

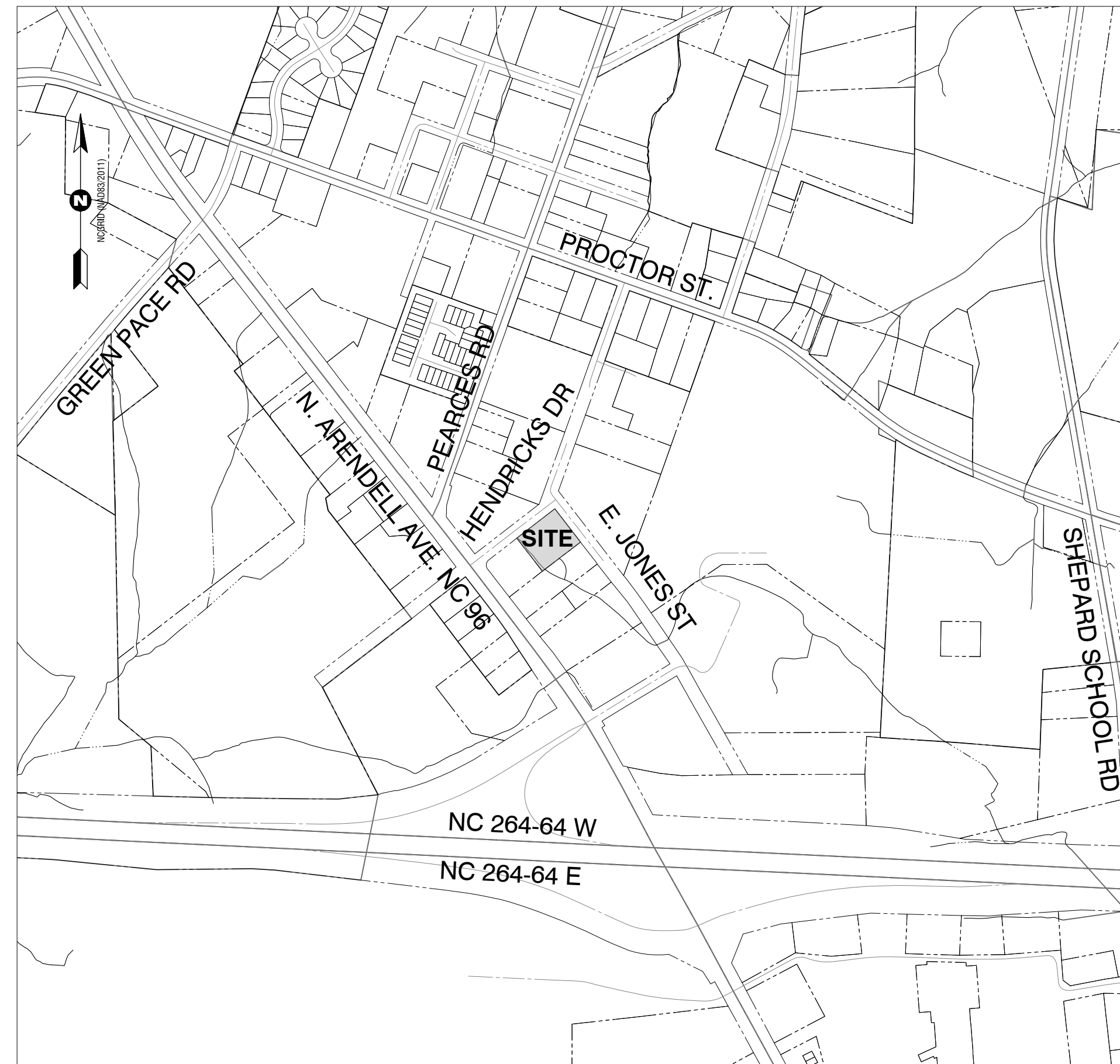
# DOMINO'S ZEBULON



DOMINO'S  
STORE #5576

## CONSTRUCTION DRAWINGS ZEBULON, WAKE COUNTY, NORTH CAROLINA

PROJECT INFO:	DOMINO'S ZEBULON 1000 HENDRICKS DR
MUNICIPALITY:	TOWN OF ZEBULON
NC PIN:	27-060-0772
DEED REFERENCE:	DB 1924 PG 353 BM 2006 PG 2692
LOT AREA:	0.91 ACRES
OWNER:	JTSI INC 9107 S TRYON ST STE F CHARLOTTE NC 28273-3125
ZONING:	HC- Heavy Commercial
ADJACENT ZONING:	HC- Heavy Commercial
PROPOSED USE:	RESTAURANT
PROPOSED GROSS FLOOR AREA:	2,428 SF
BUILDING HEIGHT:	N/A
IMPERVIOUS AREAS	
LOT AREA:	39,770 SF
EXISTING IMPERVIOUS:	0 SF
BUILDING (ROOF):	2,540 SF
ASPHALT AND C&G	16,502 SF
5' GRAVEL TRAIL:	0 SF
CONCRETE:	1,389 SF
TOTAL IMPERVIOUS:	20,411 SF
LOT COVERAGE:	51.3%
SETBACKS	Minimum
FRONT	30 ft
SIDE	30 ft (10ft Parking Area Setback)
REAR	25 ft (10ft Parking Area Setback)
BUFFERYARD	Minimum / Notes
	10' wide evergreen bufferyard per Town of Zebulon, NC Land Development Ordinance
PARKING SUMMARY	
REQUIRED:	N/A
PROVIDED:	2 HC 20-TOTAL 22



VICINITY MAP

1" = 500'

- CONTRACTOR MUST NOTIFY NORTH CAROLINA ONE-CALL CENTER, INC. (NC-811) AT LEAST 72 HOURS PRIOR TO THE START OF EXCAVATION TO HAVE ALL UNDERGROUND UTILITIES LOCATED PRIOR TO EXCAVATING OR TRENCHING.
- ELECTRIC AND TELEPHONE UTILITIES SHALL BE INSTALLED UNDERGROUND.
- ALL REQUIRED IMPROVEMENTS SHALL COMPLY WITH THE TOWN OF ZEBULON MANUAL OF STANDARD DESIGNS AND DETAILS AND THE MANUAL FOR THE DESIGN AND CONSTRUCTION OF WATER AND WASTEWATER SYSTEM EXTENSIONS FOR GREENVILLE UTILITIES COMMISSION.
- CONSTRUCTION PLAN APPROVAL FROM RALEIGH UTILITIES COMMISSION AND THE CITY OF RALEIGH SHALL BE OBTAINED PRIOR TO CONSTRUCTION OF ANY STREET, WATER, AND/OR SANITARY SEWER AND STORM DRAINAGE SYSTEMS.
- THIS SITE IS LOCATED IN A ZONE "X" (AREA DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE 100 YEAR FLOODPLAIN) AS IDENTIFIED BY FEMA FLOOD INSURANCE RATE MAP 3720270600K, EFFECTIVE JULY 7, 2022.
- EROSION CONTROL PLAN APPROVAL REQUIRED NOT REQUIRED LESS 1 ACRES
- STORMWATER MANAGEMENT PLAN APPROVAL REQUIRED NOT REQUIRED LESS 1 ACRES
- BUILDINGS MUST MEET ALL APPLICABLE BUILDING CODES. SITE SHALL MEET ALL RELATIVE NORTH CAROLINA ACCESSIBILITY CODE REQUIREMENTS.
- NCDOT AND TOWN OF ZEBULON DRIVEWAY PERMITS ARE NOT REQUIRED.
- ANY UNUSED DRIVEWAY SHALL BE CLOSED IN ACCORDANCE WITH TOWN OF ZEBULON DRIVEWAY ORDINANCE.
- REFUSE COLLECTION SHALL BE PROVIDED BY PRIVATE CONTRACTOR.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- APPROVAL OF SITE PLAN DOES NOT CONSTITUTE APPROVAL OF SIGNS. SEPARATE SIGN PERMITS ARE REQUIRED.
- CONTRACTOR SHALL NOTIFY PUBLIC WORKS STREET MAINTENANCE DIVISION 48 HOURS PRIOR TO MAKING CONNECTIONS TO EXISTING STORM DRAINS LOCATED WITHIN PUBLIC STORM DRAINAGE EASEMENTS OR R/W.
- ACCESS TO PUBLIC UTILITIES MUST BE MADE AVAILABLE AT ALL TIMES.
- ZEBULON ELECTRIC EASEMENT IS 10' IN WIDTH AND CENTERED OVER ELECTRIC LINES AS INSTALLED.
- NO BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS, MATERIALS AND SURFACES, INCLUDING BUT NOT LIMITED TO PRINCIPLE AND ACCESSORY STRUCTURES AND ADDITIONS AND APPURTENANCES THERETO, SIGNAGE, FENCES, WALLS, MECHANICAL EQUIPMENT, CANOPIES, ANTENNAS, MASTS, DEBRIS, SOLID WASTE COLLECTION CONTAINERS, MAIL RECEPTACLES AND IMPERVIOUS SURFACES SHALL ENROACH WITHIN ANY DEDICATED EASEMENT WITHOUT PRIOR APPROVAL OF RALEIGH UTILITIES OR CITY OF RALEIGH, AS APPROPRIATE.
- THIS SITE DOES NOT REQUIRE ANNEXATION UPON APPROVAL OF SITE PLAN.
- LANE CLOSURES ON THOROUGHFARE ROADS ARE ONLY PERMITTED BETWEEN THE HOURS OF 9:00AM AND 4:00PM, MONDAY THROUGH FRIDAY, UNLESS OTHERWISE PERMITTED BY THE TRAFFIC ENGINEER IN ADDITION, THERE WILL BE NO LANE CLOSURES ON HOLIDAYS INCLUDING THE DAY BEFORE OR AFTER SAID HOLIDAY. A TRAFFIC CONTROL PLAN PREPARED IN ACCORDANCE WITH THE NCDOT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES IS REQUIRED FOR ALL LANE CLOSURES AND MUST BE APPROVED BY THE TRAFFIC ENGINEER.
- ALL SITE LIGHTING SHALL COMPLY WITH THE TOWN OF ZEBULON LIGHTING STANDARD.
- NEW BUILDINGS MUST COMPLY WITH NC FIRE CODE SECTION 510-EMERGENCY RESPONDER RADIO COVERAGE.
- PLEASE BE ADVISED OF THE RULES WHICH PROTECT AND MAINTAIN EXISTING BUFFERS ALONG WATERCOURSES IN THE NEUSE RIVER BASINS. THIS RULE IS ENFORCED BY THE DIVISION OF WATER QUALITY (DWQ). DIRECT ANY QUESTIONS ABOUT THE APPLICABILITY OF THIS RULE TO YOUR PROJECT TO ROGER THORPE, REGIONAL WATER QUALITY SUPERVISOR, WASHINGTON REGIONAL OFFICE, AT (919) 946-6481.

