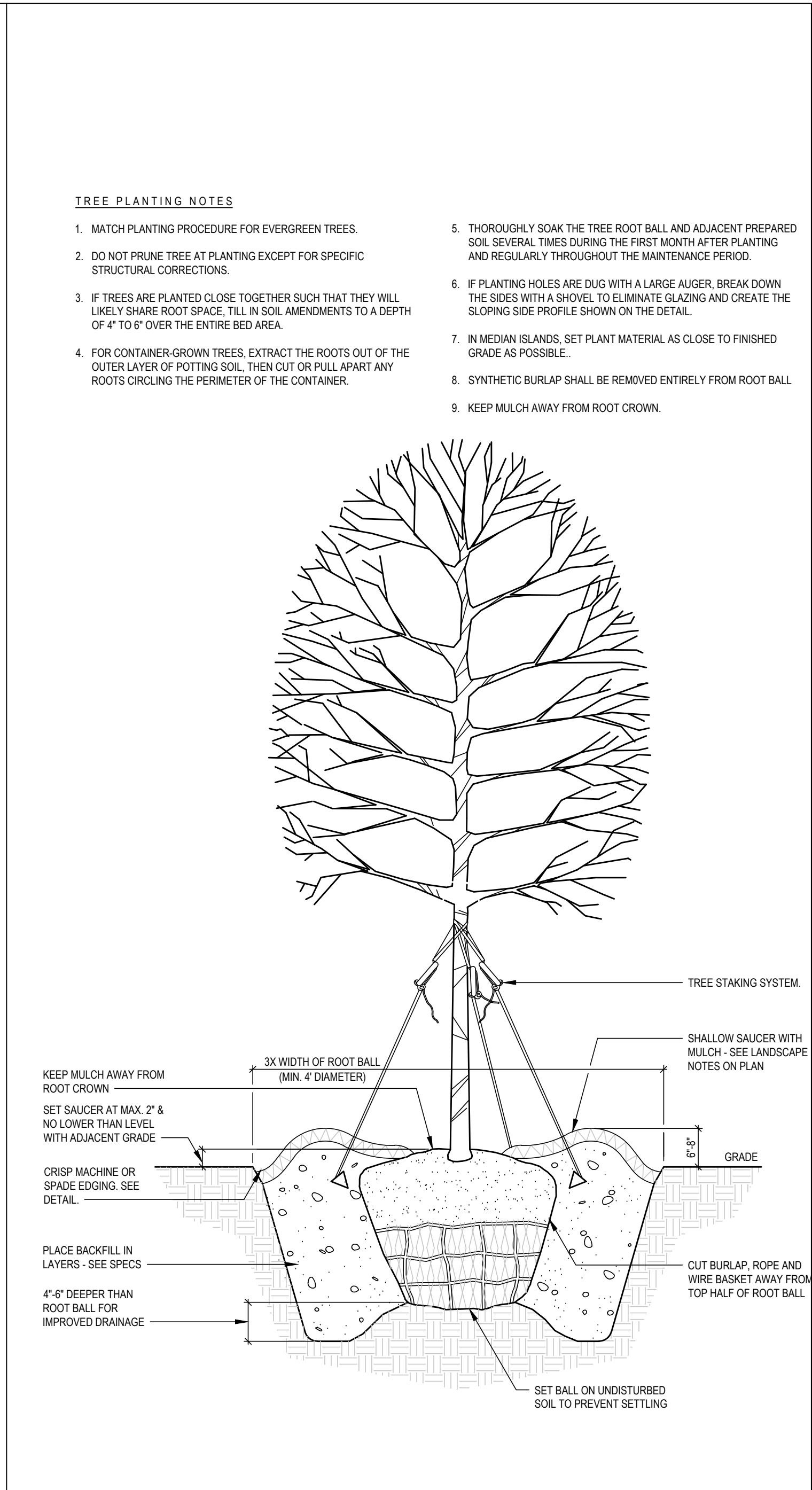
BED EDGING
SCALE: NTS 3



B & B SHRUB INSTALLATION
SCALE: NTS 2

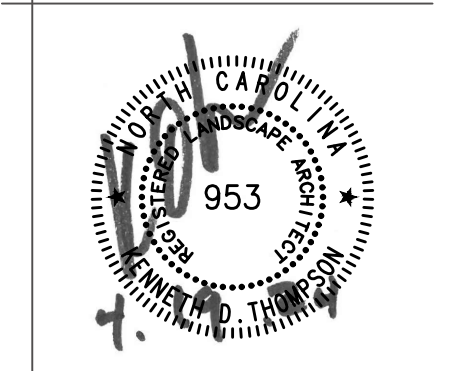


CONTAINER PLANT INSTALLATION
SCALE: NTS 1



TREE INSTALLATION (NOT FOR STREET TREES)
SCALE: NTS 5

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PROJECT:	PLD-24XXX	DATE	
ISSUE:	Construction Documents	02.14.2024	
REVISIONS:	1st Review Comments	04.19.2024	
DRAWN BY:	MKP		
CHECKED BY:	KT		
CONTENT:	LANDSCAPE DETAILS AND NOTES		

STRUCTURE SCHEDULE				
STRUCTURE	RIM	STRUCTURE TYPE	INV IN	INV OUT
SCM #2 RISER	N/A	YI		353.90 (30")
SCM #1 RISER	N/A	YI		353.90 (24")
1	N/A	FES	354.00 (24")	
2	359.00	JB	354.70 (24")	354.60 (24")
3	365.78	CI	355.60 (18")	355.50 (24")
4	365.78	CI	355.90 (18")	355.80 (18")
5	360.05	YI	356.80 (15") 356.80 (15")	356.70 (18")
6	361.00	YI		357.60 (15")
7	363.00	YI		357.60 (15")
8	N/A	FES	354.00 (15")	
9	N/A	FES		355.00 (15")
10	N/A	FES	360.00 (15")	
11	363.90	CI		360.30 (15")
12	N/A	FES	353.80 (15")	
13	N/A	FES		354.00 (15")
14	N/A	FES	353.60 (24")	
15	N/A	HW	354.00 (30")	
16	361.70	CI	354.60 (24") 354.60 (18")	354.50 (30")
17	363.78	CI	355.40 (24")	355.30 (24")
18	365.49	CI	356.40 (24") 356.40 (15")	356.30 (24")
19	364.05	CI	357.20 (24") 357.20 (15")	357.10 (24")
20	363.43	CI	357.60 (24")	357.50 (24")
21	363.01	CI	358.20 (24") 358.20 (15")	358.10 (24")
22	364.93	CI	359.40 (18") 359.40 (18")	359.30 (24")
23	365.53	CI	359.80 (15")	359.70 (18")
24	365.53	CI	360.10 (15") 360.10 (15")	360.00 (15")
25	365.70	CI	360.50 (15")	360.40 (15")
26	365.32	CI	361.25 (15") 361.20 (15")	361.15 (15")
27	365.32	CI		361.45 (15")
28	367.32	CI	360.80 (15")	360.70 (15")
29	364.05	CI		357.40 (15")
31	363.01	CI		358.40 (15")
32	364.93	CI	359.70 (15")	359.60 (18")
33	365.34	CI	360.10 (15")	360.00 (15")
34	365.34	CI		360.30 (15")
35	359.60	YI	355.60 (15")	355.50 (18")
36	360.00	YI	356.20 (15")	356.10 (15")
37	361.00	YI	356.80 (15")	356.70 (15")
38	362.00	YI	358.00 (15")	357.90 (15")
39	363.00	YI		359.00 (15")
40	361.00	YI	356.70 (15")	356.60 (15")
41	360.00	YI		357.40 (15")
42	365.00	YI		361.00 (15")
43	364.00	YI		361.50 (15")
44	N/A	HW	354.00 (30")	
45	361.22	CI	354.70 (15") 354.60 (30")	354.50 (30")
46	360.94	CI	354.85 (30")	354.75 (30")
47	363.12	CI	355.75 (30")	355.65 (30")
48	364.84	CI	356.55 (30")	356.45 (30")
49	366.19	CI	357.20 (30") 357.20 (18")	357.10 (30")
50	365.88	CI	357.90 (15") 357.90 (24")	357.80 (30")
51	365.88	CI	358.20 (24")	358.10 (24")
52	364.04	CI	358.55 (24")	358.45 (24")
53	363.69	CI	358.95 (24") 358.95 (15")	358.85 (24")
54	366.18	CI	360.65 (24") 360.65 (15")	360.55 (24")

STRUCTURE SCHEDULE				
STRUCTURE	RIM	STRUCTURE TYPE	INV IN	INV OUT
55	365.47	CI	361.05 (18") 361.05 (15")	360.95 (24")
56	366.44	CI	361.75 (18")	361.65 (18")
57	367.68	CI	362.45 (15")	362.35 (18")
60	363.97	CI	358.30 (15")	358.20 (15")
61	362.89	CI	359.00 (15")	358.80 (15")
62	362.89	CI		359.20 (15")
63	361.22	CI		354.90 (15")
64 *	363.69	CI		359.20 (15")
65	366.18	CI	360.85 (15")	360.85 (15")
66	365.55	CI		361.10 (15")
67	365.47	CI	361.35 (15")	361.25 (15")
68	365.53	CI	361.60 (15")	361.50 (15")
69	N/A	FES		363.00 (15")
70	367.68	CI	362.75 (15")	362.65 (15")
71	365.80	YI	363.55 (15") 363.55 (15")	363.45 (15")
72	367.00	YI	364.35 (15")	364.25 (15")
73	368.50	YI		365.05 (15")
74	N/A	FES		364.00 (15")
75	362.00	YI	357.85 (18")	357.75 (18")
76	362.77	YI	358.60 (15")	358.50 (18")
77	363.27	YI		359.10 (15")
78	N/A	FES	352.00 (15")	
79	N/A	FES		353.00 (15")
80	N/A	FES	353.60 (30")	

* CI-64 IS A DOUBLE CURB INLET

PIPE SCHEDULE							
UPSTREAM STRUCTURE	DOWNSTREAM STRUCTURE	UPSTREAM INVERT	DOWNSTREAM INVERT	SIZE (IN)	LENGTH (FT)	SLOPE	MATERIAL
SCM #1 RISER	14	353.90	353.60	24	42	0.72%	CLASS III RCP
SCM #2 RISER	80	353.90	353.60	30	53	0.57%	CLASS III RCP
2	1	354.60	354.00	24	108	0.56%	CLASS III RCP
3	2	355.50	354.70	24	145	0.55%	CLASS III RCP
4	3	355.80	355.60	18	35	0.57%	CLASS III RCP
5	4	356.70	355.90	18	155	0.52%	CLASS III RCP
6	5	357.60	356.80	15	149	0.54%	CLASS III RCP
7	5	357.60	356.80	15	144	0.56%	CLASS III RCP
9	8	355.00	354.00	15	86	1.17%	CLASS III RCP
11	10	360.30	360.00	15	48	0.62%	CLASS III RCP
13	12	354.00	353.80	15	33	0.61%	CLASS III RCP
16	15	354.50	354.00	30	76	0.66%	CLASS III RCP
17	16	355.30	354.60	24	136	0.51%	CLASS III RCP
18	17	356.30	355.40	24	182	0.50%	CLASS III RCP
19	18	357.10	356.40	24	110	0.64%	CLASS III RCP
20	19	357.50	357.20	24	44	0.68%	CLASS III RCP
21	20	358.10	357.60	24	85	0.59%	CLASS III RCP
22	21	359.30	358.20	24	213	0.52%	CLASS III RCP
23	22	359.70	359.40	18	42	0.72%	CLASS III RCP
24	23	360.00	359.80	15	35	0.57%	CLASS III RCP
25	24	360.40	360.10	15	44	0.68%	CLASS III RCP
26	25	361.15	360.50	15	124	0.52%	CLASS III RCP
27	26	361.45	361.25	15	35	0.57%	CLASS III RCP
28	24	360.70	360.10	15	112	0.54%	CLASS III RCP
29	19	357.40	357.20	15	35	0.57%	CLASS III RCP
31	21	358.40	358.20	15	35	0.57%	CLASS III RCP
32	22	359.60	359.40	18	35	0.57%	CLASS III RCP
33	32	360.00	359.70	15	42	0.72%	CLASS III RCP
34	33	360.30	360.10	15	35	0.57%	CLASS III RCP
35	16	355.50	354.60	18	163	0.55%	CLASS III RCP
36	35	356.10	355.60	15	87	0.58%	CLASS III RCP
37	36	356.70	356.20	15	85	0.59%	CLASS III RCP
38	37	357.90	356.80	15	85	1.29%	CLASS III RCP
39	38	359.00	358.00	15	121	0.83%	CLASS III RCP
40	18	356.60	356.40	15	34	0.59%	CLASS III RCP
41	40	357.40	356.70	15	125	0.56%	CLASS III RCP
42	28	361.00	360.80	15	28	0.70%	CLASS III RCP
43	26	361.50	361.20	15	30	1.00%	CLASS III RCP
45	44	354.50	354.00	30	100	0.50%	CLASS III RCP
46	45	354.75	354.60	30	30	0.51%	CLASS III RCP
47	46	355.65	354.85	30	152	0.53%	CLASS III RCP
48	47	356.45	355.75	30	138	0.51%	CLASS III RCP
49	48	357.10	356.55	30	102	0.54%	CLASS III RCP
50	49	357.80	357.20	30	115	0.52%	CLASS III RCP
51	50	358.10	357.90	24	35	0.57%	CLASS III RCP
52	51	358.45	358.20	24	42	0.60%	CLASS III RCP
53	52	358.85	358.55	24	61	0.50%	CLASS III RCP
54	53	360.55	358.95	24	314	0.51%	CLASS III RCP
55	54	360.95	360.65	24	55	0.55%	CLASS III RCP
56	55	361.65	361.05	18	119	0.50%	CLASS III RCP
57	56	362.35	361.75	18	116	0.52%	CLASS III RCP
60	50	358.20	357.90	15	46	0.65%	CLASS III RCP
61	60	358.80	358.30	15	97	0.52%	CLASS III RCP
62	61	359.20	359.00	15	26	0.77%	CLASS III RCP
63	45	354.90	354.70	15	35	0.57%	CLASS III RCP
64	53	359.20	358.95	15	35	0.71%	CLASS III RCP
65	54	360.85	360.65	15	35	0.57%	CLASS III RCP
66	65	361.10	360.85	15	47	0.53%	CLASS III RCP
67	55	361.25	361.05	15	35	0.57%	CLASS III RCP
68	67	361.50	361.35	15	22	0.67%	CLASS III RCP
69	68	363.00	361.60	15	137	1.02%	CLASS III RCP
70	57	362.65	362.45	15	35	0.57%	CLASS III RCP
71	70	363.45	362.75	15	132	0.53%	CLASS III RCP
72	71	364.25	363.55	15	140	0.50%	CLASS III RCP
73	72	365.05	364.35	15	140	0.50%	CLASS III RCP
74	71	364.00	363.55	15	85	0.53%	CLASS III RCP
75	49	357.75	357.20	18	93	0.59%	CLASS III RCP
76	75	358.50	357.85	18	120	0.54%	CLASS III RCP
77	76	359.10	358.60	15	94	0.53%	CLASS III RCP
79	78	353.00	352.00	15	35	2.84%	CLASS III RCP

ENERGY DISSIPATER SCHEDULE				
DOWNSTREAM STRUCTURE	SIZE (IN)	VELOCITY (FPS)	RIP RAP TYPE	L X W X THK
1	24	5.38	CLASS B (D50=6")	12' X 6' X 18"
8	15	5.70	CLASS B (D50=6")	8' X 4' X 18"
10	15	4.15	CLASS B (D50=6")	8' X 4' X 18"
12	15	4.13	CLASS B (D50=6")	8' X 4' X 18"
14	24	6.13	CLASS B (D50=6")	12' X 6' X 18"
15	30	6.80	CLASS B (D50=6")	15' X 8' X 18"
44	30	5.92	CLASS B (D50=6")	15' X 8' X 18"
78	15	8.90	CLASS B (D50=6")	8' X 4' X 18"
80	30	6.31	CLASS B (D50=6")	15' X 8' X 18"

STRUCTURE TYPE NOTES

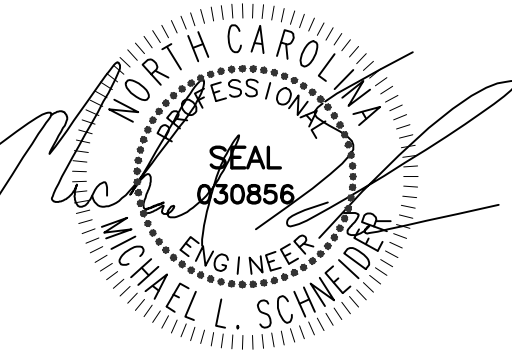
CI STD. CURB INLET PER ZEBULON DETAIL #33, SHEETS 1, 2 AND 3 OF 4

YI YARD INLET PER ZEBULON DETAIL #39

FES FLARED END SECTION PER ZEBULON DETAIL #35

HW CONCRETE HEAD WALL PER NCDOT STANDARD DETAIL

NOTES:
RIM ELEVATION IS AT TOP OF CURB FOR CB'S, AND TOP OF GRATE FOR YI'S



02-17-24

WEAVER'S POINTE SUBDIVISION

0 WEAVERS POND DRIVE
ZEBULON, NC

ISSUED: 14 FEB 2024

REVISIONS:

17 APRIL 20124
PER TOWN/WAKE COUNTY REVIEW

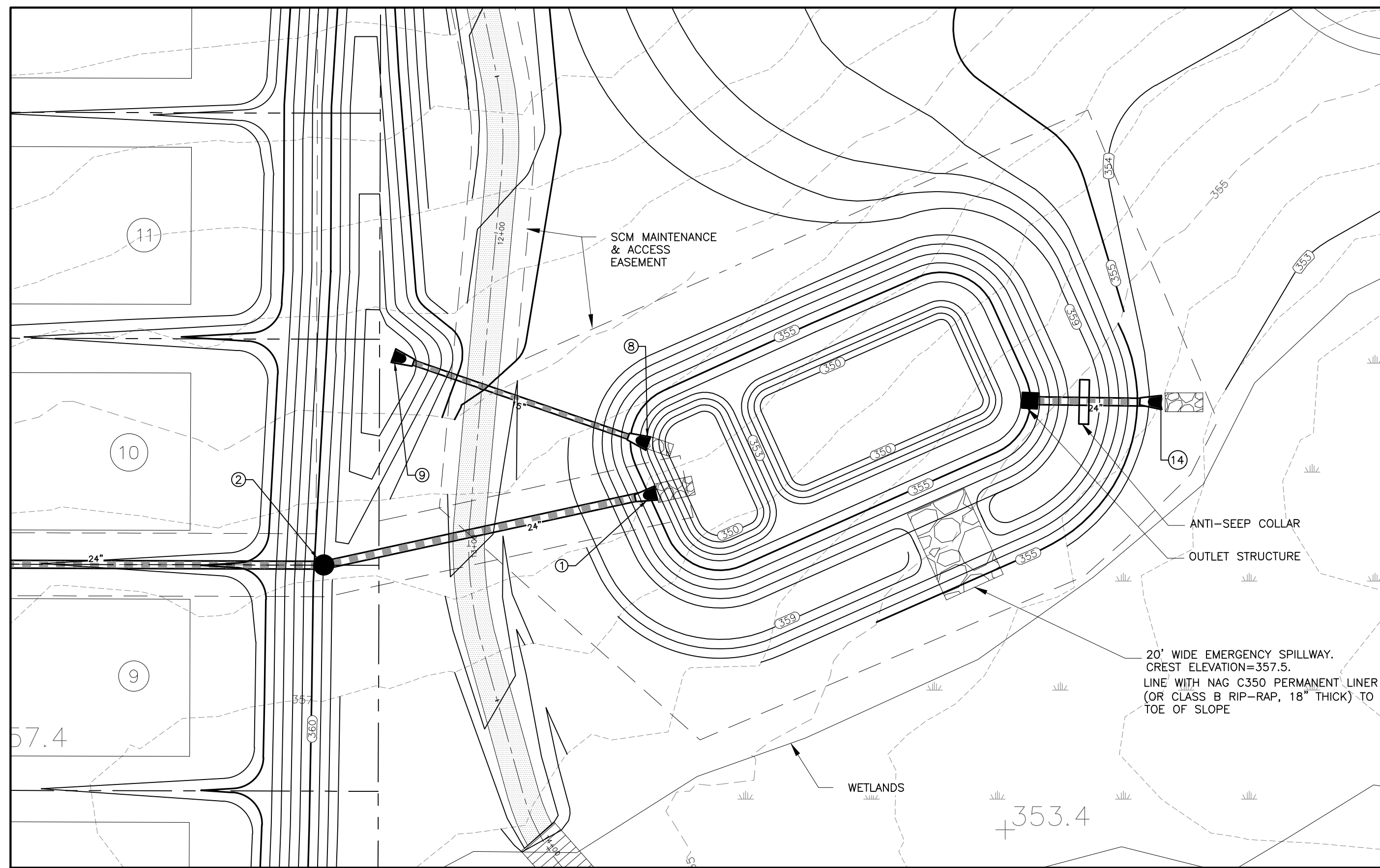
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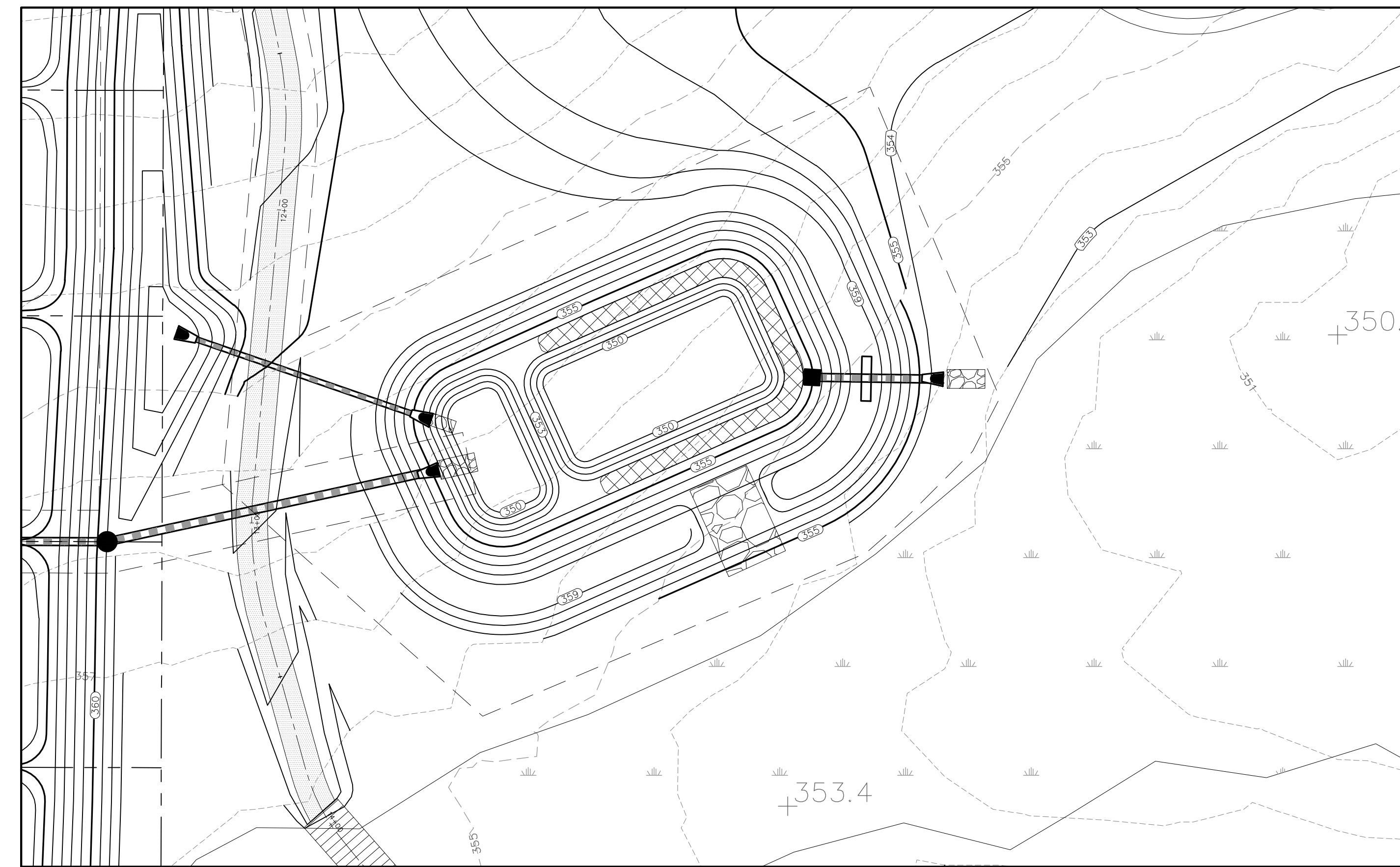
PROJECT: FDCWP9

SCHEDULES

DWG. NO. SITE 20



SCM PLAN

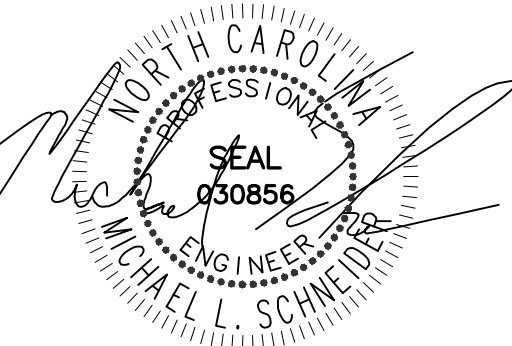
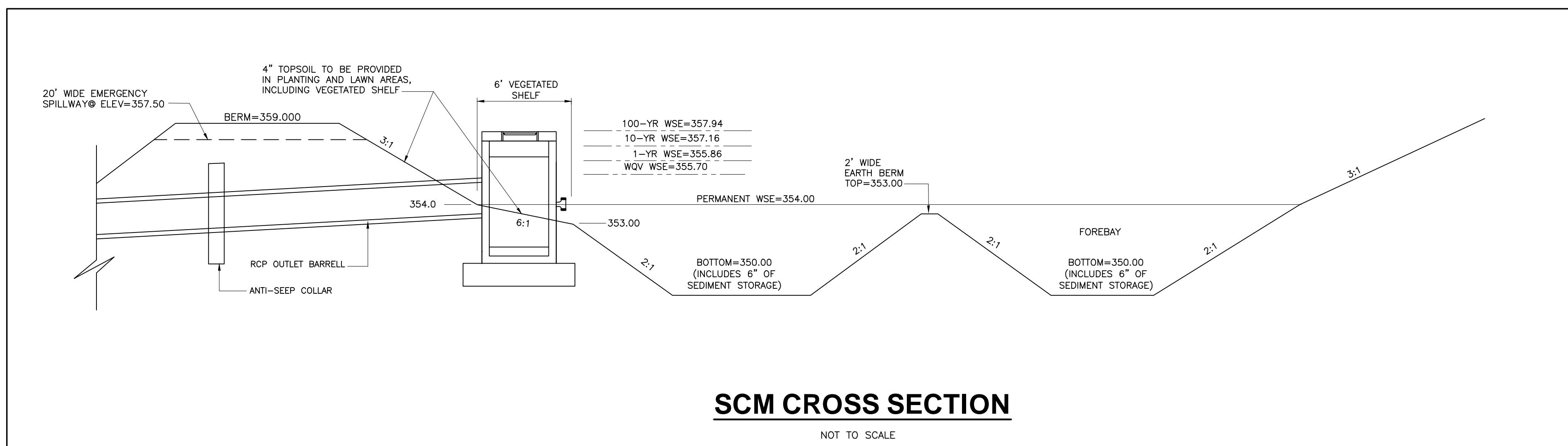
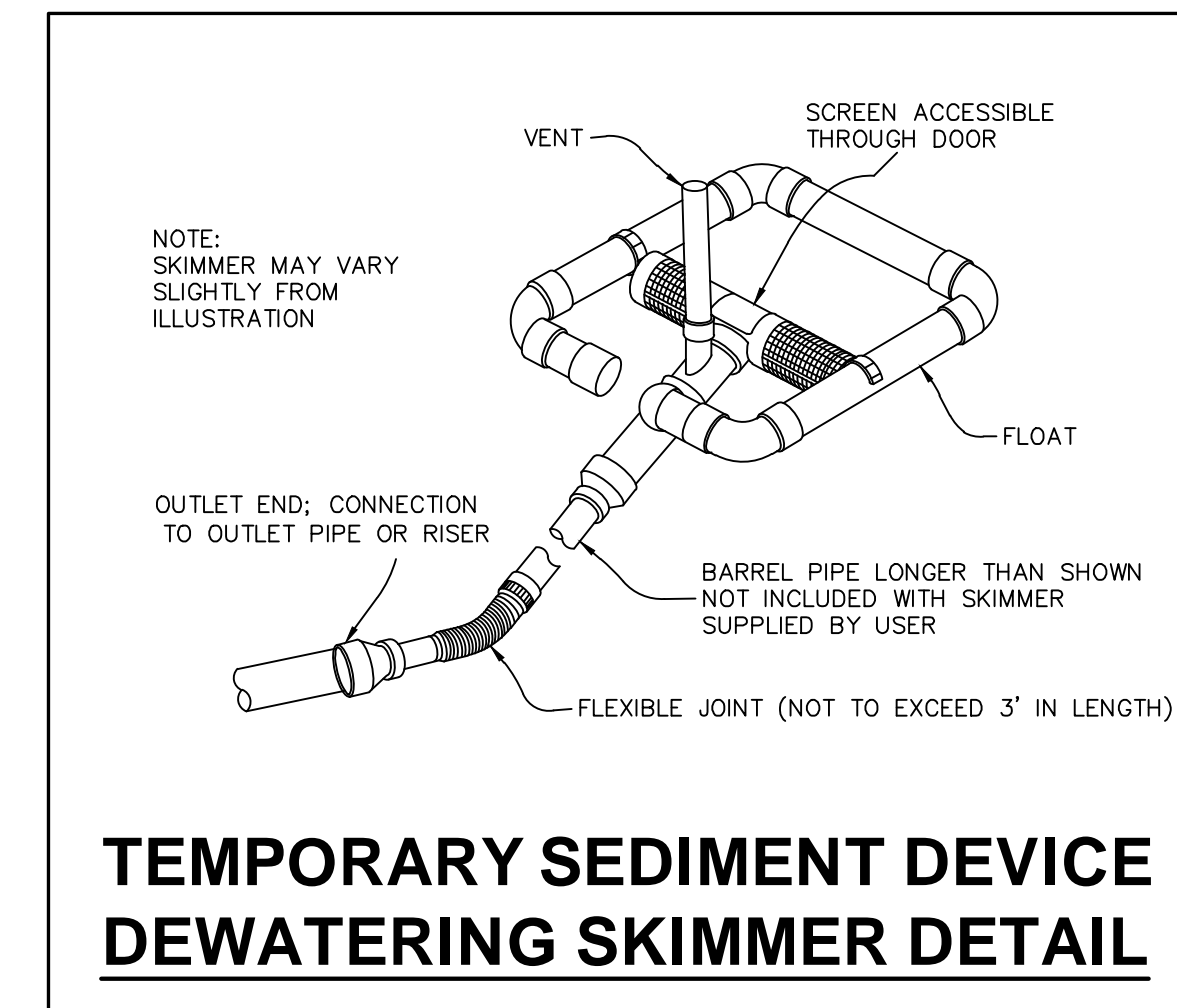
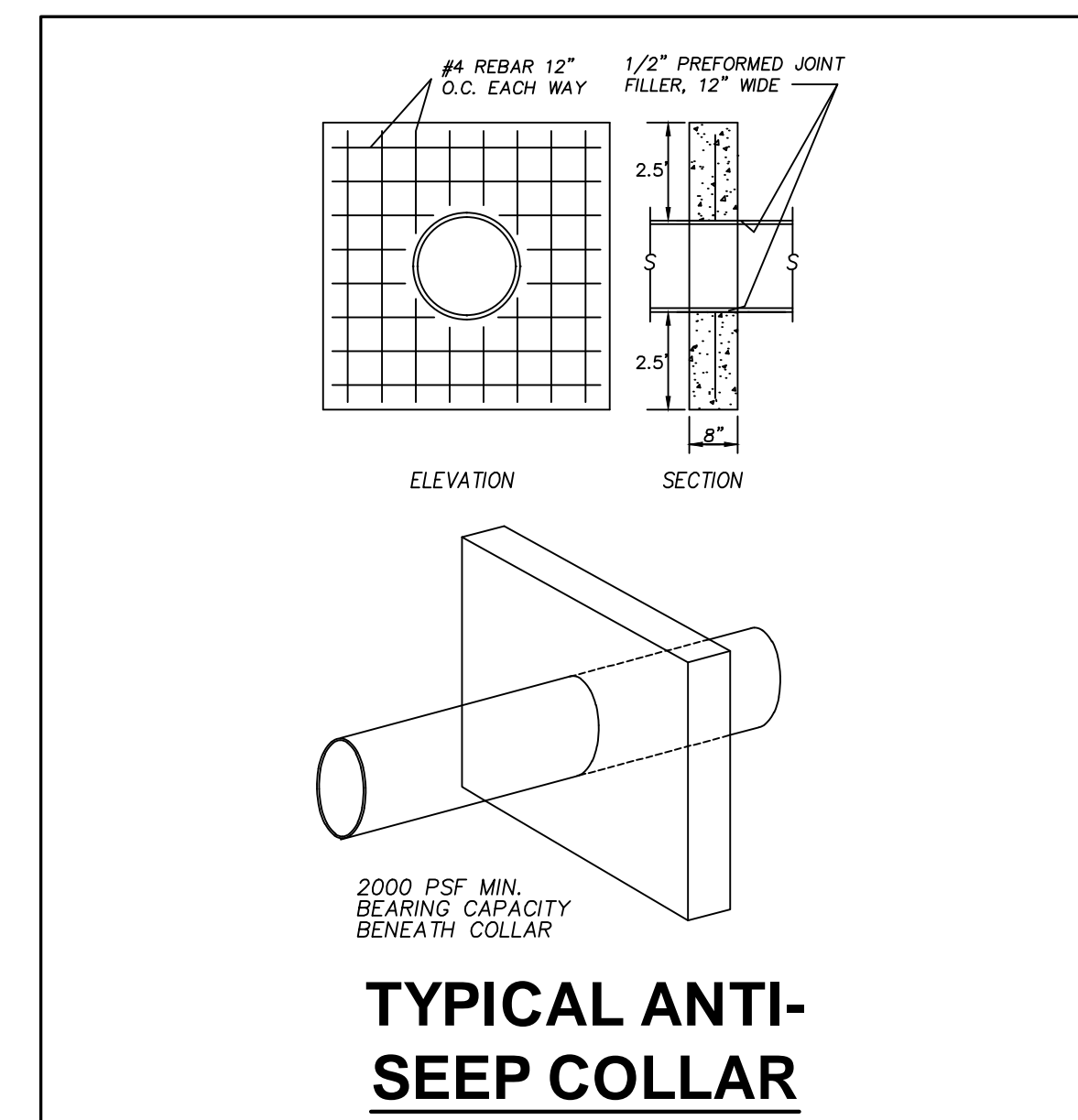
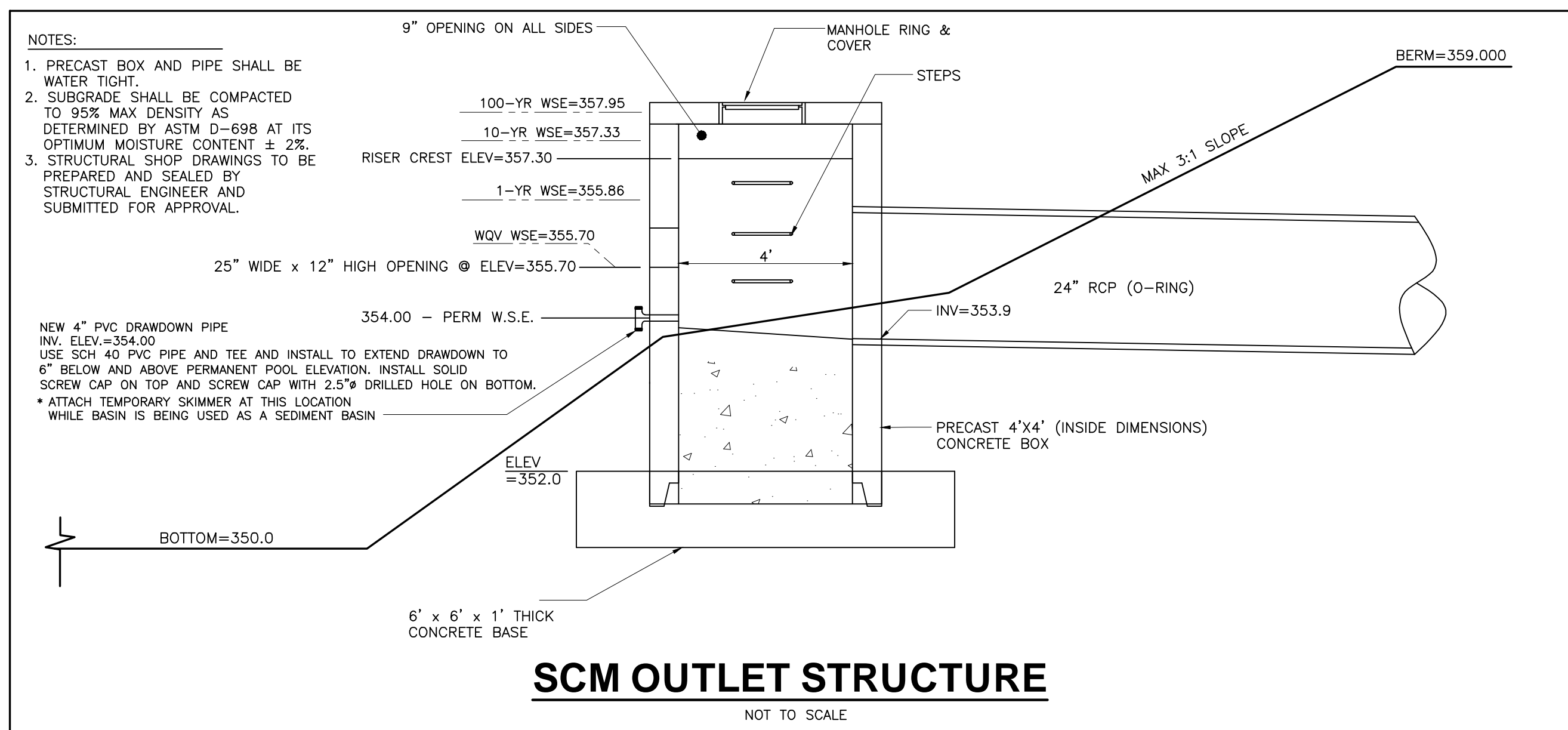


SCM PLANTING PLAN

SCM PLANT SCHEDULE

REQUIRED PLANTS BASED ON 1,092 S.F. = 50 PLANTS / 209 S.F. (1,060 S.F.) = 273 PLANTS

PLANT TYPE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SPACING
	91	ASCLEPIAS INCARNATA	SWAMP MILKWEED	2" PLUG	2' O.C.
	91	CAREX TENERA	QUILL SEDGE	2" PLUG	2' O.C.
	91	CHELONE GLABRA	WHITE TURTLEHEAD	2" PLUG	2' O.C.