Sheet Number	Sheet Title
C1.01	COVER
C1.02	RECORDED PLAT SURVEY
C1.03	EXISTING CONDITION DEMOLITION PLAN
C2.01	SITE PLAN
C2.10	SITE DETAILS
C2.11	SITE DETAILS
C3.01	UTILITY PLAN
C3.10	UTILITY DETAILS
C3.11	UTILITY DETAILS
C4.01	STORMWATER AND GRADING PLAN
C4.10	STORM DETAILS
C4.11	STORM DETAILS
L1.01	LANDSCAPE PLAN
L1.02	LANDSCAPE NOTES AND DETAILS

### CIVIL ENGINEER

Rivers & Associates, Inc.  
Greenville, NC



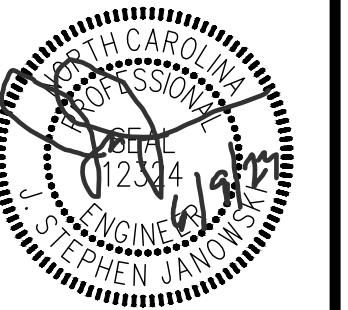
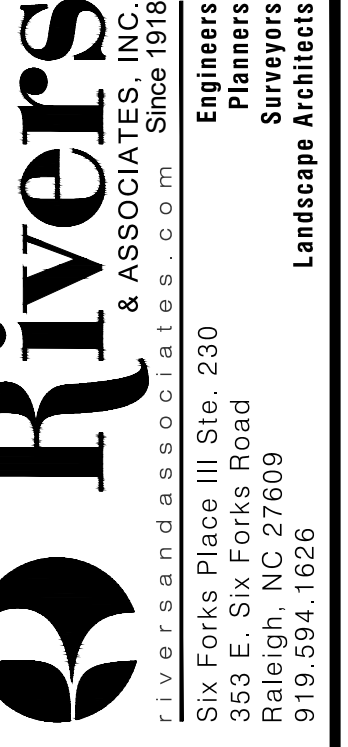
107 East Second Street  
Greenville, NC 27858  
(252) 752-4135

Contact: Steve Janowski, PE  
sjanowski@riversandassociates.com

### DEVELOPER/ARCHITECT



1900 Abbott Street / Suite 103  
Charlotte, North Carolina 28203  
704-335-1292  
www.begarchitect.com



#### REVISIONS:

NO.	DESCRIPTION	DATE	BY
060123	CONSTRUCTION DRAWINGS SUBMITTAL		

CONSTRUCTION DRAWINGS  
**DOMINO'S ZEBULON**  
 TOWN OF ZEBULON - WAKE COUNTY - NORTH CAROLINA  
**COVER**

DATE: 06/08/2023

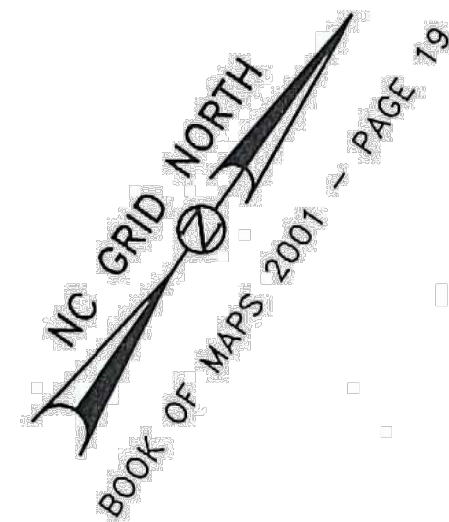
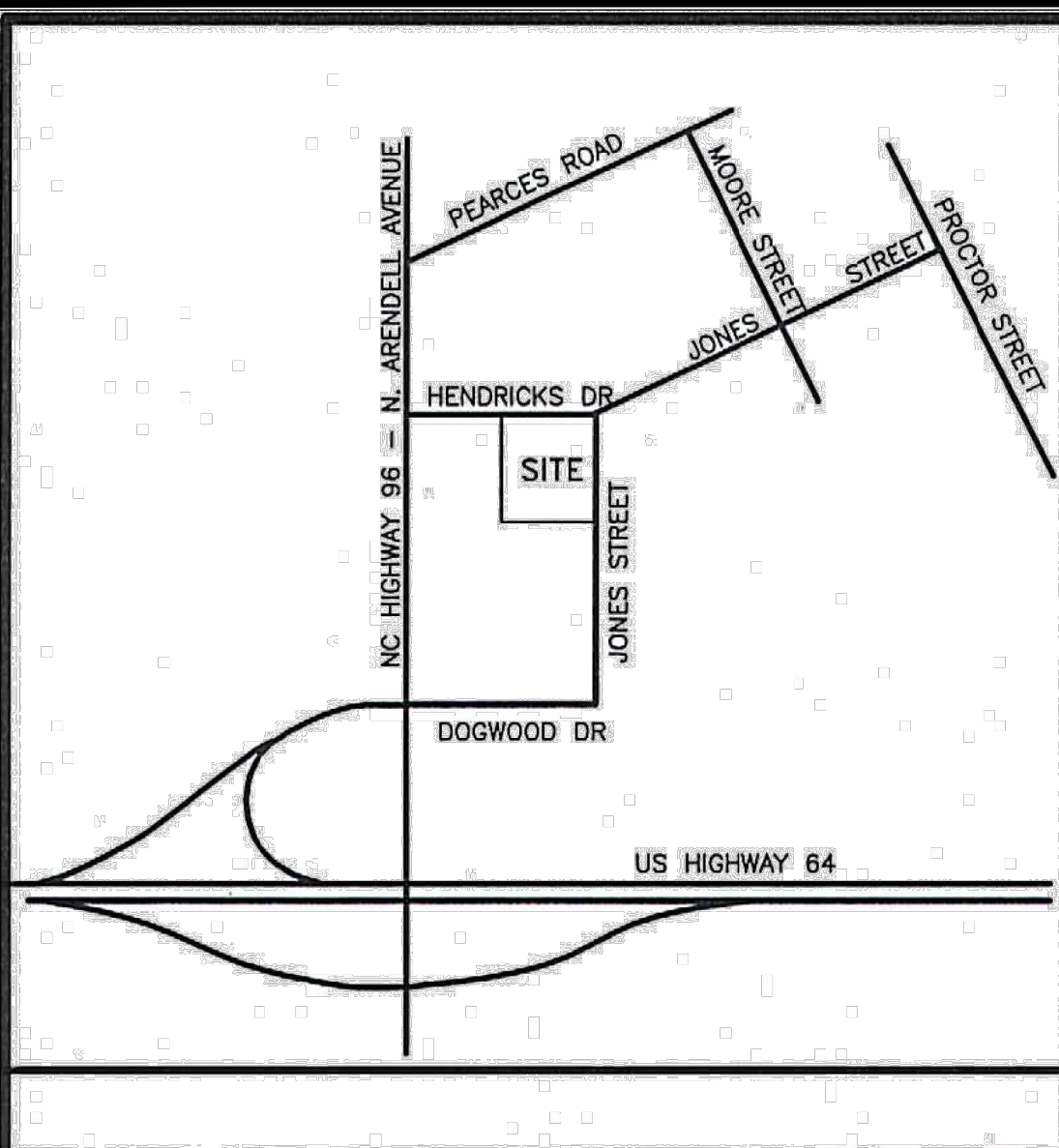
DESIGNED BY: JSJ/MS  
 DRAWN BY: MS  
 CHECKED BY: JSJ  
 PROJECT No. 2023018  
 DRAWING No. W-4081  
 SCALE: AS SHOWN  
 SHEET No.

**C1.01**

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH TOWN OF ZEBULON, NCDOT & NCDEQ STANDARDS, SPECIFICATIONS AND DETAILS.



CALL BEFORE YOU DIG!  
WWW.NC811.ORG  
N.C. ONE-CALL CENTER  
IT'S THE LAW.



NOTE: BEING LOT 2 AS RECORDED IN BOOK OF MAPS 2006 PAGE 2692.

NOTE: PIN # 2706-00-6772

REFERENCE: DB 11560 PG 240  
BOOK OF MAPS 2001 PG 19  
BOOK OF MAPS 2006 PG 2692  
DB 13097 PGS 2212-2214

NOTE: AREA COMPUTED BY COORDINATE METHOD.

NOTE: UTILITY LOCATIONS SHOWN ARE BASED ON VISIBLE EVIDENCE. THE LOCATIONS OF UNDERGROUND UTILITIES ARE TO BE FIELD VERIFIED BY CONTRACTOR.

NOTE: THIS PROPERTY IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

OWNER:  
TONY & KATHY SMITH  
P O BOX 1215  
1000 HENDRICKS DR  
ZEBULON, NC 27597

ZONED HC

<b>MANHOLE # 3</b> TOP = 340.03' INV OUT = 335.31'	<b>MANHOLE # 5</b> TOP = 343.07' INV IN = 331.87' INV OUT = 331.82'	<b>MANHOLE # 7</b> TOP = 337.41' INV IN = 330.23' INV OUT = 330.18'
<b>MANHOLE # 4</b> TOP = 338.65' INV IN = 332.76' INV OUT = 332.71'	<b>MANHOLE # 6</b> TOP = 341.69' INV IN = 331.47' INV IN = 331.79' INV OUT = 331.45'	

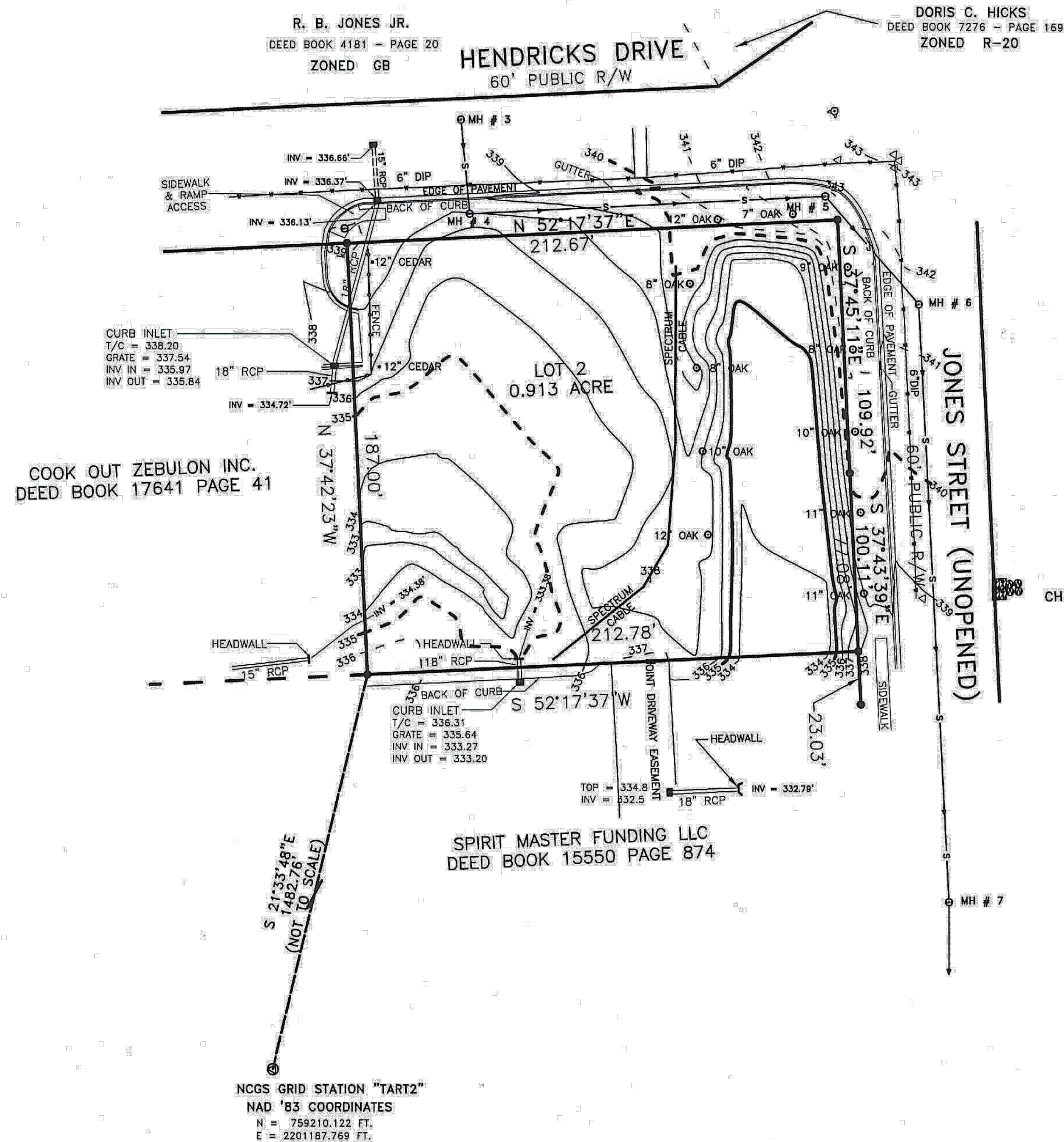
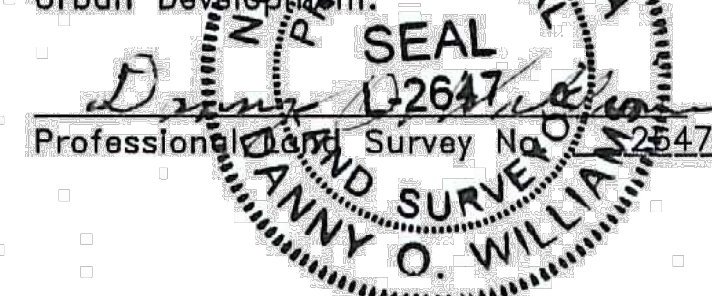
I, DANNY O. WILLIAMS, certify that this map was drawn under my supervision from an actual survey made under my supervision (as described in Book \_\_\_\_\_ Page \_\_\_\_\_ or other reference source BOM 2006 PG 2692); that the utility lines surveyed are indicated as drawn from information in Book \_\_\_\_\_ page \_\_\_\_\_ or other reference source BOM 2006 PG 2692; that the ratios of precision or positions are as shown on the drawing and that this map meets the requirements of The Standards for Professional Surveying in North Carolina (21 NCAC 56.1600).

This 6TH day of DECEMBER, 2022.  
P. L. S. L-2647



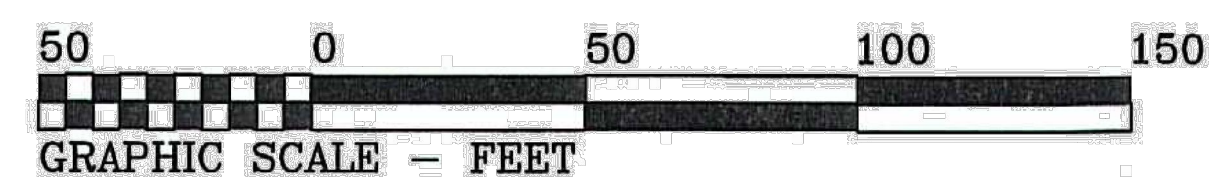
FLOOD CERTIFICATION

I have examined the Flood Insurance Rate Map for WAKE County, NORTH CAROLINA Community Panel Number 3720270600K dated JULY 13, 2022, and hereby certify that this property is not located in a Special Flood Hazard Area as determined by the Department of Housing and Urban Development.

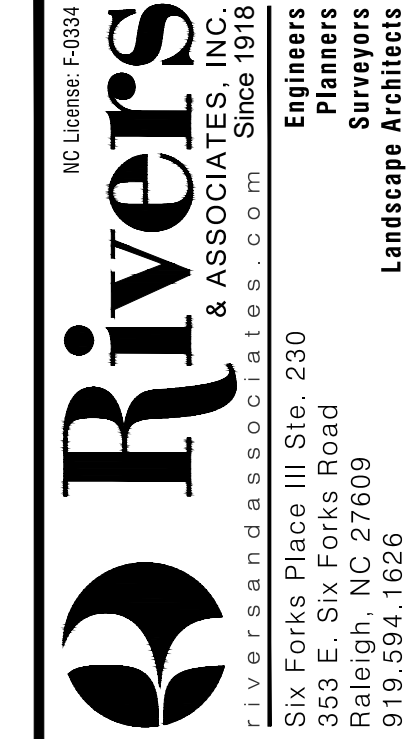


- LEGEND**
- = EXISTING IRON PIN
  - ⊙ = NCGS GRID MONUMENT
  - = MANHOLE
  - △ = WATER VALVE
  - ⊕ = FIRE HYDRANT
  - S — = UNDERGROUND SANITARY SEWER
  - ⊗ = WATER CUT OFF
  - = CATCH BASIN / CURB INLET
  - ⊠ = WATER METER
  - W — = WATER LINE AS PAINTED BY: THE TOWN OF ZEBULON
  - DIP = DUCTILE IRON PIPE

PROPERTY SURVEY FOR  
PIEDMONT PROPERTIES  
TOWN OF ZEBULON  
WAKE COUNTY  
NORTH CAROLINA



DRAWN BY: DOW & BGW  
CHECKED BY: DOW  
DATE: 12-06-2022  
SCALE: 1" = 50'  
JOB: SONIC\ZEBULON\LOT 2 TOPO.DWG  
FB:

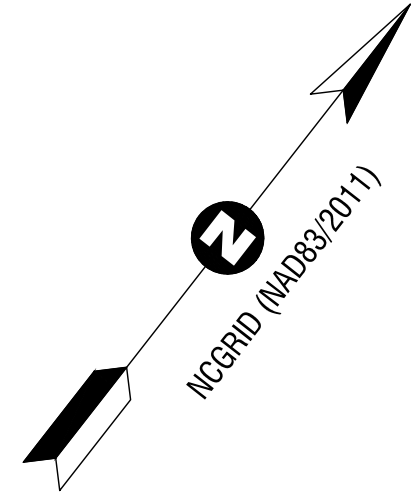


REVISIONS:	
NO.	DATE / BY

CONSTRUCTION DRAWINGS  
**DOMINO'S ZEBULON**  
TOWN OF ZEBULON - WAKE COUNTY - NORTH CAROLINA  
**RECORDED PLAT SURVEY**

DATE: 06/08/2023  
DESIGNED BY: JSJ/MS  
DRAWN BY: MS  
CHECKED BY: JSJ  
PROJECT No. 2023018  
DRAWING No. W-4081  
SCALE: AS SHOWN  
SHEET No.

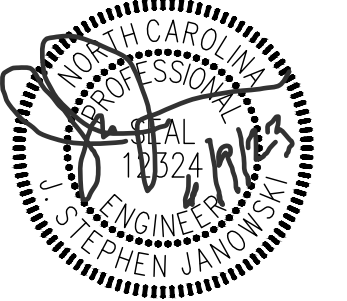




- NOTES:**
- BOUNDARY, TOPOGRAPHIC AND PLANIMETRIC FEATURES SHOWN ARE FROM A FIELD SURVEY PERFORMED BY WILLIAMS - PEARCE & ASSOC., P.A. PROFESSIONAL LAND SURVEYORS P.O. BOX 892, ZEBULON, N.C. 27597 PHONE (919) 269-9605 PROPERTY SURVEY FOR: PIEDMONT PROPERTIES ON 12/06/2022.
  - PER FEMA FIRM MAP 3720466000L DATED 7/7/14, THIS PROJECT IS IN ZONE X AND THEREFORE THERE IS NO REGULATORY FLOODPLAIN LOCATED ON THIS PROPERTY.
  - WETLANDS, STREAMS & ASSOCIATED BUFFERS TO BE DETERMINED.

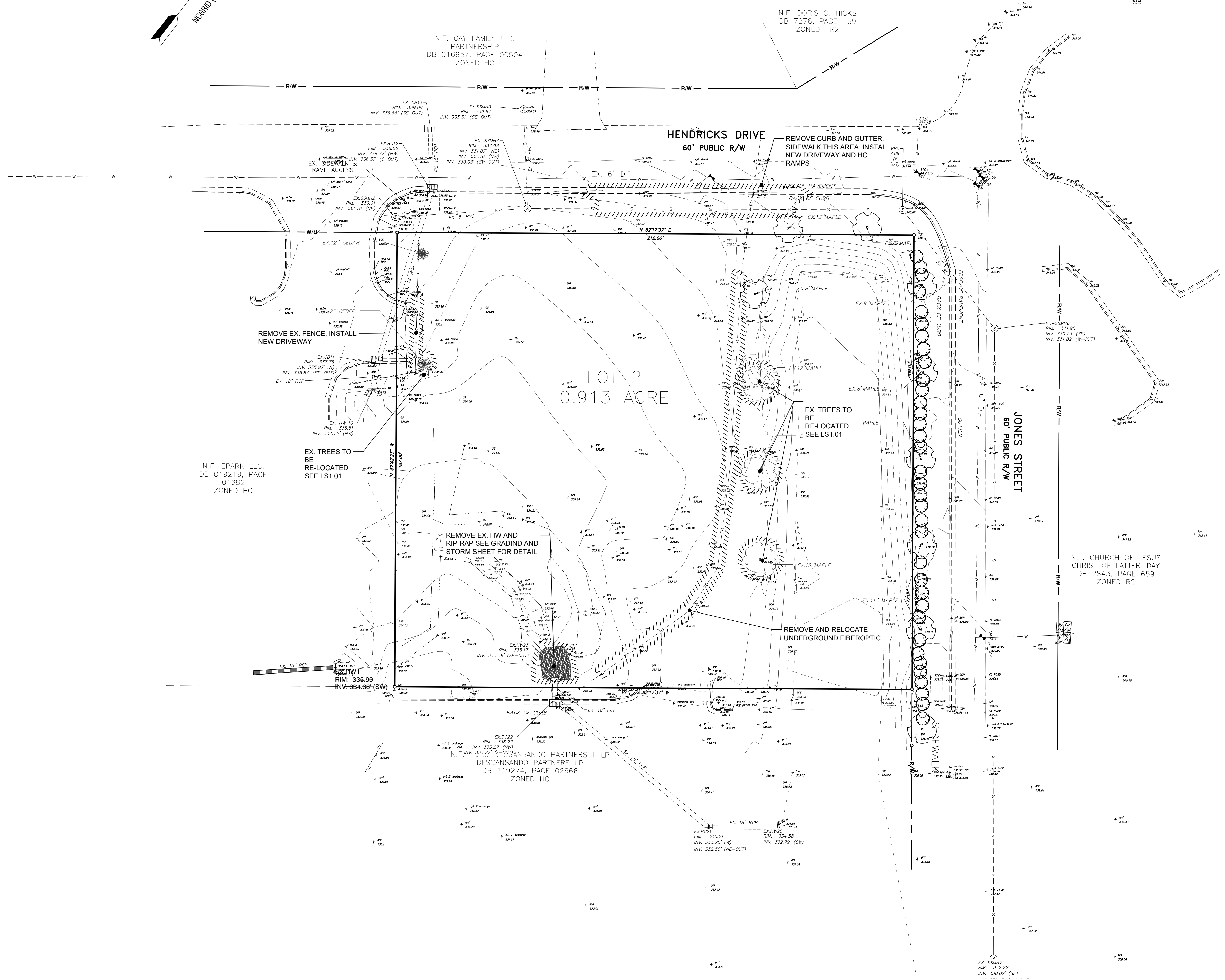
**Rivers**  
 & ASSOCIATES, INC.  
 ENGINEERS  
 PLANNERS  
 SURVEYORS  
 LANDSCAPE ARCHITECTS

NC License # 4334  
 RIVERSANDASSOCIATES.COM  
 Since 1918  
 Six Forks Place, III, Ste. 230  
 Raleigh, NC 27609  
 919.594.1626



**REVISIONS:**

NO.	DATE	BY	DESCRIPTION
	06/01/23		CONSTRUCTION DRAWINGS SUBMITTAL



N.F. EPARK LLC.  
 DB 019219, PAGE  
 01682  
 ZONED HC

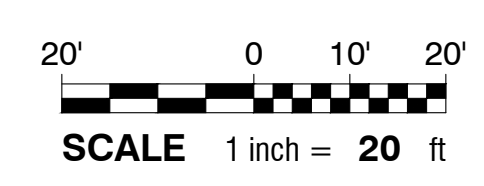
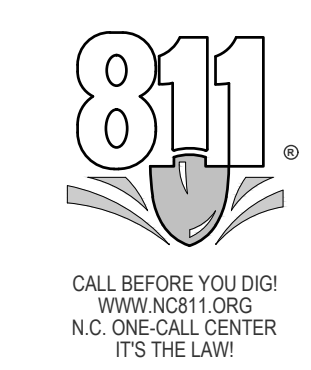
N.F. GAY FAMILY LTD.  
 PARTNERSHIP  
 DB 016957, PAGE 00504  
 ZONED HC

N.F. DORIS C. HICKS  
 DB 7276, PAGE 169  
 ZONED R2

N.F. CHURCH OF JESUS  
 CHRIST OF LATTER-DAY  
 DB 2843, PAGE 659  
 ZONED R2

N.F. ANSANDO PARTNERS II LP  
 DESCANSANDO PARTNERS LP  
 DB 119274, PAGE 02666  
 ZONED HC

CONSTRUCTION DRAWINGS  
**DOMINO'S ZEBULON**  
 TOWN OF ZEBULON - WAKE COUNTY - NORTH CAROLINA  
**EXISTING CONDITION DEMOLITION PLAN**



DATE: 06/08/2023

DESIGNED BY:	JSJ/MS
DRAWN BY:	MS
CHECKED BY:	JSJ
PROJECT No.	2023018
DRAWING No.	W-4081
SCALE:	AS SHOWN
SHEET No.	