02-17-24

WEAVER'S POINTE SUBDIVISION

**0 WEAVER'S POND DRIVE
ZEBULON, NC**

ISSUED: 14 FEB 2024

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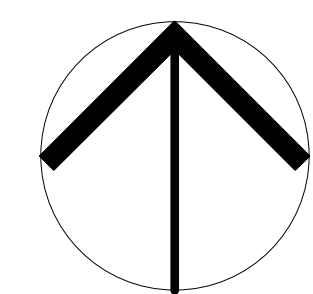
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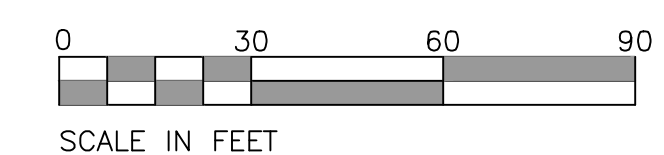
PROJECT: FDCWP9

SCM #1 DETAILS

DWG. NO. **SITE 21**

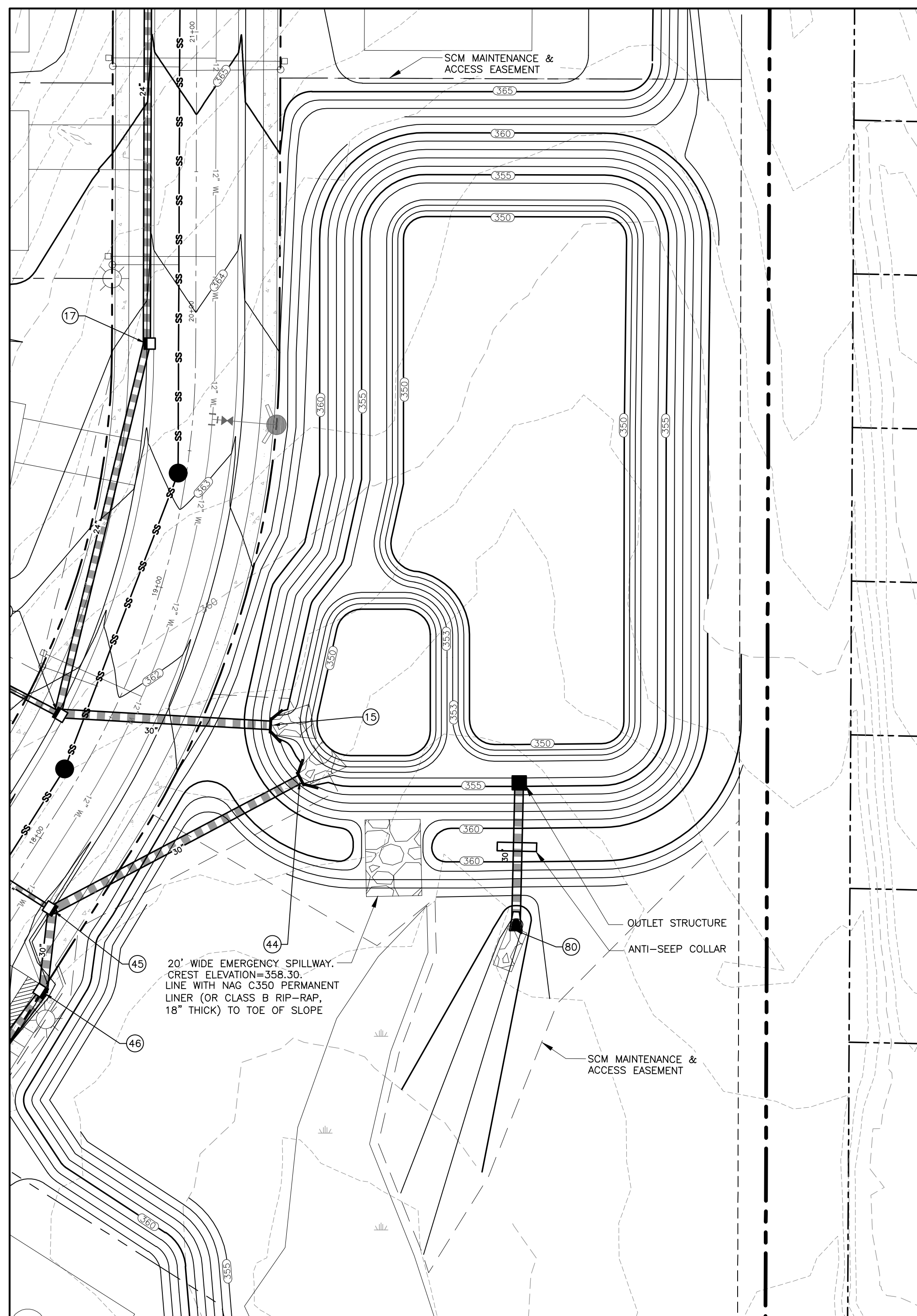


NORTH

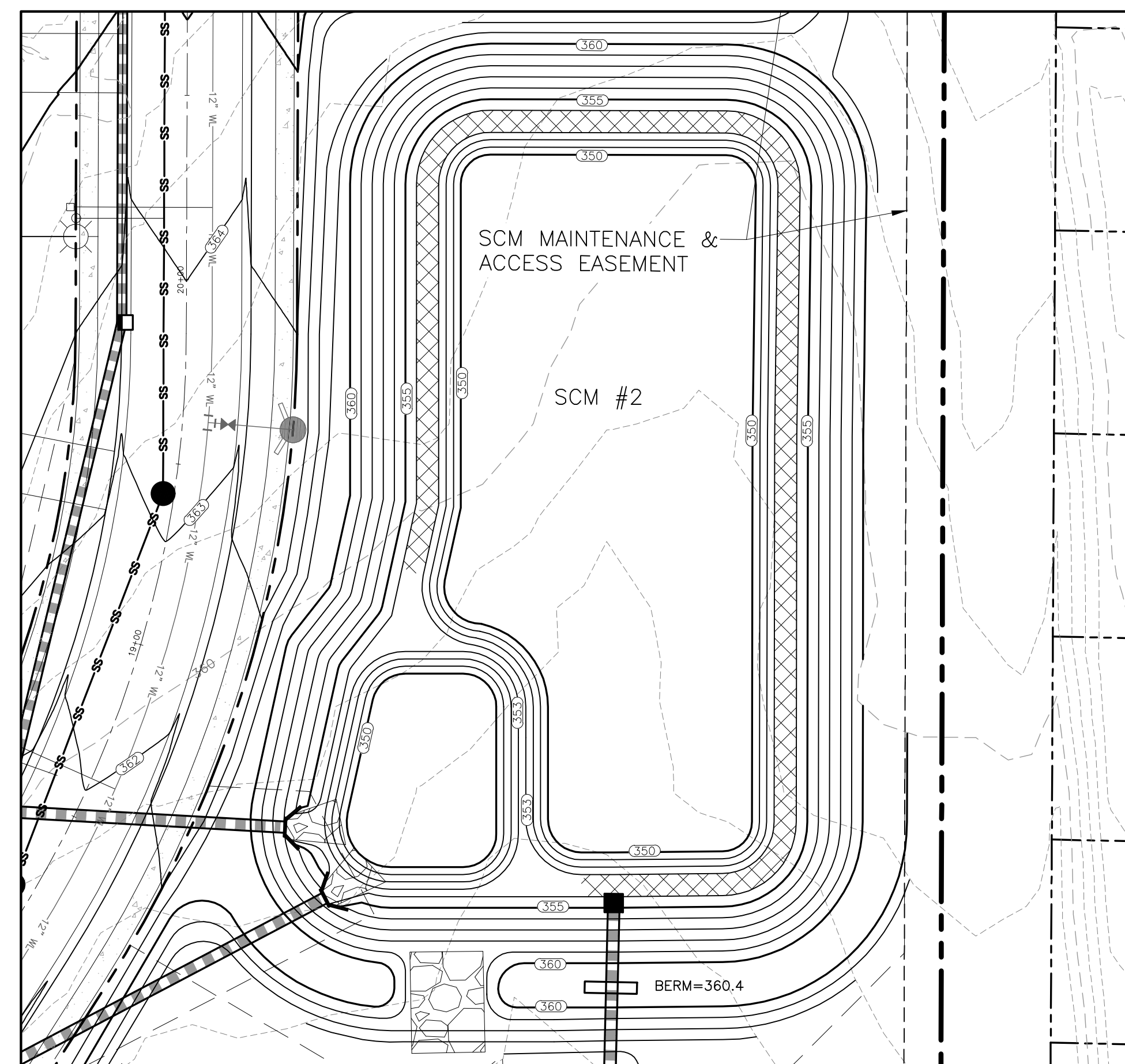


SCM PLANT SCHEDULE

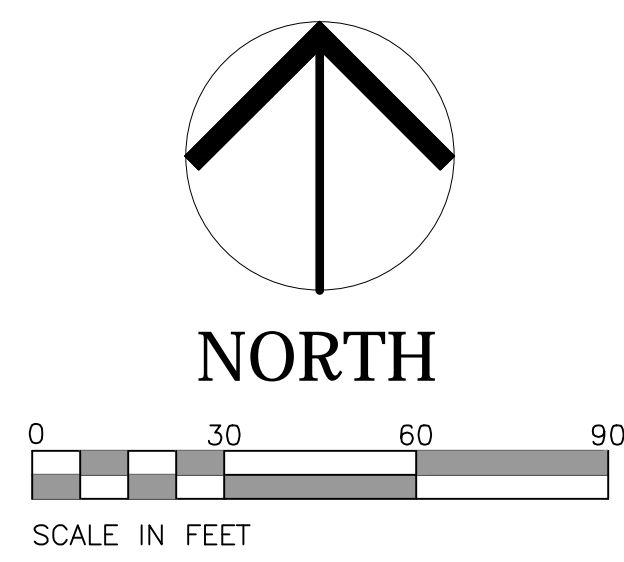
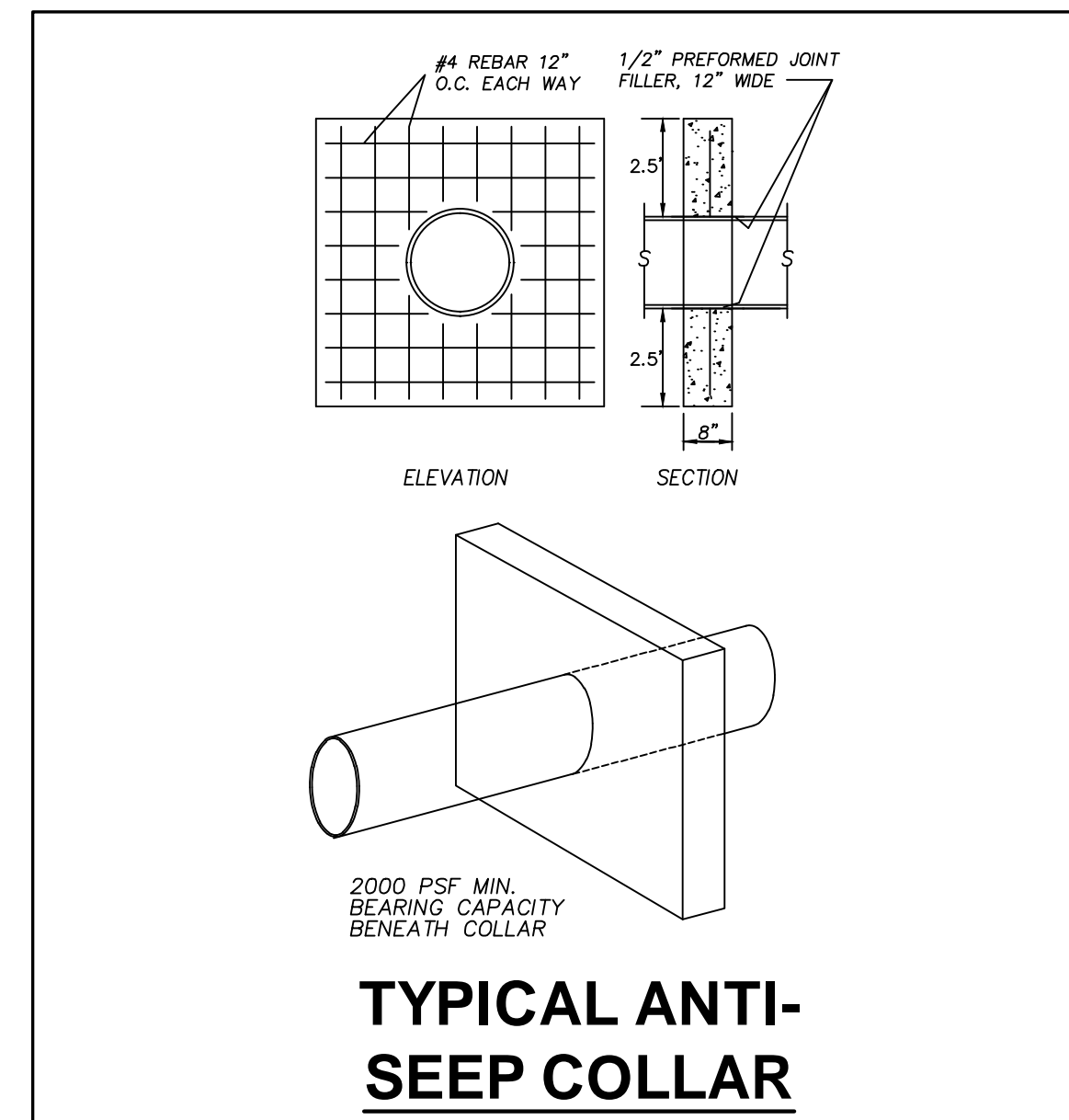
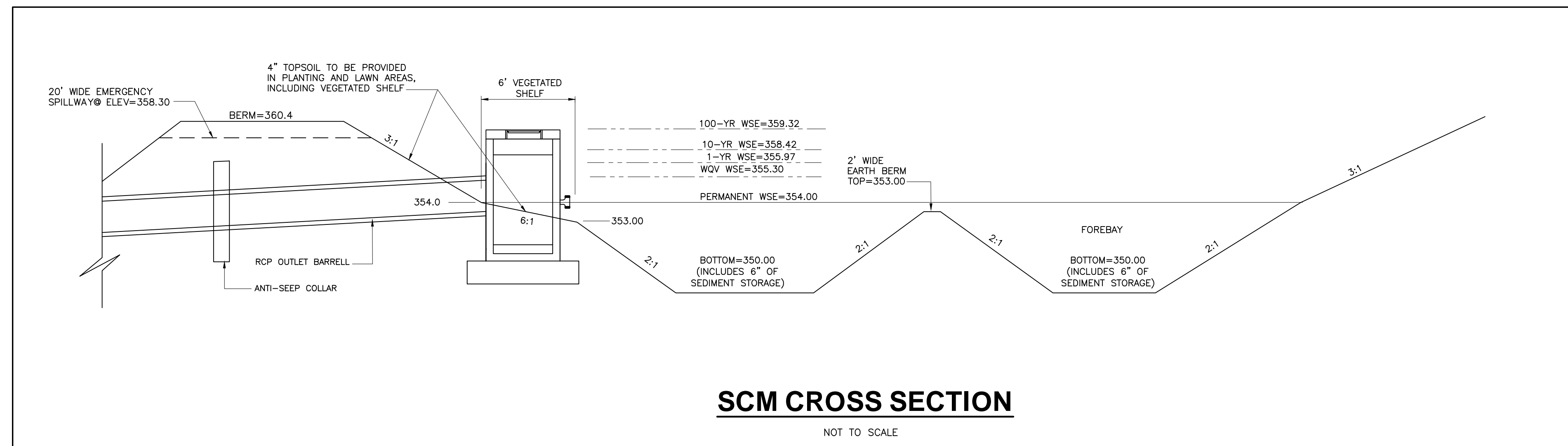
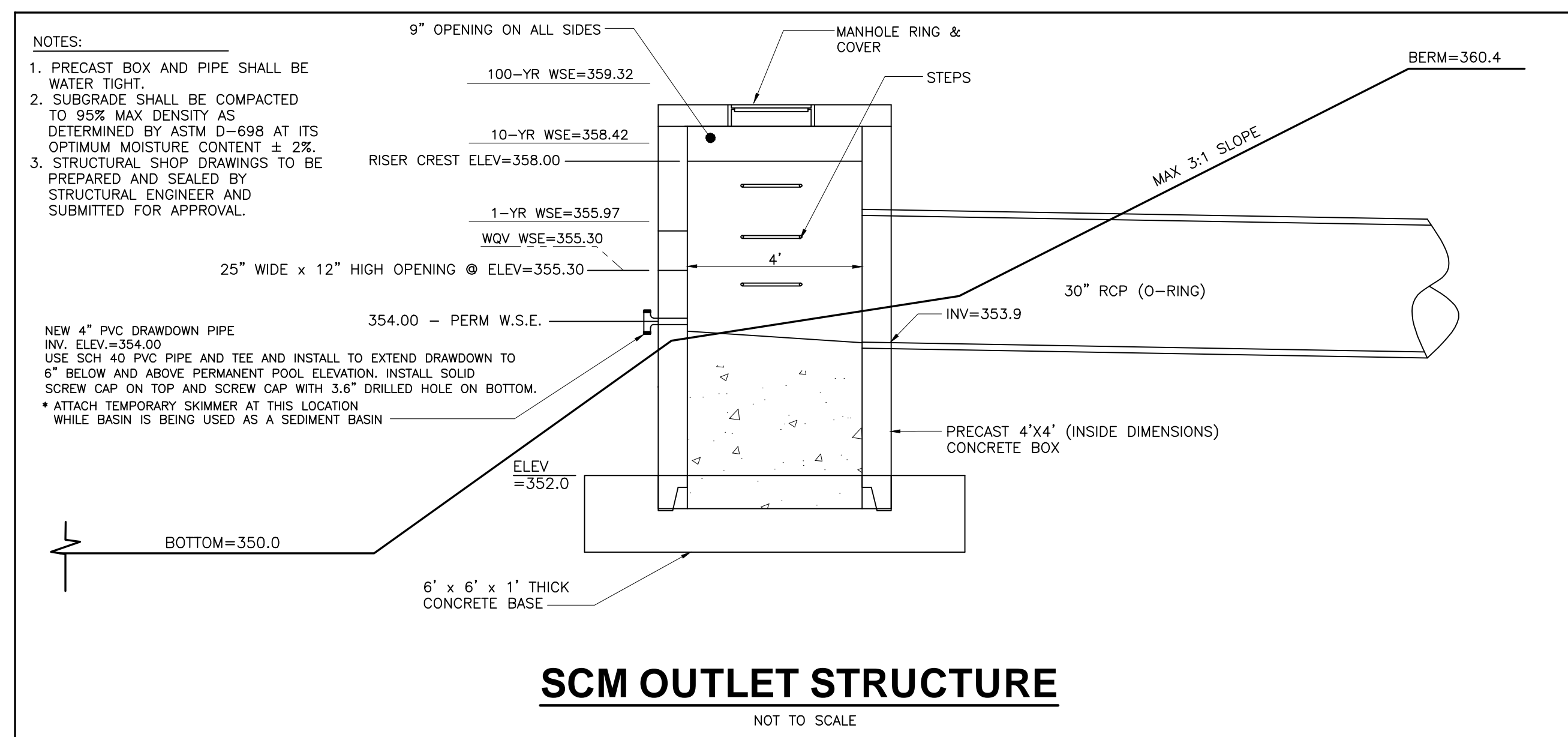
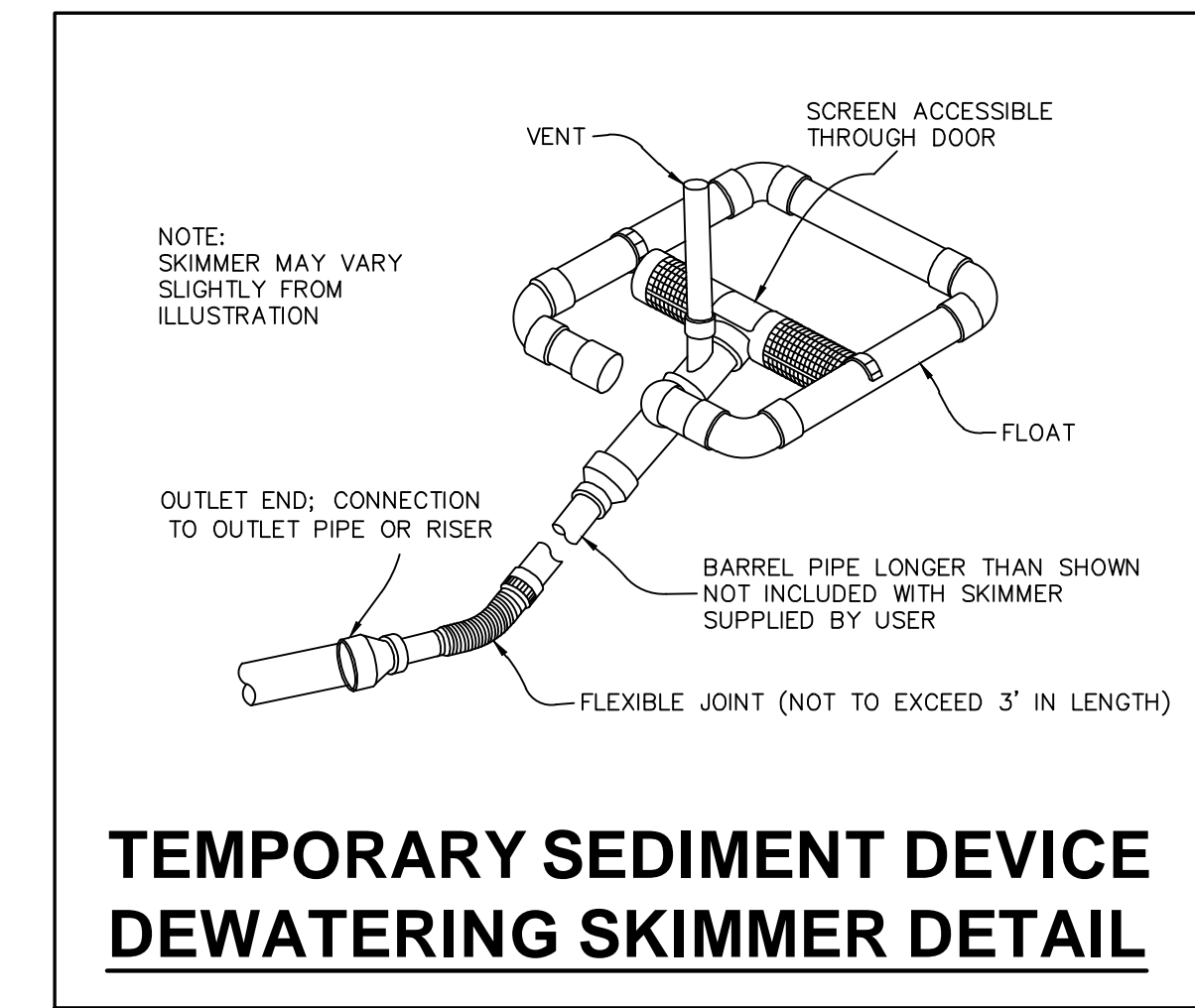
PLANT TYPE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SPACING
230		ASCLEPIAS INCARNATA	SWAMP MILKWEED	2" PLUG	2' O.C.
230		CAREX TENERA	QUILL SEDGE	2" PLUG	2' O.C.
230		CHELONE GLABRA	WHITE TURTLEHEAD	2" PLUG	2' O.C.



SCM PLAN



SCM PLANTING PLAN



PID
HELMUT AND DESIGN PLLC
 8522-204 SIX FORKS ROAD
 RALEIGH, NORTH CAROLINA 27615
 919.845.7600 PHONE
 919.845.7703 FAX
 ENGR. FIRM LICENSE NO. F-0843

SEAL
 050856
 MICHAEL L. SCHMIDT
 02-17-24

WEAVER'S POINTE SUBDIVISION
0 WEAVER'S POND DRIVE
ZEBULON, NC

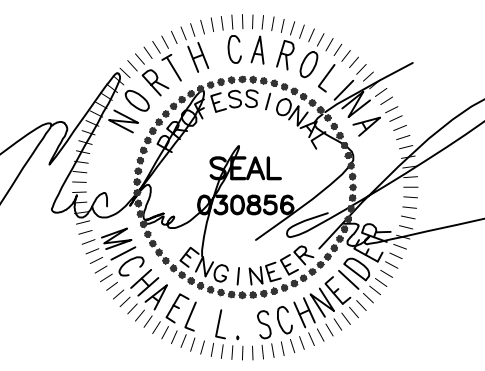
ISSUED: 14 FEB 2024

REVISIONS:
 17 APRIL 20124
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 PROJECT: FDCWP9

SCM #2 DETAILS

DWG. NO. **SITE 22**



02-17-24

WEAVER'S POINTE SUBDIVISION

0 WEAVERS POND DRIVE
ZEBULON, NC

ISSUED: 02 FEB 2024

REVISIONS:
 17 APRIL 20124
 PER TOWN/WAKE COUNTY REVIEW

DRAWN BY: JET
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 PROJECT: FDCWP9

DETAILS

DWG. NO. SITE 23

TOWN OF ZEBULON
TYPICAL CURB & GUTTER STREET STANDARDS

SECTIONAL VIEW
#2:1 MAX. 3:1 RECOMMENDED

CLASSIFICATION	ROAD TYPE	PAVEMENT TYPE	SECTION	SCALE
0A-0E-SAC	30"	1/4"	3"	1"
LOCAL STREET	30"	1/4"	3"	1"
RESIDENTIAL COLLECTOR	30"	1/4"	3"	1"
INDUSTRIAL	30"	1/4"	3"	1"

30" VALLEY - STANDARD

30" VALLEY - SPILL

STANDARD

SPILL

NOTES:
 1. SCORE CURB / VALLEY GUTTER AT 15' O.C.
 2. PROVIDE 1/2" EXPANSION JOINTS AT 90' O.C.
 3. FOR TRANSITION OF CURB TO CURB OPENING INLET, SEE STANDARD DETAIL 33.

TOWN OF ZEBULON
CUL-DE-SAC DIMENSIONS

NOTES:
 1. SIDEWALK REQUIRED ONE SIDE WHEN CUL-DE-SAC LENGTH EXCEEDS 400 FEET DIAMETER USED IN CUL-DE-SAC > 150 FEET IN DEPTH 70 FOOT DIAMETER MAY BE USED FOR CUL-DE-SACS < 150 FEET IN DEPTH

TOWN OF ZEBULON
FULL DEPTH ASPHALT REPAIR DETAIL FOR UTILITY CUTS

NOTES:
 1. PAVEMENT REPAIRS SHALL HAVE 6" COMPACTED 3" 119.0B AND 3" 825.0B AND 1" TOPPING OF SFS 5B
 2. TRENCH IS TO BE BACK FILLED IN 6" LIFTS AND COMPACTED TO 98% STANDARD DENSITY AS DETERMINED BY AASHTO TEST METHOD T-99 OR ASTM D-698 BEFORE PAVEMENT REPAIRS ARE MADE
 3. COMPACTION TEST MAY BE REQUIRED AT REQUEST OF INSPECTOR.
 4. ALL EXISTING PAVED STREETS AND SECONDARY ROADS WHICH ARE OPEN CUT TO INSTALL SEWER OR WATER PIPE, MUST BE REPAIRED ACCORDING TO THIS DETAIL.
 5. C&G BACKFILL IS NOT ALLOWED IN ANY PART OF TRENCH WITHIN PAVEMENT.
 6. FIBER OPTIC & GAS: #57 STONE OR FLOWABLE FILL CONCRETE (MINIMUM 50 PSI) BUT MIN. 6" COMPACTED CLASS II OR III (DEFINITION IN SECTION 02210 - PARAGRAPH 3B OF SPECS) FILL OVER TOP OF FIBER OPTIC CABLE OR GAS PIPE.

TOWN OF ZEBULON
STREET CURB CUT FOR DRIVEWAYS ON C&G STREETS

NOTES:
 1. RESIDENTIAL DRIVEWAY TO BE 12' TO 24' IN WIDTH.
 2. COMMERCIAL AND INDUSTRIAL DRIVEWAYS TO BE A MAXIMUM OF 36' WIDE.
 3. ALL CONCRETE SHALL BE 3000 PSI @ 28 DAYS AIR ENTRAINED.
 4. CURB SHALL BE TYPED TO FINISH FLOOR WITH S&W.
 5. BEHIND RADIUS SHALL NOT ENDOUGH ON ADJACENT PROPERTIES BASED ON A PROJECTION OF PROPERTY LINE FROM THE RIGHT-OF-WAY TO THE CURB LINE.
 6. SIDEWALK SECTION SHALL NOT BE REQUIRED ALONG STREETS WHICH ARE NOT PLANNED FOR SIDEWALK.

TOWN OF ZEBULON
FLARED DRIVEWAY ENTRANCE TO VALLEY GUTTER

NOTES:
 1. RESIDENTIAL DRIVEWAY TO BE 12' TO 24' IN WIDTH.
 2. COMMERCIAL AND INDUSTRIAL DRIVEWAYS TO BE A MAXIMUM OF 36' WIDE.
 3. ALL CONCRETE SHALL BE 3000 PSI @ 28 DAYS AIR ENTRAINED.
 4. CURB SHALL BE TYPED TO FINISH FLOOR WITH S&W.
 5. BEHIND RADIUS SHALL NOT ENDOUGH ON ADJACENT PROPERTIES BASED ON A PROJECTION OF PROPERTY LINE FROM THE RIGHT-OF-WAY TO THE CURB LINE.
 6. SIDEWALK SECTION SHALL NOT BE REQUIRED ALONG STREETS WHICH ARE NOT PLANNED FOR SIDEWALK.

TOWN OF ZEBULON
STD. SUBDRAIN BEHIND CURB & GUTTER

NOTES:
 1. SUBDRAINS SHALL BE 2" OR 3" IN DIAMETER.
 2. SUBDRAINS SHALL BE 12" OR 18" DEEP.
 3. SUBDRAINS SHALL BE 12" OR 18" LONG.
 4. SUBDRAINS SHALL BE 12" OR 18" WIDE.
 5. SUBDRAINS SHALL BE 12" OR 18" HIGH.
 6. SUBDRAINS SHALL BE 12" OR 18" SPACED.

TOWN OF ZEBULON
TYP SIDEWALK IN CUT or FILL SECTIONS

NOTES:
 1. PROVIDE 3/4" DEEP TOOLED SCORE AT 5'-0" O.C.
 2. EXPANSION JOINTS TO BE PLACED 30'-0" O.C.
 3. SUBGRADE SHOULD NOT CONTAIN ORGANIC MATTER OR PLASTIC CLAYS. WHEN FOUND, REFER TO SPECS OR CONTACT ENGINEER FOR DIRECTIONS.
 4. AREAS OF FILL ARE TO BE COMPACTED TO 95% STANDARD PROCTOR USING MCDOT CLASS III BORROW OR BETTER. REMOVE TOPSOIL BEFORE PLACING BORROW.
 5. SIDEWALK TRANSVERSE SLOPE MAY INCREASE TO 1/2 IN 12 WITH TOWN'S ENGINEER APPROVAL.

TOWN OF ZEBULON
DOUBLE HANDICAP RAMP DETAIL

NOTES:
 1. WHEELCHAIR RAMP SHALL BE PROVIDED AT LOCATIONS AS SHOWN ON THESE PLANS OR AS DIRECTED BY THE ENGINEER. WHEELCHAIR RAMP SHALL BE LOCATED AT PROPERLY LOCATED WHERE EXISTING LIGHT POLES, FIRE HYDRANTS, DROP INLETS, ETC. AFFECT PLACEMENT. AT THESE LOCATIONS NOT LESS THAN 2 FEET OF FULL HEIGHT CURB SHALL BE PLACED BETWEEN ADJACENT RAMP.
 2. NO SLOPE ON THE WHEELCHAIR RAMP SHALL EXCEED 17/12 (1:21) IN RELATIONSHIP TO THE GRADE OF THE STREET.
 3. IN NO CASE SHALL THE WIDTH OF THE WHEELCHAIR RAMP BE LESS THAN 40" (3'-4") MINIMUM WIDTH MAY EXCEED 40".
 4. USE AIR ENTRAINED 3000 PSI CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NON-SKID TYPE SURFACE.
 5. A 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE CONCRETE WHEELCHAIR RAMP JOINS THE CURB AND AS SHOWN ON STANDARD DRAWINGS.
 6. CURB DEPRESSION MUST BE IN WHETHER OR NOT SIDEWALK IS PLACED.

TOWN OF ZEBULON
DOUBLE HANDICAP RAMP DETAIL

NOTES:
 1. WHEELCHAIR RAMP SHALL BE PROVIDED AT LOCATIONS AS SHOWN ON THESE PLANS OR AS DIRECTED BY THE ENGINEER. WHEELCHAIR RAMP SHALL BE LOCATED AT PROPERLY LOCATED WHERE EXISTING LIGHT POLES, FIRE HYDRANTS, DROP INLETS, ETC. AFFECT PLACEMENT. AT THESE LOCATIONS NOT LESS THAN 2 FEET OF FULL HEIGHT CURB SHALL BE PLACED BETWEEN ADJACENT RAMP.
 2. NO SLOPE ON THE WHEELCHAIR RAMP SHALL EXCEED 17/12 (1:21) IN RELATIONSHIP TO THE GRADE OF THE STREET.
 3. IN NO CASE SHALL THE WIDTH OF THE WHEELCHAIR RAMP BE LESS THAN 40" (3'-4") MINIMUM WIDTH MAY EXCEED 40".
 4. USE AIR ENTRAINED 3000 PSI CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NON-SKID TYPE SURFACE.
 5. A 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE CONCRETE WHEELCHAIR RAMP JOINS THE CURB AND AS SHOWN ON STANDARD DRAWINGS.
 6. CURB DEPRESSION MUST BE IN WHETHER OR NOT SIDEWALK IS PLACED.

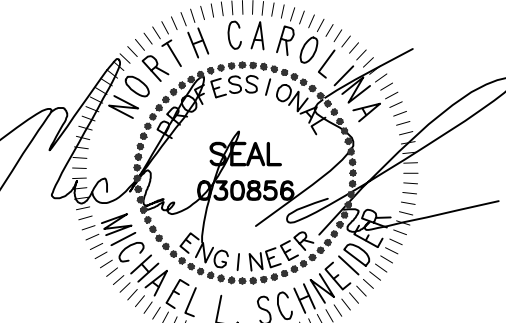
TOWN OF ZEBULON
STD. C&G INLET W/HOOD DETAIL

NOTES:
 1. U.S. FOUNDRY #81 CURB & GUTTER INLET FRAME (SHOWN WITH GRID GRADE) (READY TO USE FRAME, COVER & HOOD) FRAME COVER & HOOD WEIGHT = 550 LBS. WEIGHT MAY VARY BY MORE THAN -50LB.

TOWN OF ZEBULON
STD. C&G INLET W/HOOD DETAIL

NOTES:
 1. U.S. FOUNDRY #81 CURB & GUTTER INLET FRAME (SHOWN WITH GRID GRADE) (READY TO USE FRAME, COVER & HOOD) FRAME COVER & HOOD WEIGHT = 550 LBS. WEIGHT MAY VARY BY MORE THAN -50LB.

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02-17-24

WEAVER'S POINTE SUBDIVISION 0 WEAVERS POND DRIVE ZEBULON, NC

ISSUED: 02-14-24

REVISIONS:

17 APRIL 20124
PER TOWN/WAKE COUNTY REVIEW

DRAWN BY: JET

CHECKED BY: MLS

PROJECT: FDCWP9

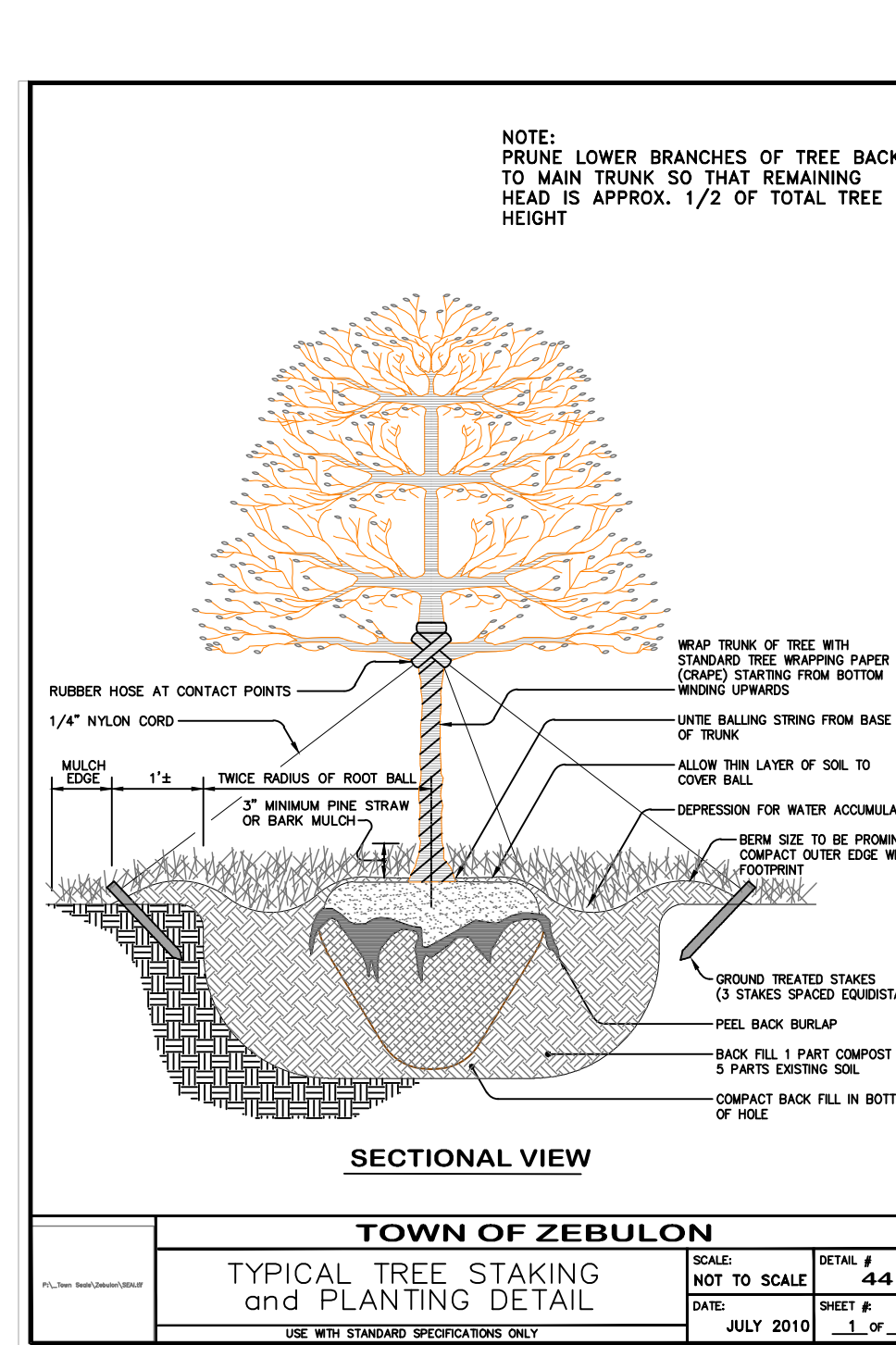
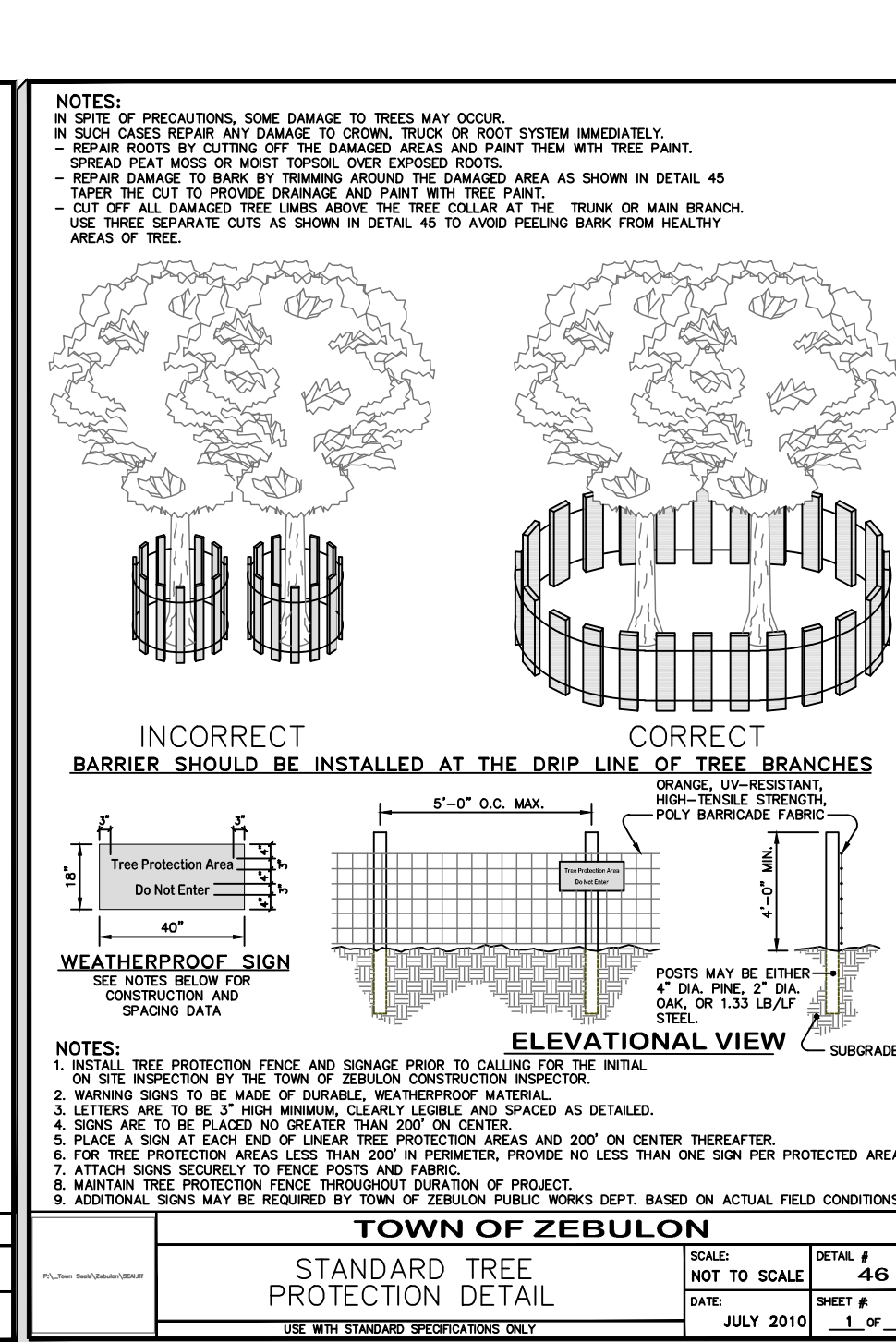
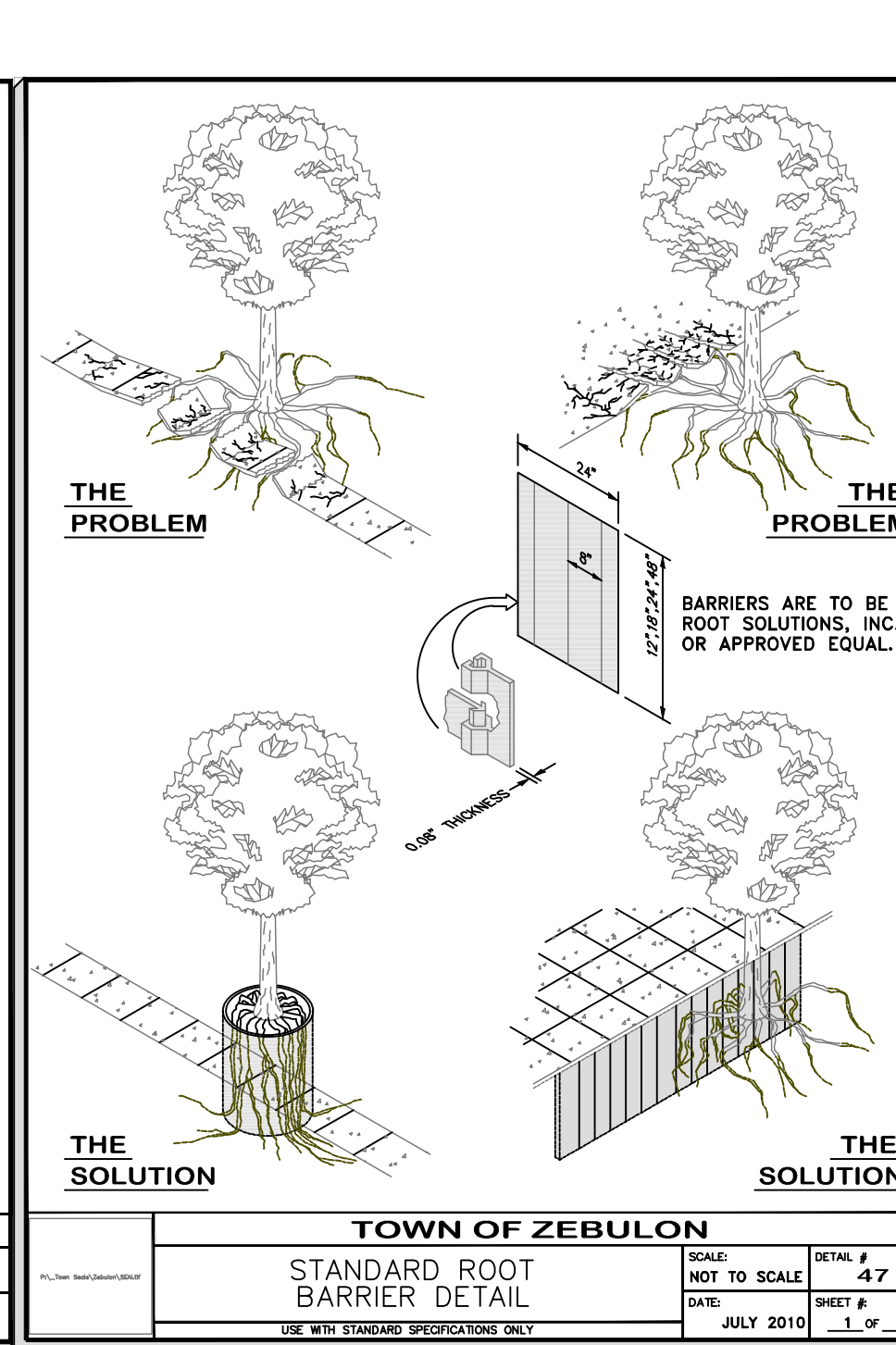
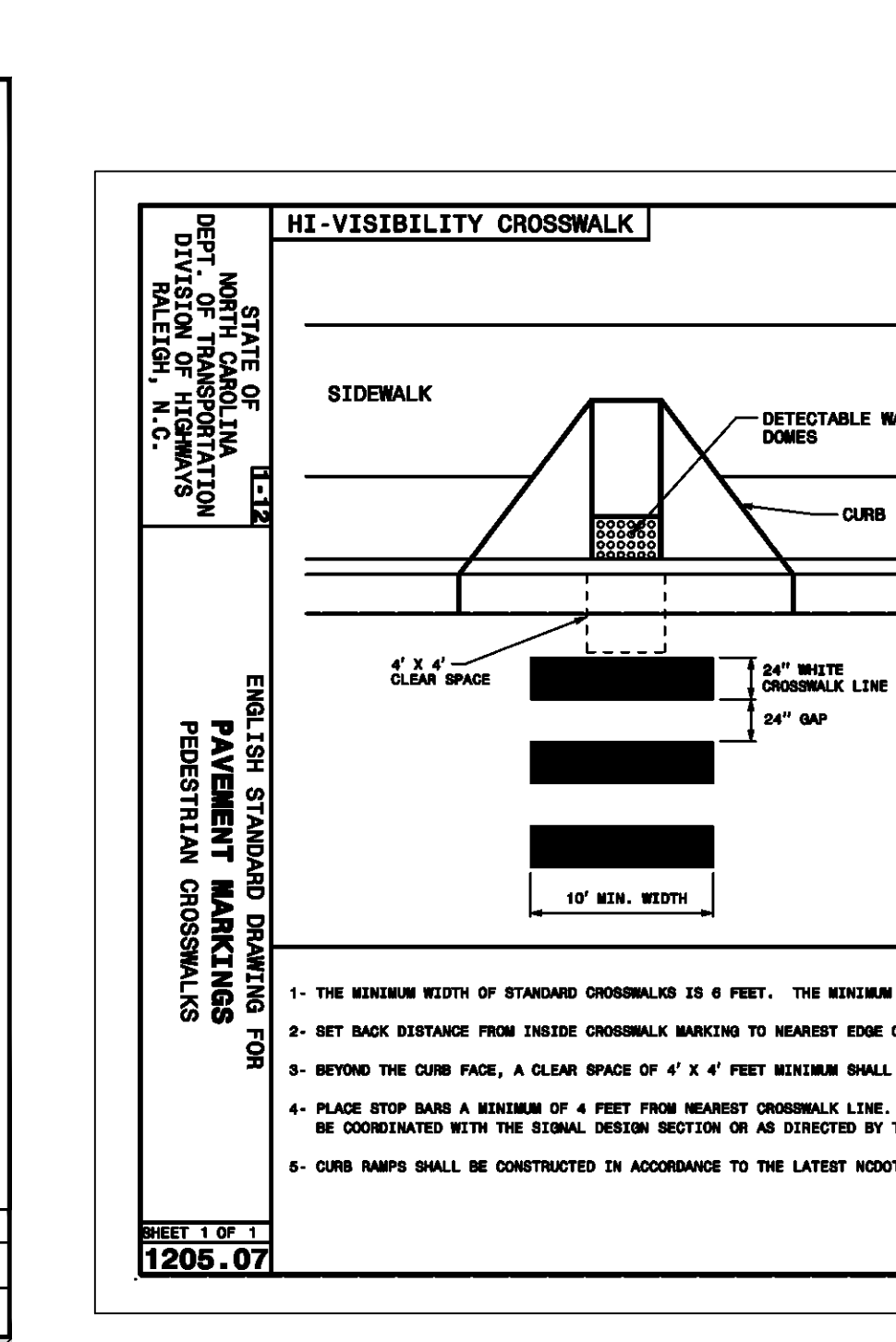
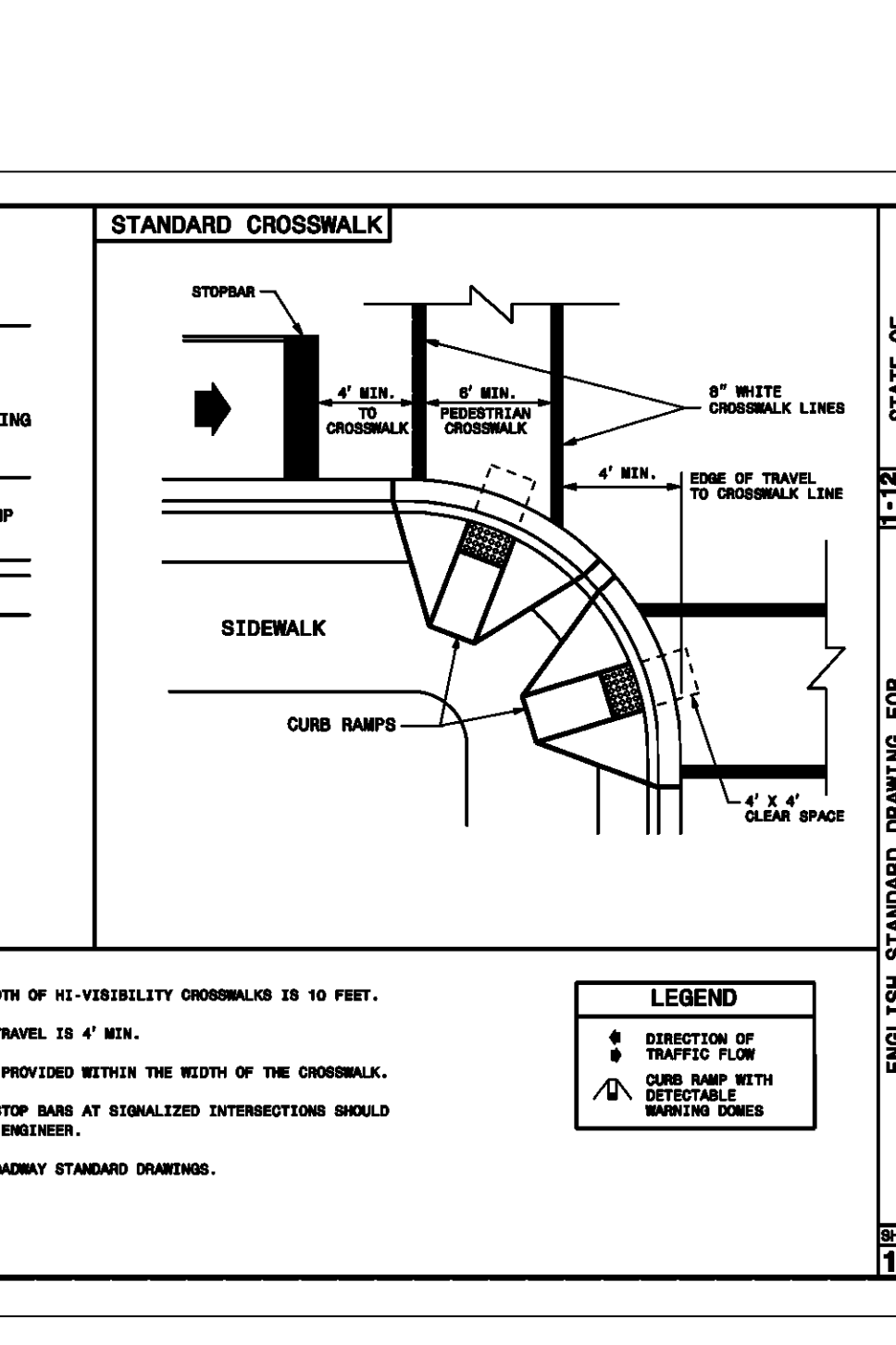
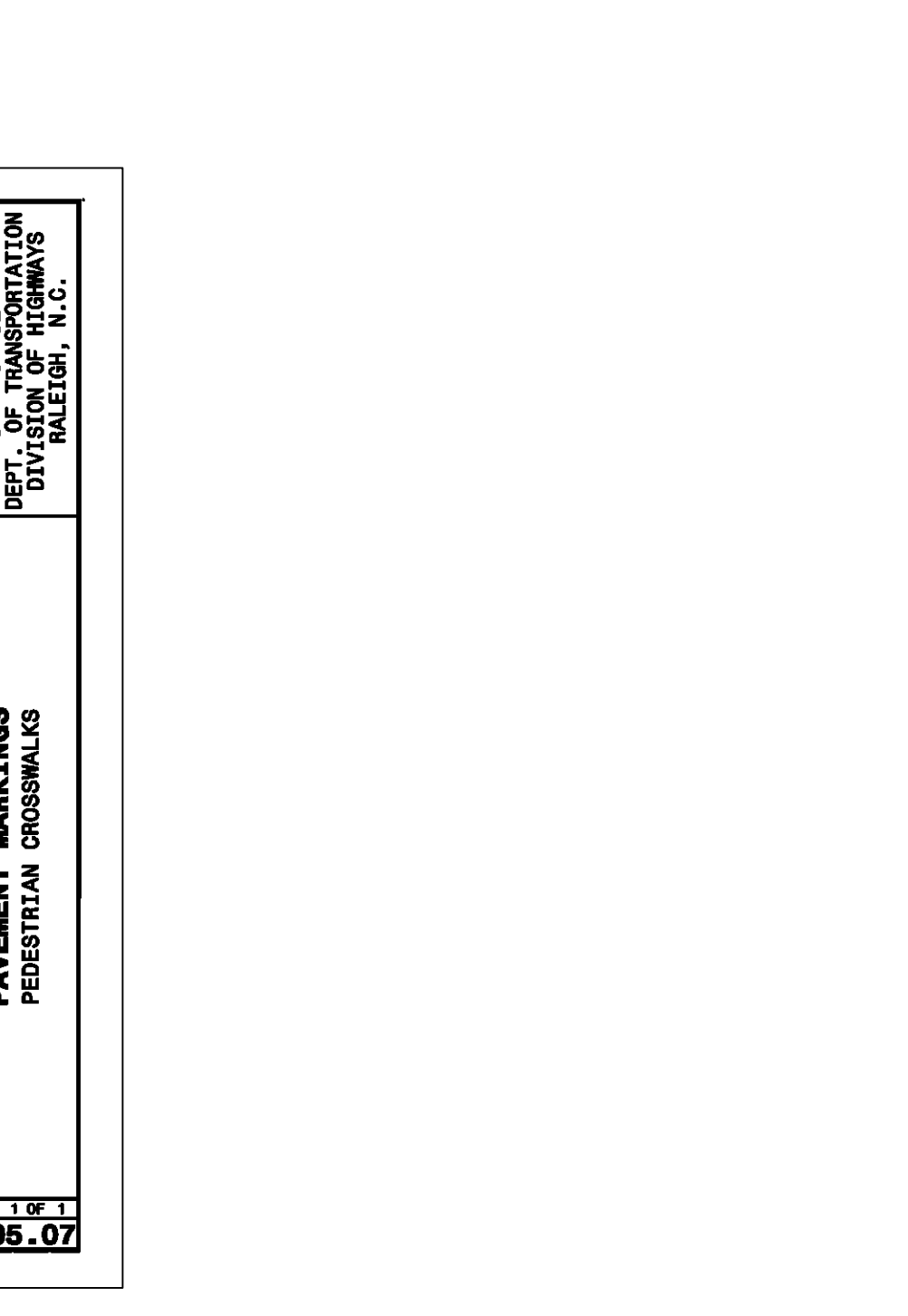
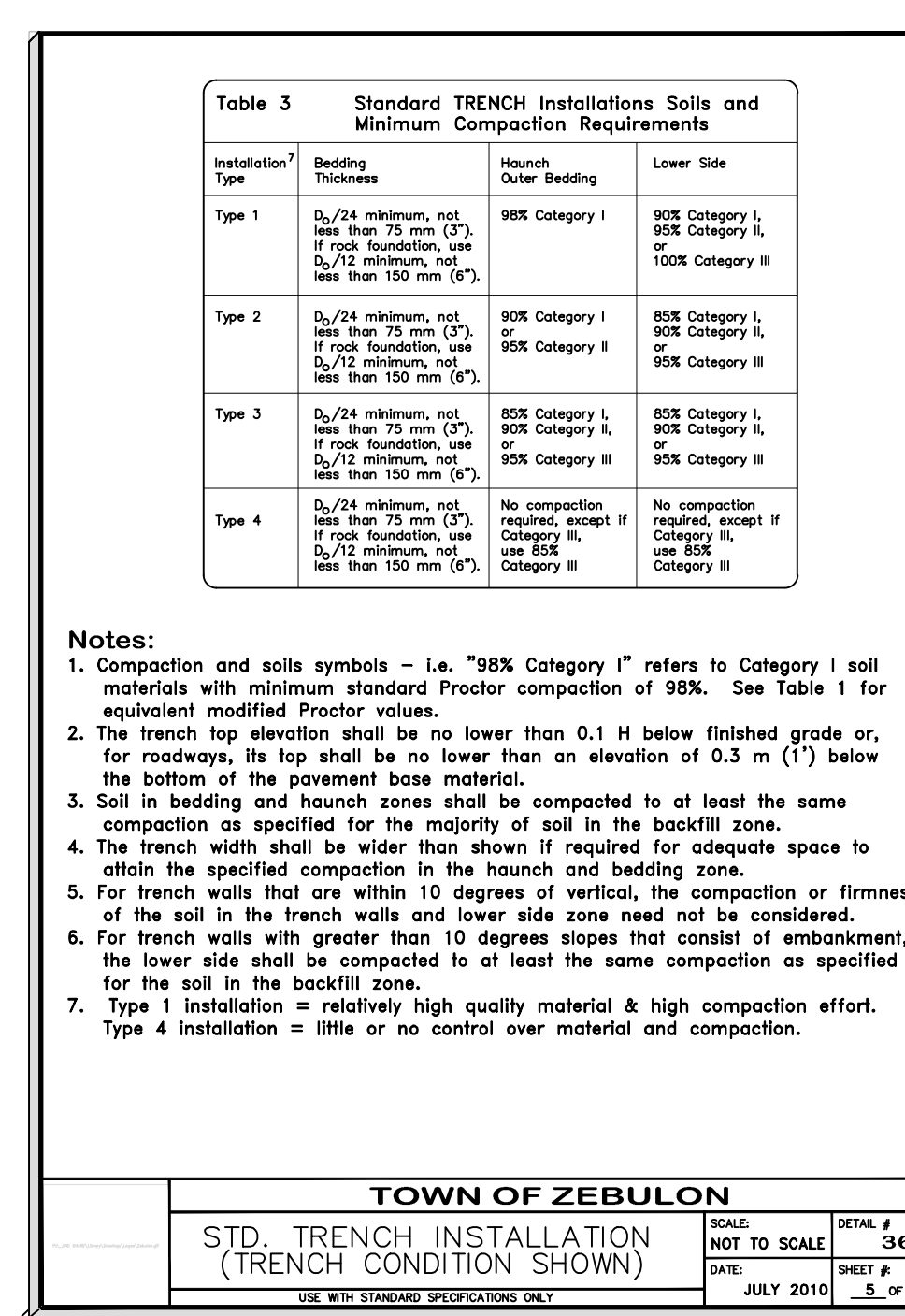
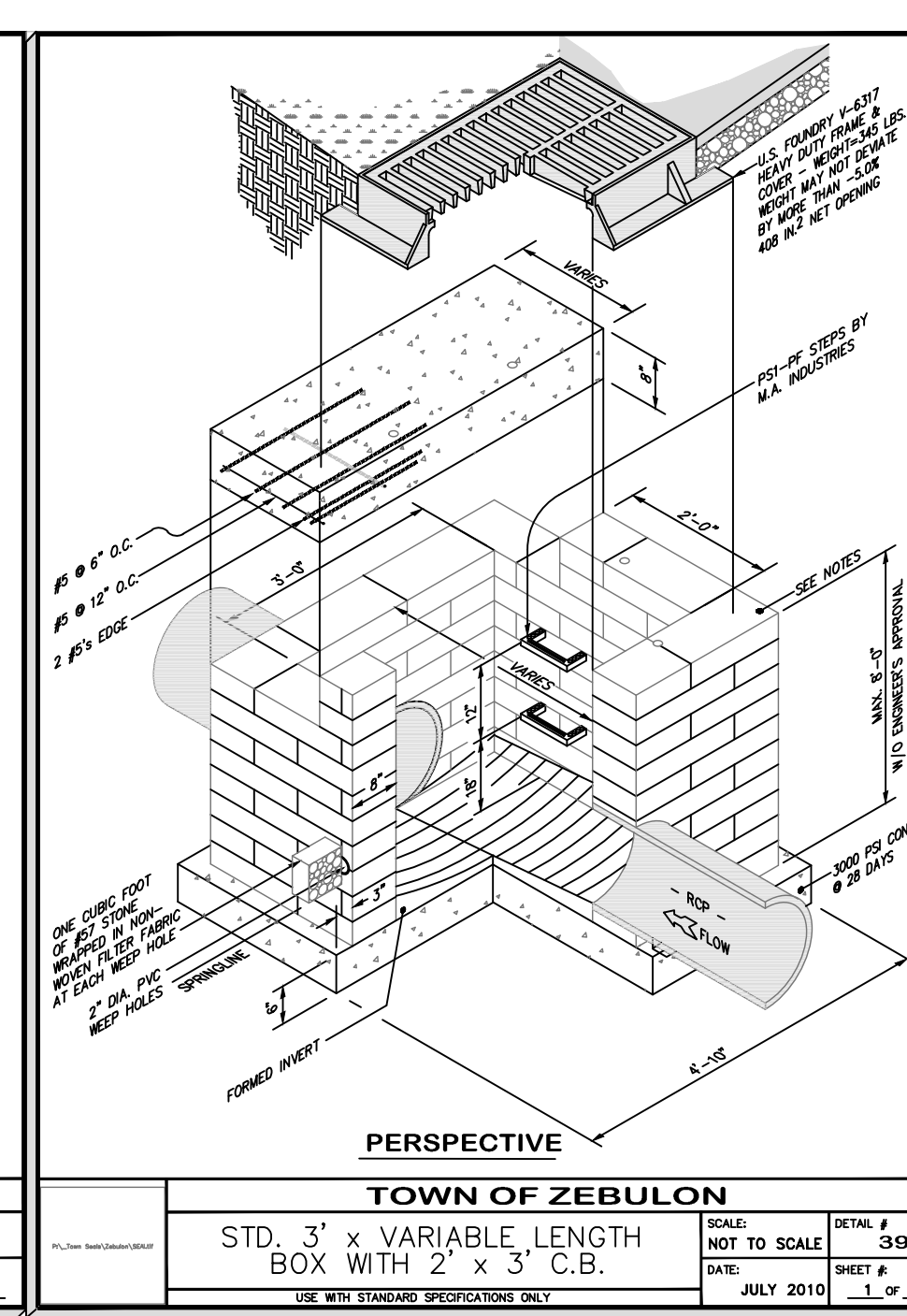
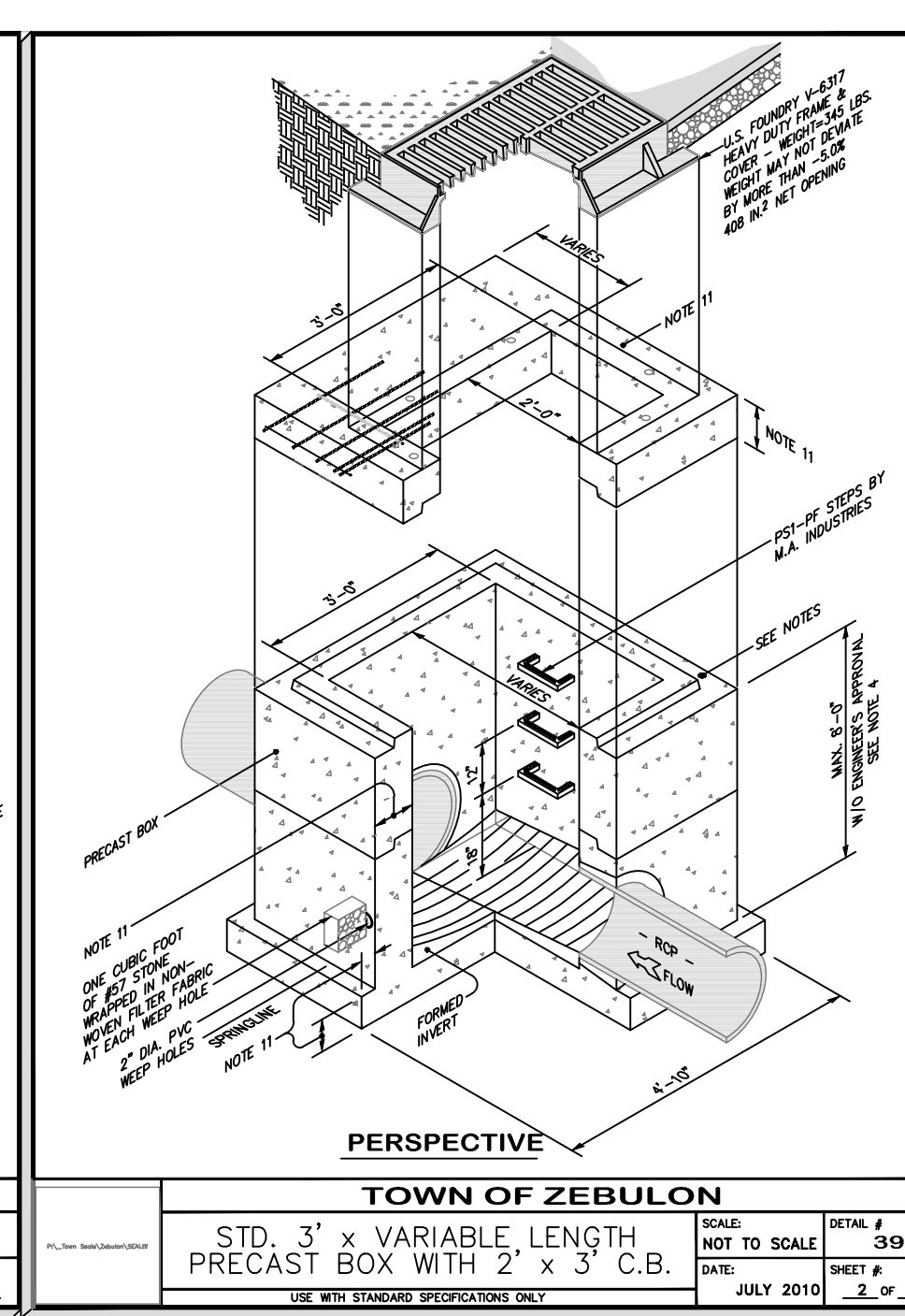
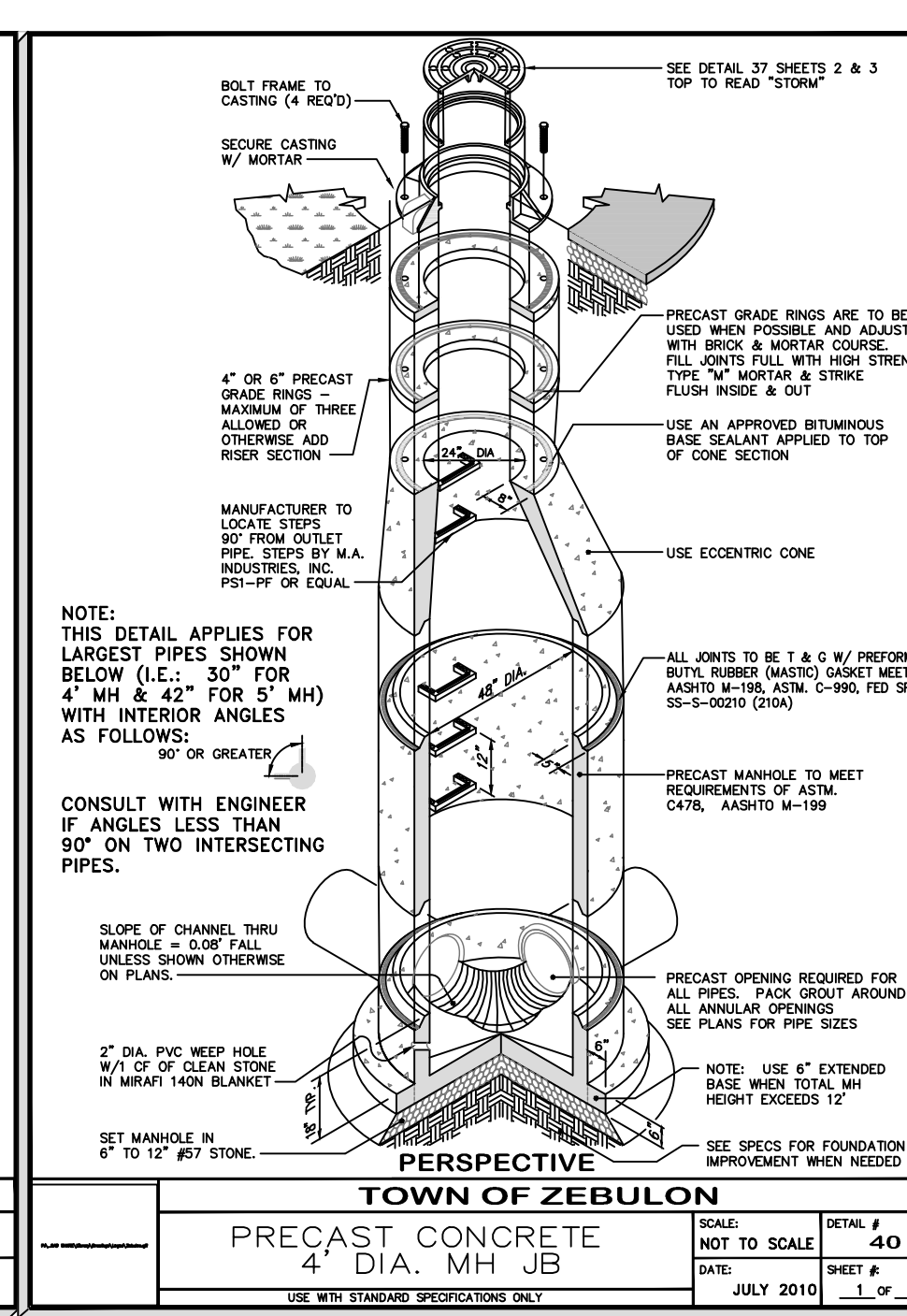
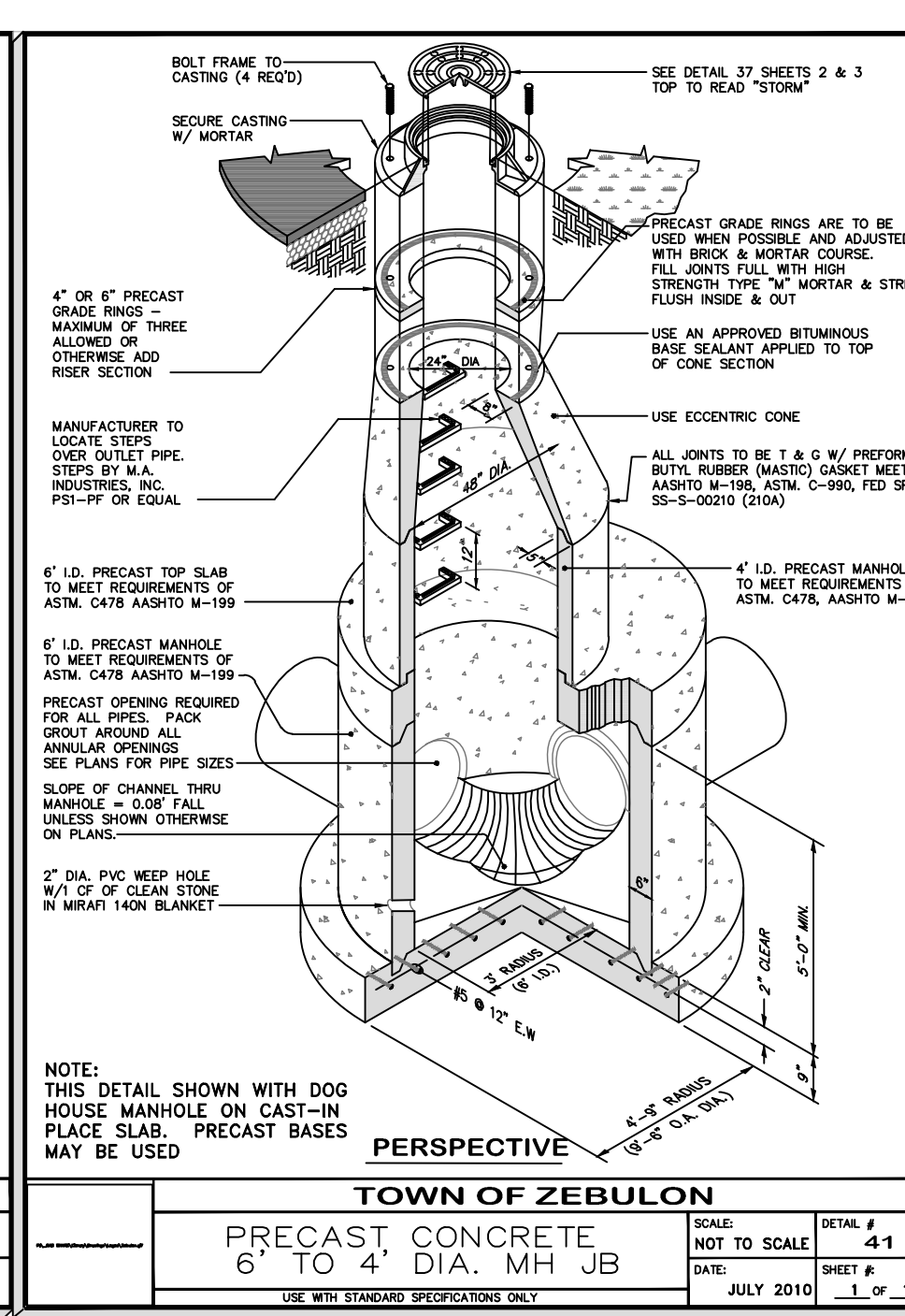
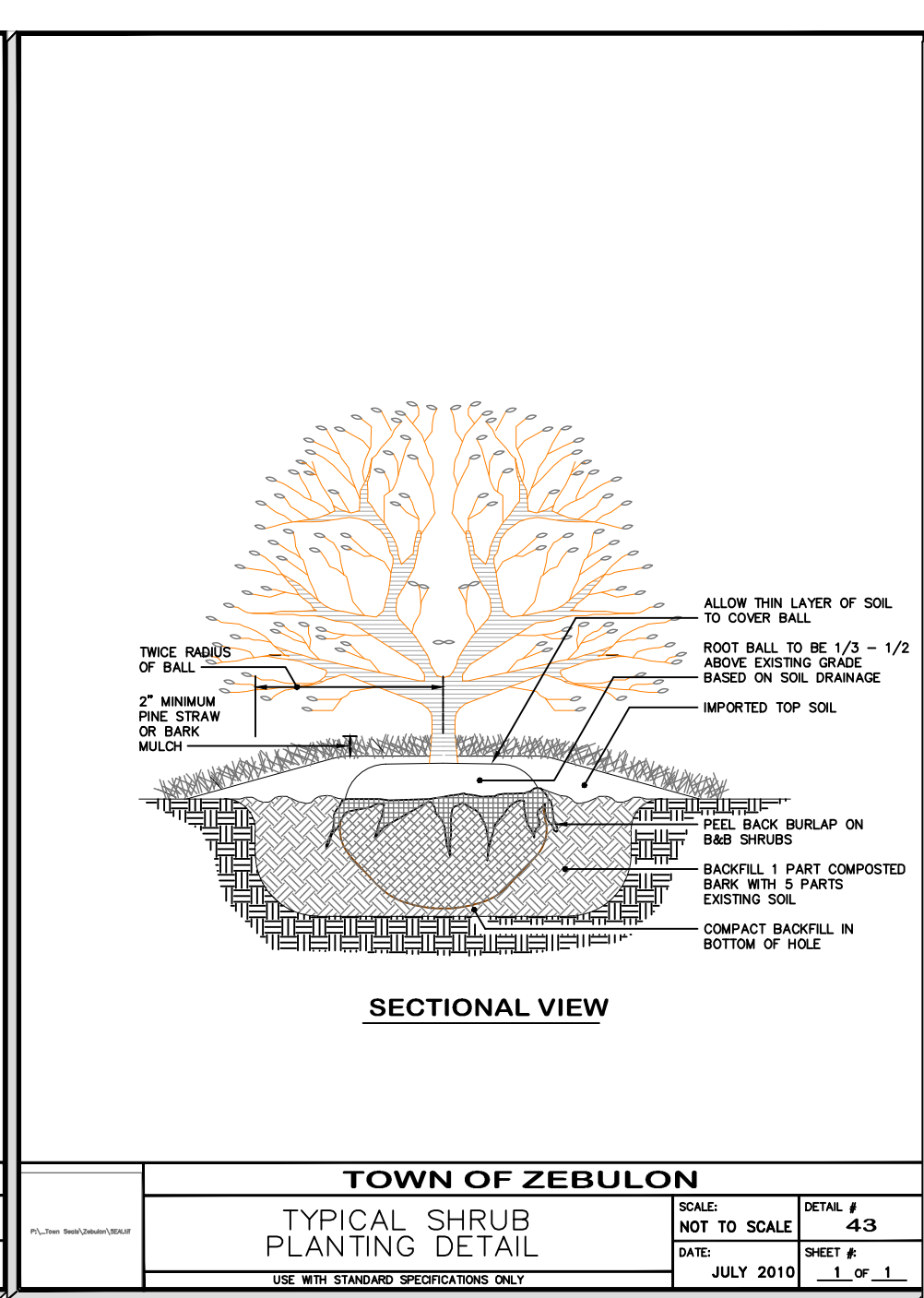
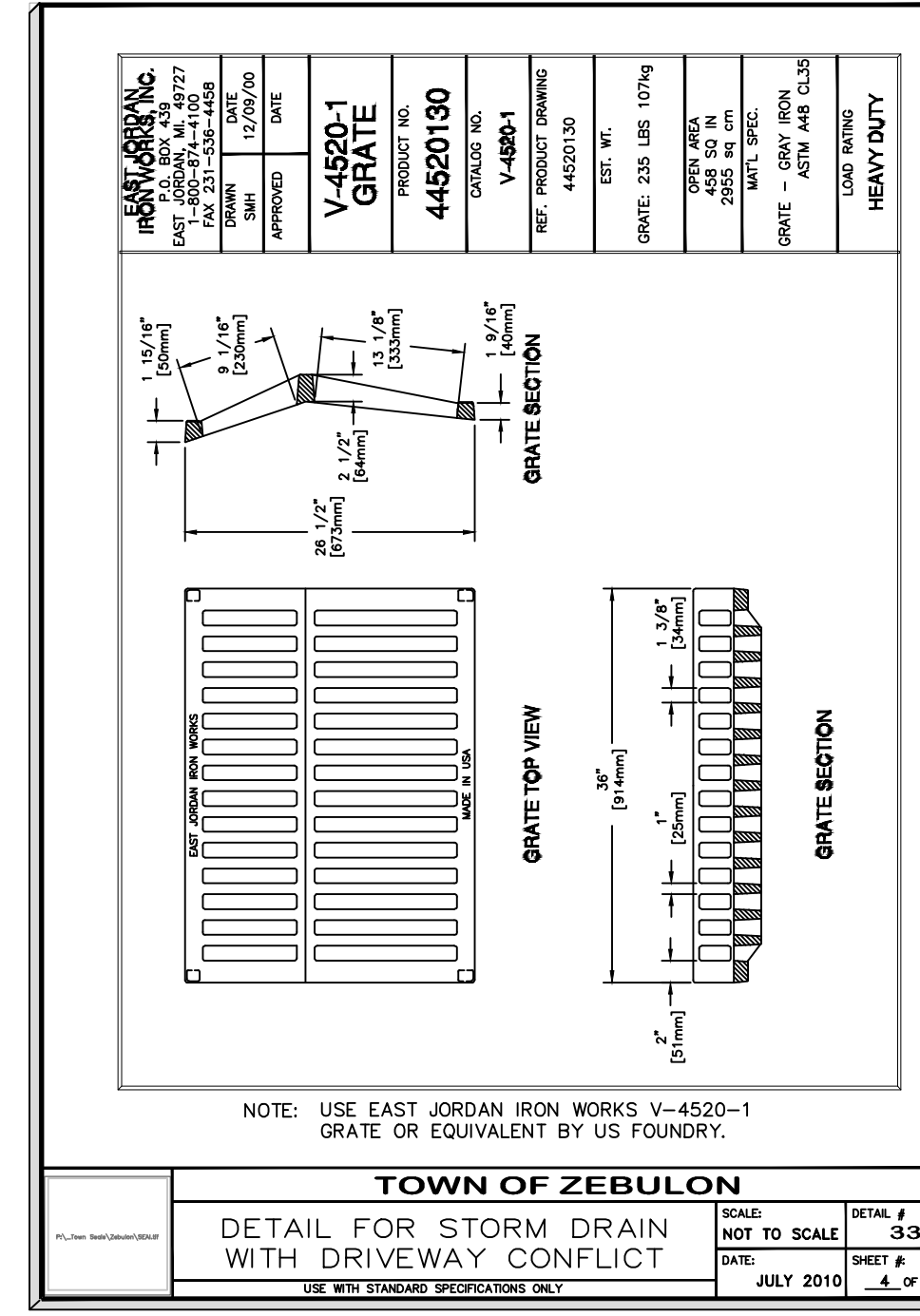
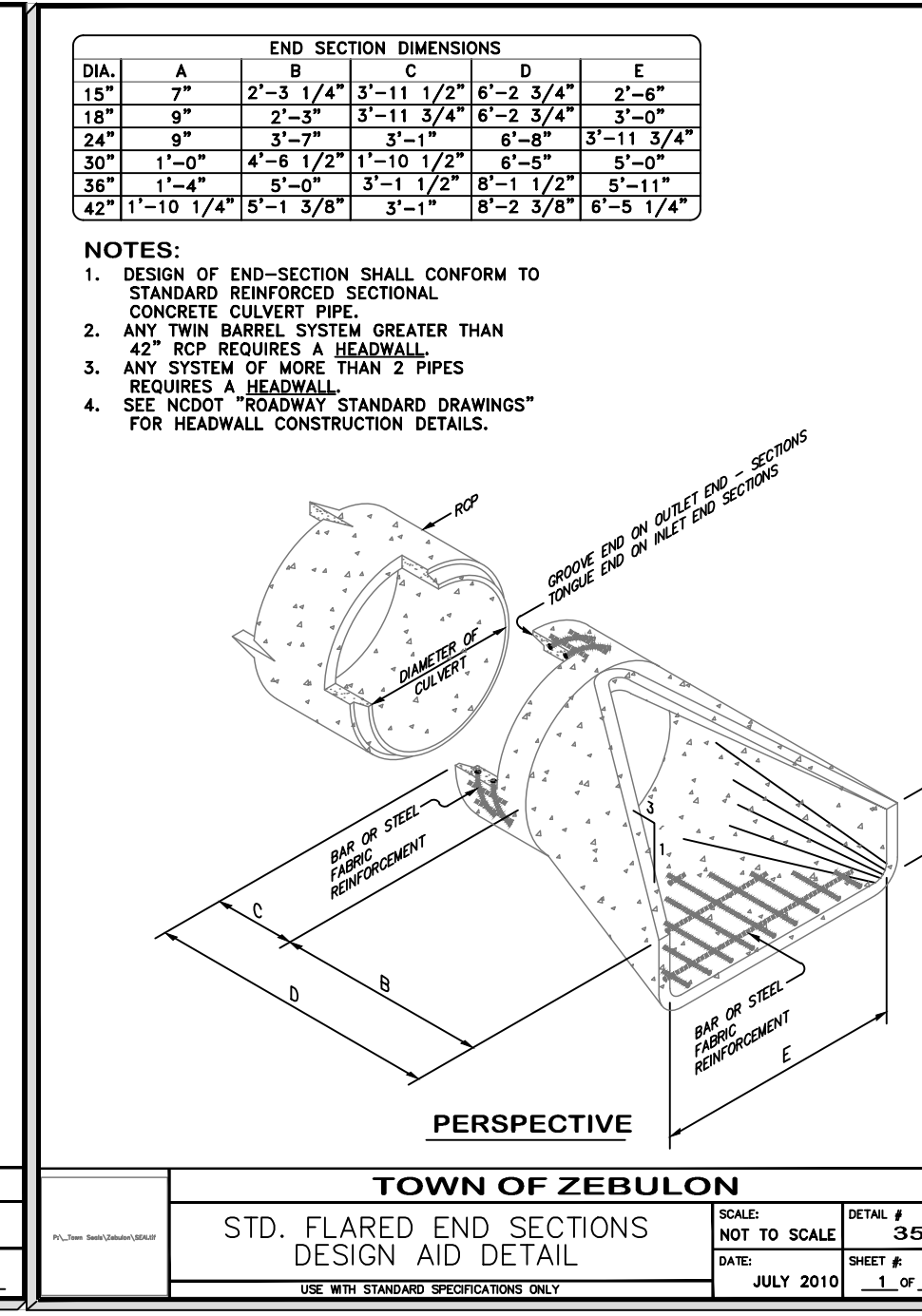
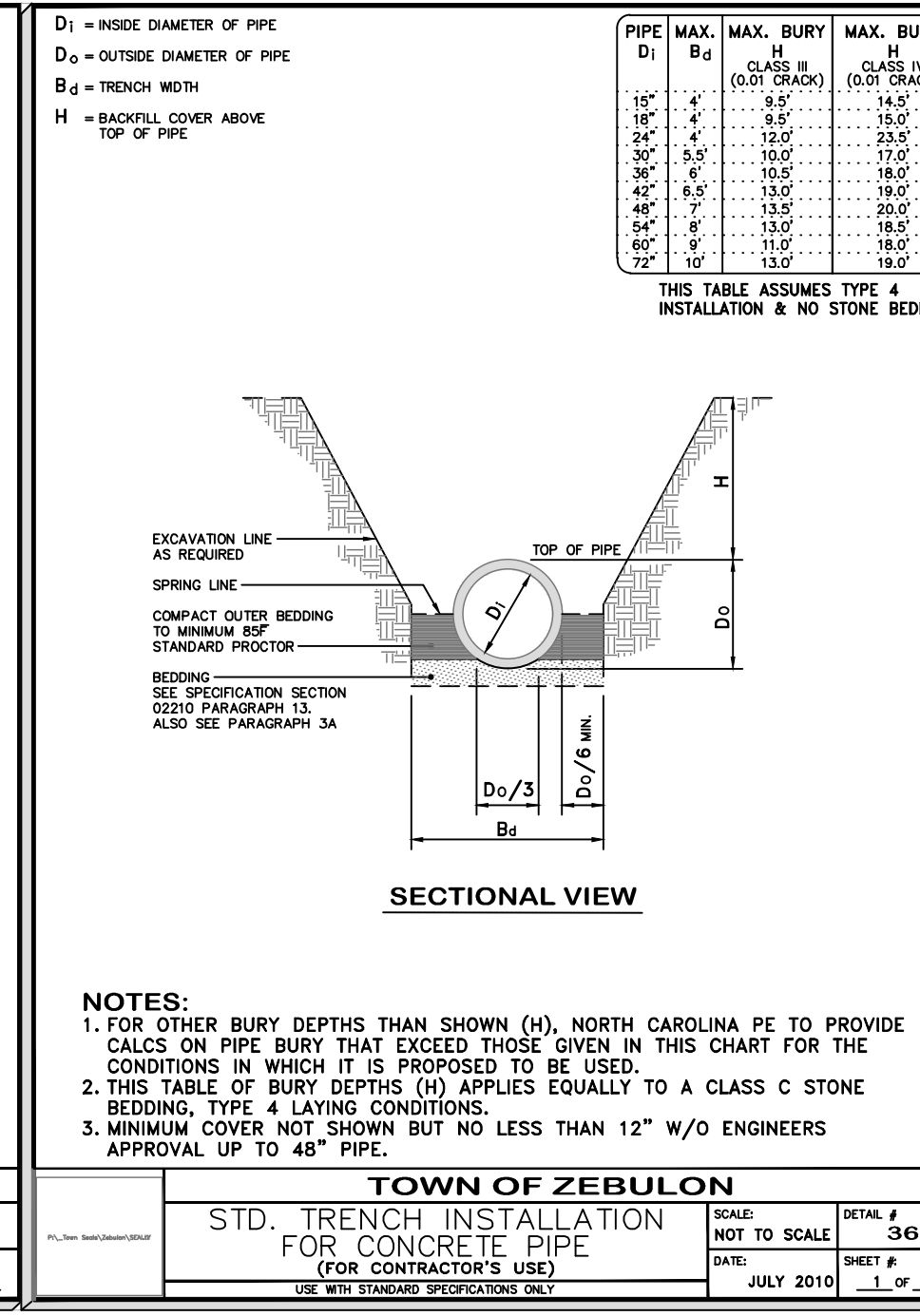
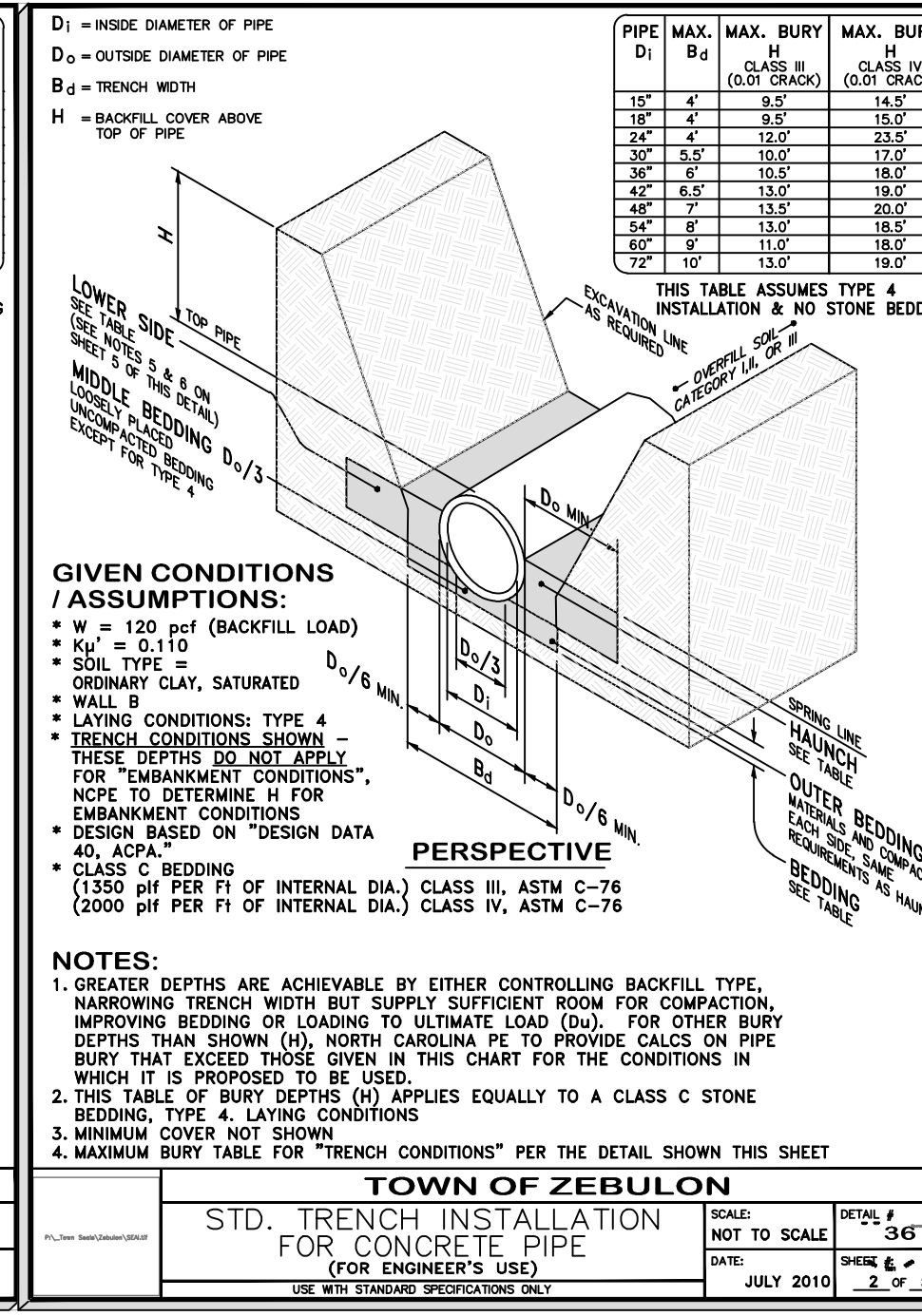
DETAILS