**C1.03**

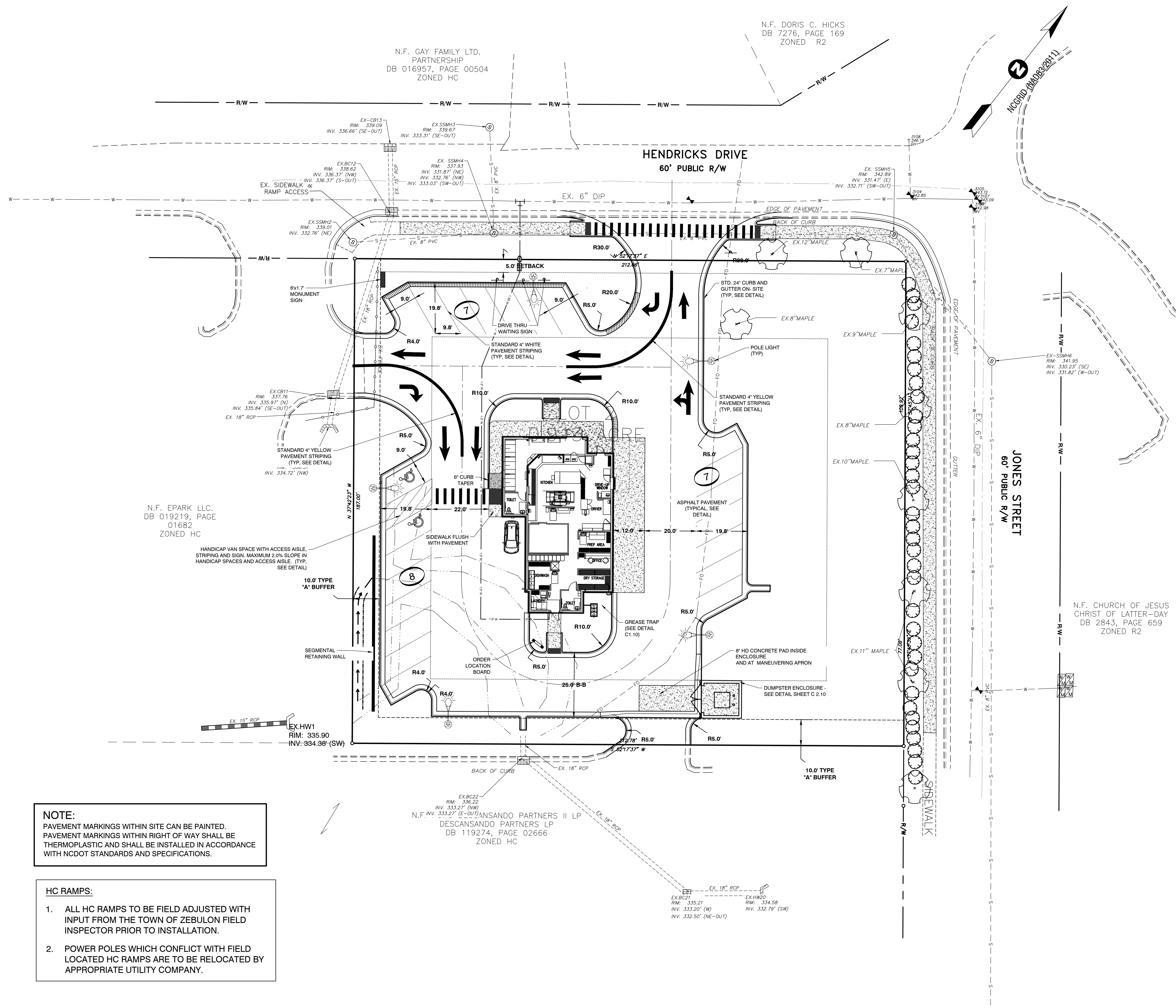
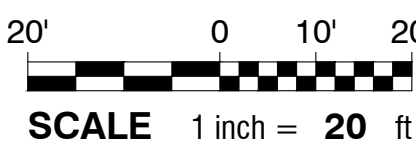
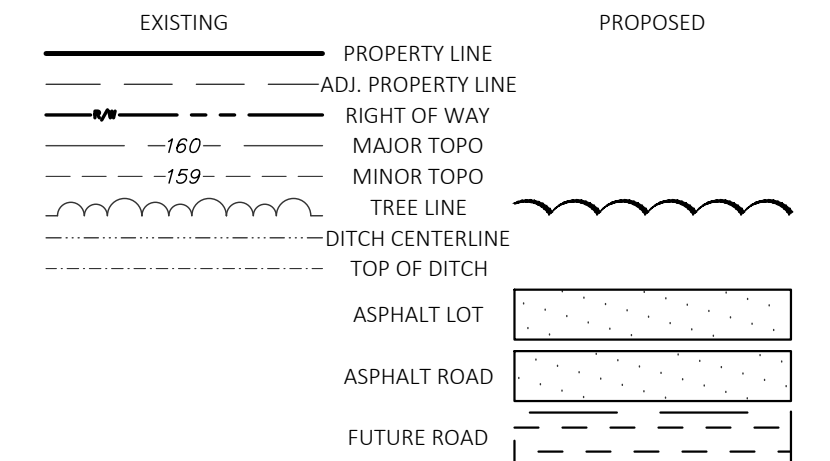
PROJECT INFO:	DOMINOES ZEBULON 1000 HENDRICKS DR
MUNICIPALITY:	TOWN OF ZEBULON
NC PIN:	27-0600-6772
DEED REFERENCE:	DB 1924 PG 353 BM 2006 PG 2692
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OWNER:	JTSJ INC 9107 S TRYON ST STE F CHARLOTTE NC 28273-3125
ZONING:	HC - Heavy Commercial
ADJACENT ZONING:	HC - Heavy Commercial
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PROPOSED GROSS FLOOR AREA:	2,428 SF
BUILDING HEIGHT:	N/A
IMPERVIOUS AREAS	
LOT AREA:	39,770 SF
EXISTING IMPERVIOUS:	0 SF
BUILDING (ROOF):	2,540 SF
ASPHALT AND C&G:	16,502 SF
5' GRAVEL TRAIL:	0 SF
CONCRETE:	1,369 SF
TOTAL IMPERVIOUS:	20,411 SF
LOT COVERAGE:	51.3%
SETBACKS	Minimum
FRONT	30 ft
SIDE	30 ft (10' Parking Area Setback)
REAR	25 ft (10' Parking Area Setback)
BUFFERYARD	Minimum / Notes 10' wide evergreen bufferyard per Town of Zebulon, NC Land Development Ordinance
PARKING SUMMARY	
REQUIRED:	N/A
PROVIDED:	2 HC 20 = TOTAL 22

**Rivers**  
RIVERS AND ASSOCIATES, INC.  
SINCE 1918  
PLANNERS  
SURVEYORS  
LANDSCAPE ARCHITECTS  
Six Forks Place, III, Ste. 230  
353 E. Six Forks Road  
Raleigh, NC 27609  
919.594.1626



REVISIONS:	
NO.	DESCRIPTION
06/01/23	CONSTRUCTION DRAWINGS SUBMITTAL

- GENERAL NOTES:
- ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY RIVERS AND ASSOCIATES, INC. THE CURRENT REQUIREMENTS OF THE CITY/TOWN OF CLINTON, THE APPLICABLE SECTIONS OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL, STATE AND LOCAL LAWS.
  - THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, ORDINANCES, AND POLICES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 93-54), FEDERAL REGISTER, CHAPTER XVII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
  - BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY N.C. ONE CALL AT 1-800-432-4949. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
  - CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT PRIOR TO INITIATION OF ANY EARTHWORK ACTIVITY.
  - CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL PLAN - TO BE SUBMITTED TO AND APPROVED BY NCDOT AND THE CITY/TOWN OF CLINTON.
  - CONTRACTOR SHALL NOTIFY PUBLIC WORKS STREET MAINTENANCE DIVISION 48 HOURS PRIOR TO MAKING CONNECTIONS TO EXISTING STORM DRAINS LOCATED WITHIN PUBLIC STORM DRAINAGE EASEMENTS OR R/W.
  - REFER TO C.I.D. FOR SURVEY CONTROL INFORMATION.
  - CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
  - PER FEMA FIRM MAP 972049800L DATED 7/7/14, THIS PROJECT IS IN ZONE X AND THEREFORE THERE IS NO REGULATORY FLOODPLAIN LOCATED ON THIS PROPERTY.
  - NO BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS, MATERIALS AND SURFACES, INCLUDING BUT NOT LIMITED TO PRINCIPLE AND ACCESSORY STRUCTURES AND ADDITIONS AND APPURTENANCES THERETO, SIGNAGE, FENCES, WALLS, MECHANICAL EQUIPMENT, CANOPIES, ANTENNAS, MASTS, DEBRIS, SOLID WASTE COLLECTION CONTAINERS, MAIL RECEPTACLES, AND IMPERVIOUS SURFACES SHALL NOT ENCRUSCH WITHIN ANY DEDICATED EASEMENT WITHOUT PRIOR APPROVAL OF CITY/TOWN OF CLINTON PUBLIC UTILITIES DEPARTMENT.
  - SOIL EROSION AND SEDIMENTATION CONTROL PLAN IS NOT APPLICABLE, THE SITE DISTURBANCE IS LAST THAN ONE ACRE.
  - WETLANDS ARE VALUABLE NATURAL RESOURCES THAT PROVIDE IMPORTANT ECOLOGICAL FUNCTIONS. BE ADVISED THAT ACTIVITIES IN WETLANDS ARE REGULATED BY THE FEDERAL GOVERNMENT UNDER SECTION 404 OF THE CLEAN WATER ACT. JURISDICTIONAL WETLANDS MAY INCLUDE THE PINE SHRUB COCCOSNS THAT ARE COMMON IN THIS REGION. IF ANY PRIVATE LAND OWNER, DEVELOPER, CORPORATION, OR OTHER PERSON PROPOSES TO UNDERTAKE CONSTRUCTION/FILLING ACTIVITIES IN OR NEAR A LAKE, STREAM, CREEK TRIBUTARY OR ANY UNNAMED BODY OF WATER INCLUDING ITS ADJACENT WETLANDS, FEDERAL PERMIT AUTHORIZATION MAY BE REQUIRED FROM THE U.S. ARMY CORPS OF ENGINEERS PRIOR TO COMMENCEMENT OF SUCH LAND-DISTURBING ACTIVITIES. PLEASE CONTACT MRS. TRACY WHEELER, TELEPHONE (252) 975-1654 FOR A WETLAND DETERMINATION AND INFORMATION REGARDING SPECIFIC PERMIT REQUIREMENTS. WETLANDS DETERMINATION PENDING, BY OTHERS.
  - APPROVAL OF SITE PLAN DOES NOT CONSTITUTE APPROVAL OF SIGNS. SEPARATE SIGN PERMITS ARE REQUIRED.
  - ALL SLOPES SHALL BE 3:1 (HORIZONTAL:VERTICAL) MAXIMUM UNLESS NOTED OTHERWISE.
  - ALL AREAS NOT PAVED SHALL BE TOPSOILED, SEED, MULCHED OR LANDSCAPED/GRASSED UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DRAWINGS, SITE SPECIFICATIONS OR INSTRUCTED BY THE OWNER.
  - CONTRACTOR SHALL CONTACT THE FOLLOWING NCDOT OFFICE PRIOR TO BEGINNING WORK WITHIN RIGHT OF WAY (MIN. 5 DAYS NOTICE REQUIRED): SAMPSON COUNTY DISTRICT ENGINEER'S OFFICE (910)682-5100.
  - ALL REQUIRED IMPROVEMENTS SHALL COMPLY WITH THE SAMPSON COUNTY ZONING ORDINANCE.
  - REFUSE COLLECTION SHALL BE PROVIDED BY PRIVATE CONTRACTOR.
  - CONSTRUCTION OF ROADWAY EXTENSION BY OTHERS.
  - CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING A CONSTRUCTION ACCESS ROAD A MINIMUM OF 15' WIDE FROM THE EXISTING PAVEMENT TO THE SITE ENTRANCE. INSTALL A MINIMUM DEPTH OF 6" C&G.

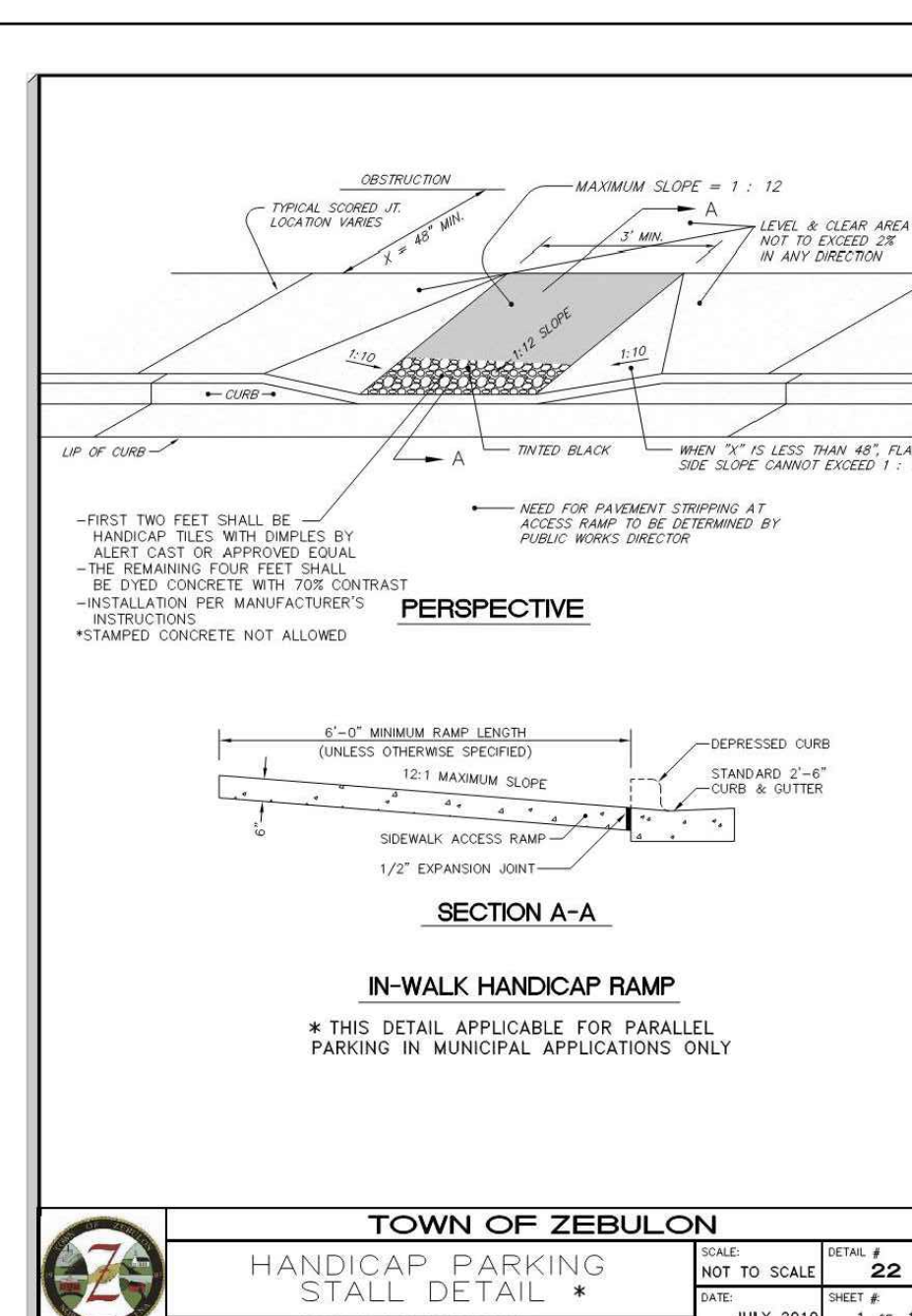
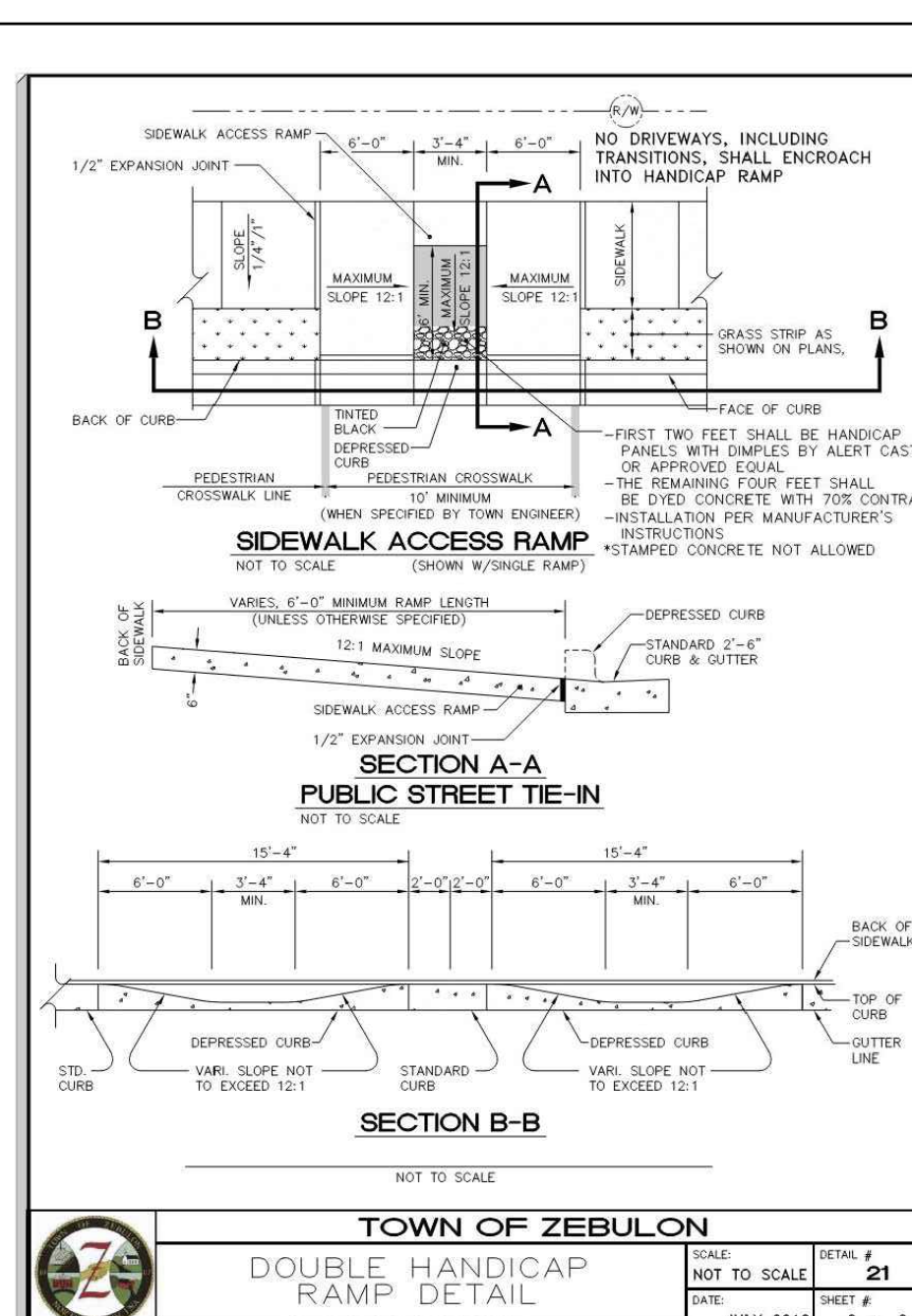
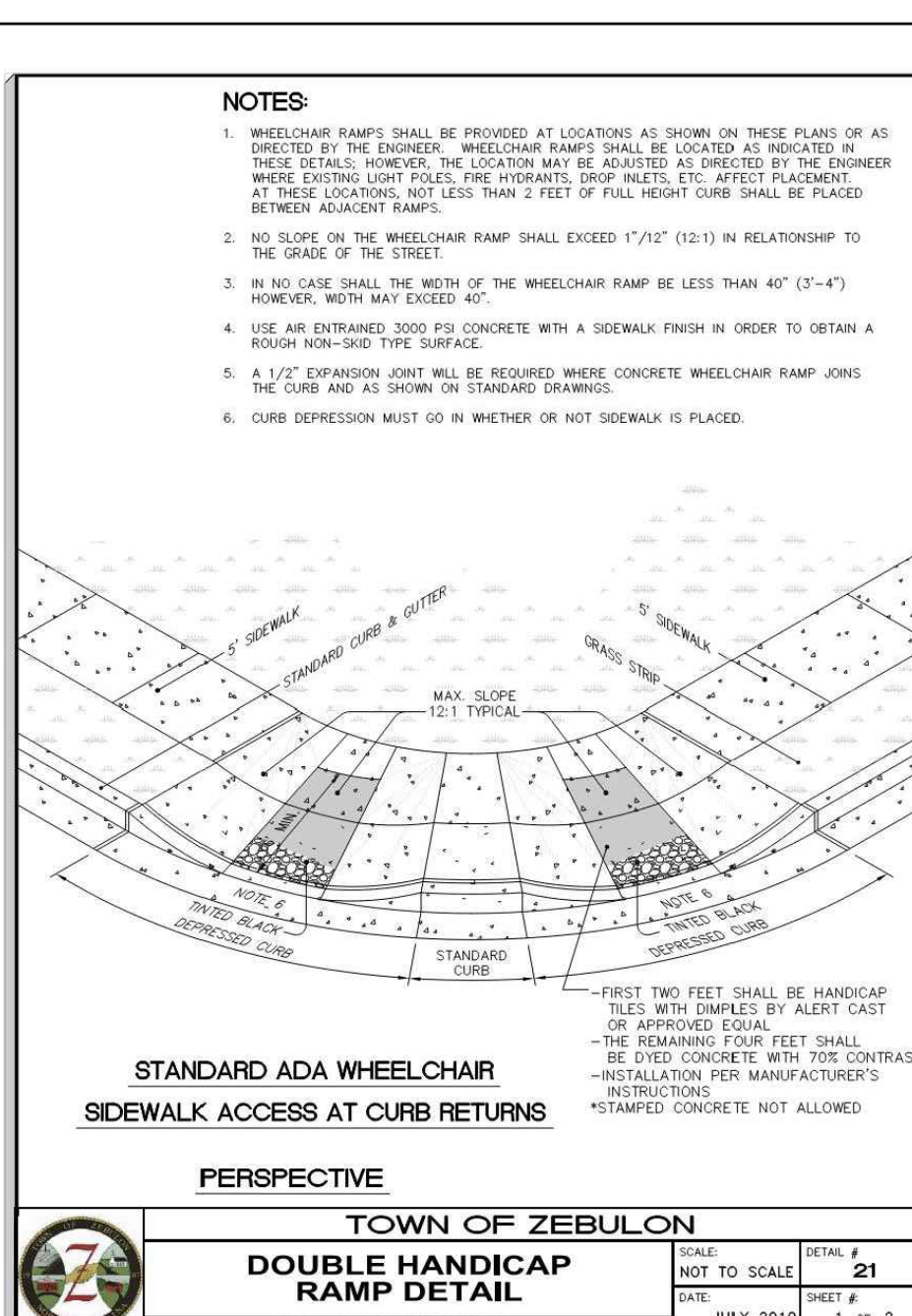