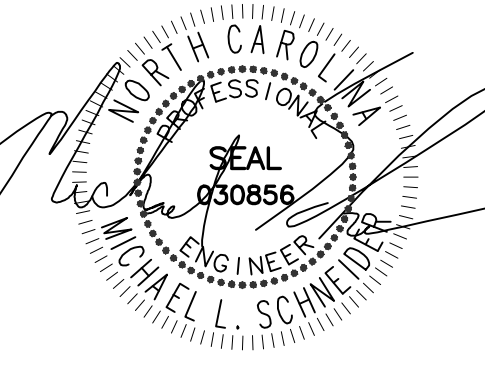
DWG. NO. SITE 24

Installation Type	Bedding Thickness	Haunch and Outer Bedding	Lower Side
Type 1	D ₁₅ minimum, not less than 75 mm (3"), if rock foundation, use D _{15/12} minimum, not less than 150 mm (6").	98% Category I	90% Category I, 95% Category II, 100% Category III
Type 2	D ₁₅ minimum, not less than 75 mm (3"), if rock foundation, use D _{15/12} minimum, not less than 150 mm (6").	90% Category I or 95% Category II	90% Category I, 95% Category II, 95% Category III
Type 3	D ₁₅ minimum, not less than 75 mm (3"), if rock foundation, use D _{15/12} minimum, not less than 150 mm (6").	95% Category I, 95% Category II, or 95% Category III	90% Category I, 95% Category II, 95% Category III
Type 4	D ₁₅ minimum, not less than 75 mm (3"), if rock foundation, use D _{15/12} minimum, not less than 150 mm (6").	No compaction required, except if Category II, use 95% Category II	No compaction required, except if Category II, use 95% Category II

- Notes:
1. Compaction and soils symbols - i.e. "98% Category I" refers to Category I soil material with a minimum standard Proctor compaction of 98%. See Table 1 for equivalent modified Proctor values.
 2. Soil in the outer bedding, haunch, and lower side zones, except within D_{0/3} from the pipe springline, shall be compacted to at least the same compaction as the majority of the soil in the overfill zone.
 3. Subdrains
 - 3.1 A subdrain is defined as a trench with its top below finished grade by more than 0.1 H or, for roadways, its top is at an elevation lower than 0.3 m (1') below the bottom of the pavement base material.
 - 3.2 The minimum width of a subdrain shall be 1.33 D₀, or wider if required for adequate space to obtain the specified compaction in the haunch and bedding zones.
 - 3.3 For subdrains with wall of natural soil, any portion of the lower side zone in the subdrain wall shall be at least as firm as an equivalent soil placed to the compaction requirements specified for the lower side zone and as firm as the majority of soil in the overfill zone, or shall be removed and replaced with soil compacted to the specified level.
 4. Type 1 installation = relatively high quality material & high compaction effort. Type 4 installation = little or no control over material and compaction.

Representative Soil Types	Percent Compaction
SD1 Soil	Standard Proctor Modified Proctor
Gravelly Sand (Category I)	100 95 90 85 81
Sandy Silty (Category II)	100 95 90 85 81
Silty Clay (Category III)	100 90 85 80 75





02-17-24

WEAVER'S POINTE SUBDIVISION

**0 WEAVERS POND DRIVE
 ZEBULON, NC**

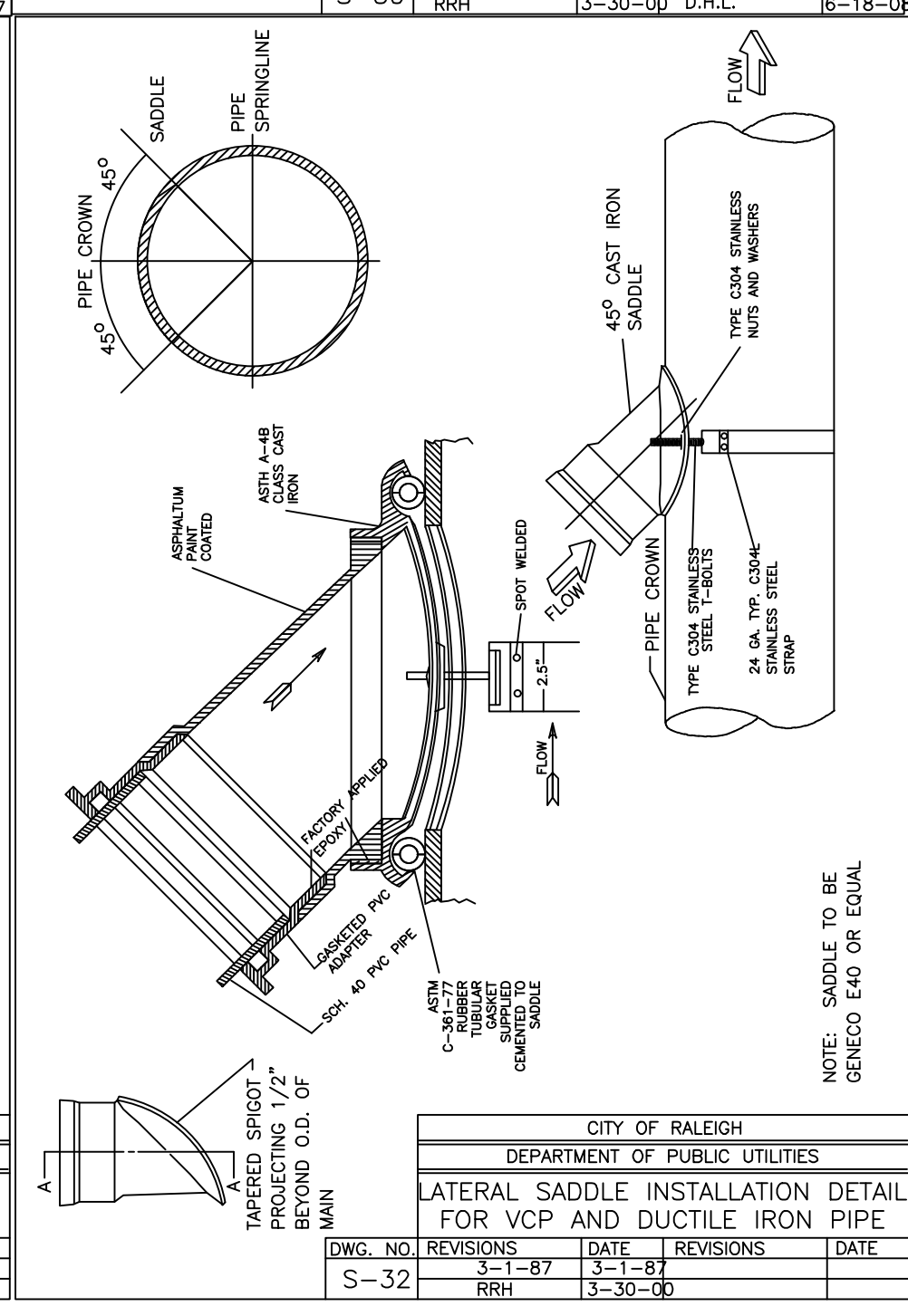
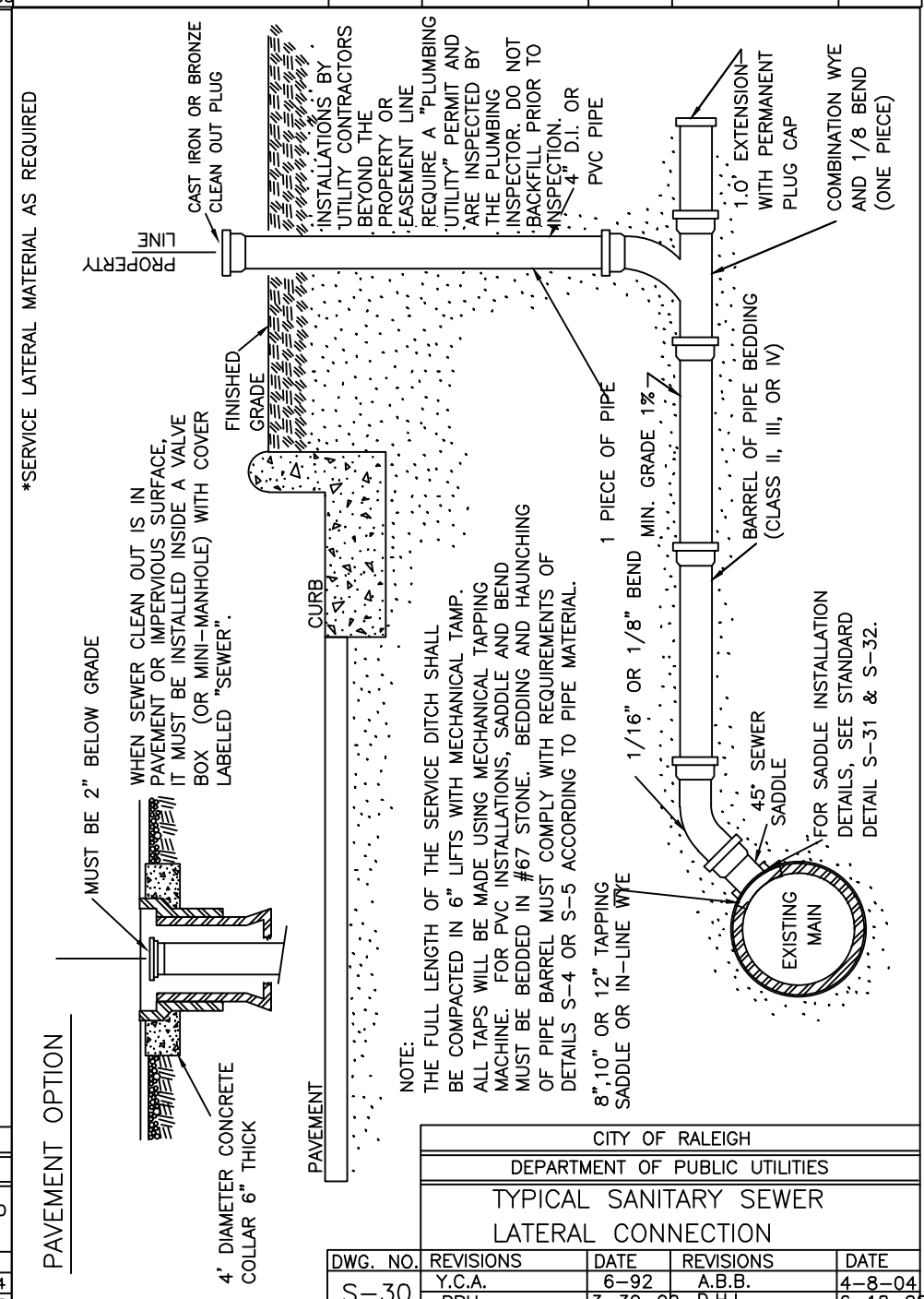
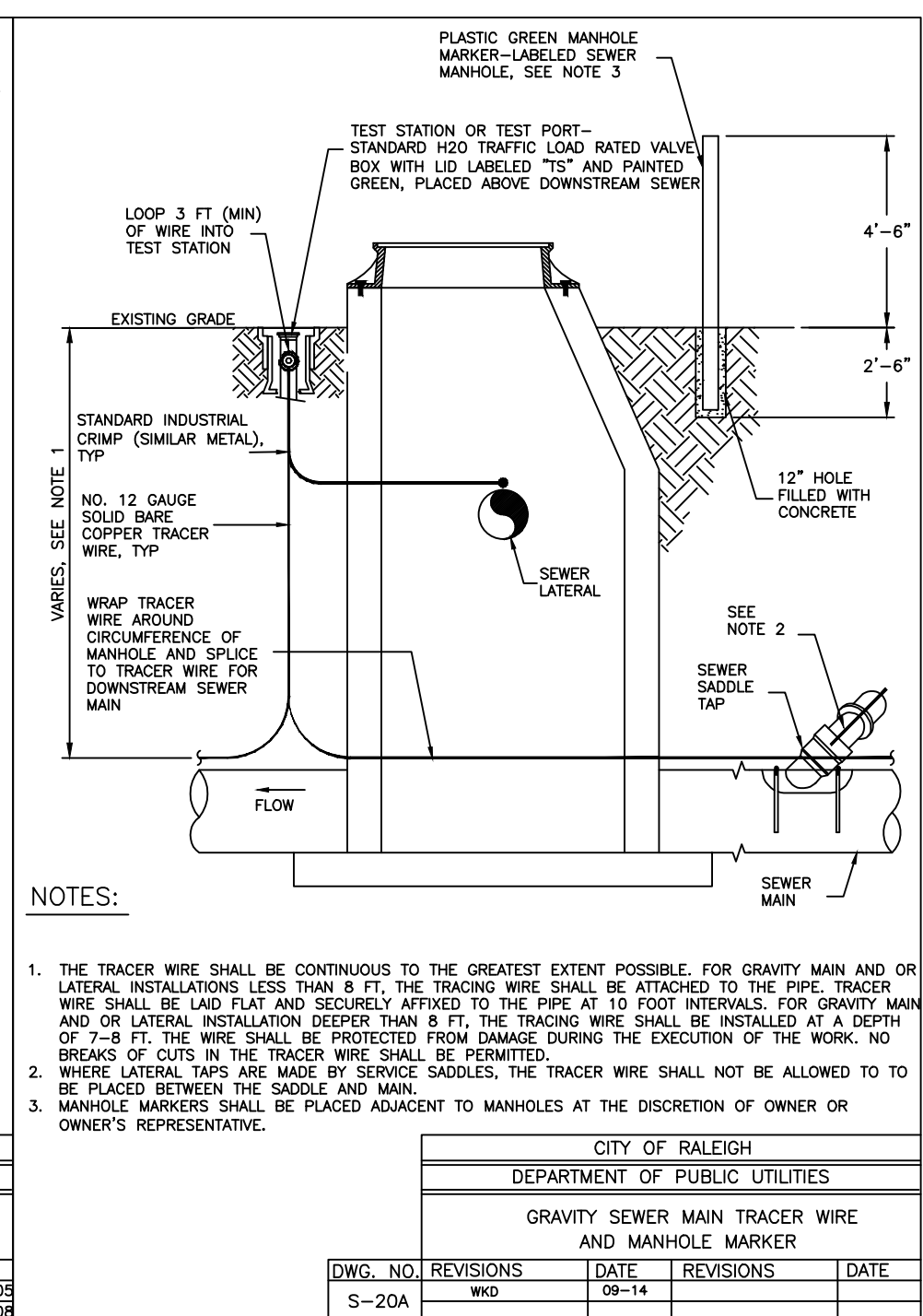
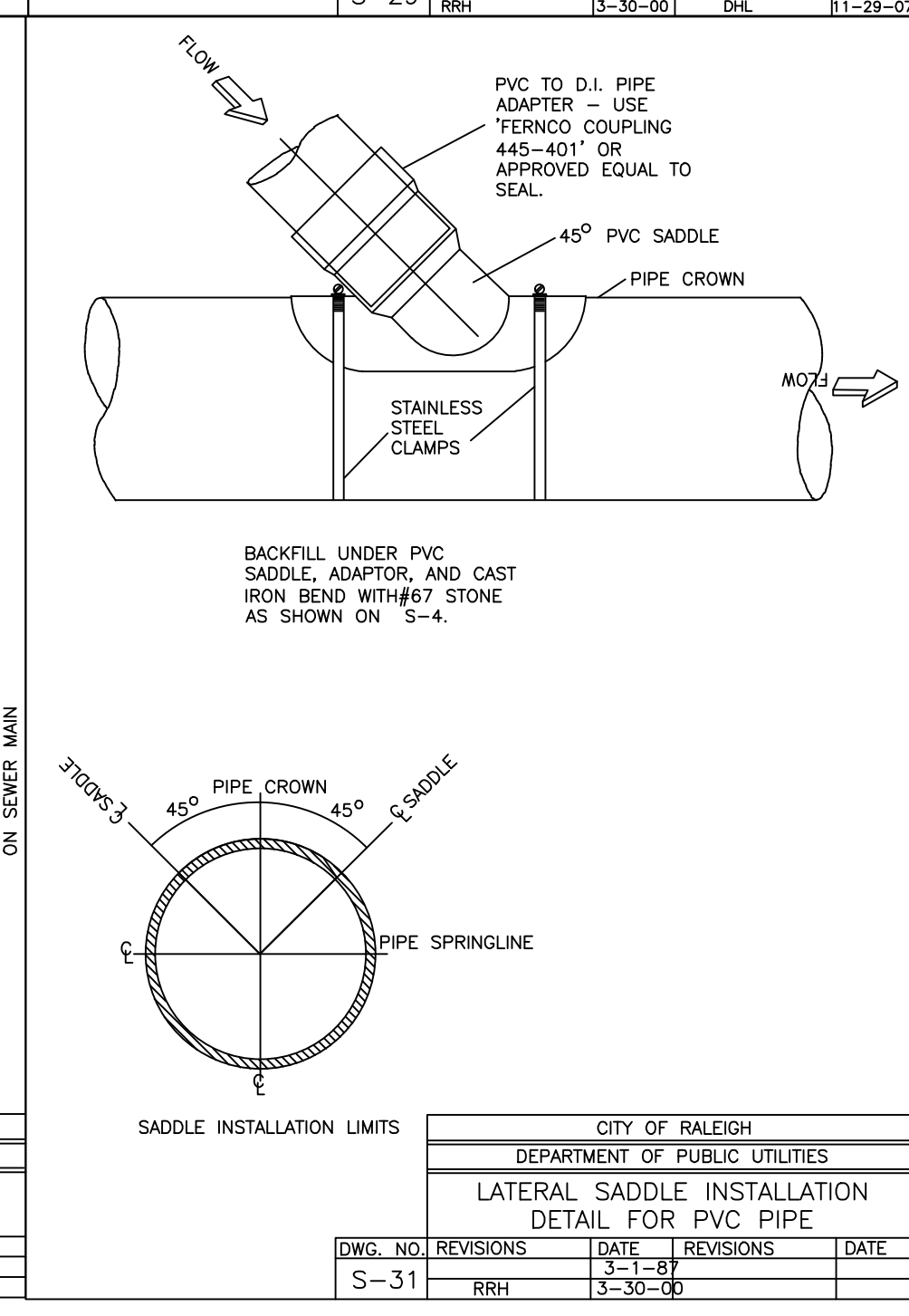
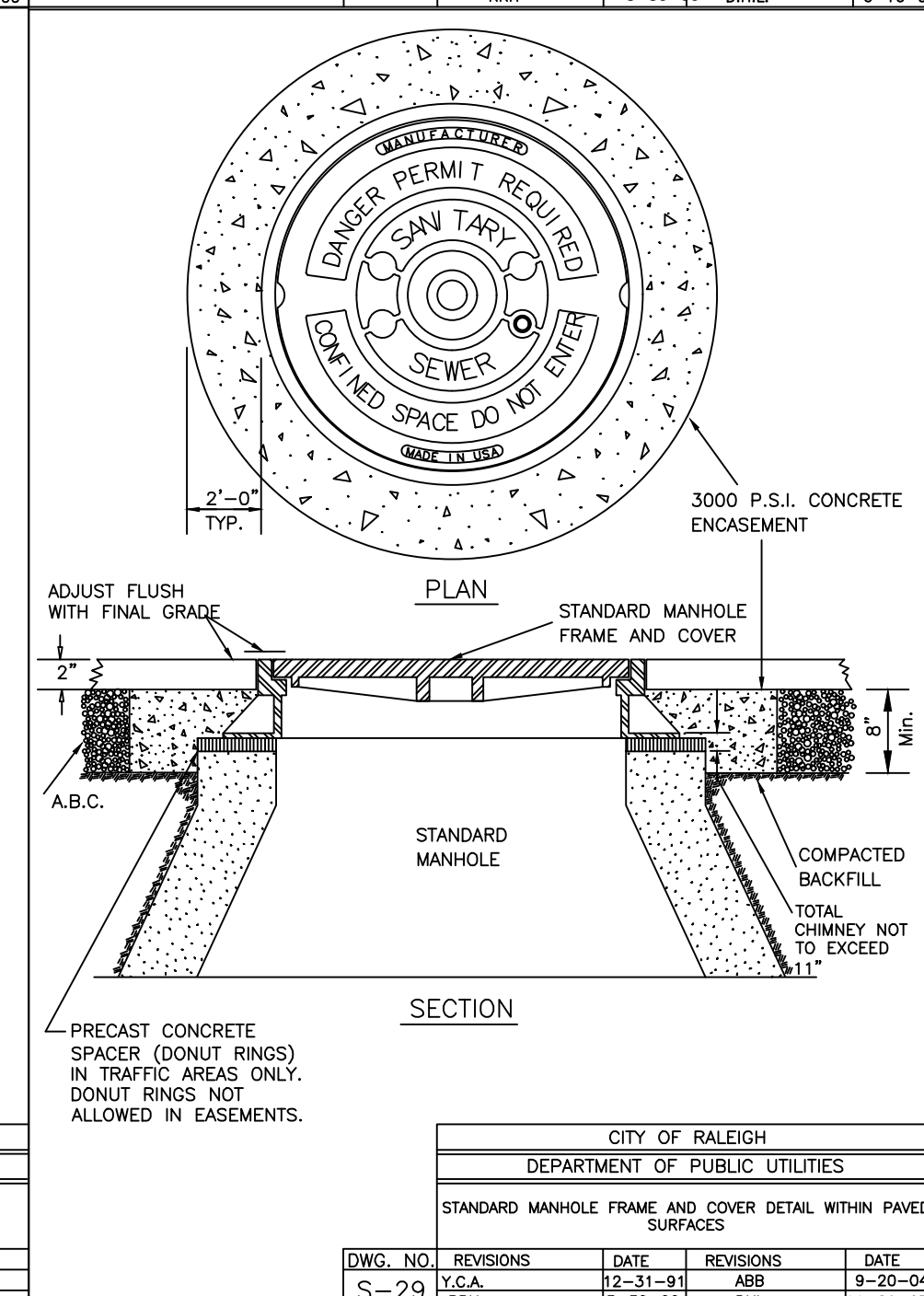
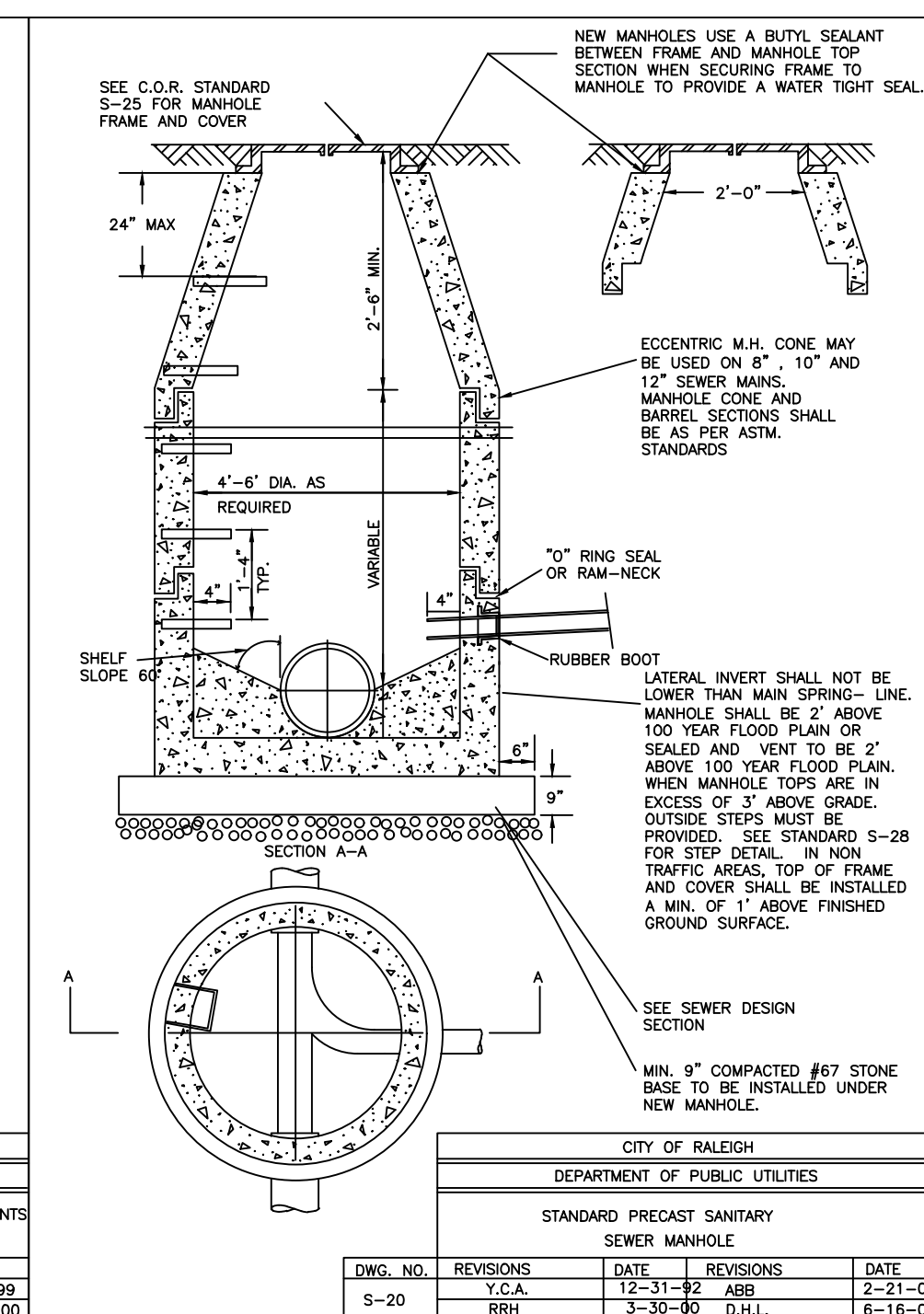
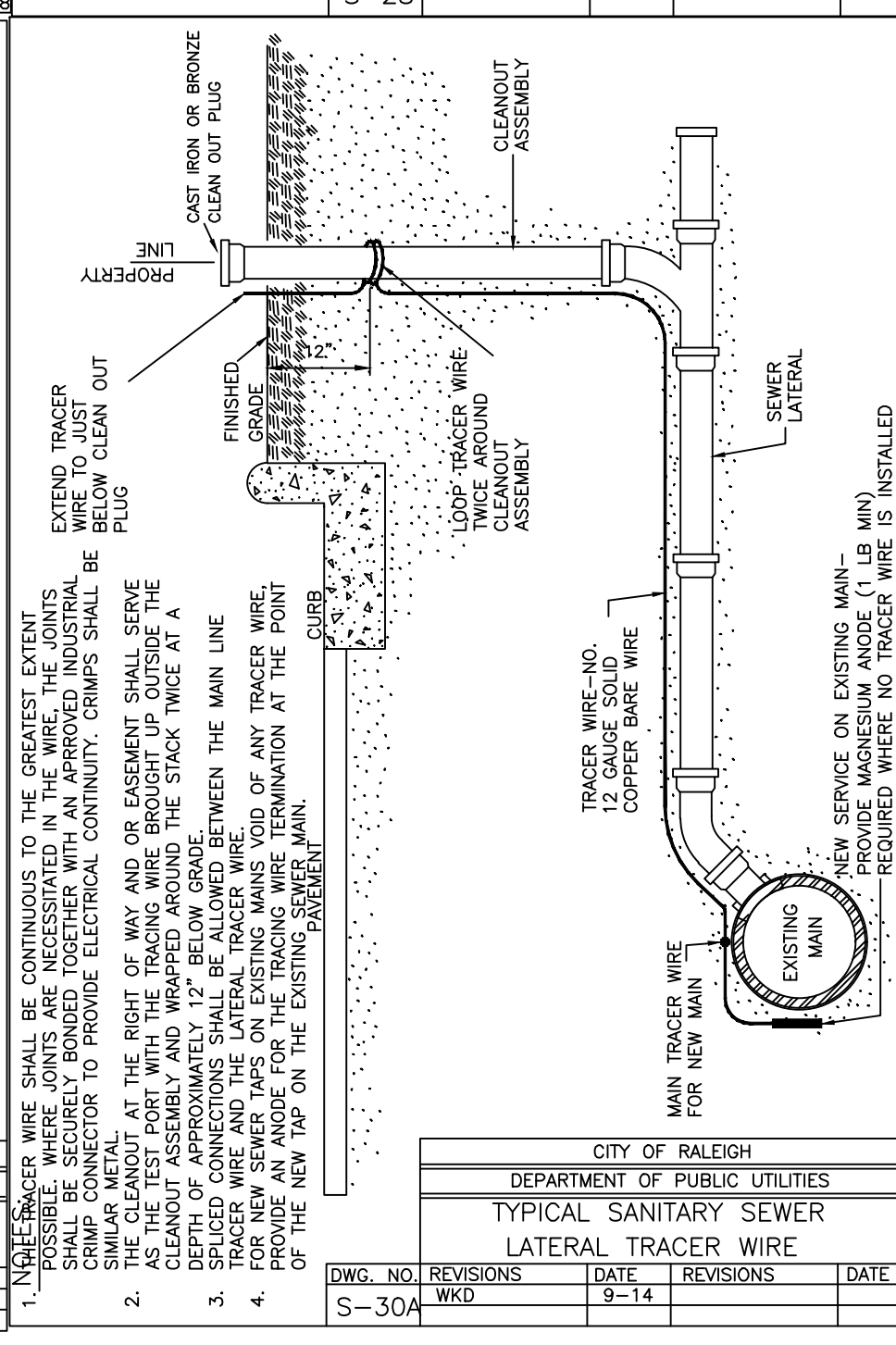
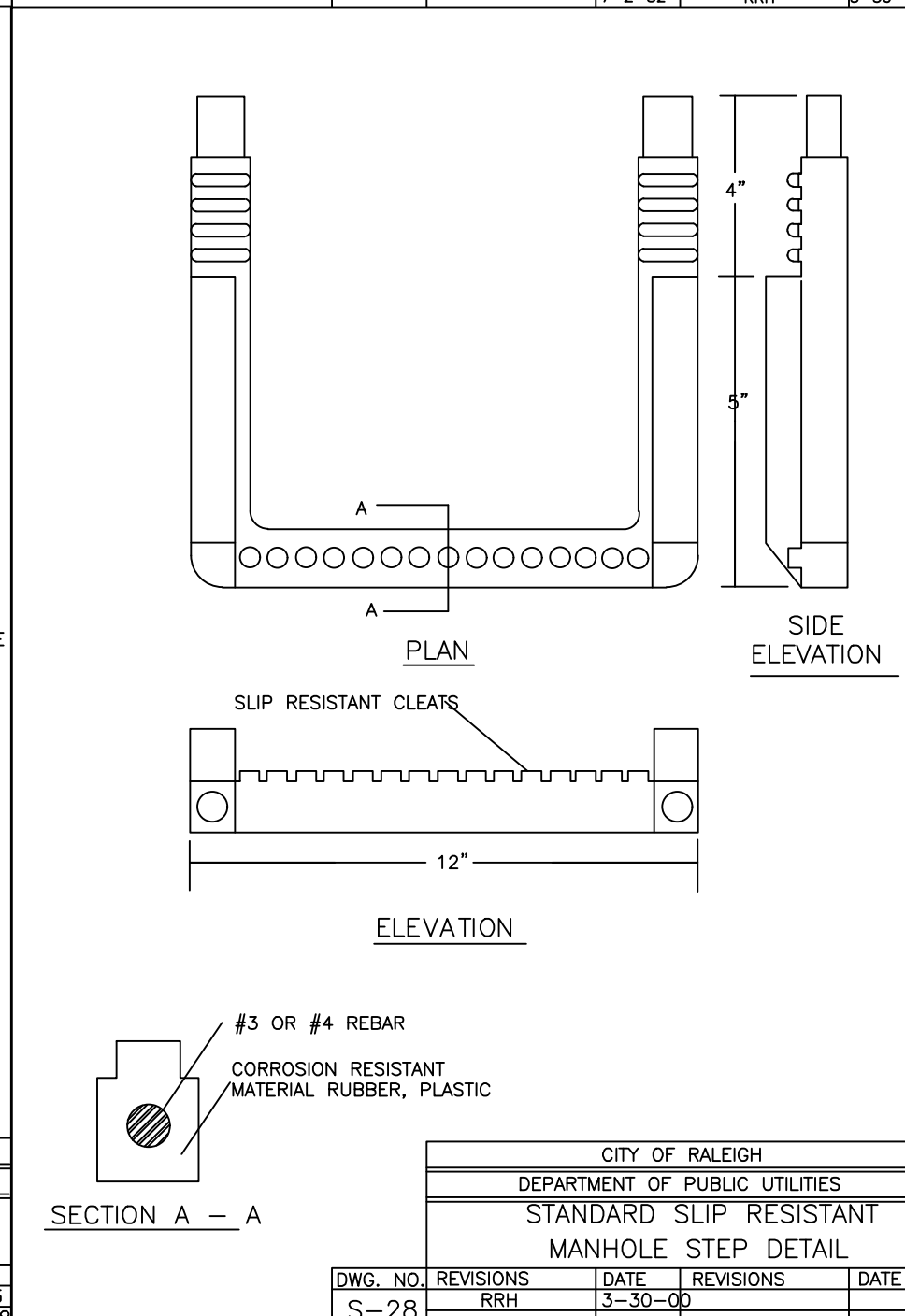
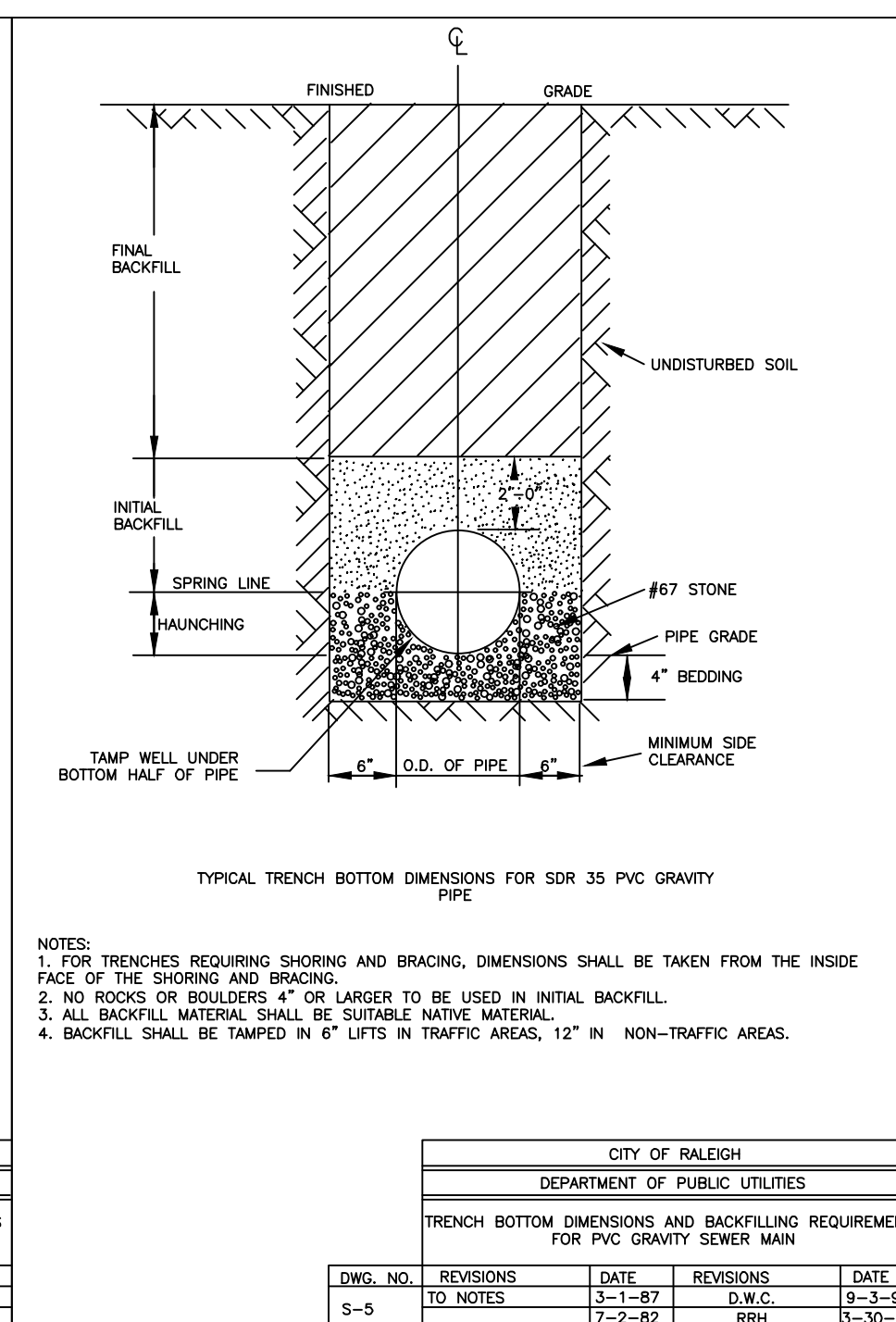
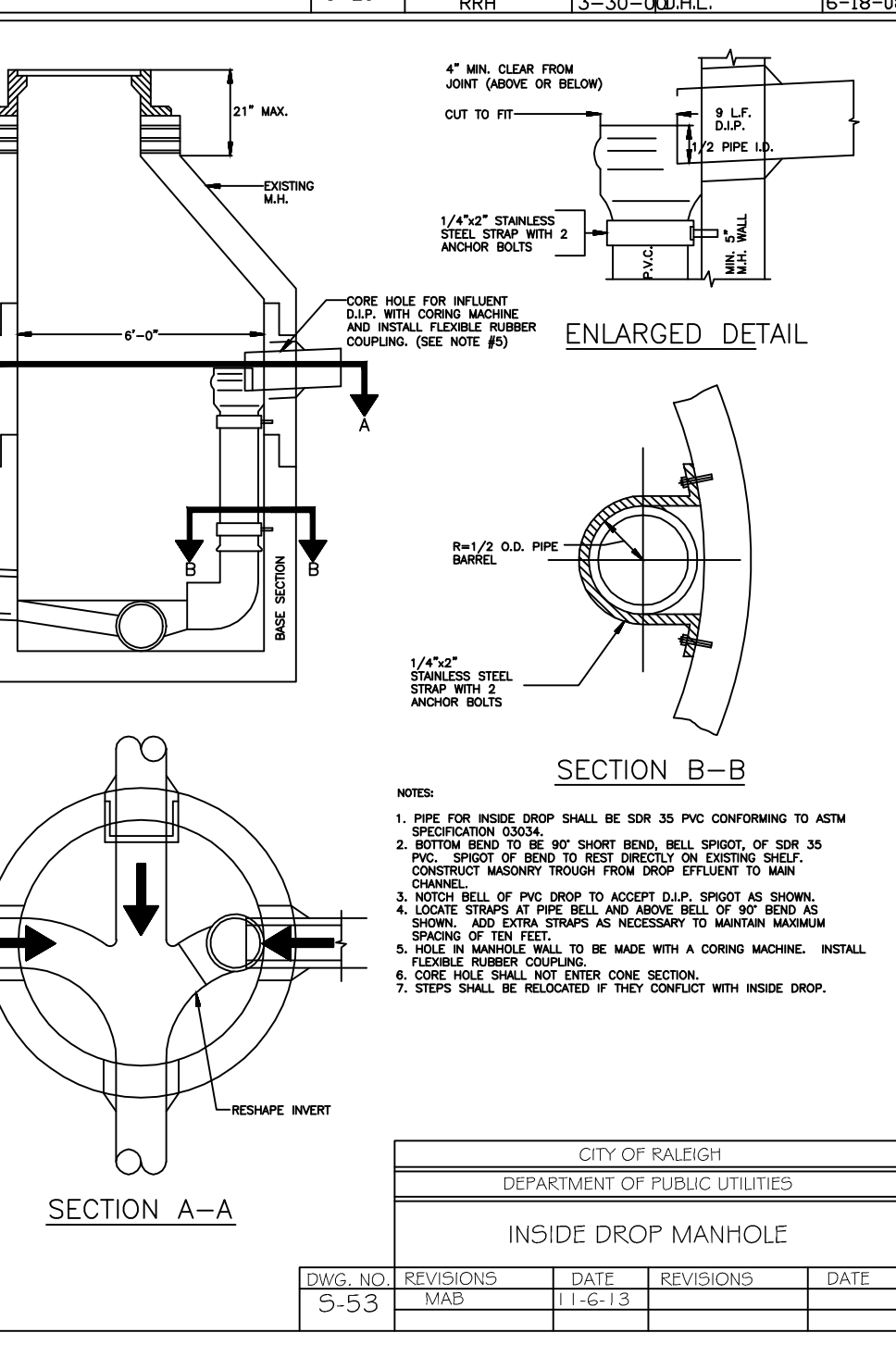
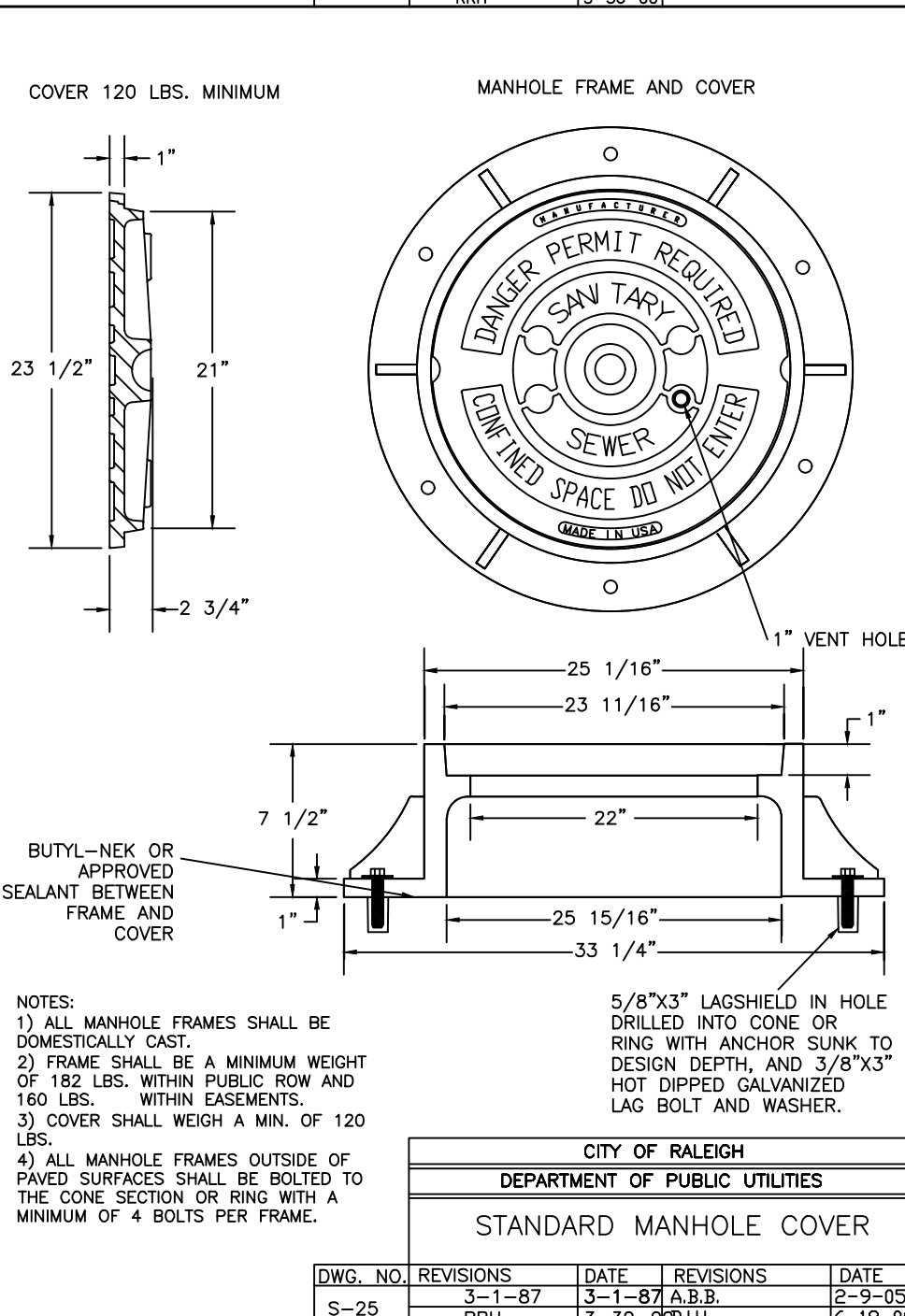
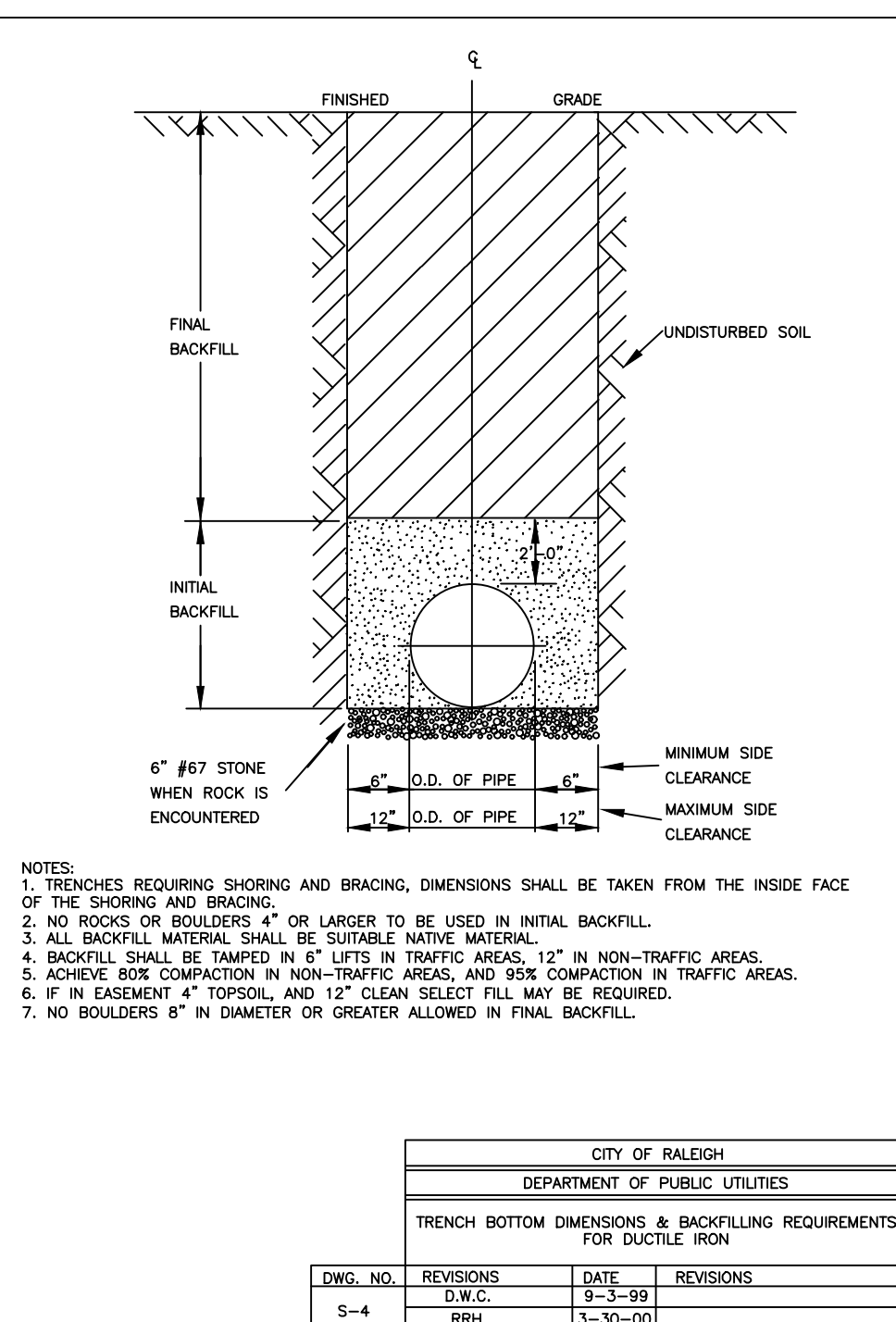
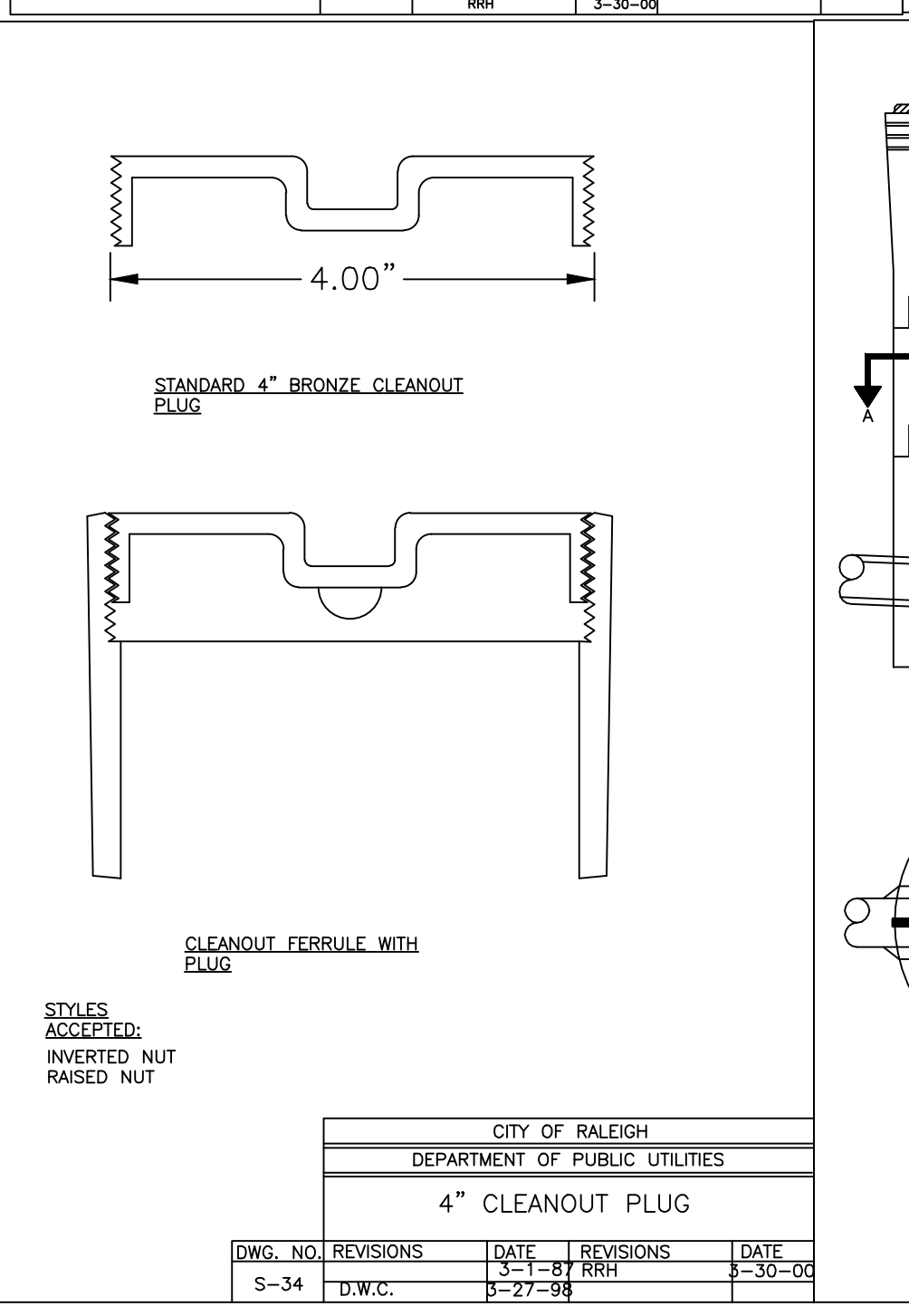
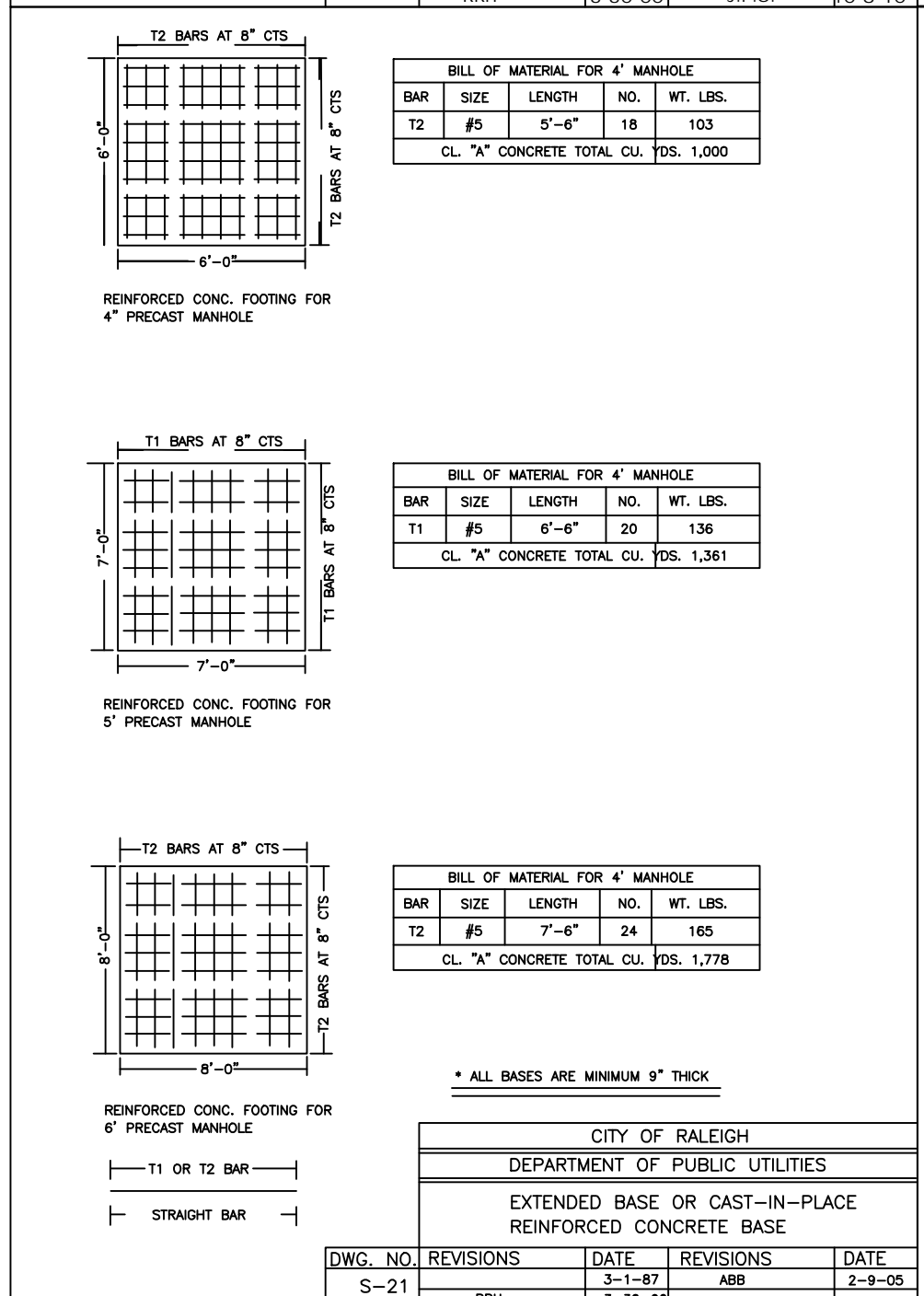
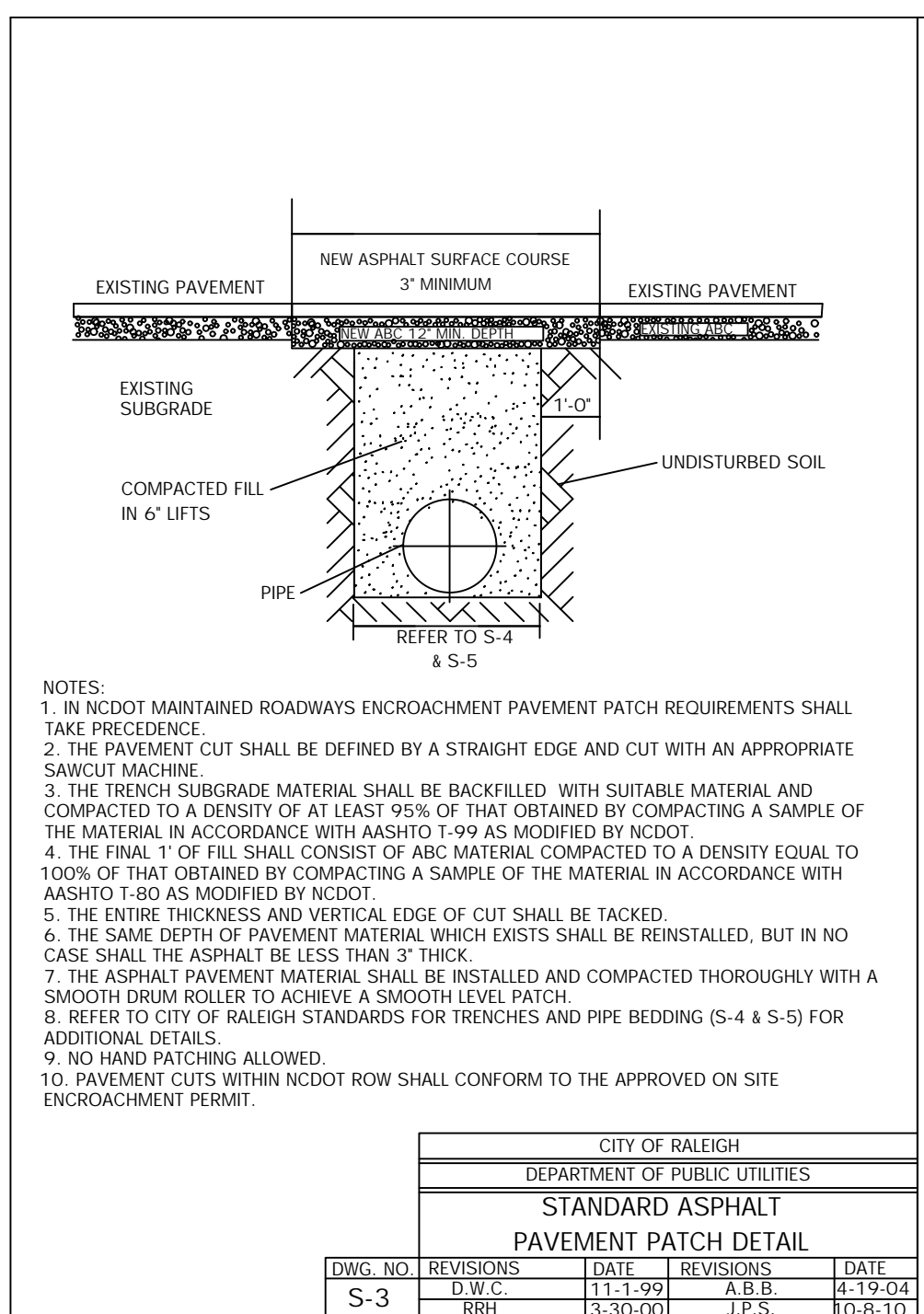
ISSUED: 02-14-24