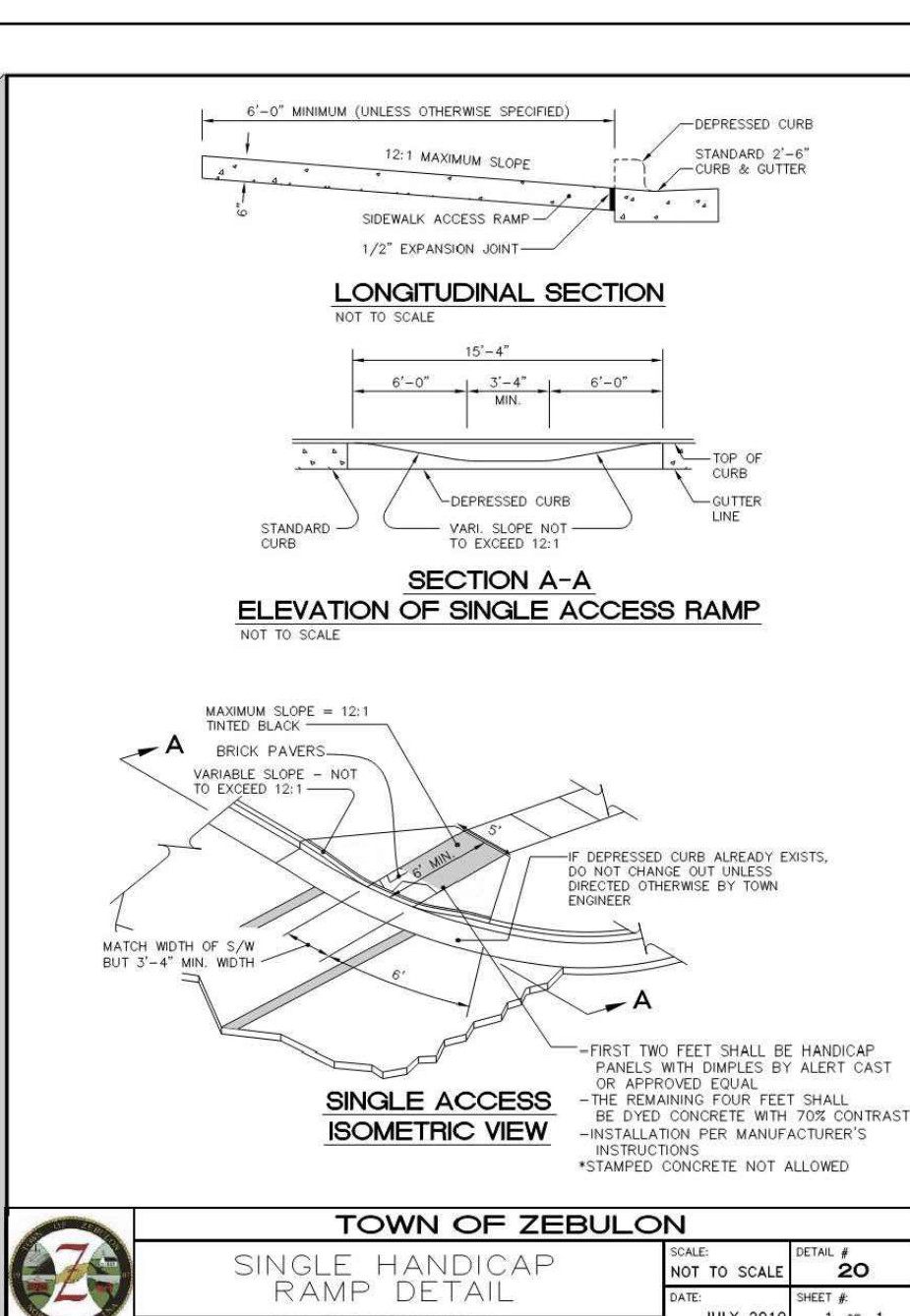
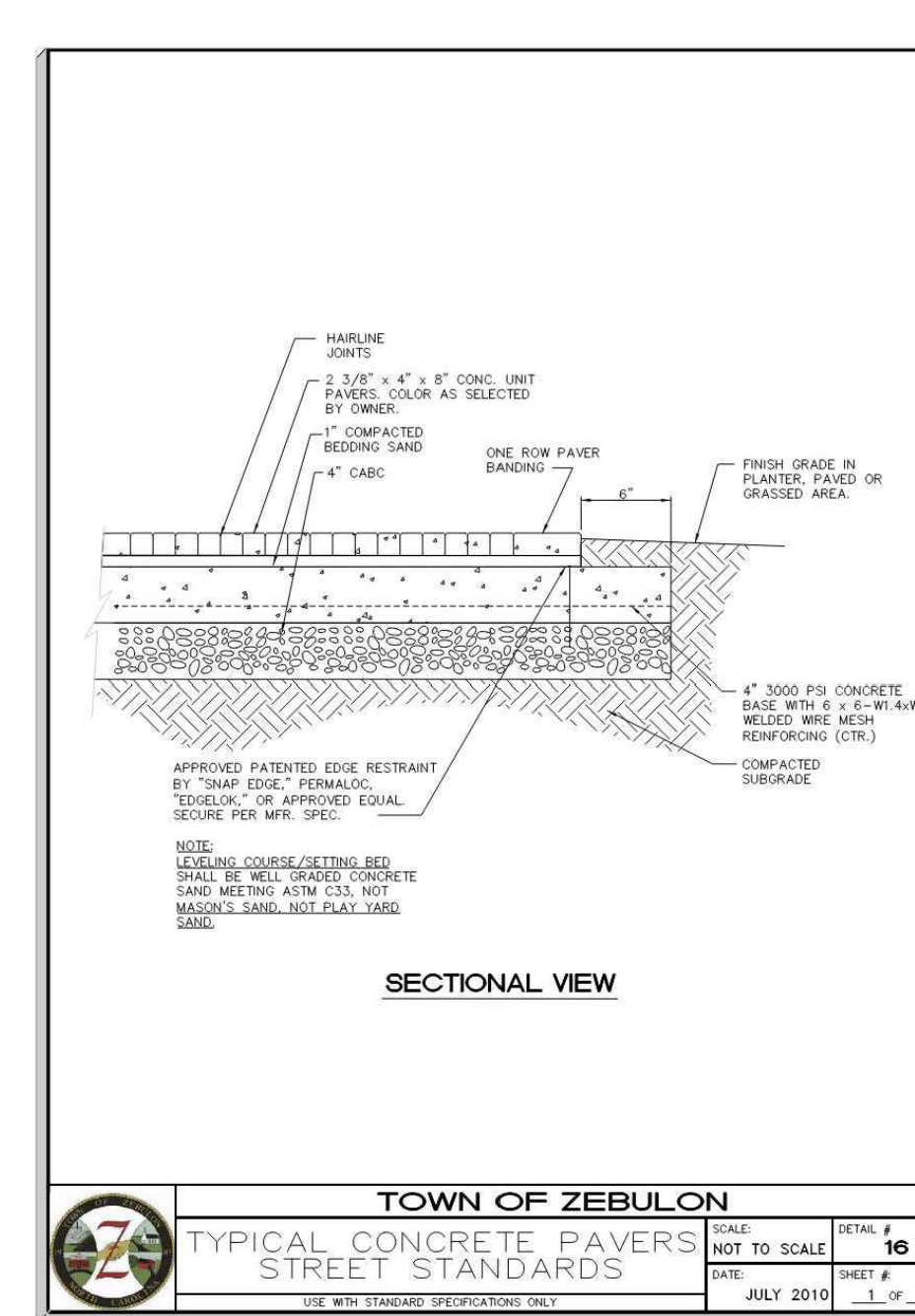
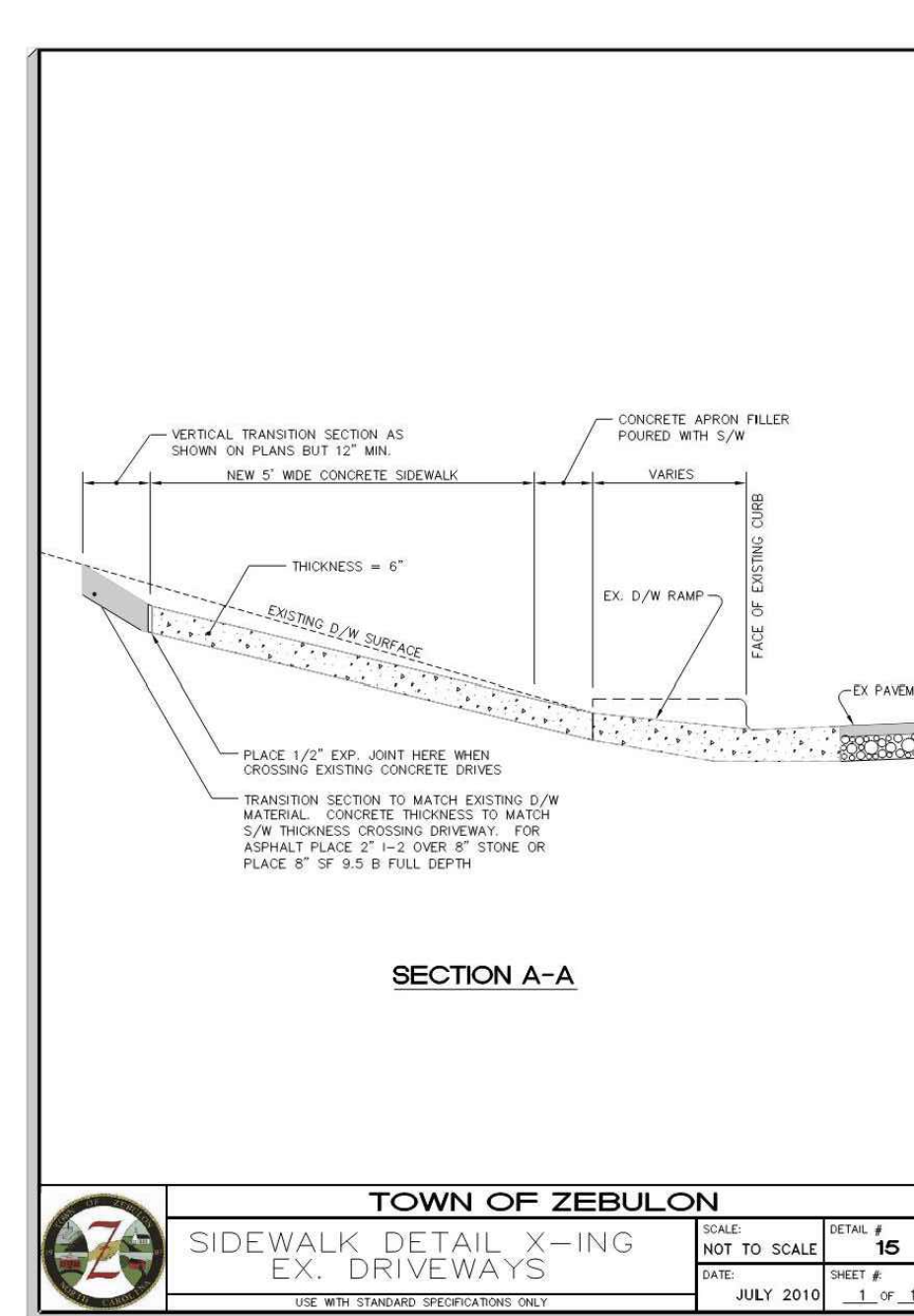
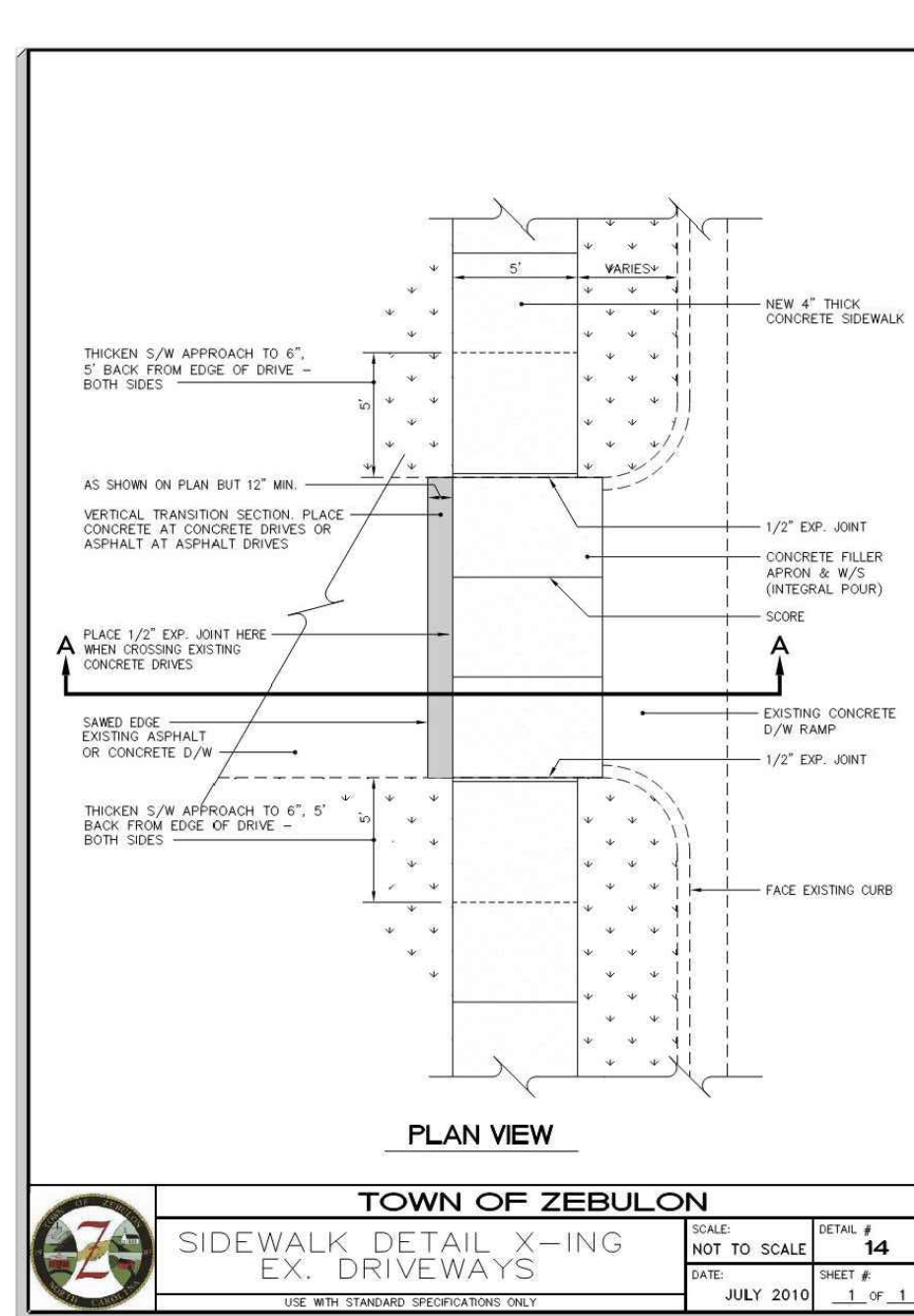
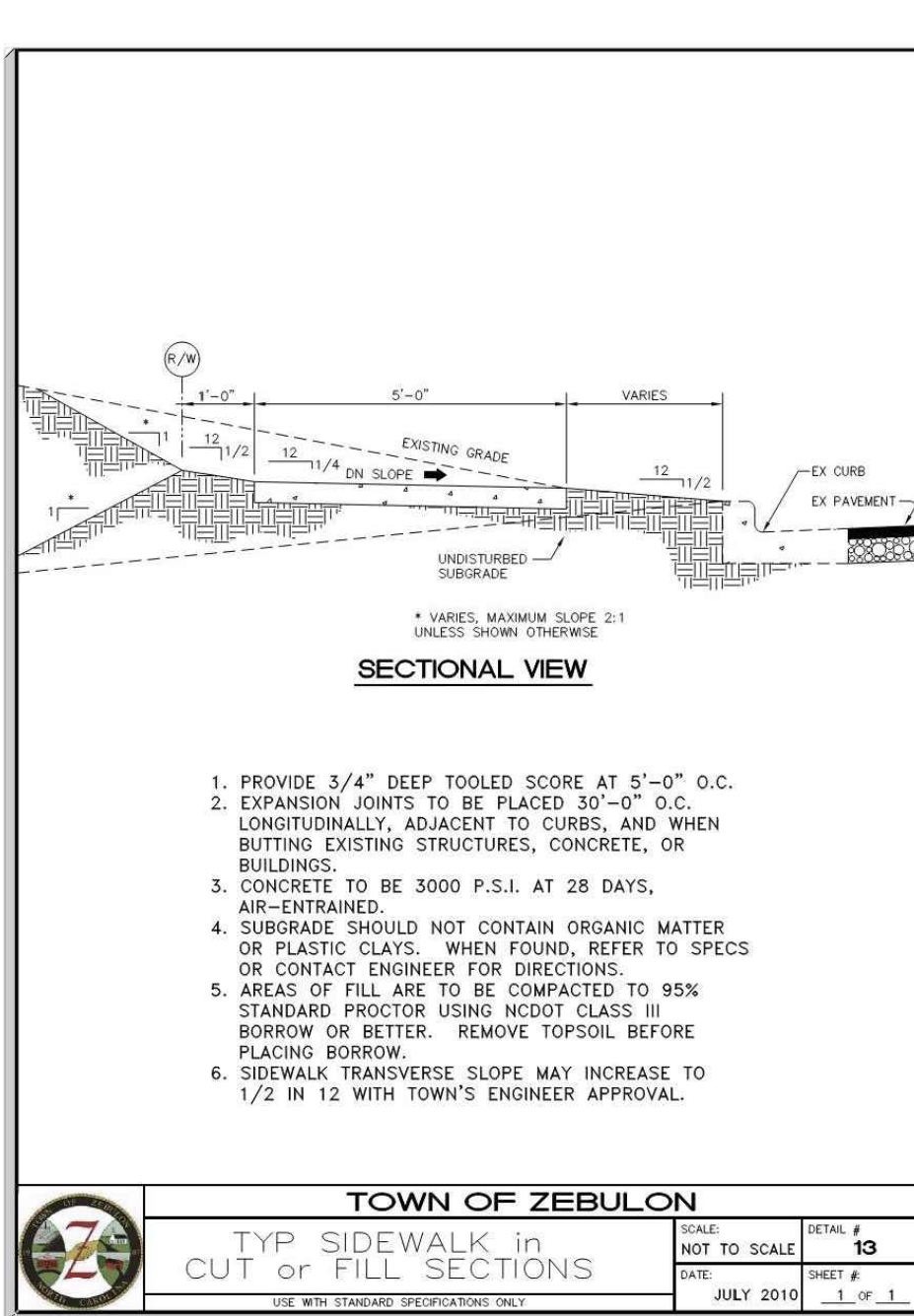
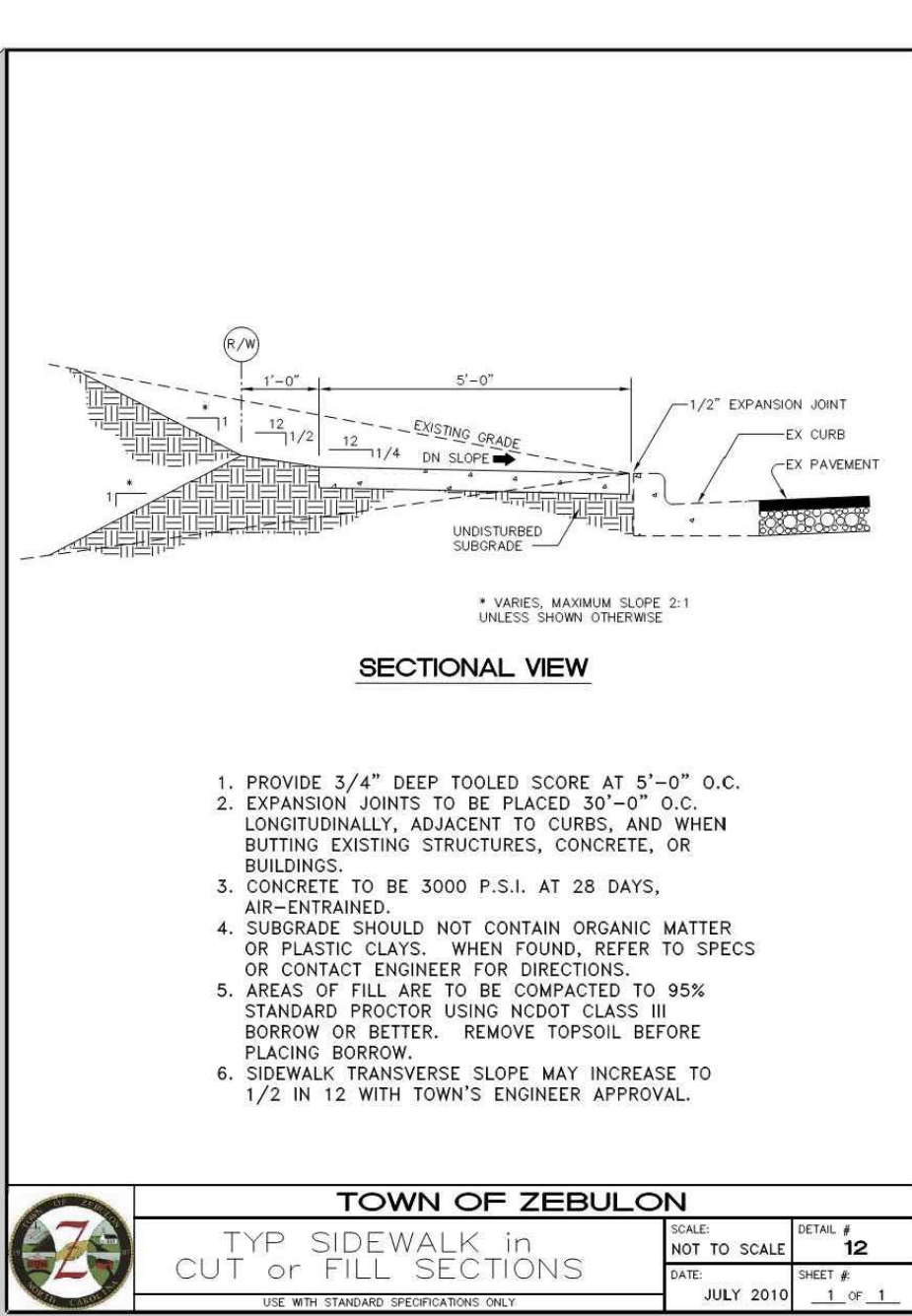
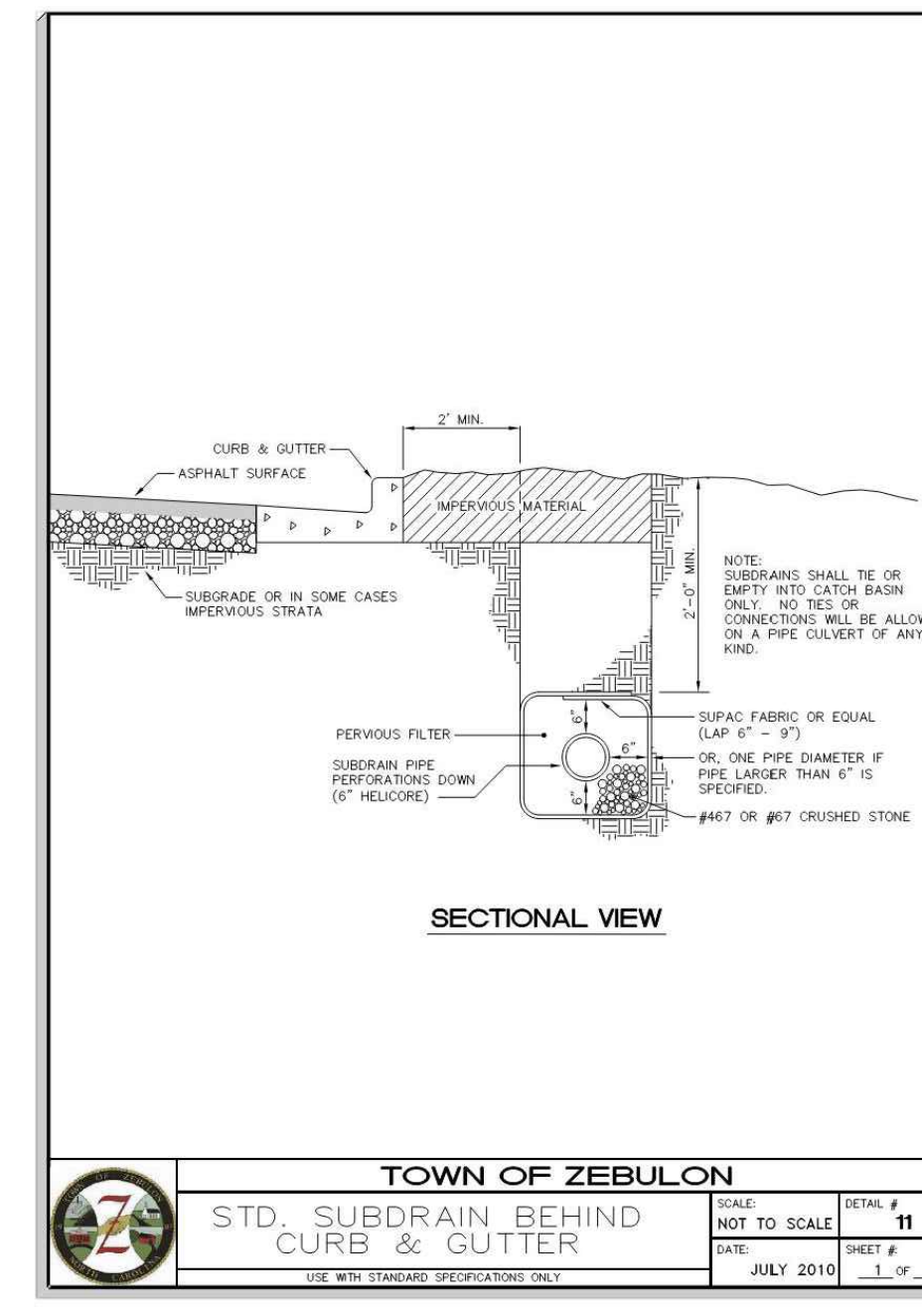