REVISIONS:
 17 APRIL 20124
 PER TOWN/WAKE COUNTY REVIEW

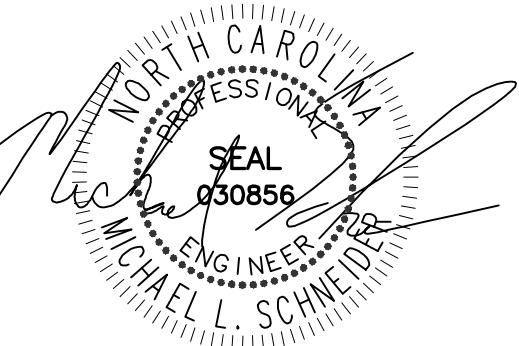
DRAWN BY: JET
 CHECKED BY: MLS
 PROJECT: FDCWP9

DETAILS

DWG. NO. **SITE 25**



INFRASTRUCTURE CONSTRUCTION PLAN APPROVAL
 CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION
 All Construction must be in accordance with all Local, State, and Federal Rules and Regulations.
 PUBLIC UTILITIES



ISSUED: 02-14-24

REVISIONS:
17 APRIL 20124
PER TOWN/WAKE COUNTY REVIEW

DRAWN BY: JET
CHECKED BY: MLS
PROJECT: FDCWP9

DETAILS

STANDARD ASPHALT PAVEMENT PATCH DETAIL

REVISIONS: W-2, D.W.C. 11-1-99, J.P.S. 10-29-10

STANDARD FIRE HYDRANT INSTALLATION DETAIL

REVISIONS: W-3, D.W.C. 5-3-99, A.B.B. 2-15-05, J.P.S. 10-29-10

STANDARD FIRE HYDRANT INSTALLATION DETAIL

REVISIONS: W-4, D.W.C. 4-2-04, J.P.S. 2/27/09

STANDARD FIRE HYDRANT INSTALLATION DETAIL

REVISIONS: W-4c, D.W.C. 4-2-04

STANDARD THRUST BLOCKING VIEWS

REVISIONS: W-1, D.W.C. 3-1-87, R.R.H. 3-31-00, D.H.L. 6-18-08

STANDARD FIRE HYDRANT WITH 5" STORJ PUMPER NOZZLE

REVISIONS: W-2, M.A.B. 8-30-14, K.A.T. 9-19-17

HYDRANT OPERATING NUT AND 2 1/2" OUTLET THREADS

REVISIONS: W-3, R.R.H. 8-31-00, J.P.S. 11-1-10

THRUST BLOCKING DESIGN DATA FOR WATER MAINS

REVISIONS: W-4, R.R.H. 8-21-00, J.P.S. 11-1-10

8" & 10" SANITARY SEWER EASEMENT WIDTHS

REVISIONS: W-4c, A.B.B. 11-27-05, D.H.L. 6-18-08

REACTION BEARING AREAS FOR HORIZONTAL WATER PIPE BENDS

REVISIONS: W-5, R.R.H. 8-21-00, J.P.S. 11-1-10

REACTION BEARING AREAS FOR HORIZONTAL WATER PIPE BENDS

REVISIONS: W-6, R.R.H. 8-21-00, J.P.S. 11-1-10

STANDARD VERTICAL BEND

REVISIONS: W-7, D.W.C. 6-23-99

STANDARD THRUST BLOCKING VIEWS

REVISIONS: W-8, D.W.C. 3-1-87, R.R.H. 3-31-00, D.H.L. 6-18-08

THRUST BLOCKING DESIGN QUANTITY TABLE

REVISIONS: W-9, D.W.C. 6-23-99

THRUST BLOCKING DESIGN QUANTITY TABLE

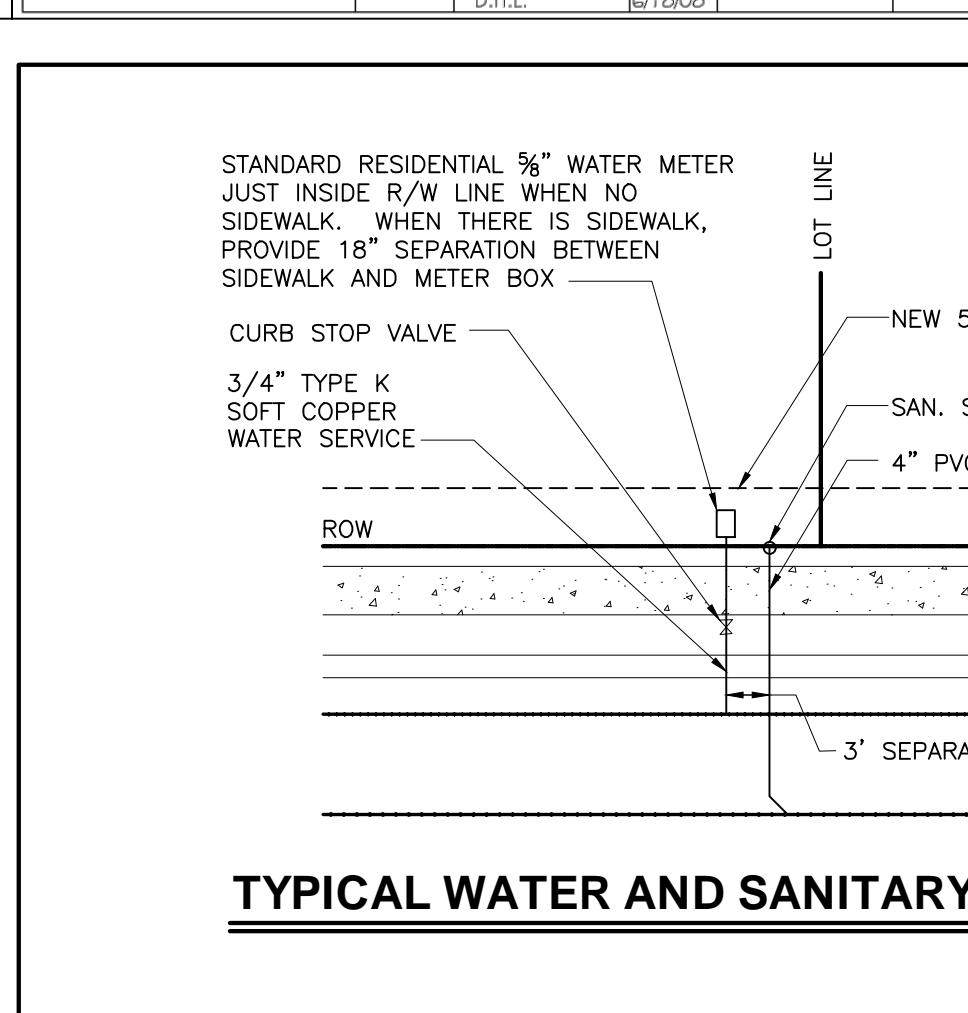
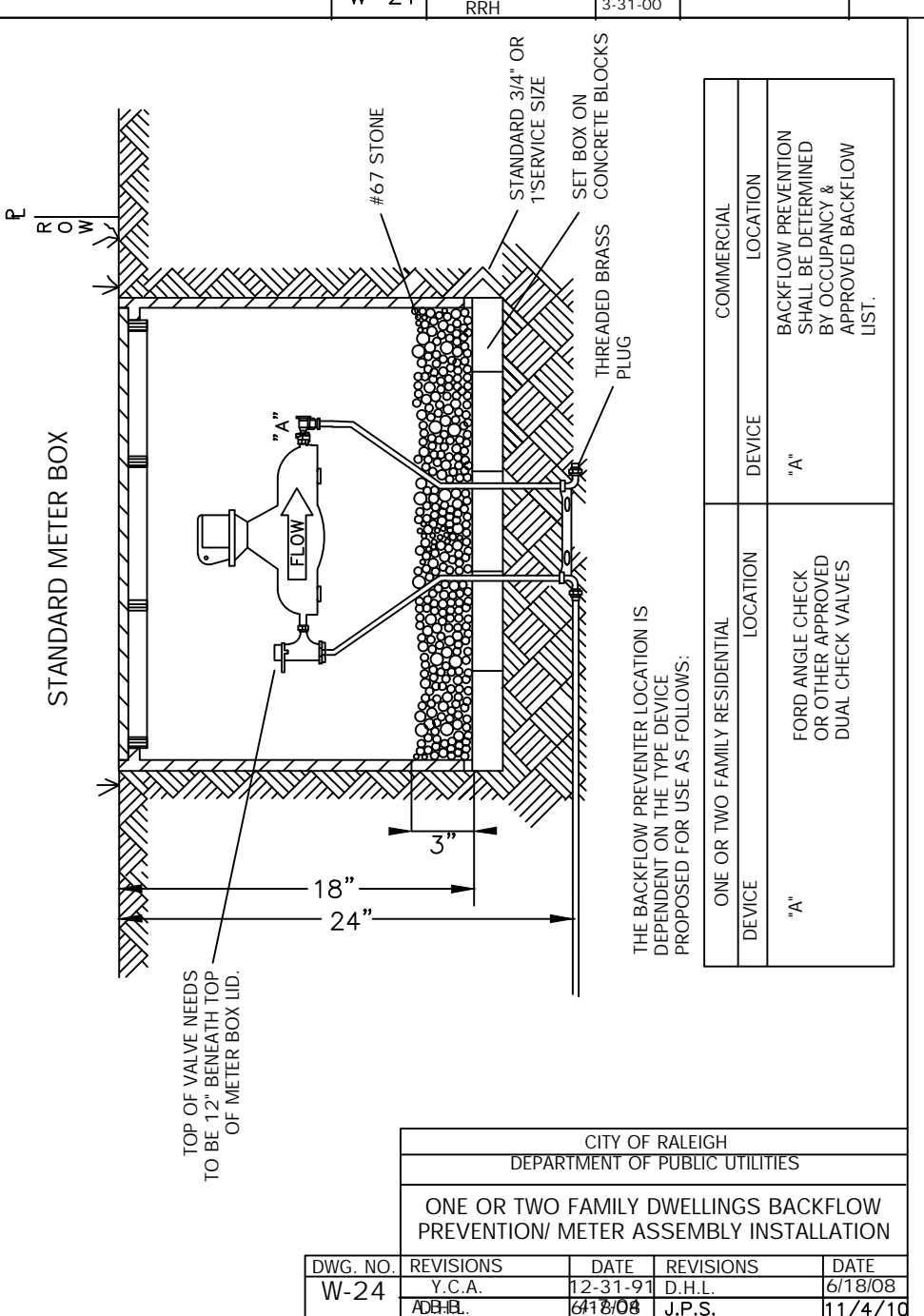
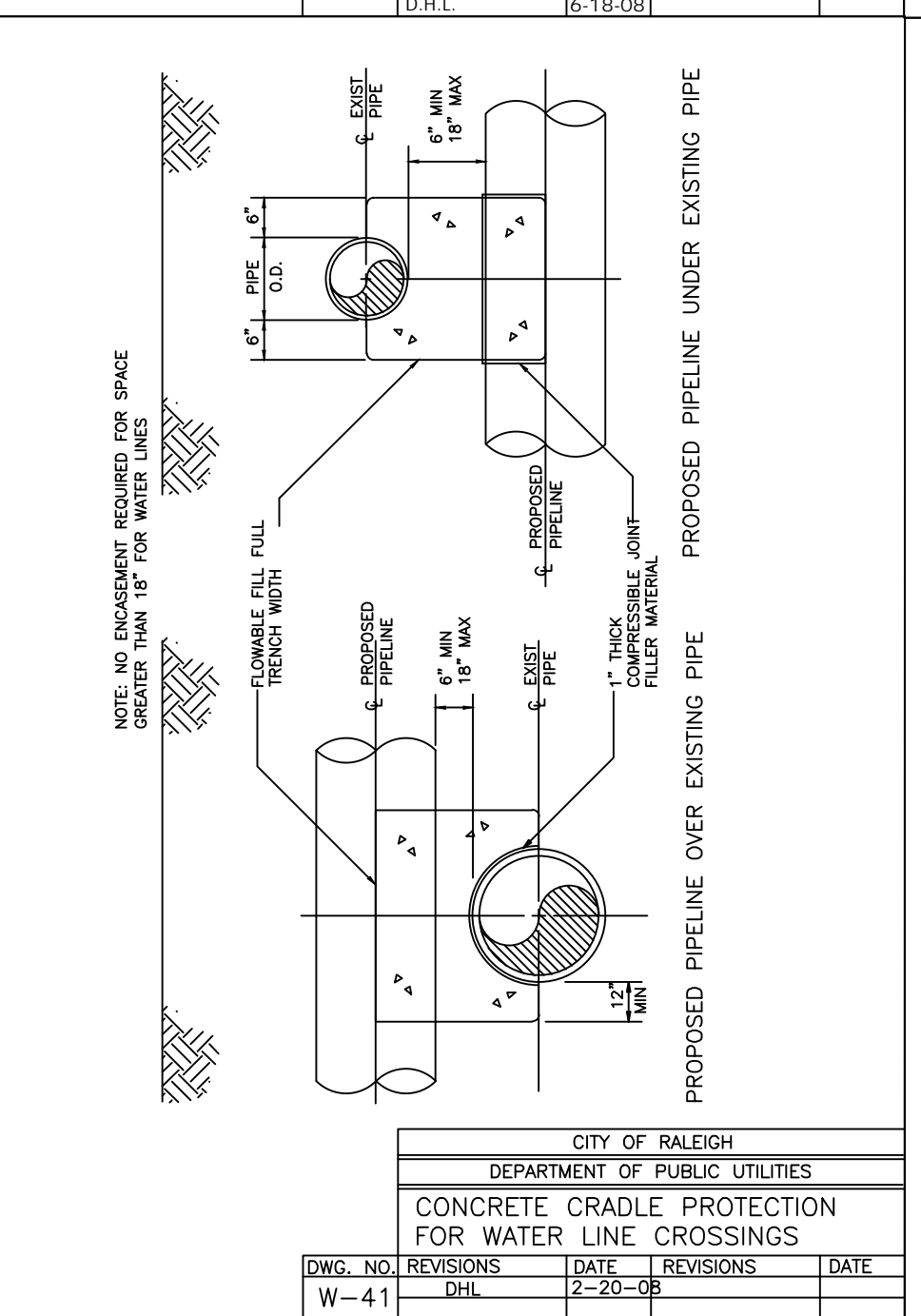
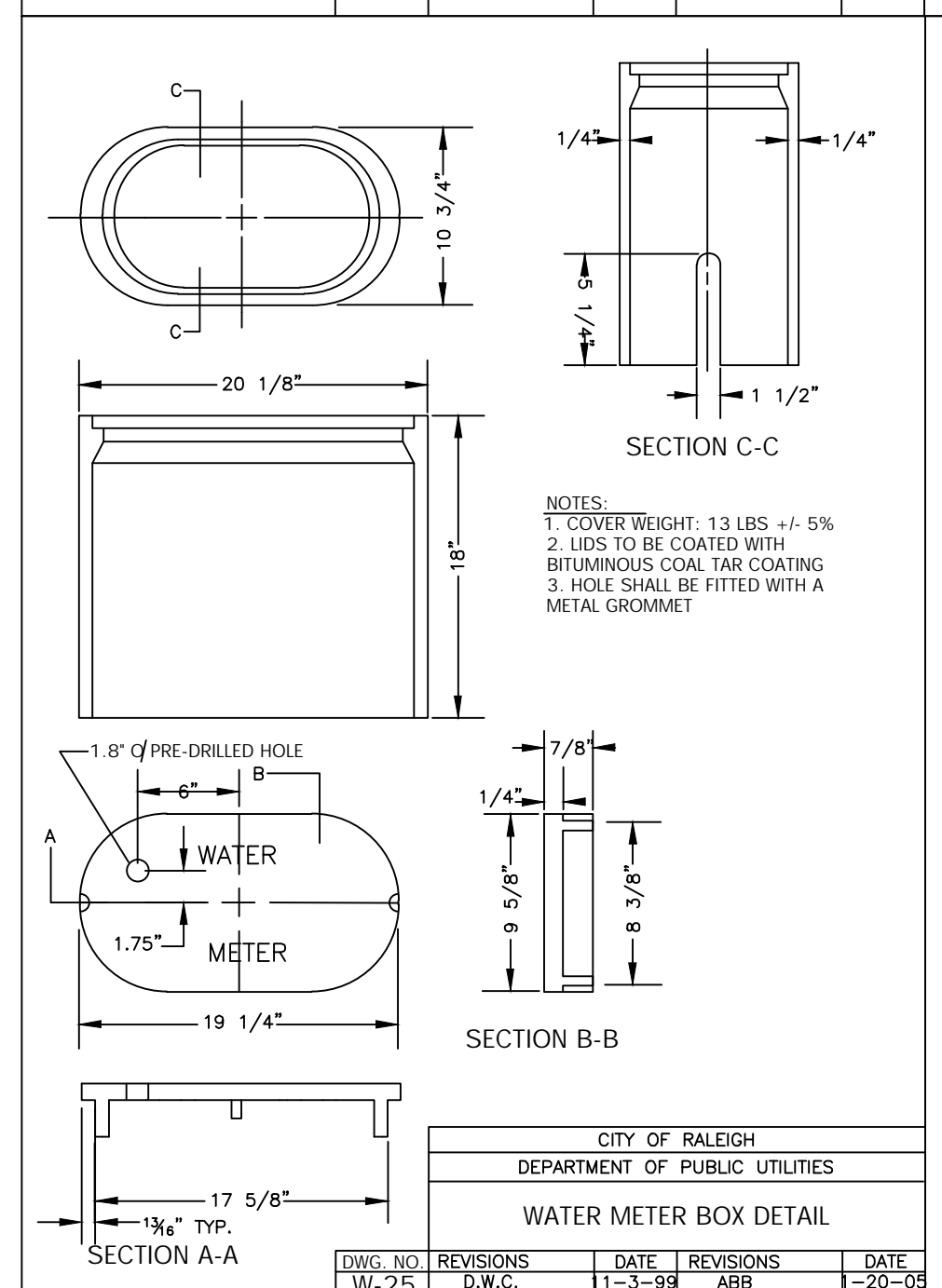
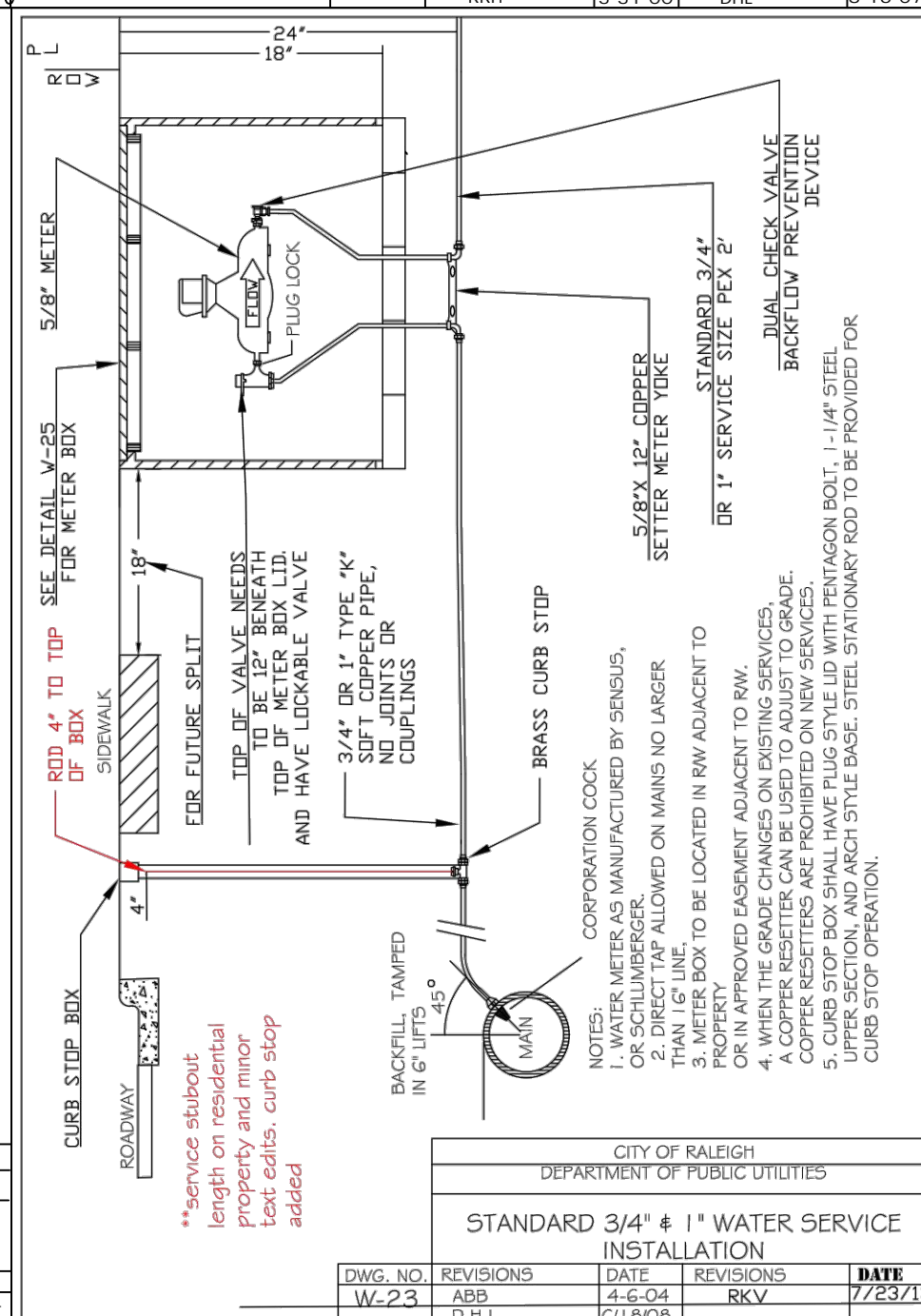
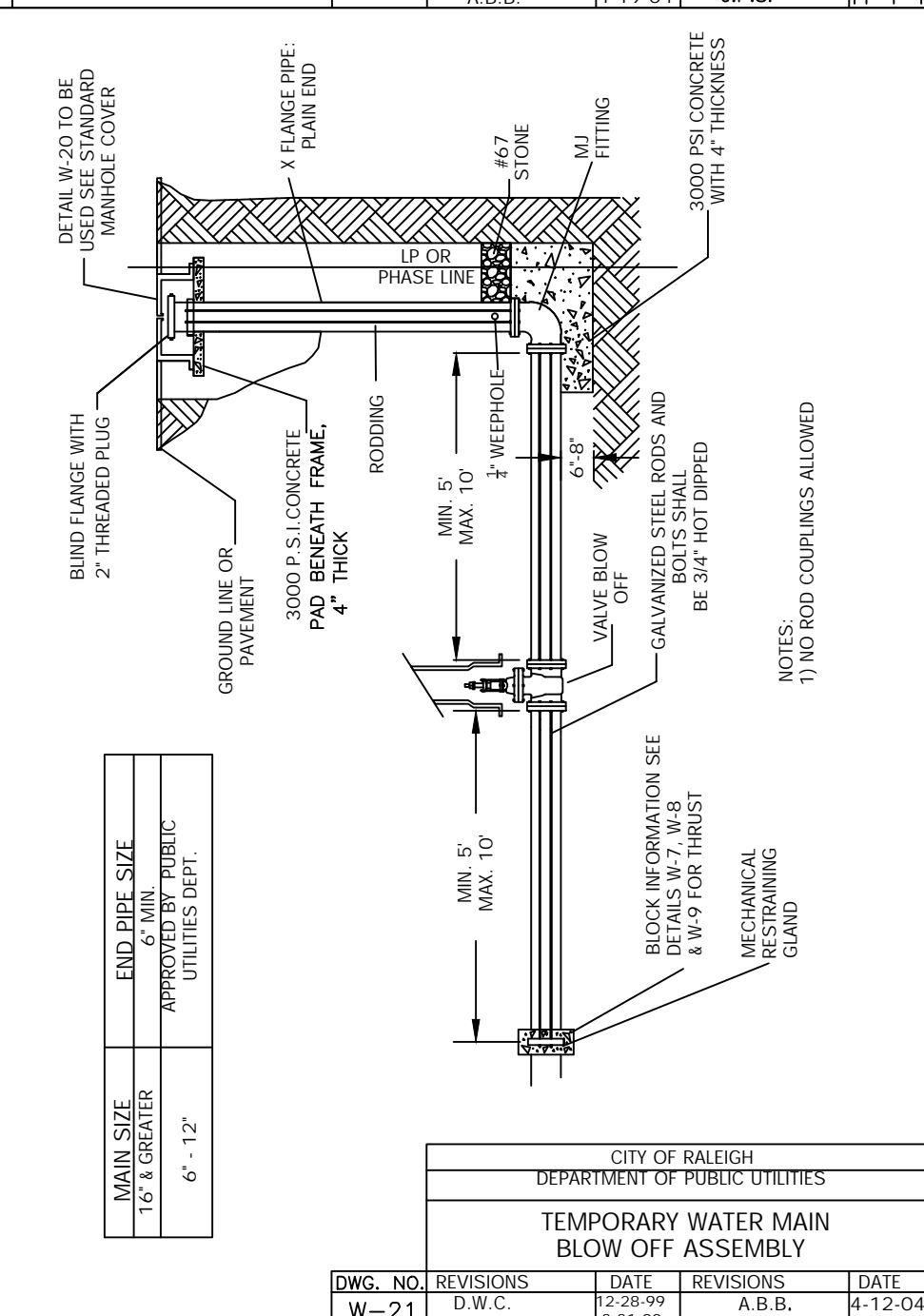
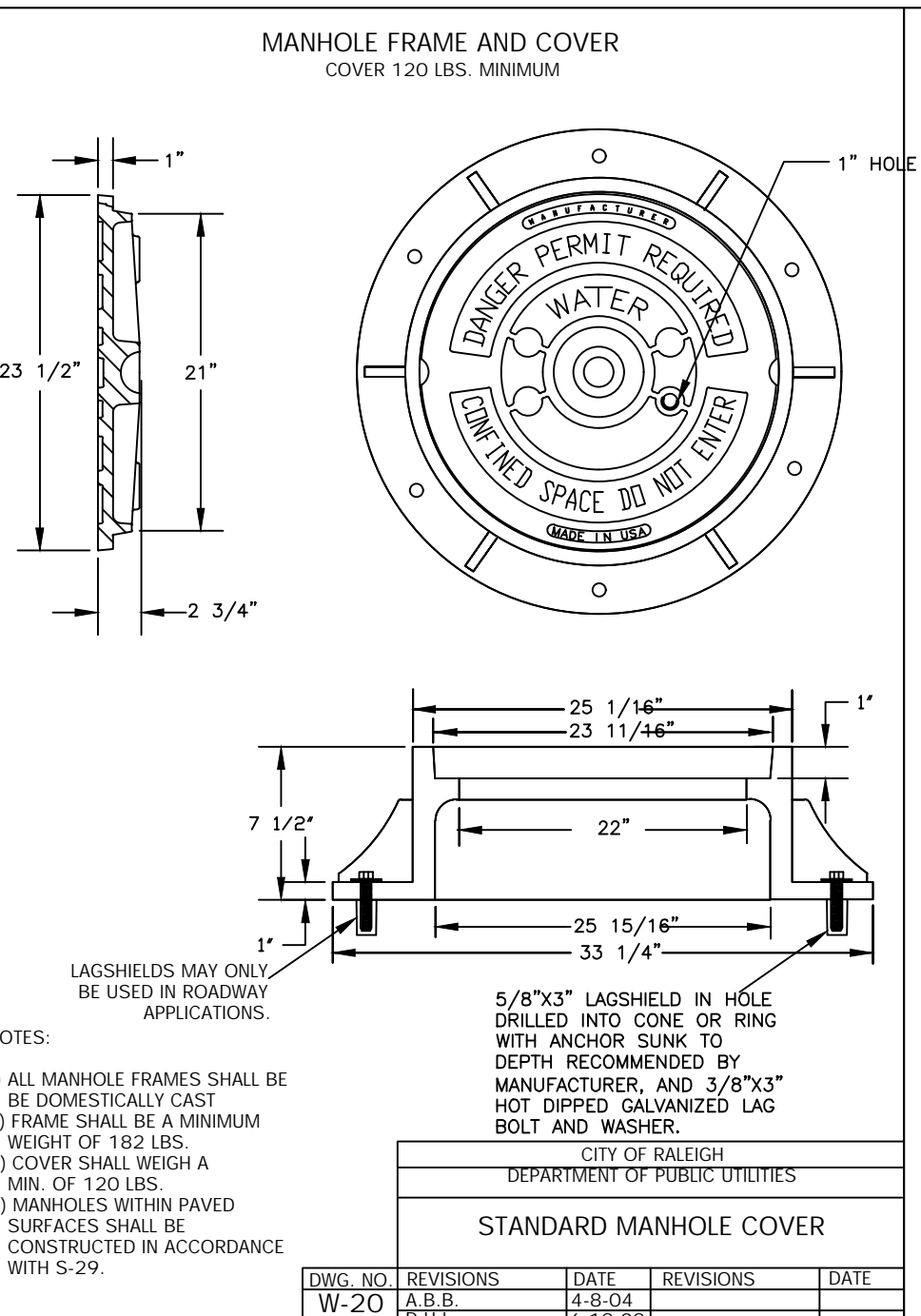
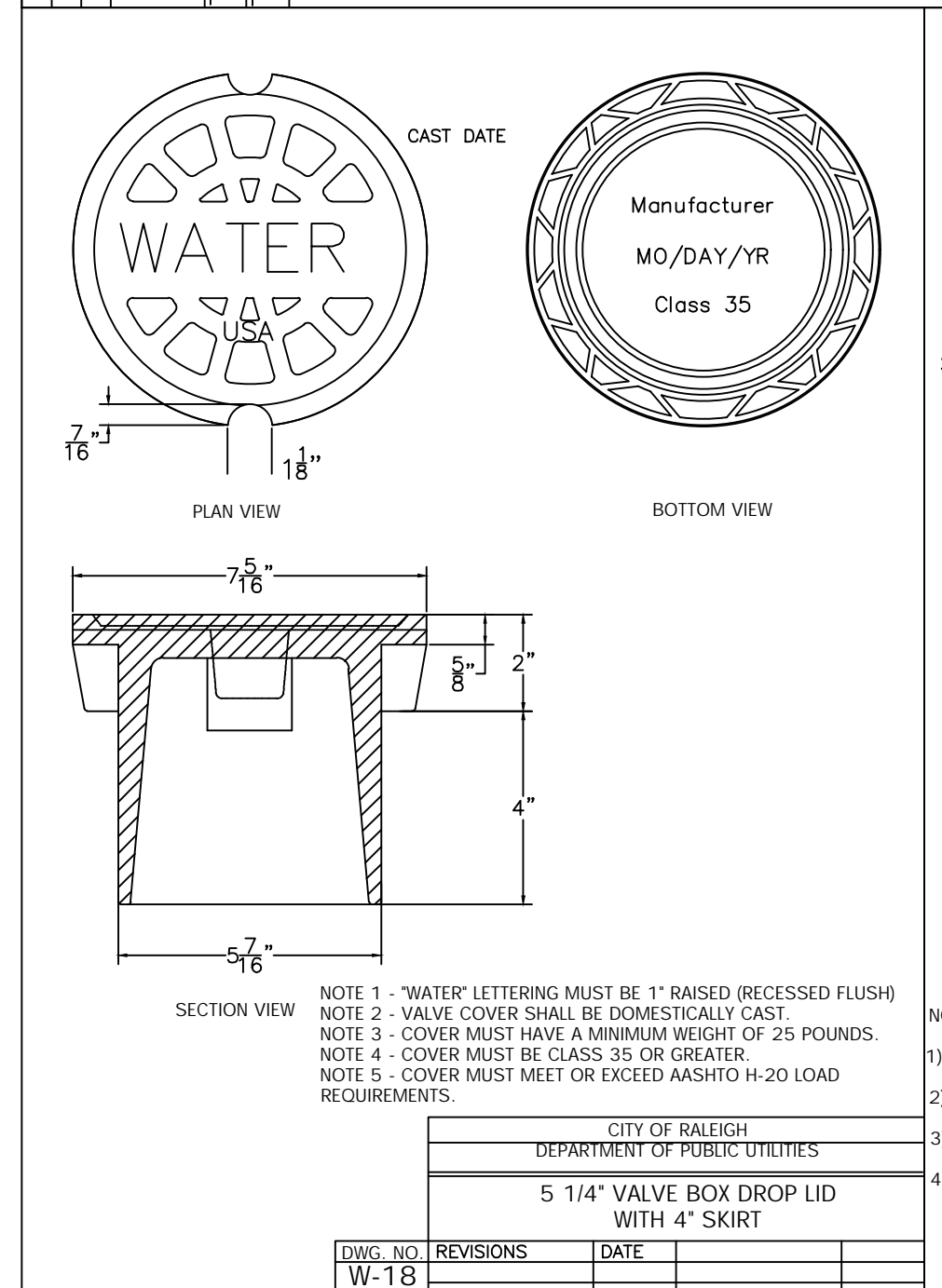
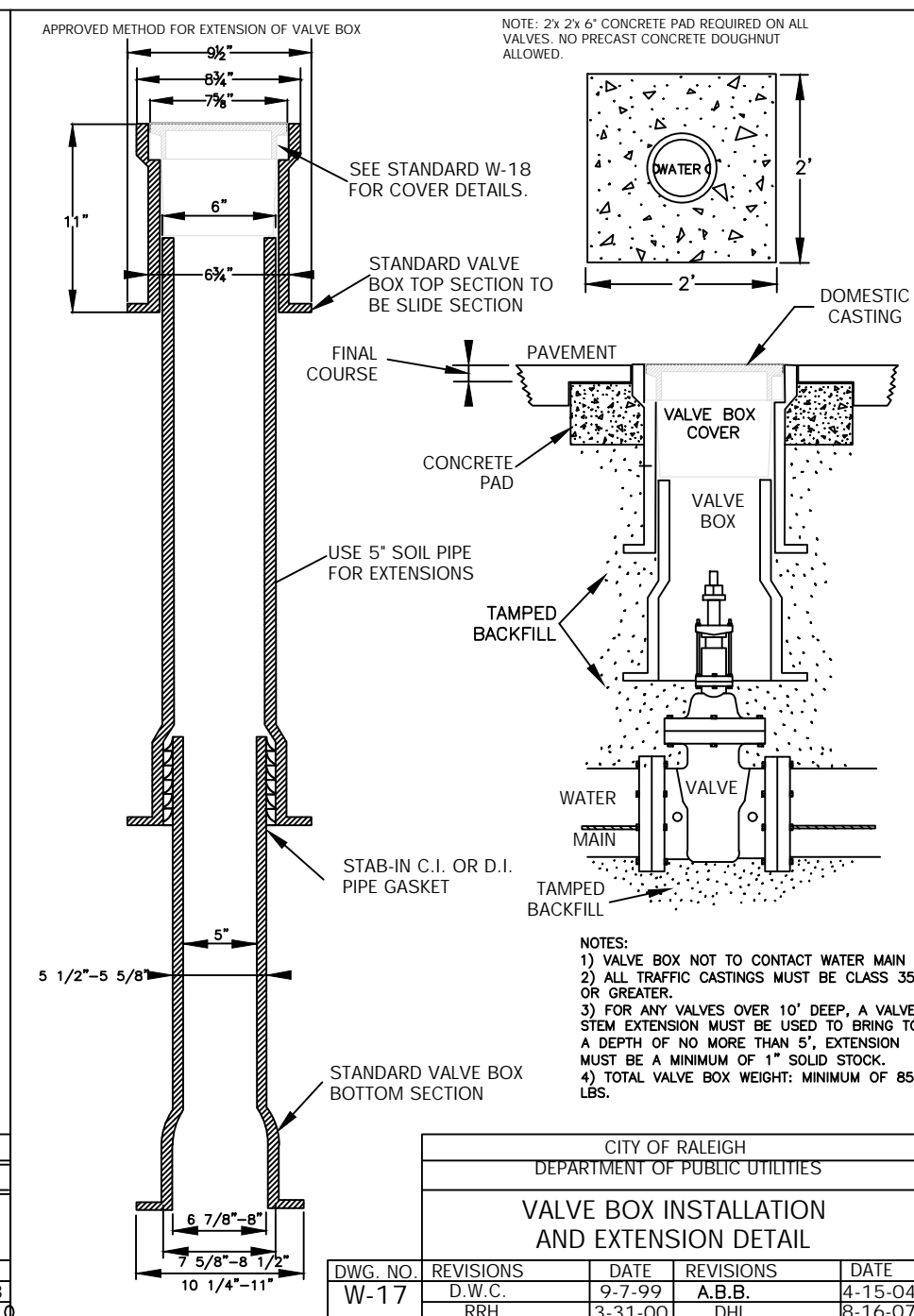
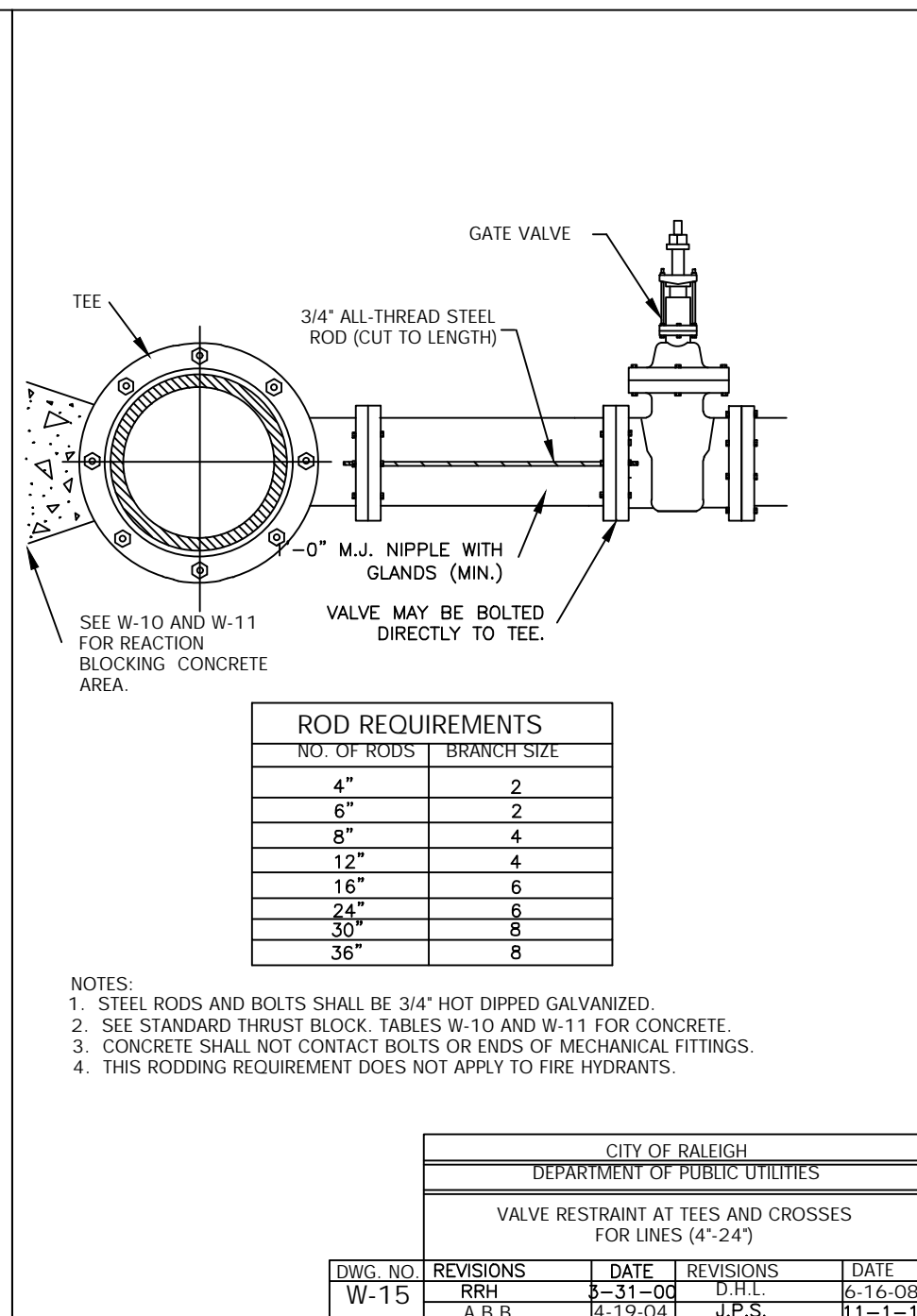
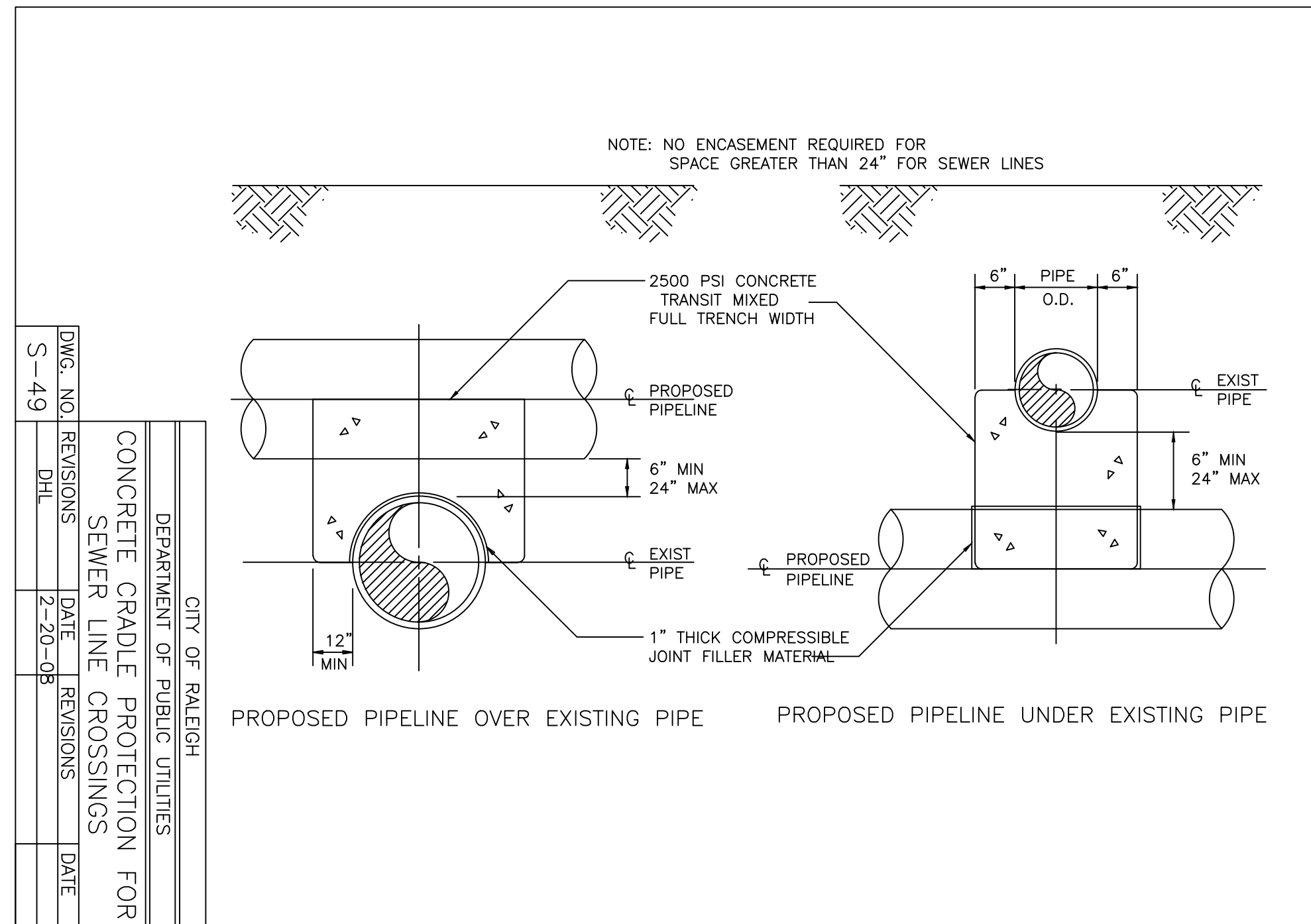
REVISIONS: W-10, D.W.C. 6-23-99

STANDARD VERTICAL BEND

REVISIONS: W-11, D.W.C. 4-6-04, J.P.S. 11-1-10

STANDARD VERTICAL BEND

REVISIONS: W-12, D.W.C. 4-6-04, J.P.S. 11-1-10



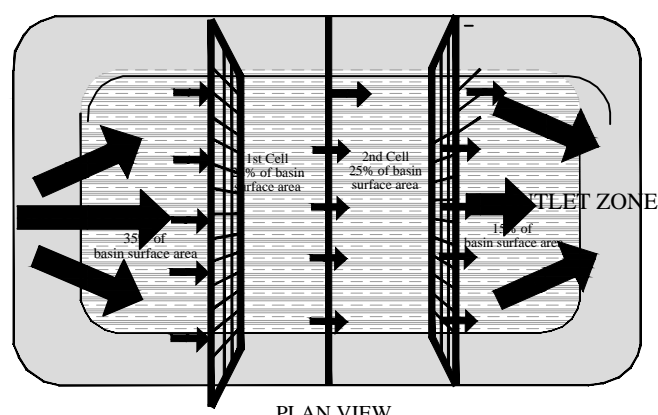
INFRASTRUCTURE CONSTRUCTION PLAN APPROVAL

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

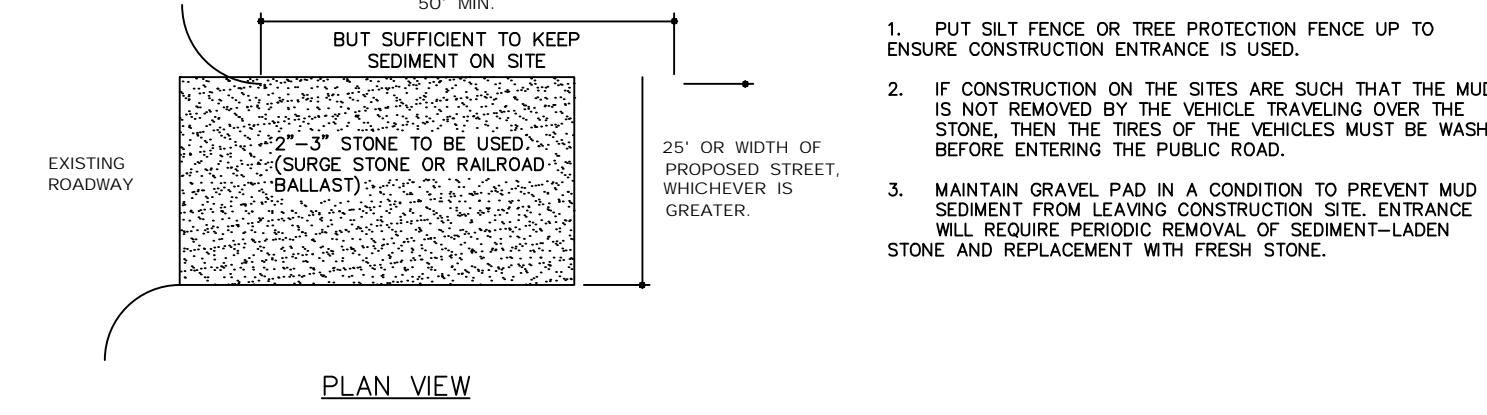
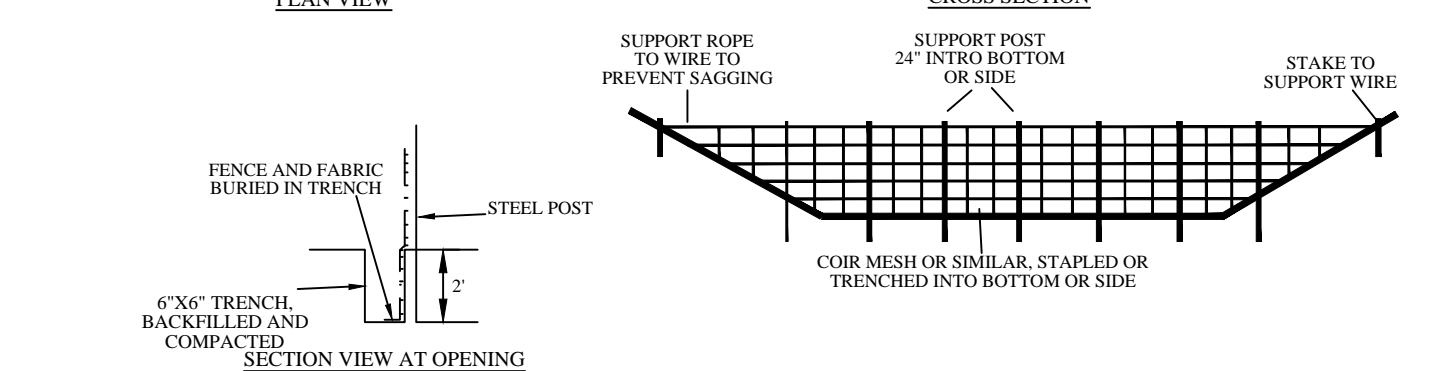
All Construction must be in accordance with all Local, State, and Federal Rules and Regulations.

PUBLIC UTILITIES

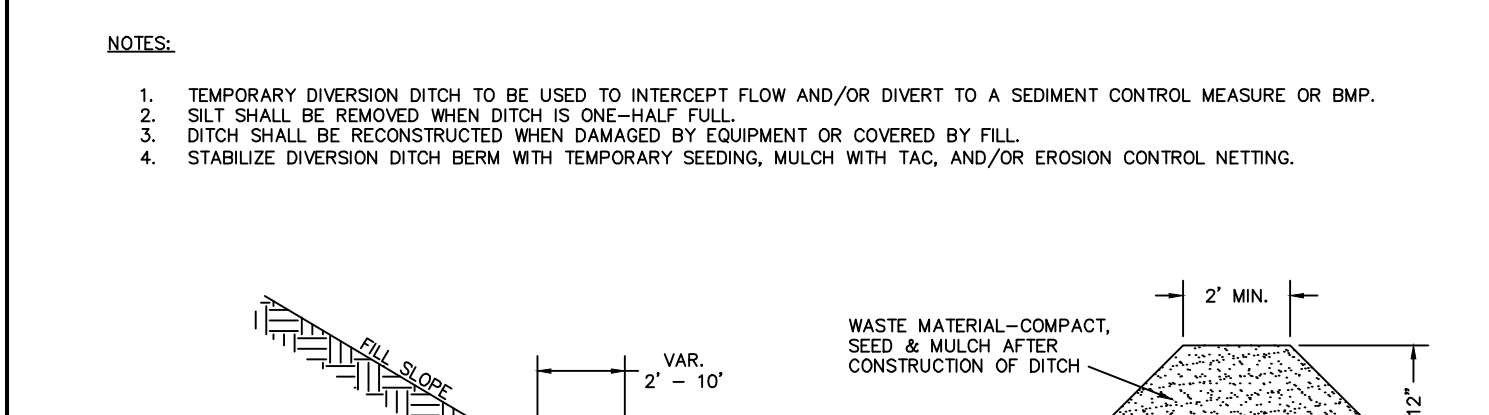
F:\Projects\FDCWP9\Drawings\Site\DETAILS.dwg - ENGR 12 Apr 16, '24 - 3:48pm



- NOTES:
1. Baffle material should be secured at the bottom and sides using staples or by trenching as for silt fence.
 2. Most of the sediment will accumulate in the 1st bay, which should be readily accessible for maintenance.
 3. Provide 3 baffles (use two if less than 10 feet in length), provide 5 baffles for drainage areas greater than 10 acres.
 4. Baffles shall be 300 gnc core erosion blanket.
 5. Tops of baffles should be 2 inches lower than the top of the berms.
 6. Inspect baffles for repair once a week and after each rainfall.



- NOTES:
1. PUT SILT FENCE OR TREE PROTECTION FENCE UP TO ENSURE CONSTRUCTION ENTRANCE IS USED.
 2. IF CONSTRUCTION ON THE SITES ARE SUCH THAT THE MUD IS NOT REMOVED BY THE VEHICLE TRAVELING OVER THE STONE, THEN THE TIRES OF THE VEHICLES MUST BE WASHED BEFORE ENTERING THE PUBLIC ROAD.
 3. MAINTAIN GRAVEL PAD IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING CONSTRUCTION SITE. ENTRANCE WILL REQUIRE PERIODIC REMOVAL OF SEDIMENT-LADEN STONE AND REPLACEMENT WITH FRESH STONE.

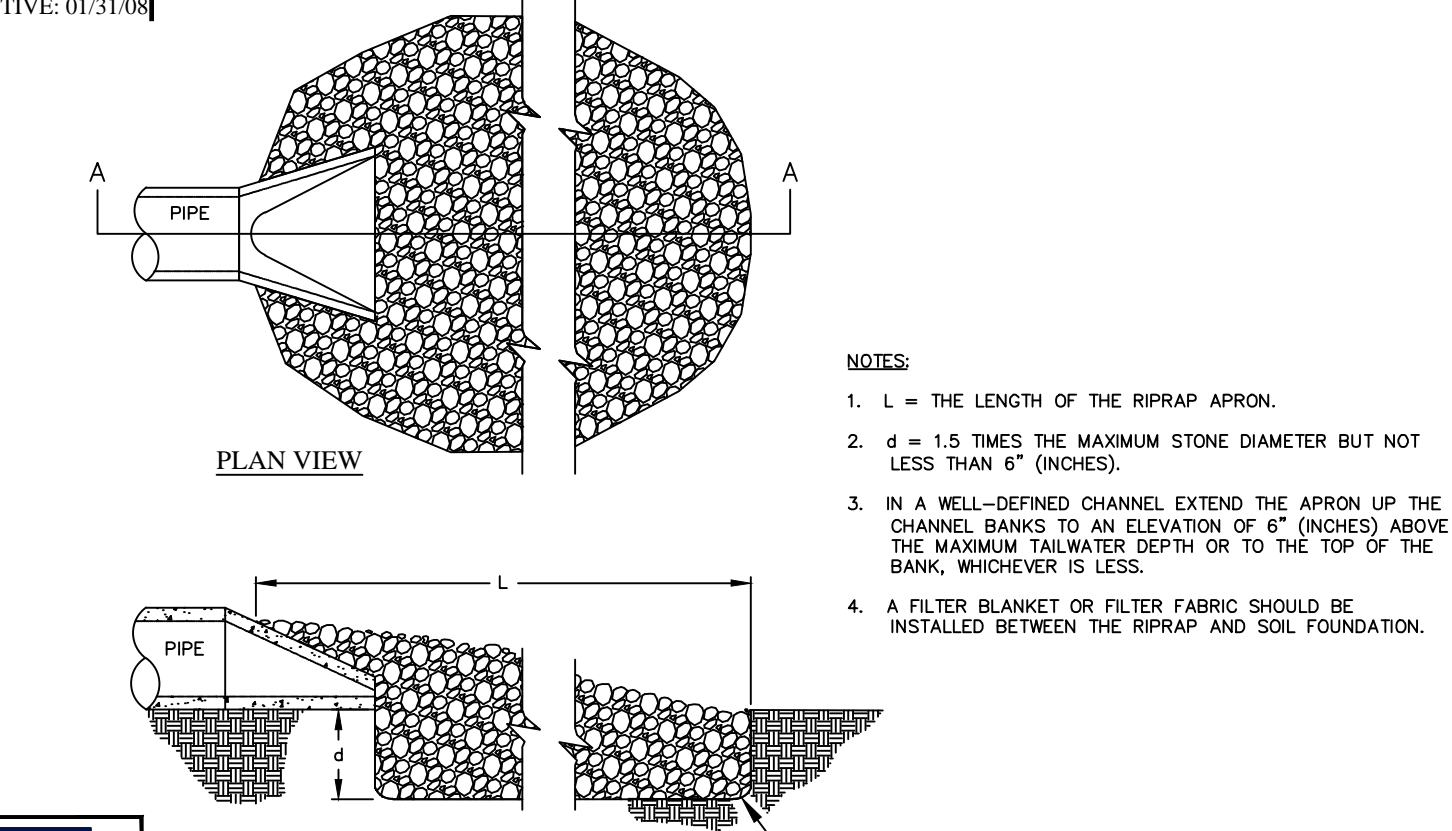


- NOTES:
1. TEMPORARY DIVERSION DITCH TO BE USED TO INTERCEPT FLOW AND/OR DIVERT TO A SEDIMENT CONTROL MEASURE OR BMP.
 2. SILT SHALL BE REMOVED WHEN DITCH IS ONE-HALF FULL.
 3. DITCH SHALL BE RECONSTRUCTED WHEN DAMAGED BY EQUIPMENT OR COVERED BY FILL.
 4. STABILIZE DIVERSION DITCH BERM WITH TEMPORARY SEEDING, MULCH WITH TAG, AND/OR EROSION CONTROL NETTING.

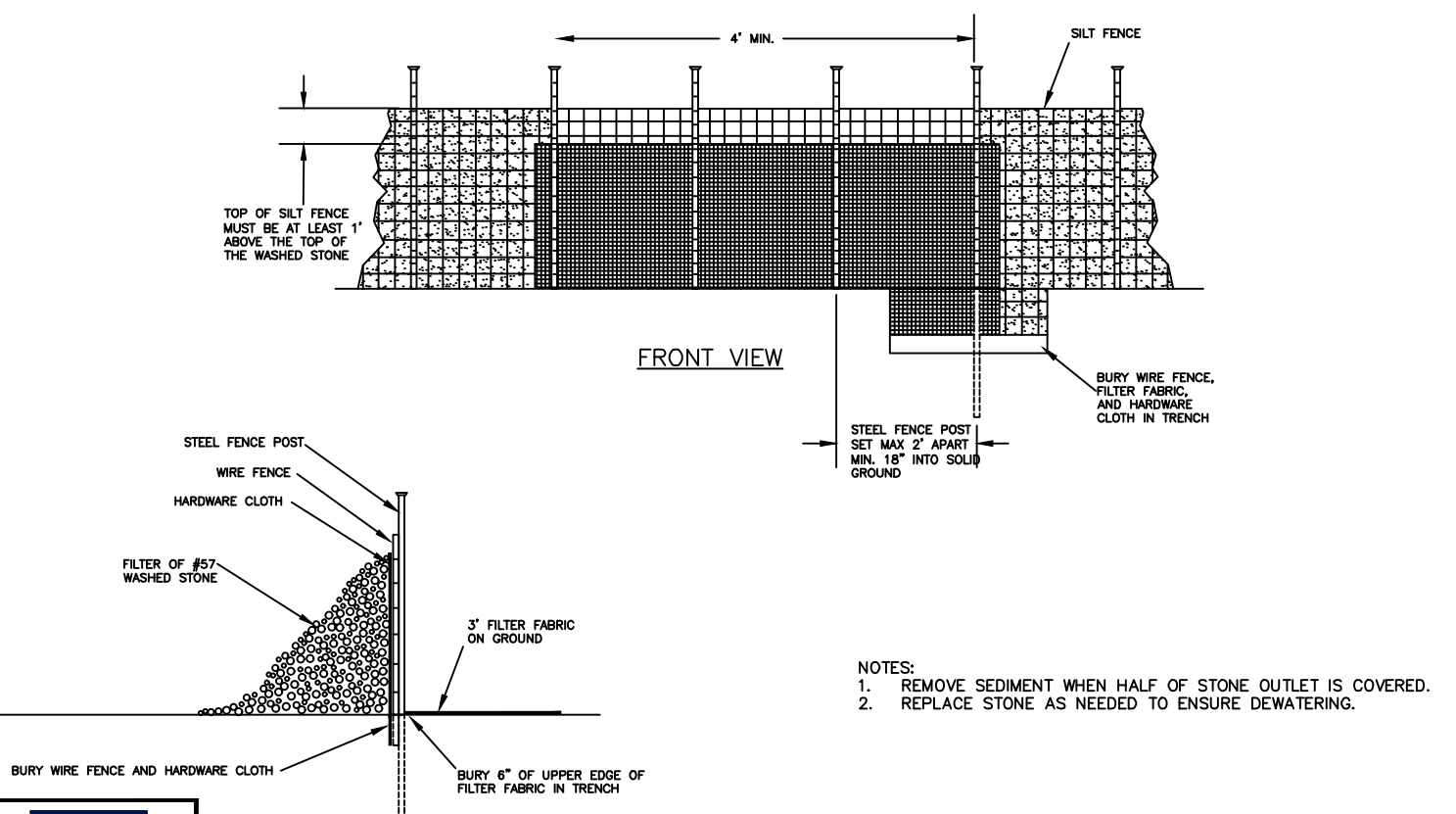
STANDARD BAFFLES DETAIL
EFFECTIVE: 01/31/08

STANDARD CONSTRUCTION ENTRANCE
EFFECTIVE: 01/31/08

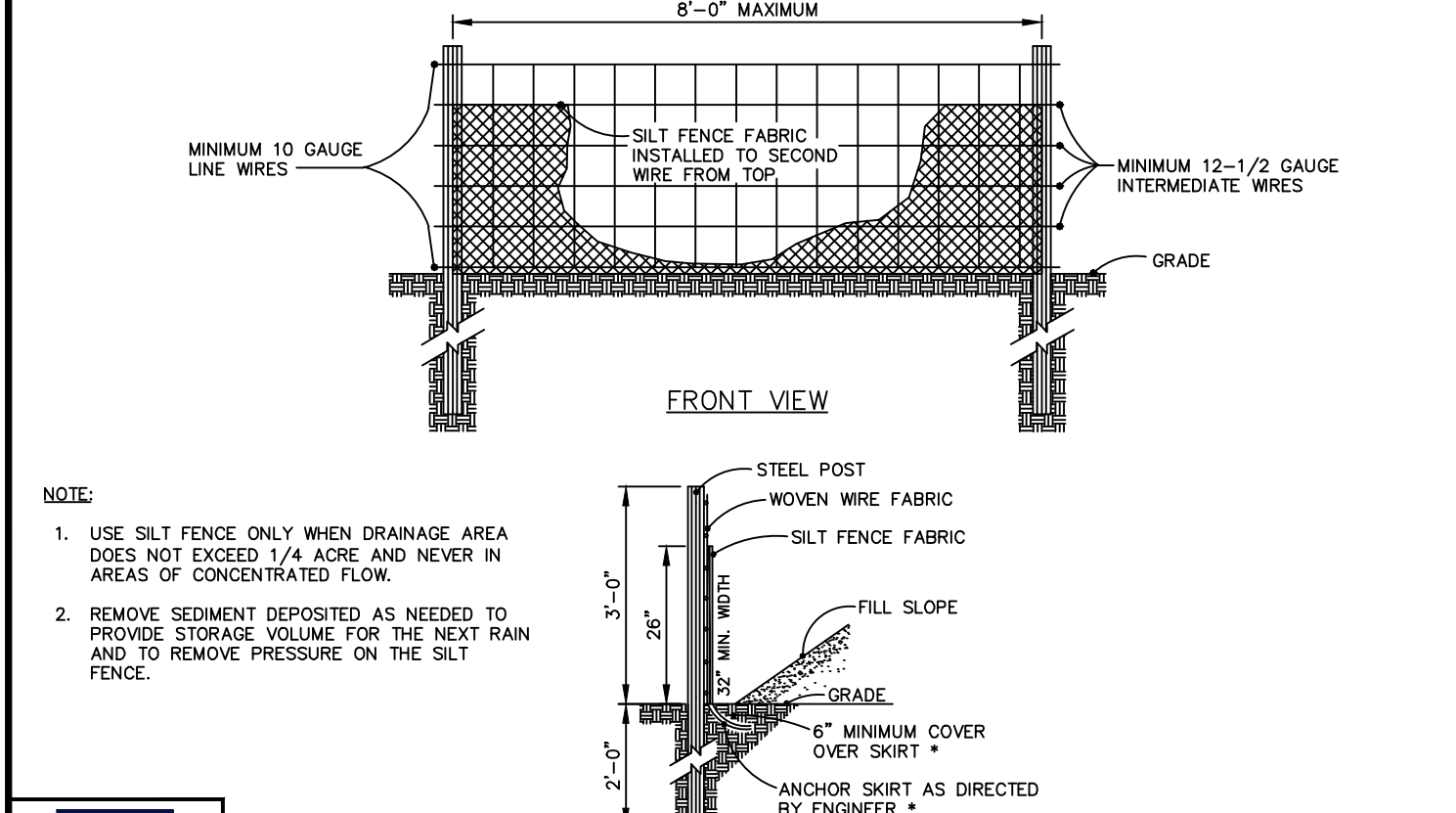
STANDARD TEMPORARY DIVERSION DITCH
EFFECTIVE: 01/31/08



- NOTES:
1. L = THE LENGTH OF THE RIPRAP APRON.
 2. d = 1.5 TIMES THE MAXIMUM STONE DIAMETER BUT NOT LESS THAN 6" (INCHES).
 3. IN A WELL-DEFINED CHANNEL, EXTEND THE APRON UP THE CHANNEL BANKS TO AN ELEVATION OF 6" (INCHES) ABOVE THE MAXIMUM TAILWATER DEPTH OR TO THE TOP OF THE BANK, WHICHEVER IS LESS.
 4. A FILTER BLANKET OR FILTER FABRIC SHOULD BE INSTALLED BETWEEN THE RIPRAP AND SOIL FOUNDATION.



- NOTES:
1. REMOVE SEDIMENT WHEN HALF OF STONE OUTLET IS COVERED.
 2. REPLACE STONE AS NEEDED TO ENSURE Dewatering.

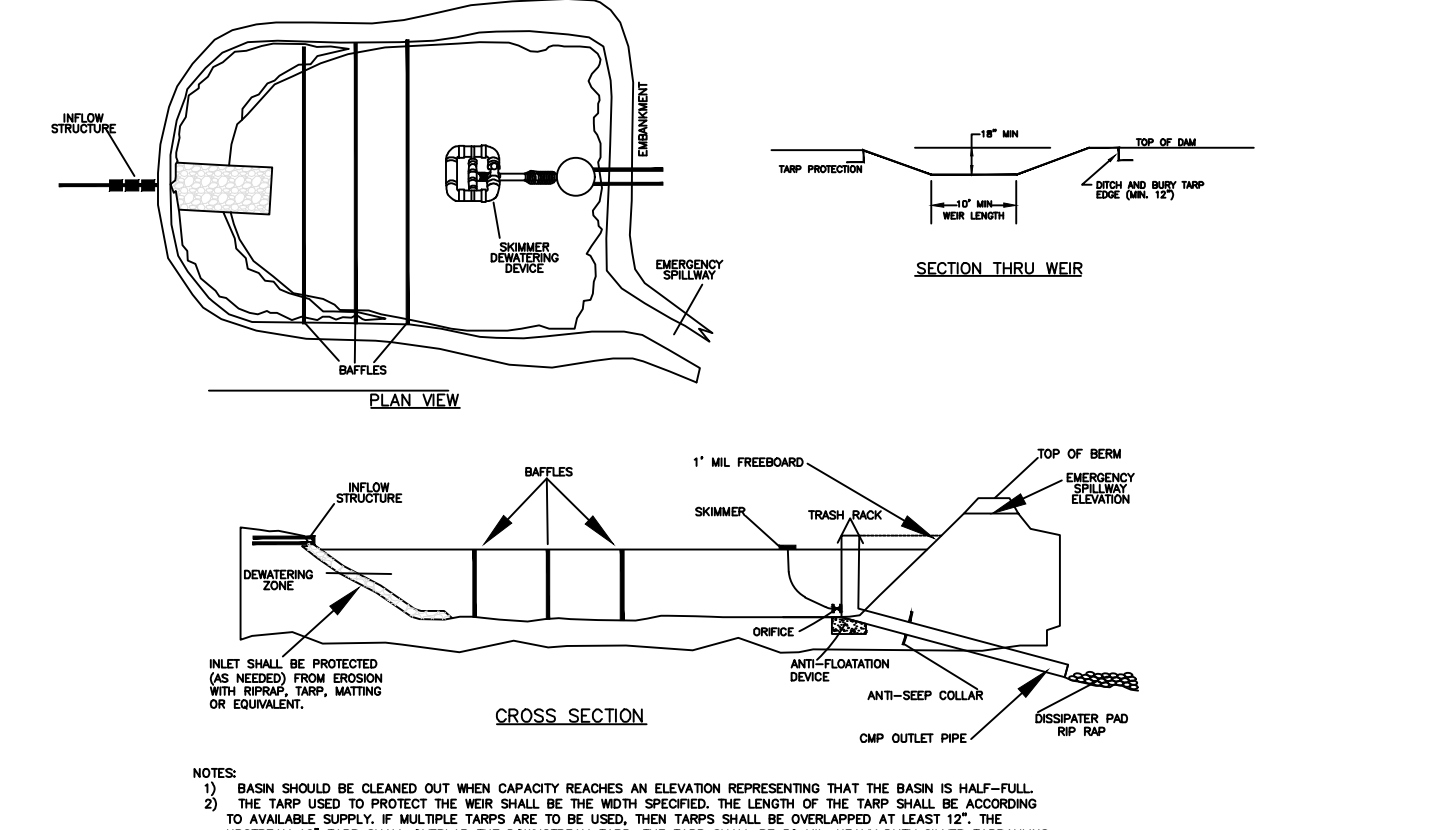


- NOTE:
1. USE SILT FENCE ONLY WHEN DRAINAGE AREA DOES NOT EXCEED 1/4 ACRE AND NEVER IN AREAS OF CONCENTRATED FLOW.
 2. REMOVE SEDIMENT DEPOSITED AS NEEDED TO PROVIDE STORAGE VOLUME FOR THE NEXT RAIN AND TO REMOVE PRESSURE ON THE SILT FENCE.

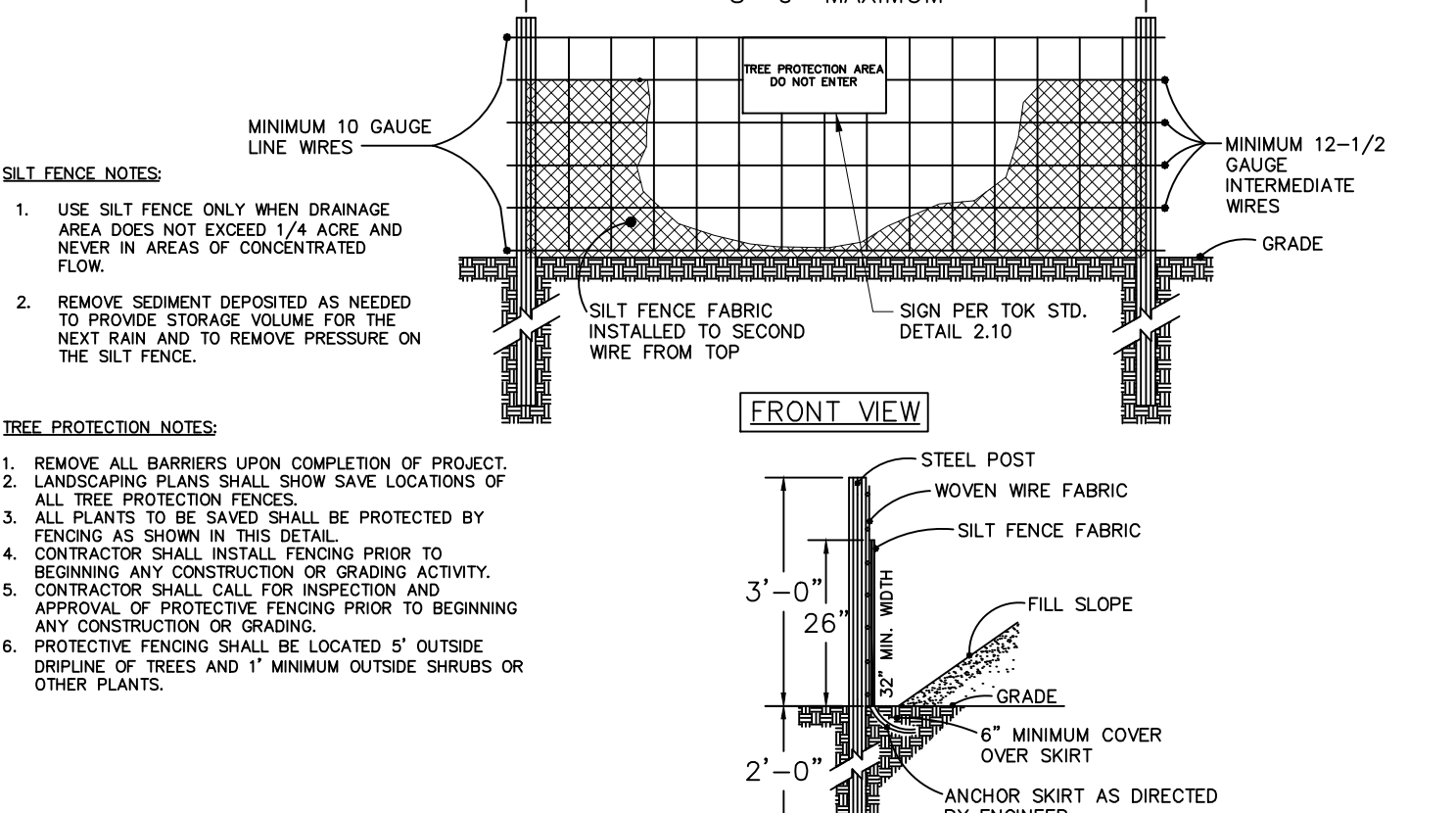
STANDARD PIPE OUTLET TO WELL-DEFINED CHANNEL
EFFECTIVE: 01/31/08

STANDARD SILT FENCE OUTLET
EFFECTIVE: 01/31/08

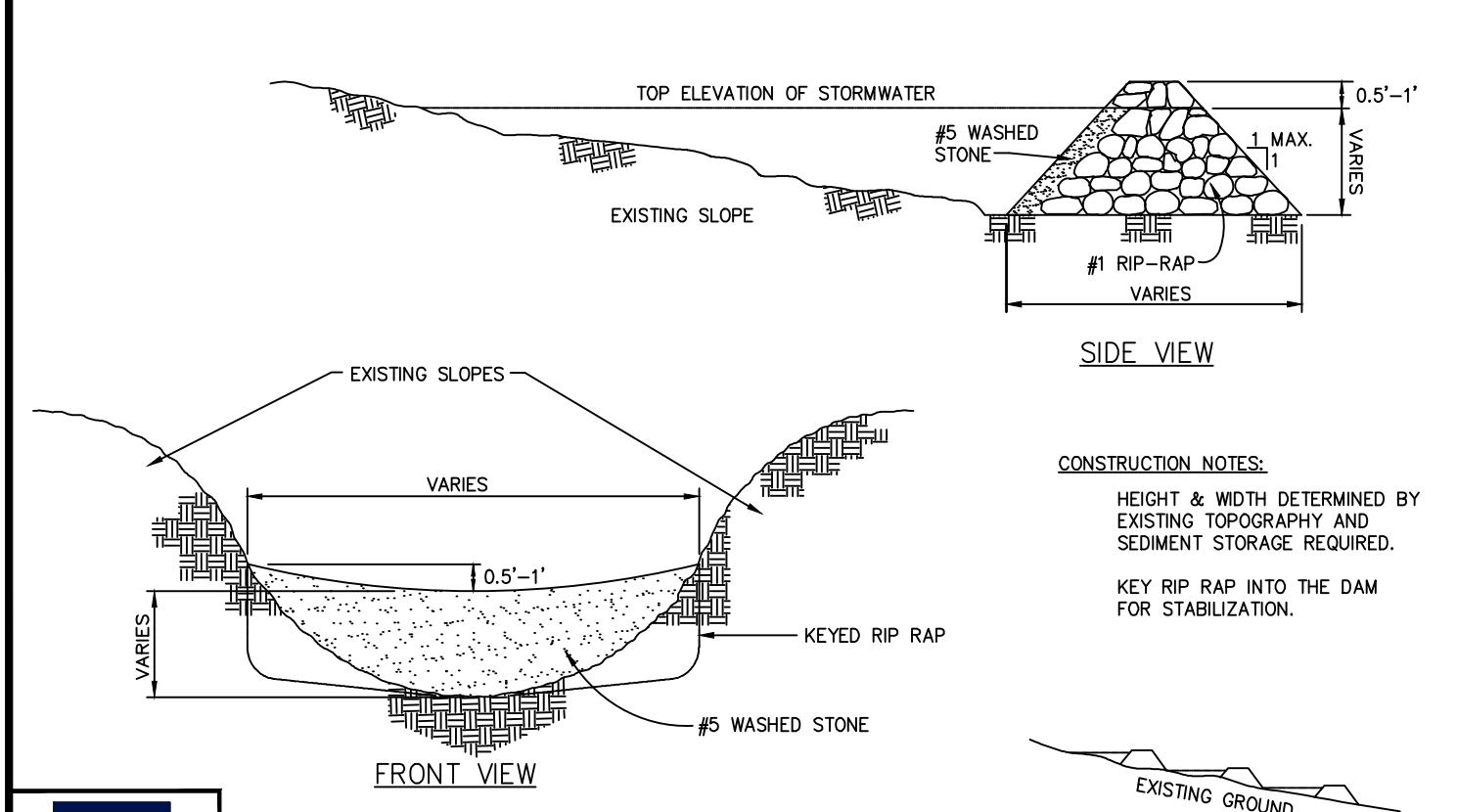
STANDARD TEMPORARY SILT FENCE
EFFECTIVE: 01/31/08



- NOTES:
1. BASIN SHOULD BE CLEANED OUT WHEN CAPACITY REACHES AN ELEVATION REPRESENTING THAT THE BASIN IS HALF-FULL.
 2. THE TAMP USED TO PROTECT THE BERM SHALL BE THE WIDTH SPECIFIED. THE LENGTH OF THE TAMP SHALL BE ACCORDING TO AVAILABLE SPACE. IF AVAILABLE SPACE IS TO BE USED, TAMP SHALL BE OVERLAPPED AT LEAST 12".
 3. UPSTREAM 12" TAMP SHALL OVERLAP THE DOWNSTREAM TAMP. THE TAMP SHALL BE 50 LB. HEAVY DUTY SILVER TAPPAKINS OR EQUIVALENT TO 12" TAMP.
 4. PROVIDE 3 BARRIERS TO EVENLY DISTRIBUTE FLOW ACROSS THE BERM, PROVIDING SURVEILLANCE.
 5. Baffle material must be secured at the bottom and sides using staples or by trenching as for a silt fence.
 6. MOST OF THE SEDIMENT WILL ACCUMULATE IN THE FIRST BAY, TO THIS SHOULD BE READILY AVAILABLE FOR MAINTENANCE.
 7. DURING THE CONSTRUCTION PHASE OF THE PROJECT, PERMANENT STORMWATER RISER SHALL ONLY DRAINER FROM THE TOP OF PIPE.
 8. FENCE SHALL NOT BE CONVERTED FOR STORMWATER USE UNTIL APPROVED BY ENVIRONMENTAL ENGINEER.



- THREE PROTECTION NOTES:
1. REMOVE ALL BARRIERS UPON COMPLETION OF PROJECT.
 2. LANDSCAPING PLANS SHALL SHOW SAVE LOCATIONS OF ALL TREE PROTECTION FENCES.
 3. ALL PLANTS TO BE SAVED SHALL BE PROTECTED BY FENCING AS SHOWN IN THIS DETAIL.
 4. CONTRACTOR SHALL INSTALL FENCING PRIOR TO BEGINNING ANY CONSTRUCTION OR GRADING ACTIVITY.
 5. APPROVAL OF PROTECTIVE FENCING PRIOR TO BEGINNING ANY CONSTRUCTION OR GRADING.
 6. PROTECTIVE FENCING SHALL BE LOCATED 5' OUTSIDE DROPLINE OF TREES AND 1' MINIMUM OUTSIDE SHRUBS OR OTHER PLANTS.

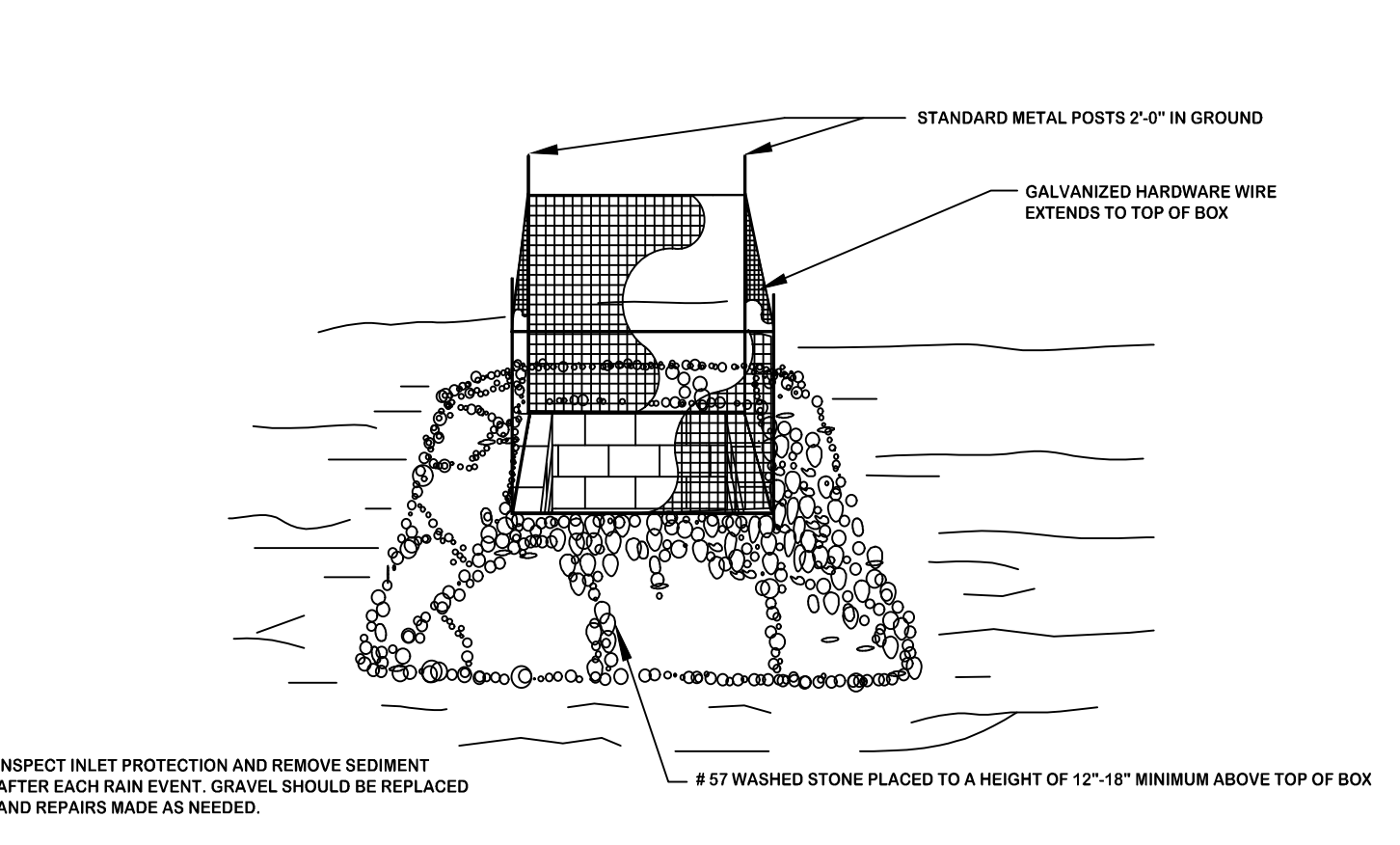


- NOTE: REMOVE SEDIMENT ACCUMULATION FROM BEHIND CHECK DAMS TO PREVENT DAMAGE TO CHANNEL VEGETATION. FLOW SHOULD BE MAINTAINED THROUGH THE DAM.

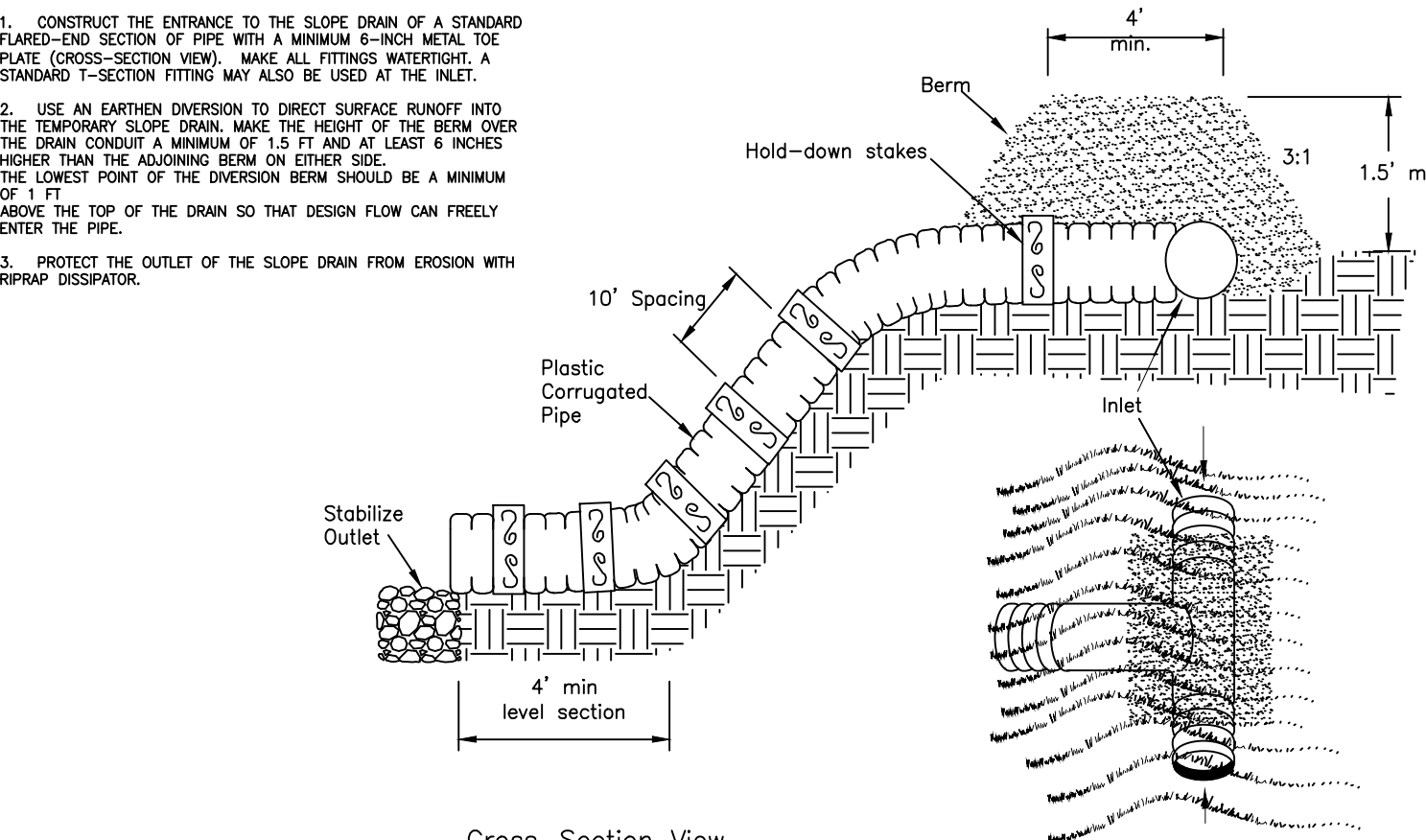
STANDARD SKIMMER ATTACHED TO PERMANENT RISER
EFFECTIVE: 01/31/08

STANDARD COMBINATION TEMPORARY SILT FENCE/TREE PROTECTION FENCE
EFFECTIVE: 01/31/08

STANDARD CHECK DAM
EFFECTIVE: 01/31/08



- NOTE:
1. INSPECT INLET PROTECTION AND REMOVE SEDIMENT AFTER EACH RAIN EVENT. GRAVEL SHOULD BE REPLACED AND REPAIRS MADE AS NEEDED.



- NOTES:
1. CONSTRUCT THE ENTRANCE TO THE SLOPE DRAIN OF A STANDARD FLARED-END SECTION OF PIPE WITH A MINIMUM 6-INCH METAL TOE PLATE (CROSS-SECTION VIEW). MAKE ALL FITTINGS WATER-TIGHT. A STANDARD T-SECTION FITTING MAY ALSO BE USED AT THE INLET.
 2. USE AN EARTHEN DIVERSION TO DIRECT SURFACE RUNOFF INTO THE TEMPORARY SLOPE DRAIN. MAKE THE HEIGHT OF THE BERM OVER THE DRAIN CONDUIT A MINIMUM OF 1.5 FT AND AT LEAST 6 INCHES HIGHER THAN THE ADJACENT BERM ON EITHER SIDE. THE LOWEST POINT OF THE DIVERSION BERM SHOULD BE A MINIMUM OF 1 FT ABOVE THE TOP OF THE DRAIN SO THAT DESIGN FLOW CAN FREELY ENTER THE PIPE.
 3. PROTECT THE OUTLET OF THE SLOPE DRAIN FROM EROSION WITH RIPRAP DISSIPATOR.

STANDARD GRAVEL YARD INLET PROTECTION
EFFECTIVE: 01/31/08

STANDARD TEMPORARY SLOPE DRAIN
EFFECTIVE: 01/31/08

NPDES Stormwater Discharge Permit for Construction Activities (NCGO1)
NCDENR/Division of Water Quality
NEW STABILIZATION TIMEFRAMES
(Effective Aug. 3, 2011)

SITE AREA DESCRIPTION	STABILIZATION TIMEFRAME	EXCEPTIONS
Perimeter dikes, swales, ditches, slopes	7 days	None
High Quality Water (HQW) Zones	7 days	None
Slopes steeper than 3:1	7 days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed.
Slopes 3:1 or flatter	14 days	7 days for slopes greater than 50' in length.
All other areas with slopes flatter than 4:1	14 days	None, except for perimeters and HQW Zones.

- Seedbed Preparation:**
1. Chisel compacted areas and spread topsoil three inches deep over adverse soil conditions, if available.
 2. Rip the entire area to six inches deep.
 3. Remove all loose rock, roots and other obstructions, leaving surface reasonably smooth and uniform.
 4. Apply agricultural lime, fertilizer and superphosphate uniformly and mix with soil (see mixture below).
 5. Continue tillage until a well-pulverized, firm, reasonably uniform seedbed is prepared four to six inches deep.
 6. Seed on a freshly prepared seedbed and cover seed lightly with seeding equipment or cultipack after seeding.
 7. Mulch immediately after seeding and anchor mulch.
 8. Inspect all seeded areas and make necessary repairs or reseeds within the planting season, if possible. If stand should be more than 60% damaged, re-establish following the original lime, fertilizer and seeding rates.
 9. Consult S&EC Environmental Engineers on maintenance treatment and fertilization after permanent cover is established.

Mixture

Agricultural Limestone	2 tons/acre (3 tons/acre in clay soils)
Fertilizer	1,000 lbs/acre - 10-10-10
Superphosphate	500 lbs/acre - 20% analysis
Mulch	2 tons/acre - small grain straw
Anchor	Asphalt emulsion at 300 gals/acre

- Seeding Schedule**
For Shoulders, Side Ditches, Slopes (Max 3:1):

Date	Type	Planting Rate
Aug 15 - Nov 1	Tall Fescue	300 lbs/acre
Nov 1 - Mar 1	Tall Fescue & Abruzzi Rye	300 lbs/acre
Mar 1 - Apr 15	Tall Fescue	300 lbs/acre
Apr 15 - Jun 30	Hulled Common Bermudagrass	25 lbs/acre
Jul 1 - Aug 15	Tall Fescue AND Browntop Millet or Sorghum-Sudan Hybrids***	125 lbs/acre (Tall Fescue); 35 lbs/acre (Browntop Millet); 30 lbs/acre (Sorghum-Sudan Hybrids)

- For Shoulders, Side Ditches, Slopes (3:1 to 2:1):

Date	Type	Planting Rate
Mar 1 - Jun 1	Sericea Lespedeza (scarified) and use the following combinations:	50 lbs/acre (Sericea Lespedeza);
Mar 1 - Apr 15	Add Tall Fescue	120 lbs/acre
Mar 1 - Jun 30	Or add Weeping Love grass	10 lbs/acre
Mar 1 - Jun 30	Or add Hulled Common Bermudagrass	25 lbs/acre
Jun 1 - Sept 1	Tall Fescue AND Browntop Mullet or Sorghum-Sudan Hybrids***	120 lbs/acre (Tall Fescue); 35 lbs/acre (Browntop Mullet); 30 lbs/acre (Sorghum-Sudan Hybrids)
Sept 1 - Mar 1	Sericea Lespedeza (unhulled - unscarified) AND Tall Fescue	70 lbs/acre (Sericea Lespedeza); 120 lbs/acre (Tall Fescue)
Nov 1 - Mar 1	AND Abruzzi Rye	25 lbs/acre

PWD
PIEDMONT LAND DESIGN LLP
8522-204 SIX FORKS ROAD
RALEIGH, NORTH CAROLINA 27615
919.845.7600 PHONE
919.845.7703 FAX
ENGR. FIRM LICENSE NO. F-0843

SEAL
030856
MICHAEL L. SCHNEIDER
02-17-24

WEAVER'S POINTE SUBDIVISION
0 WEAVERS POND DRIVE
ZEBULON, NC

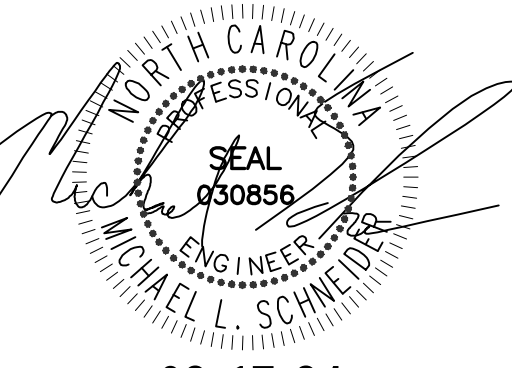
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REVISIONS:
17 APRIL 20124
PER TOWN/WAKE COUNTY REVIEW

DRAWN BY: JET
CHECKED BY: MLS
PROJECT: FDCWP9

DETAILS

DWG. NO. SITE 28



02-17-24

WEAVER'S POINTE SUBDIVISION

0 WEAVERS POND DRIVE
ZEBULON, NC

ISSUED: 02-14-24

REVISIONS:

17 APRIL 20124
PER TOWN/WAKE COUNTY REVIEW

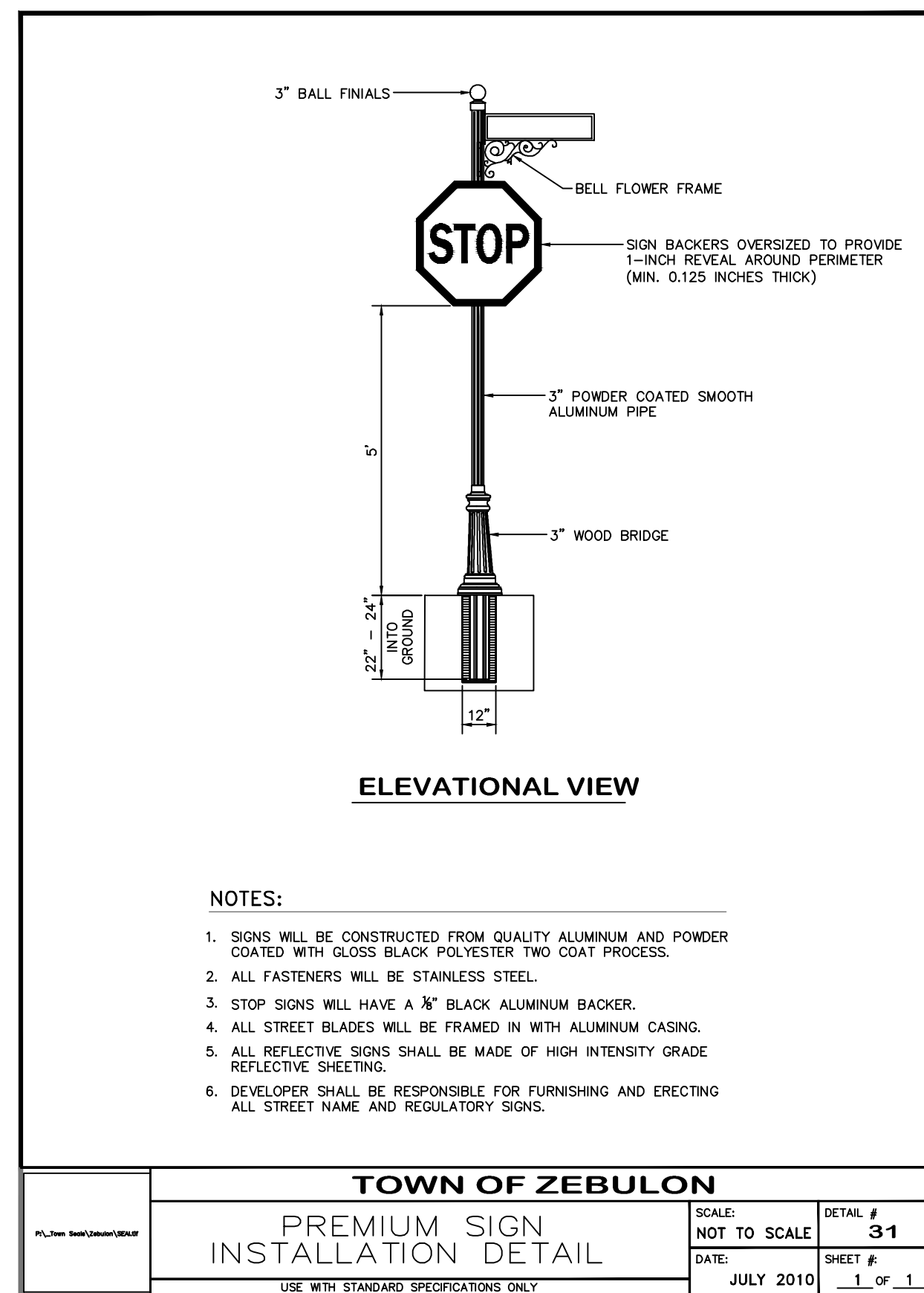
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CHECKED BY: MLS

PROJECT: FDCWP9

DETAILS

DWG. NO. SITE 30



- NOTES:
- SIGNS WILL BE CONSTRUCTED FROM QUALITY ALUMINUM AND POWDER COATED WITH GLOSS BLACK POLYESTER TWO COAT PROCESS.
 - ALL FASTENERS WILL BE STAINLESS STEEL.
 - STOP SIGNS WILL HAVE A 1/2\"/>

TOWN OF ZEBULON	
PREMIUM SIGN INSTALLATION DETAIL	
SCALE: NOT TO SCALE	DETAIL # 31
DATE: JULY 2010	SHEET # 1 OF 1
USE WITH STANDARD SPECIFICATIONS ONLY	

Decorative Aluminum Poles with V-Loc®

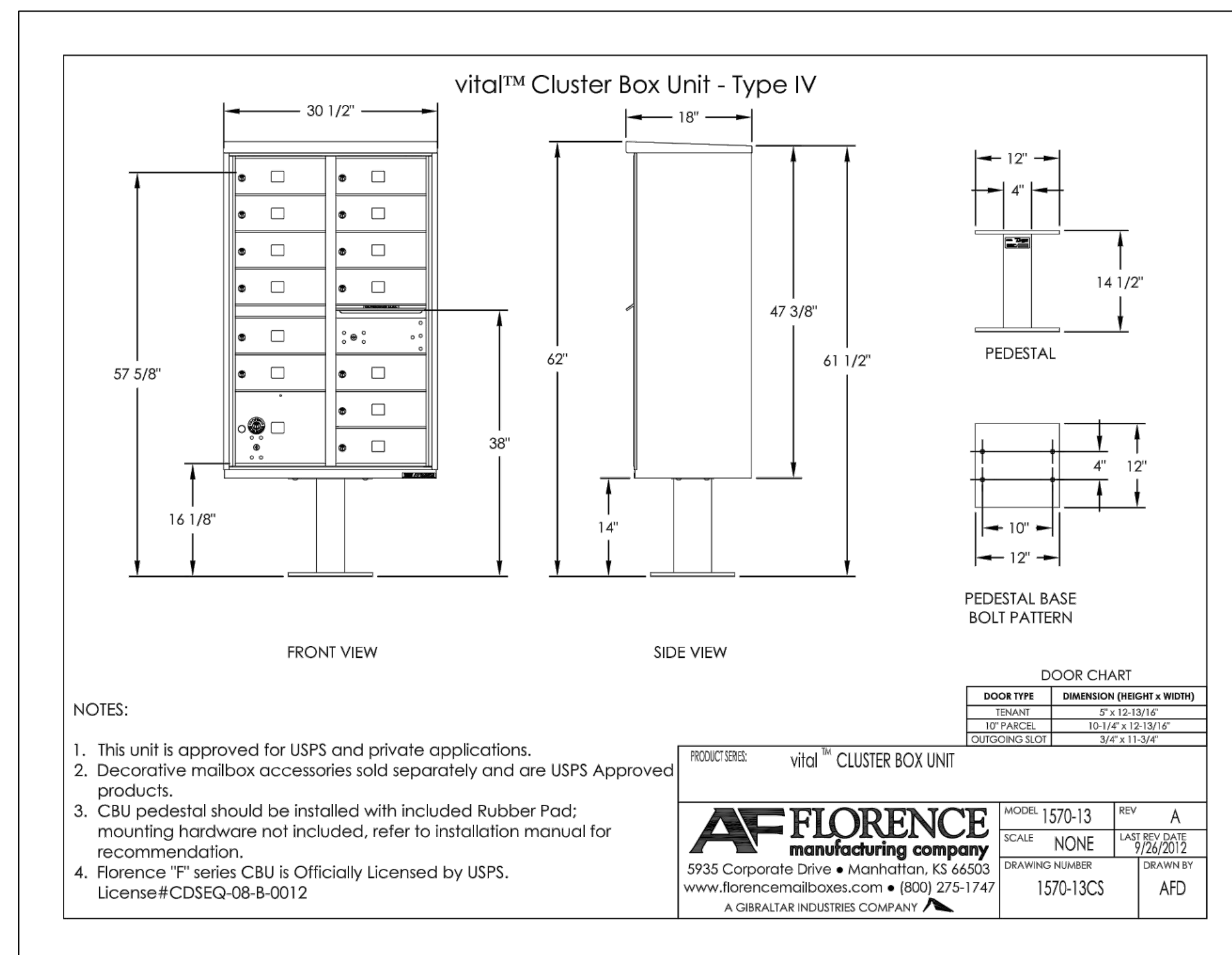
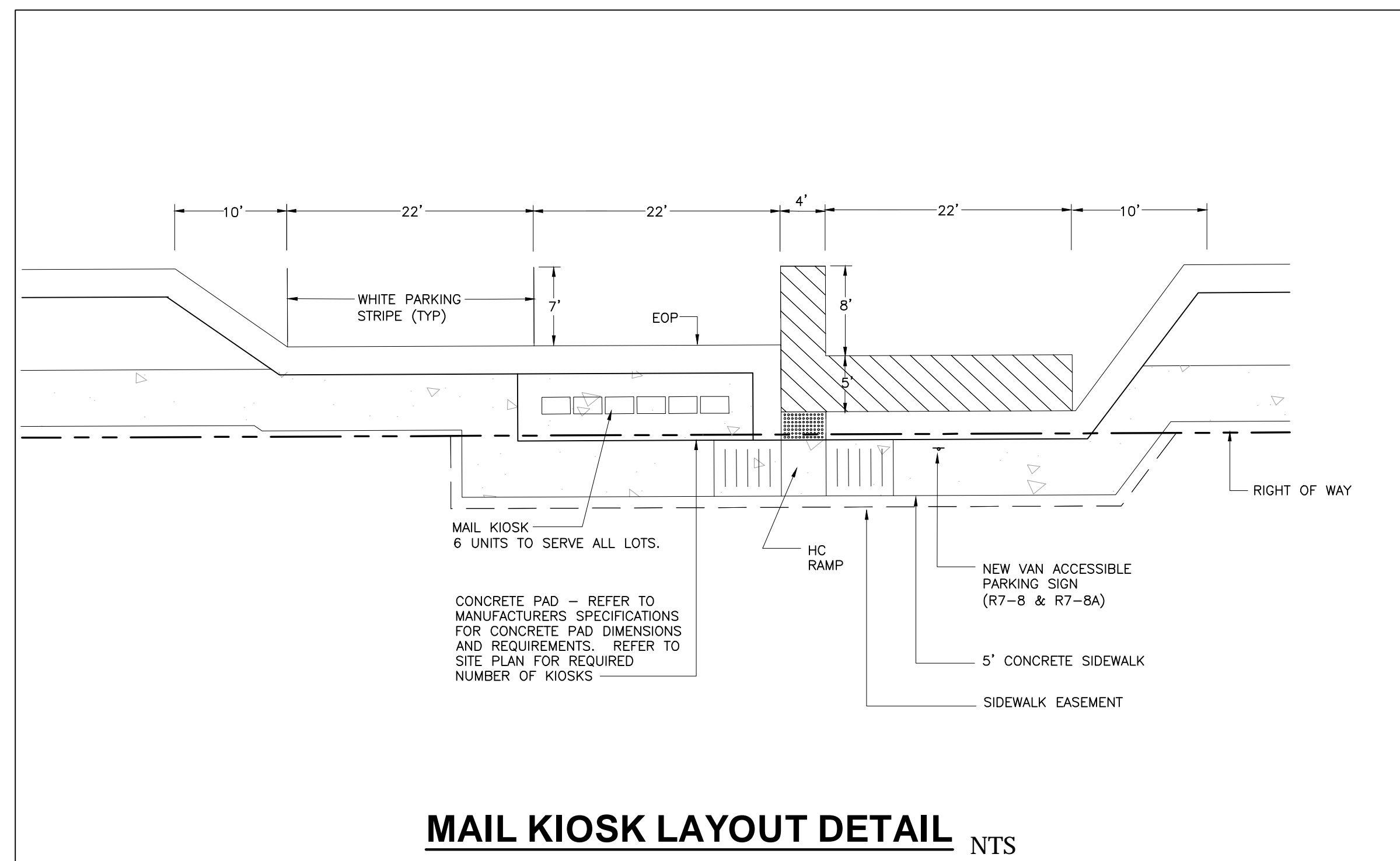
When pairing decorative aluminum poles with TAPCO's V-Loc® anchors, you get both the ease of installation and the safety of an NCHRP 350 approved breakaway anchor system. V-Loc® is the state of the art, reusable breakaway anchor, allowing you to replace posts literally in minutes. It anchors posts for signs, mailboxes and other applications. The V-Loc® anchor socket can be installed in concrete, asphalt or dirt safely by one person in a matter of minutes either by hand or power driver. Once the V-Loc® anchor is installed, you simply insert your post and drive in the patented wedge, locking the post into the anchor without the need for any additional hardware. V-Loc fins require no concrete in soil. It's simple, solid and safe. Each V-Loc includes a locking wedge easily replaced after a vehicle impact. Other diameter post and ground settings are available.

23-VR1, for post with 2 3/8" O.D. (concrete)	034-00012
23-VR3, for post with 2 3/8" O.D. (soil)	034-00014
30-VR1, for post with 3" O.D. (concrete)	034-00116
30-VR3, for post with 3" O.D. (soil)	034-00002
40-VR1, for post with 4" O.D. (concrete)	034-00117
40-VR3, for post with 4" O.D. (soil)	106782



Decorative Breakaway Pole Packages
Fluted decorative poles for decorative way finding signage, BlinkerSign® LED signs. 4" pole required for RFB systems

12" x 3" decorative pole package, anchor bolts (for concrete)	203-00101
12" x 3" decorative pole package, V-Loc® anchor (for soil)	203-00102
12" x 4" decorative pole package, V-Loc® anchor (for soil)	203-00103
12" x 4" decorative pole package, anchor bolts (for concrete)	203-00104
15" x 4" decorative pole package, anchor bolts (for concrete)	203-00105



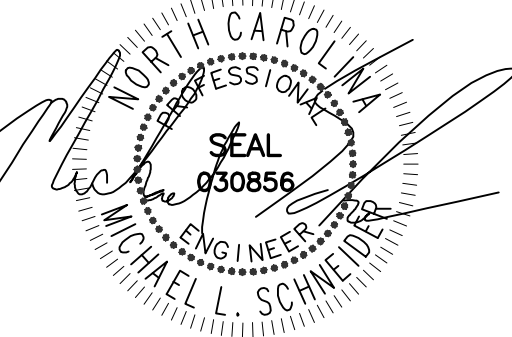
- NOTES:
- This unit is approved for USPS and private applications.
 - Decorative mailbox accessories sold separately and are USPS Approved products.
 - CBU pedestal should be installed with included Rubber Pad; mounting hardware not included, refer to installation manual for recommendation.
 - Florence "F" series CBU is Officially Licensed by USPS. License#CDSEQ-08-8-0012

PRODUCT SERIES: vital™ CLUSTER BOX UNIT

AF FLORENCE
manufacturing company
5935 Corporate Drive • Manhattan, KS 66503
www.florencemailboxes.com • (800) 275-1747
A GIBRALTAIR INDUSTRIES COMPANY

MODEL: 1570-13	REV: A
SCALE: NONE	LAST REV. DATE: 9/26/2012
DRAWING NUMBER: 1570-13CS	DRAWN BY: AFD

MAIL KIOSK AND LIGHT POLE DETAILS



02-17-24

WEAVER'S POINTE SUBDIVISION

0 WEAVERS POND DRIVE
ZEBULON, NC

ISSUED: 02-14-24

REVISIONS:

17 APRIL 20124
PER TOWN/WAKE COUNTY REVIEW

DRAWN BY: JET
CHECKED BY: MLS

PROJECT: FDCWP9

DETAILS

DWG. NO. SITE 31

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Required Ground Stabilization Timeframes		
Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> Temporary grass seed covered with straw or other mulches and tackifiers Hydroseeding Rolled erosion control products with or without temporary grass seed Appropriately applied straw or other mulch Plastic sheeting 	<ul style="list-style-type: none"> Permanent grass seed covered with straw or other mulches and tackifiers Geotextile fabrics such as permanent soil reinforcement matting Hydroseeding Shrubs or other permanent plantings covered with mulch Uniform and evenly distributed ground cover sufficient to restrain erosion Structural methods such as concrete, asphalt or retaining walls Rolled erosion control products with grass seed

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

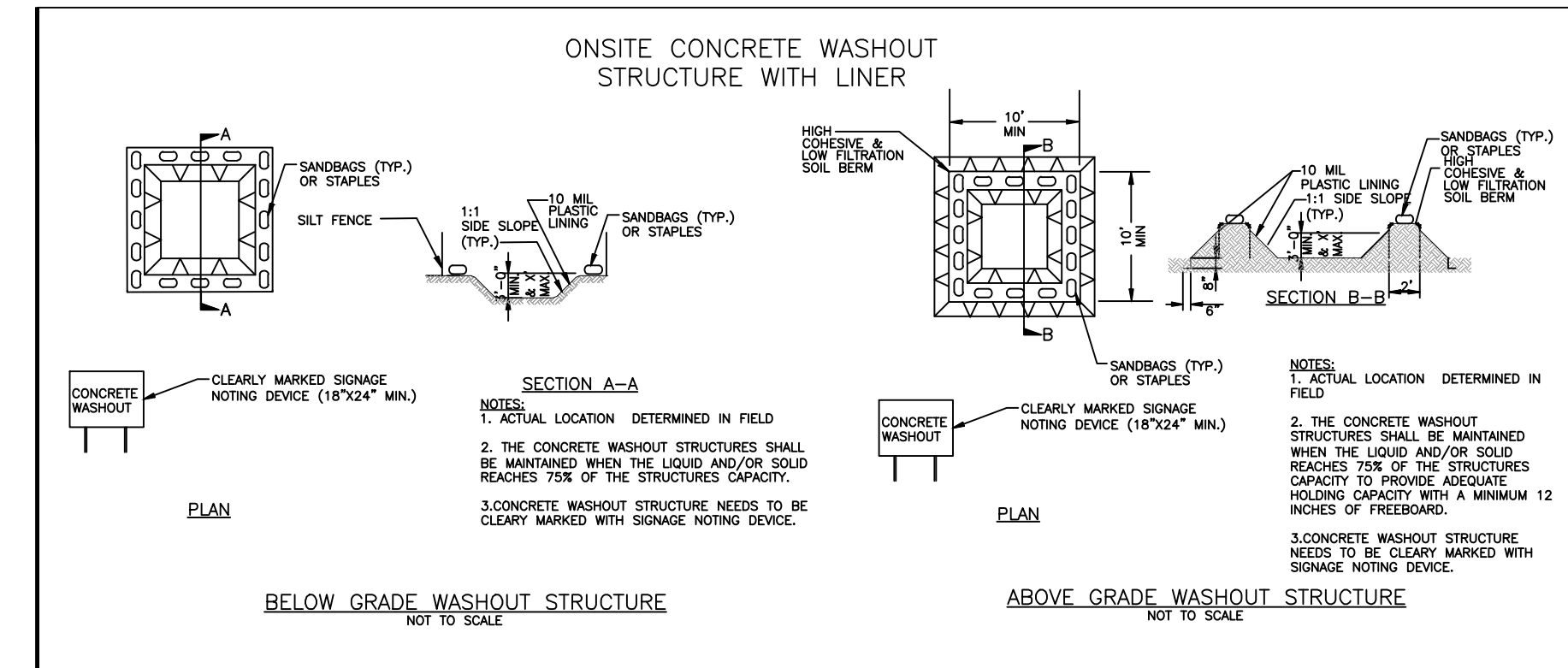
- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



CONCRETE WASHOUTS

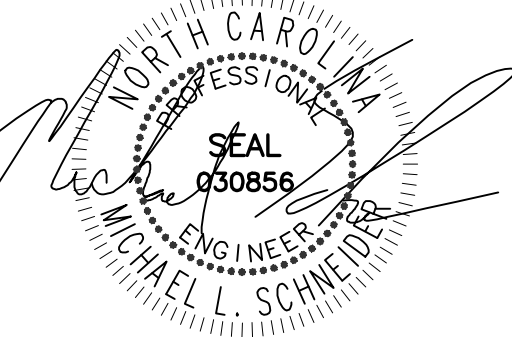
- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

HAZARDOUS AND TOXIC WASTE

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.



02-17-24

WEAVER'S POINTE SUBDIVISION

0 WEAVERS POND DRIVE
ZEBULON, NC

ISSUED: 02-14-24

REVISIONS:

17 APRIL 20124
 PER TOWN/WAKE COUNTY REVIEW

DRAWN BY: JET
 CHECKED BY: MLS

PROJECT: FDCWP9

DETAILS

DWG. NO. SITE 32

PART III
 SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those unattended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the measures inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Indication of whether the measures were operating properly, 5. Description of maintenance needs for the measure, 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration, 5. Indication of visible sediment leaving the site, 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits, 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item (2)(a) of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

PART III
 SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B: RECORDKEEPING

1. E&SC Plan Documentation

The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Documentation Requirements
(a) Each E&SC measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC plan.	Initial and date each E&SC measure on a copy of the approved E&SC plan or complete, date and sign an inspection report that lists each E&SC measure shown on the approved E&SC plan. This documentation is required upon the initial installation of the E&SC measures or if the E&SC measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC plan.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC measures.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation to be Kept on Site

In addition to the E&SC plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- (a) This General Permit as well as the Certificate of Coverage, after it is received.
- (b) Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

3. Documentation to be Retained for Three Years

All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

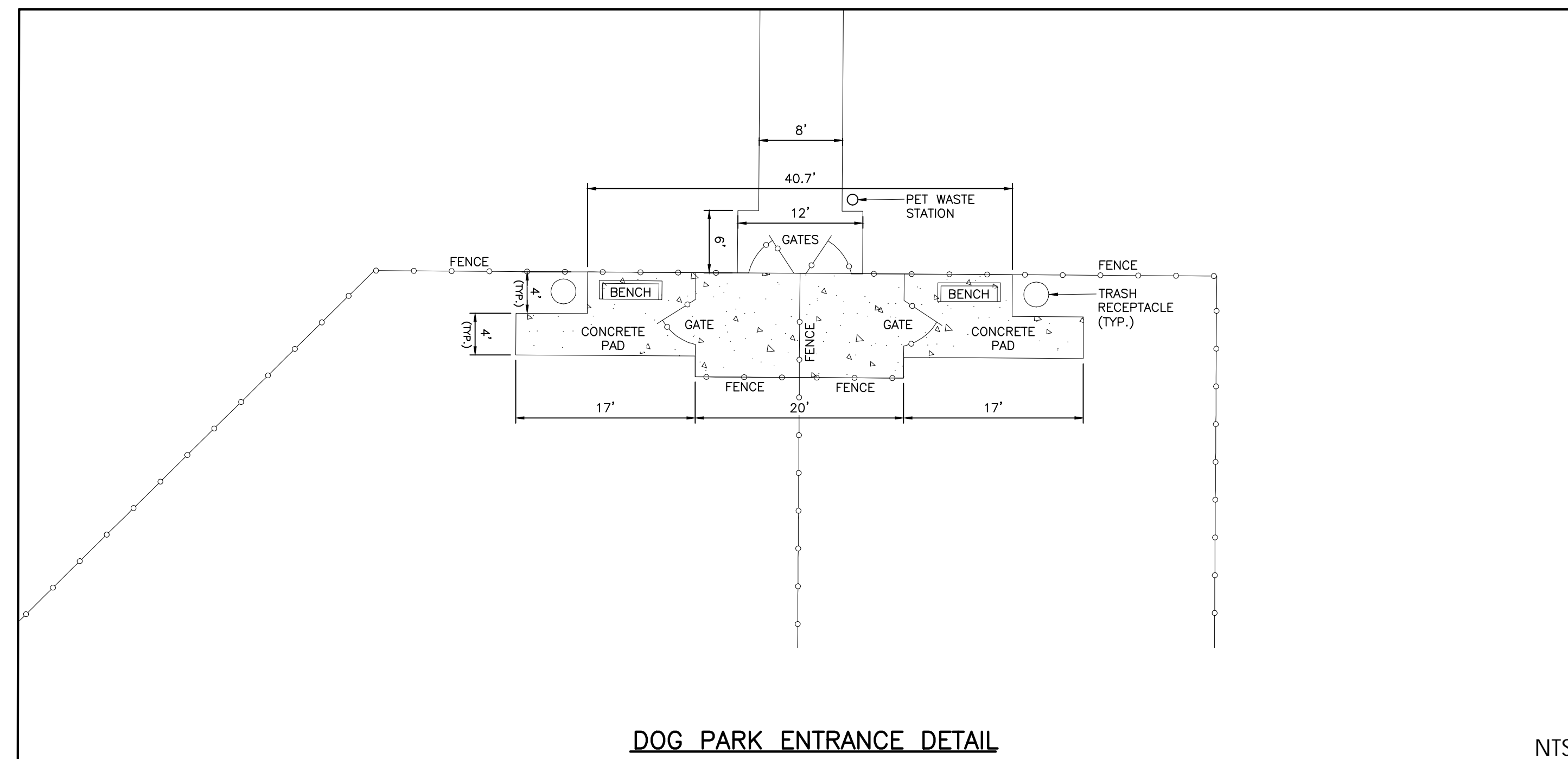
PART II, SECTION G, ITEM (4)
 DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

- (a) The E&SC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&SC plan authority has approved these items,
- (b) The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item (2)(c) and (d) of this permit,
- (c) Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems,
- (d) Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in Item (c) above,
- (e) Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and
- (f) Sediment removed from the dewatering treatment devices described in Item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

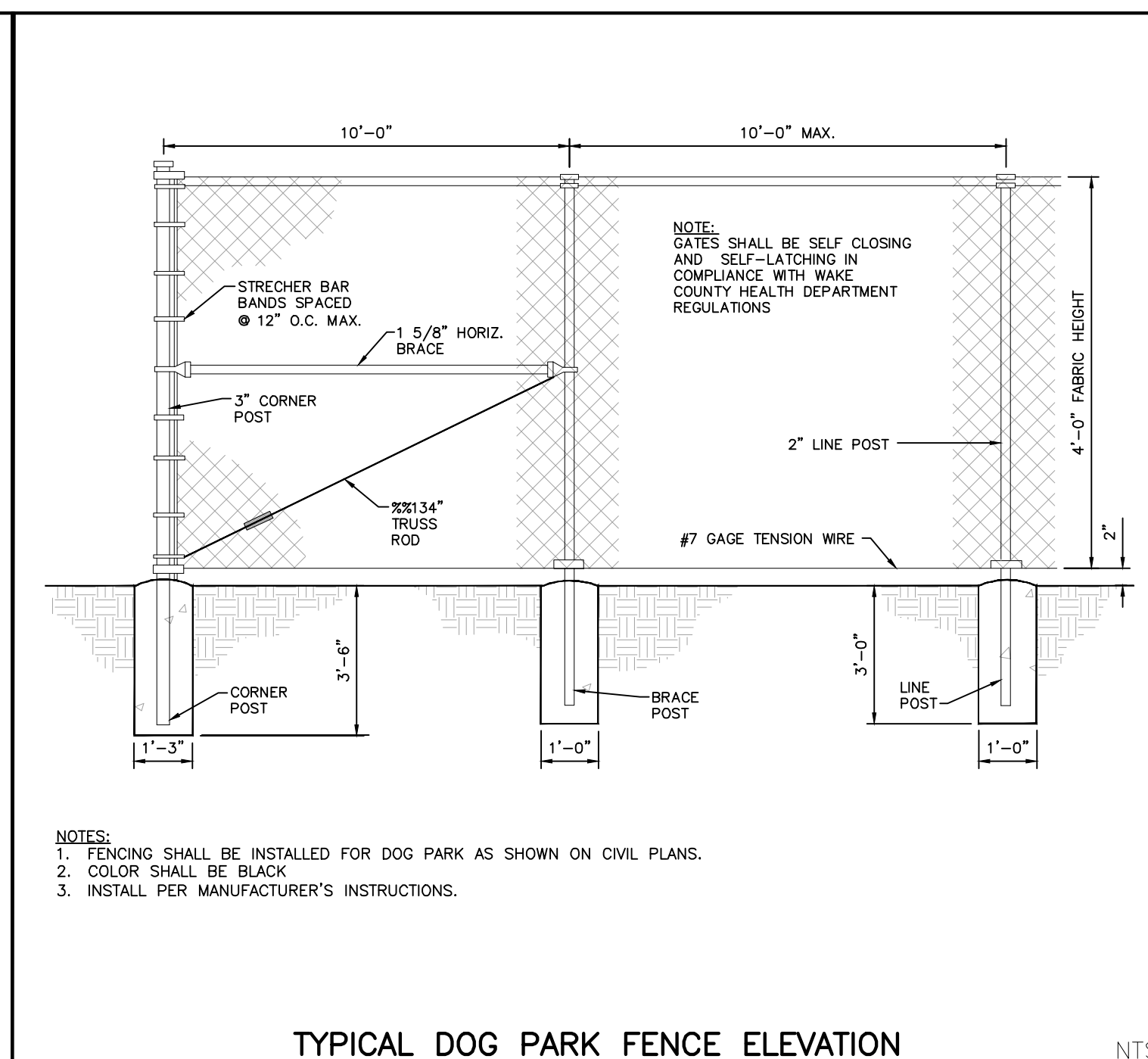
NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

EFFECTIVE: 04/01/19



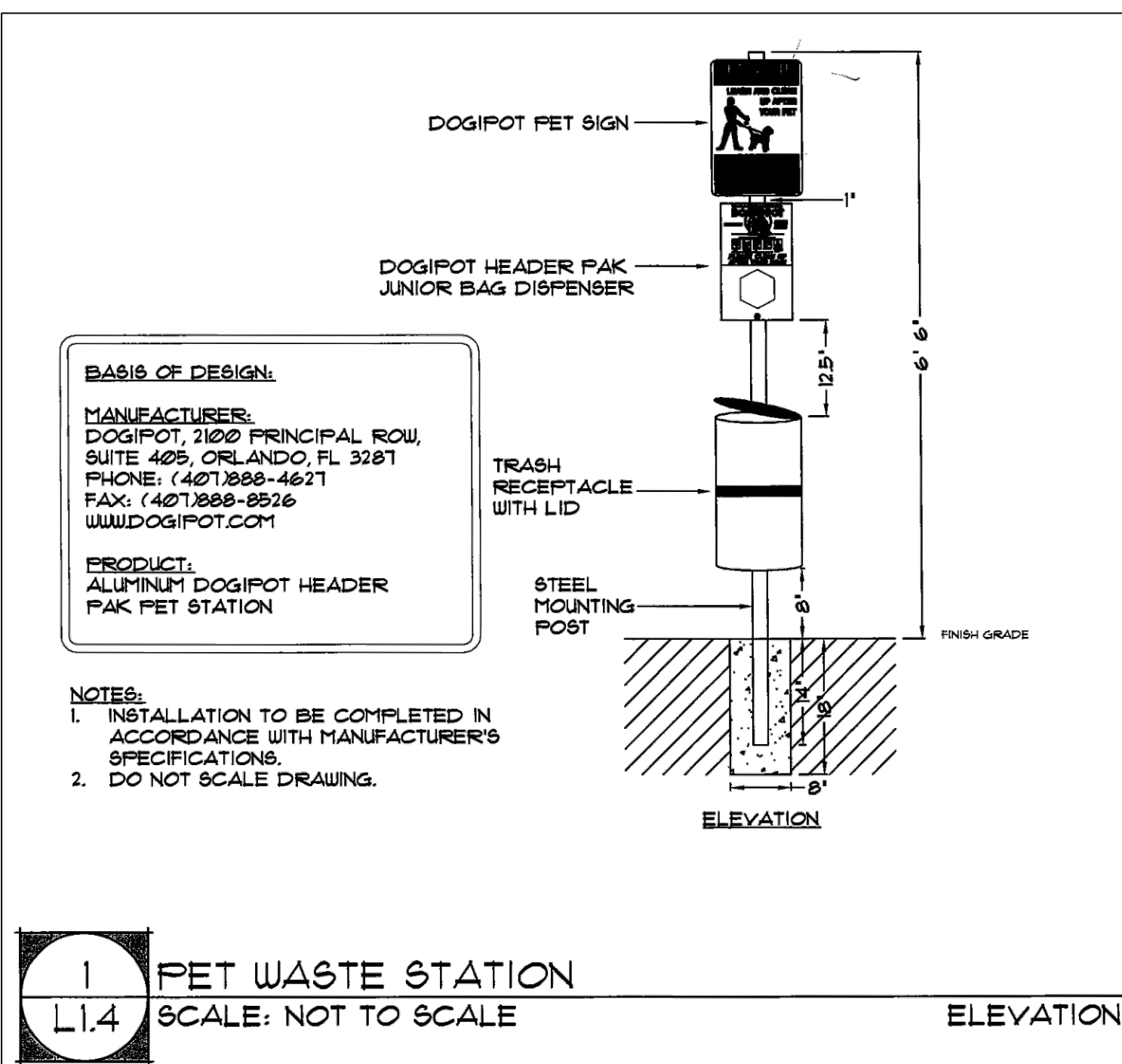
DOG PARK ENTRANCE DETAIL

NTS



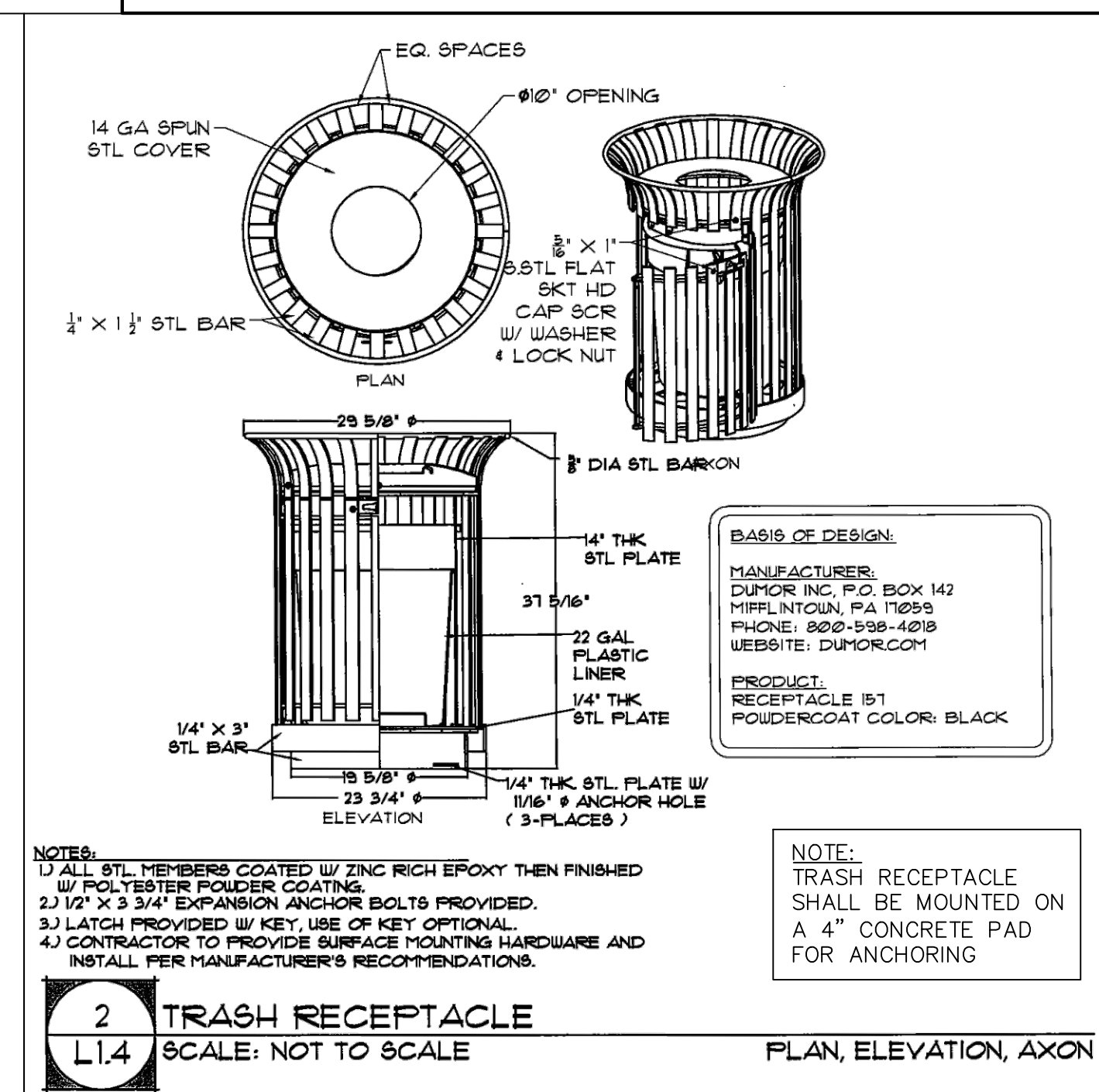
TYPICAL DOG PARK FENCE ELEVATION

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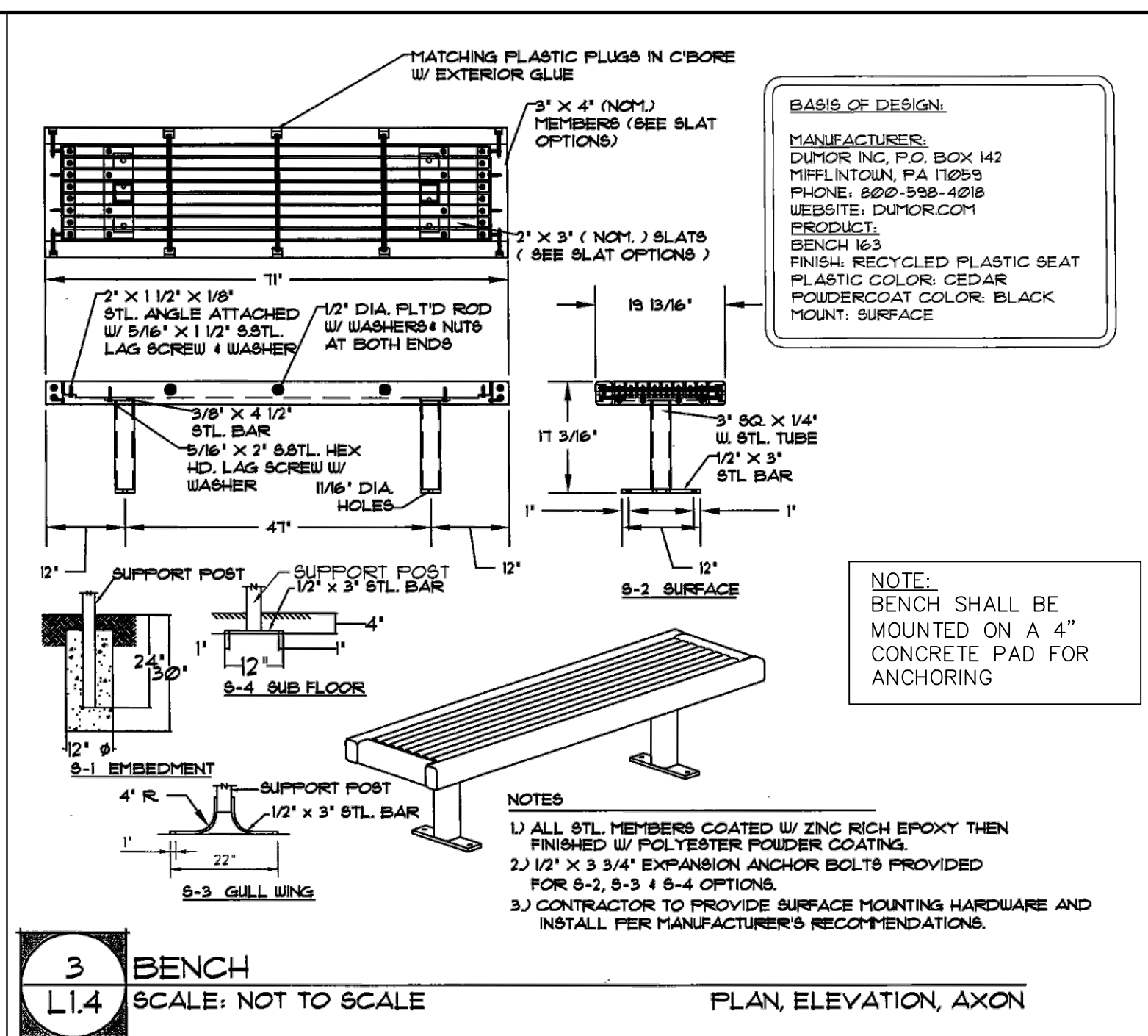
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SCALE: NOT TO SCALE

ELEVATION



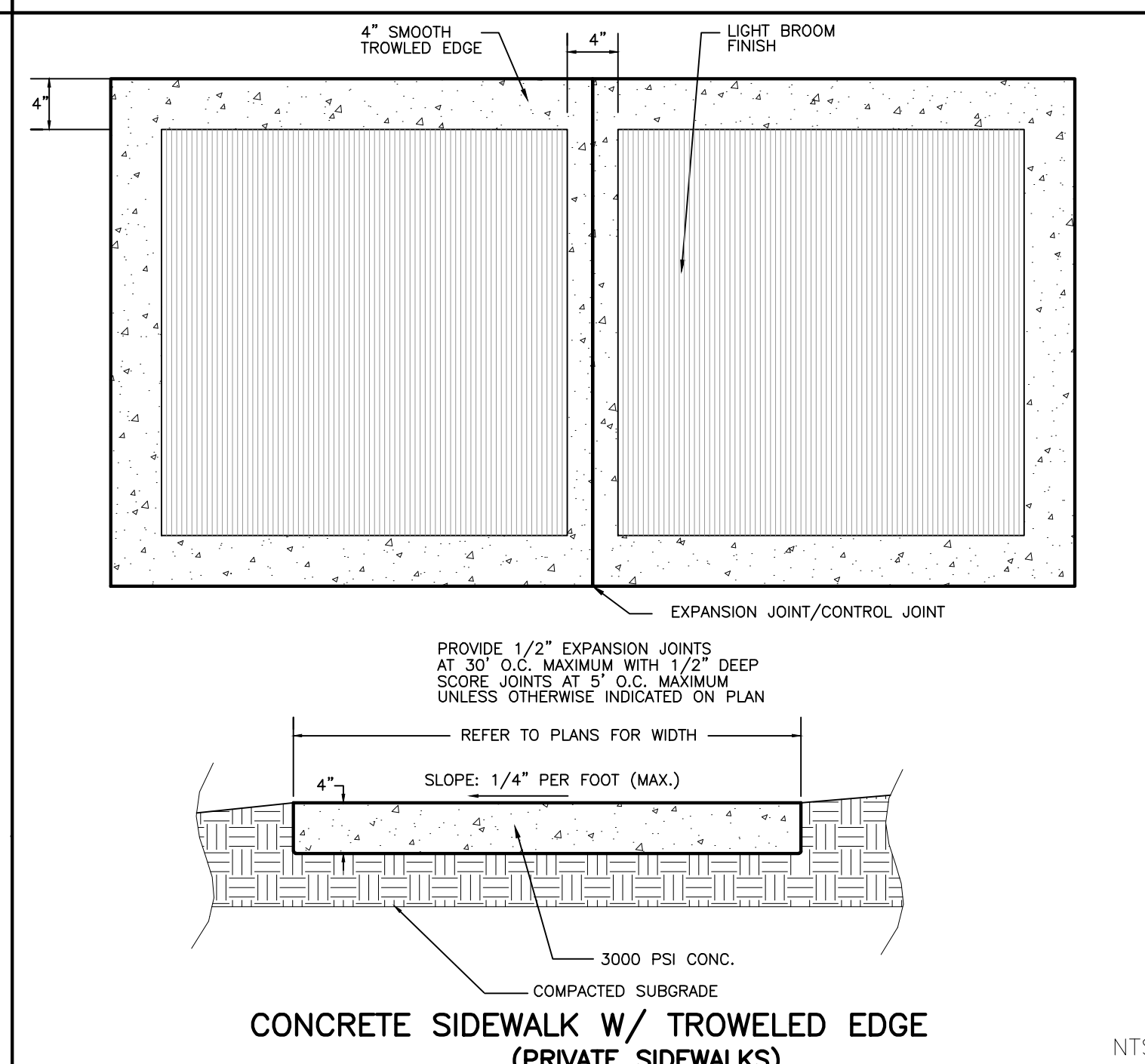
2 TRASH RECEPTACLE
SCALE: NOT TO SCALE

PLAN, ELEVATION, AXON



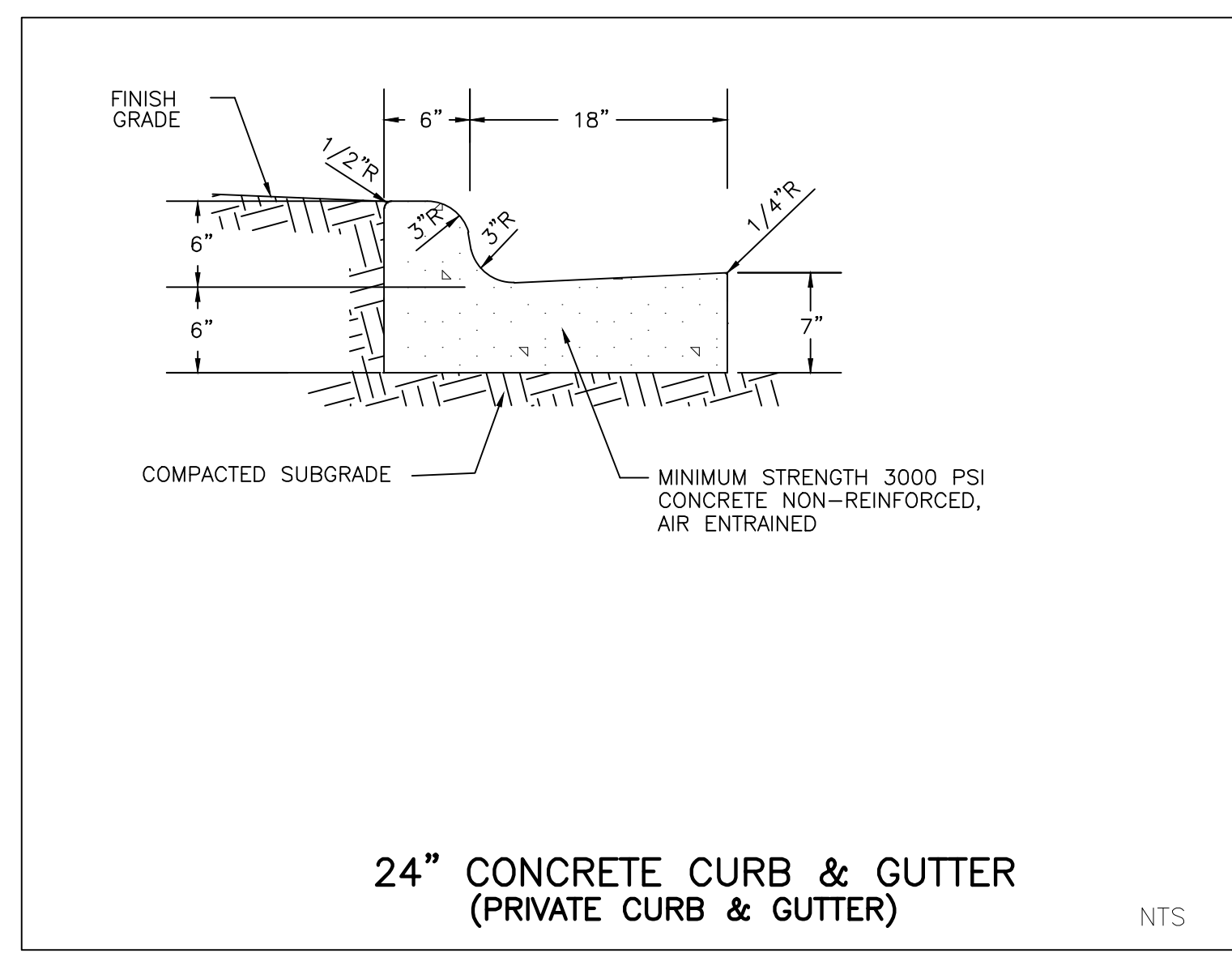
3 BENCH
SCALE: NOT TO SCALE

PLAN, ELEVATION, AXON



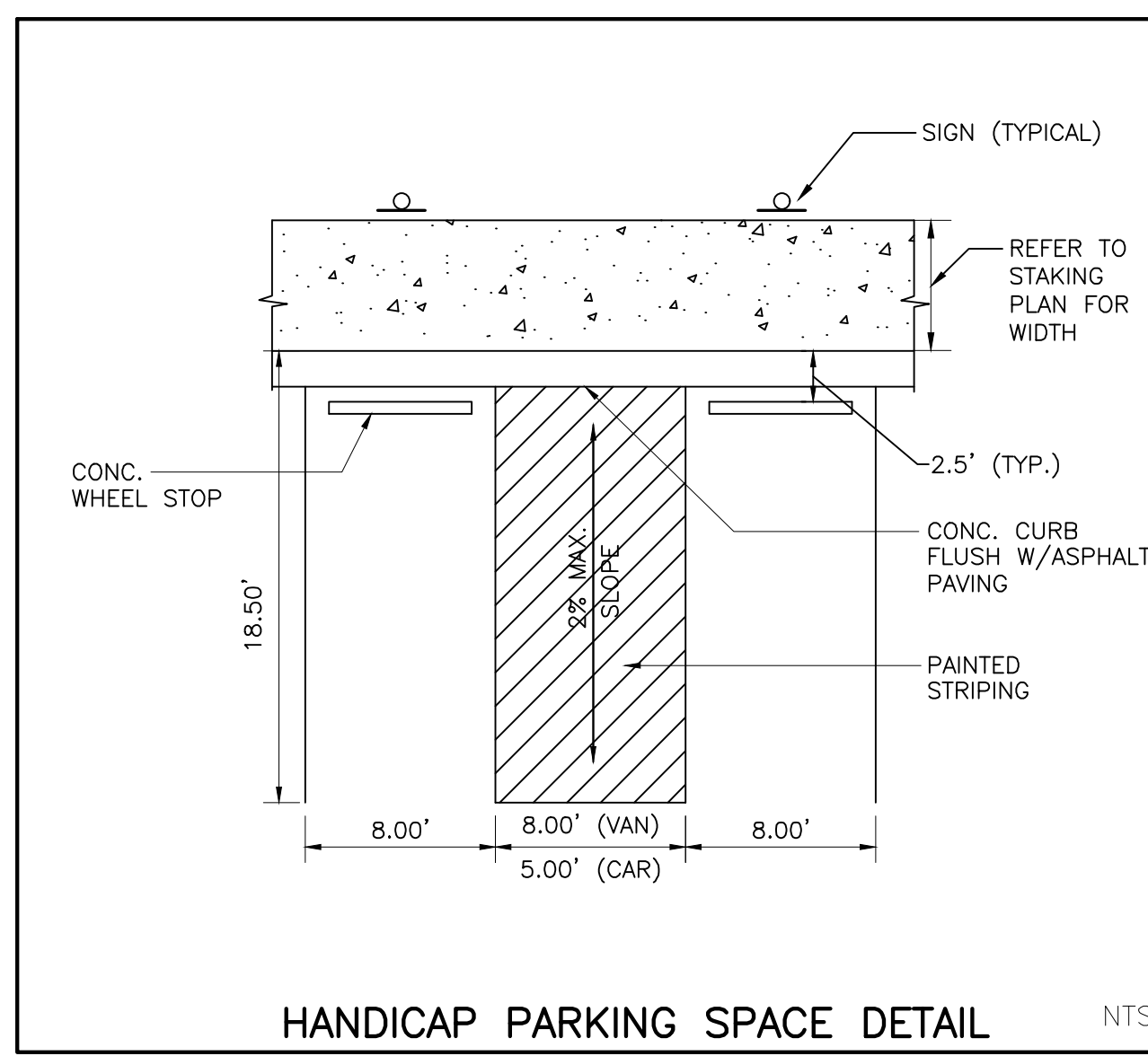
CONCRETE SIDEWALK W/ TROWELED EDGE
(PRIVATE SIDEWALKS)

NTS



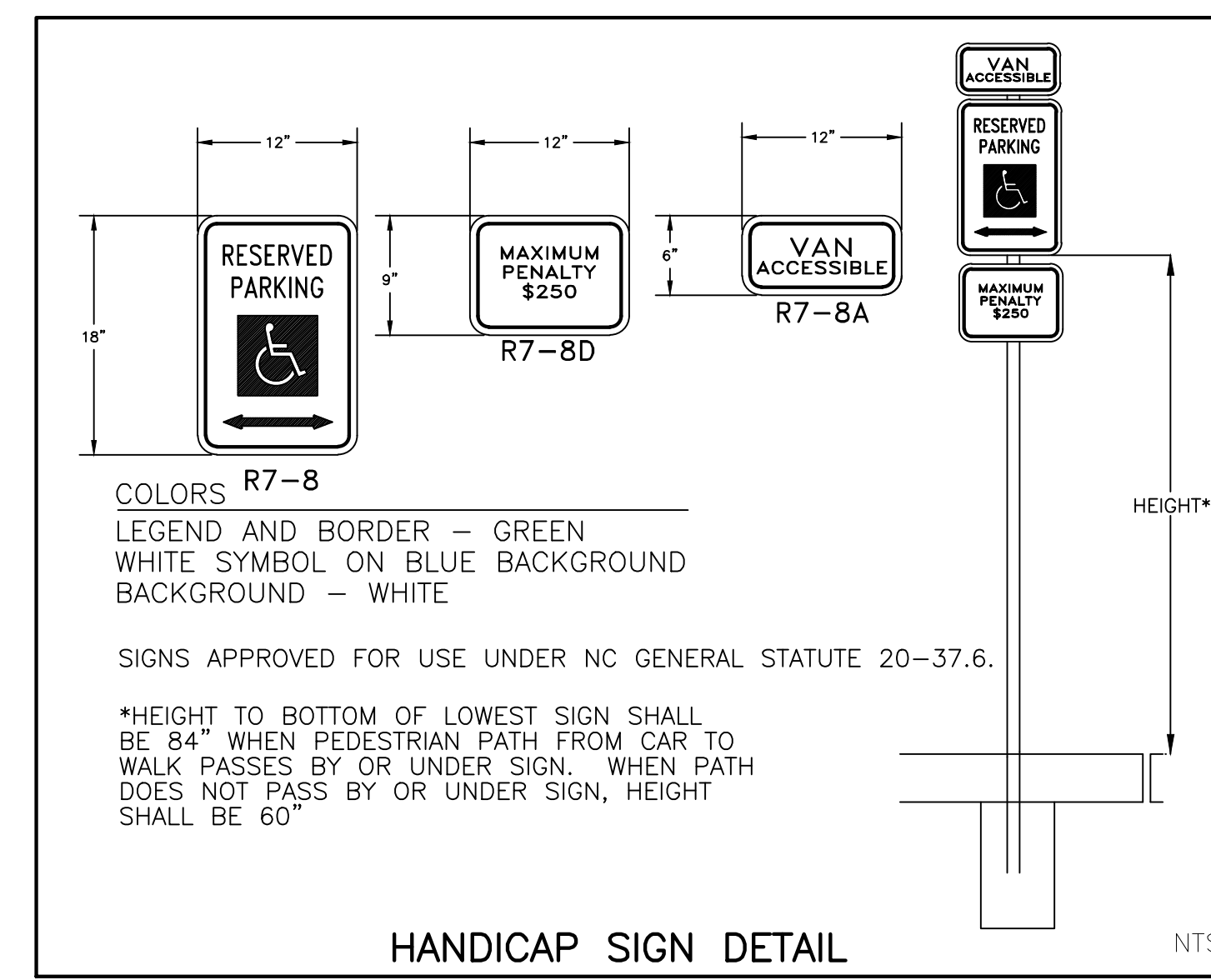
24" CONCRETE CURB & GUTTER
(PRIVATE CURB & GUTTER)

NTS



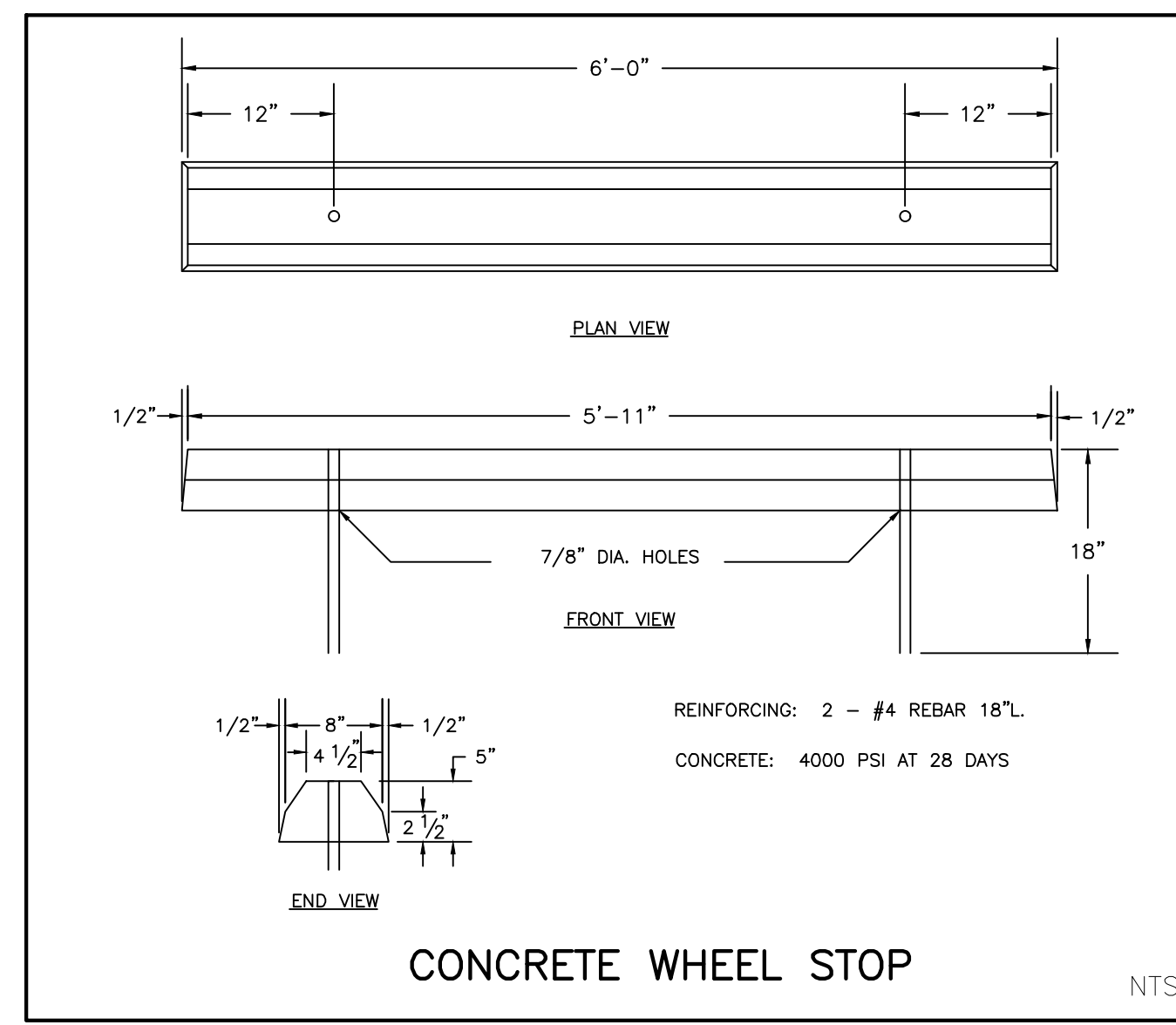
HANDICAP PARKING SPACE DETAIL

NTS



HANDICAP SIGN DETAIL

NTS



CONCRETE WHEEL STOP

NTS

AMENITY AND PARKING AREA DETAILS