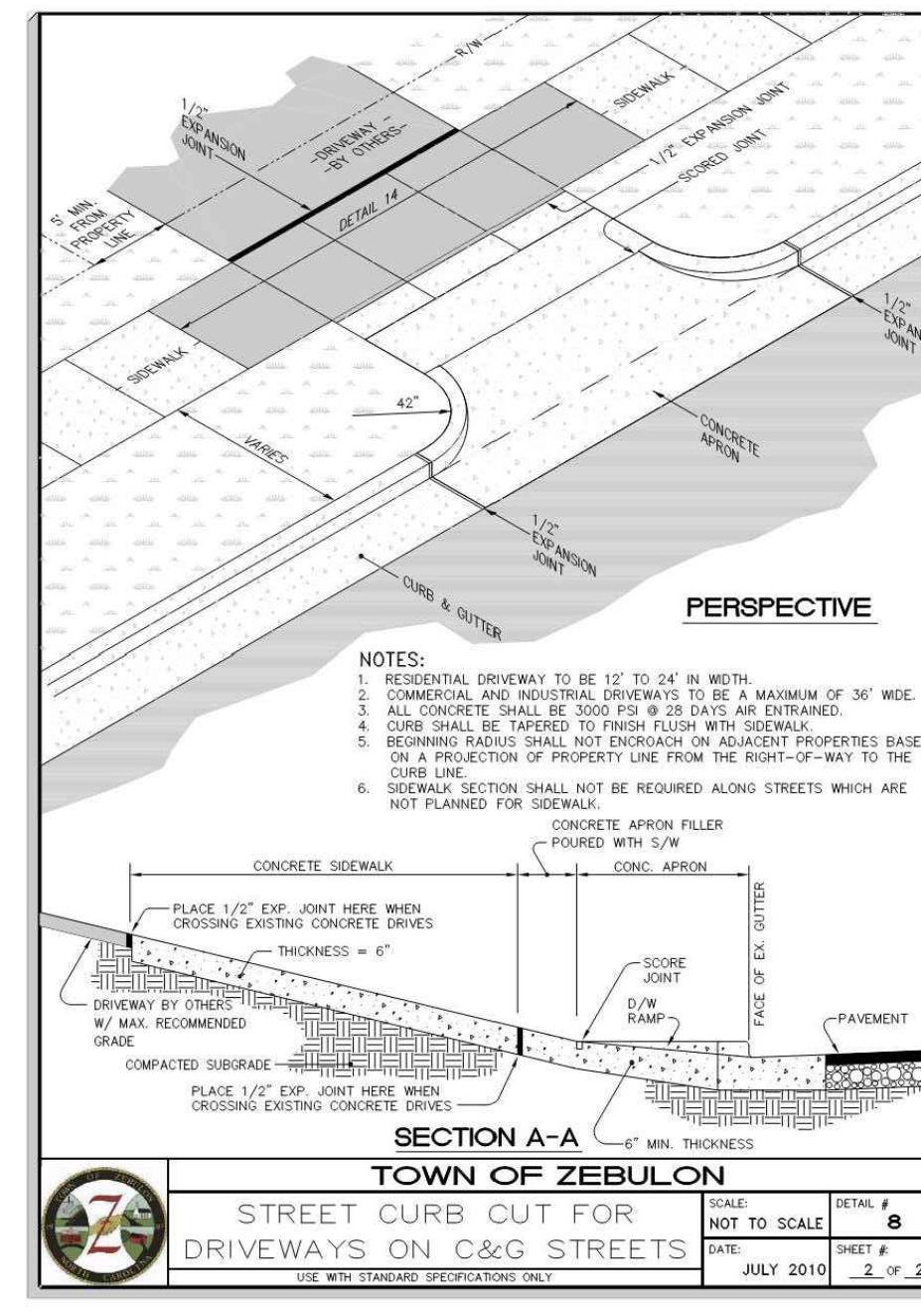
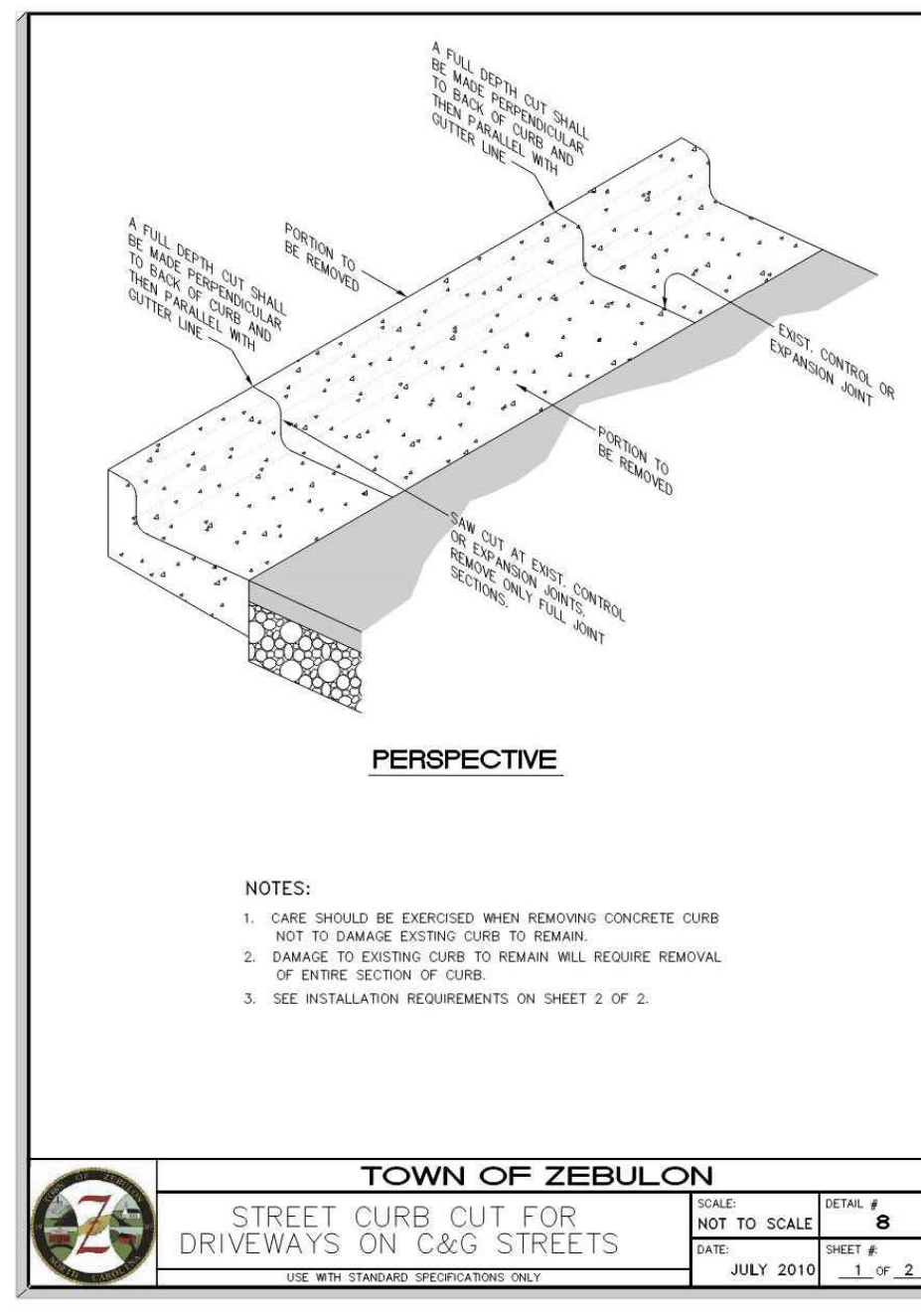
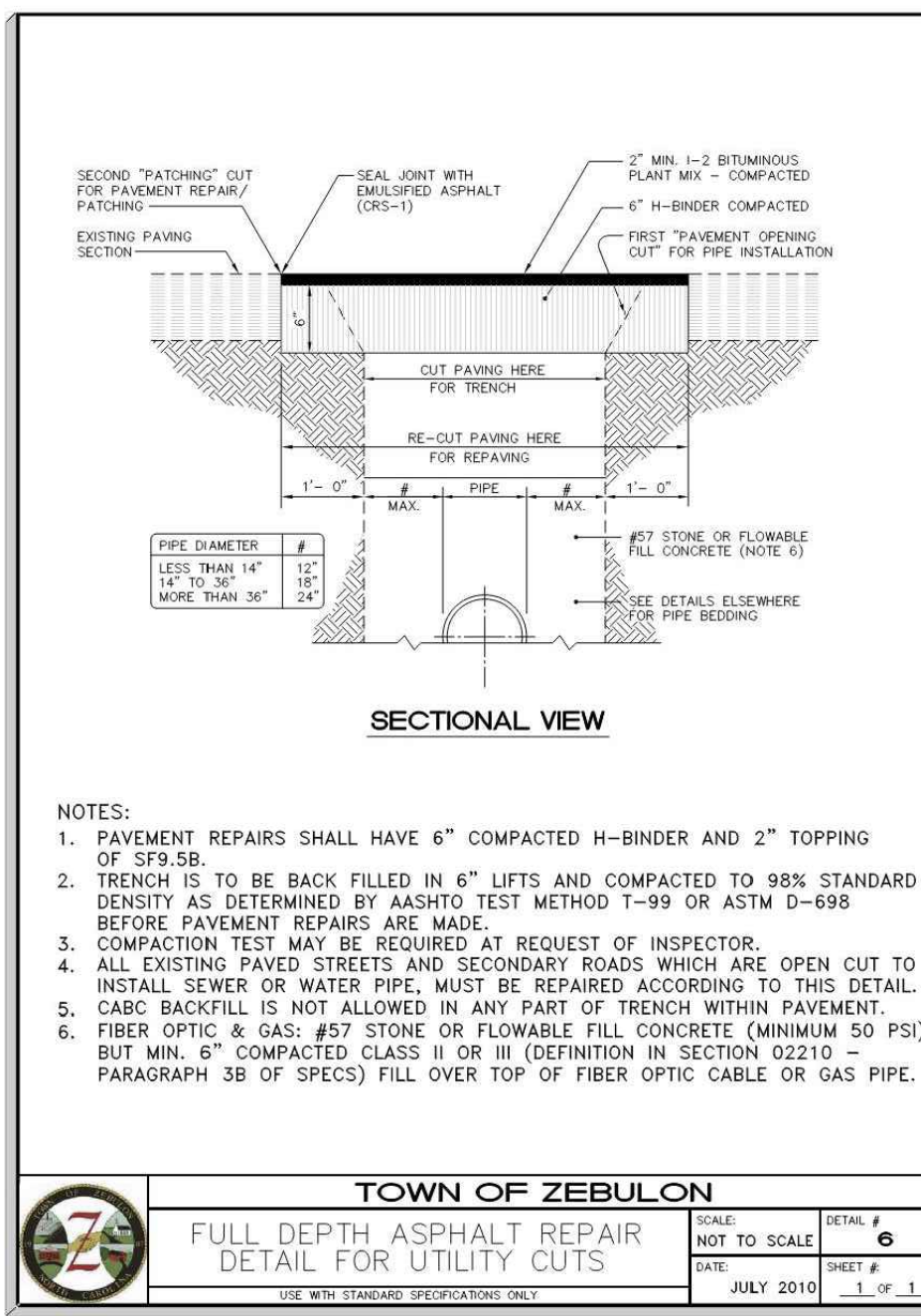
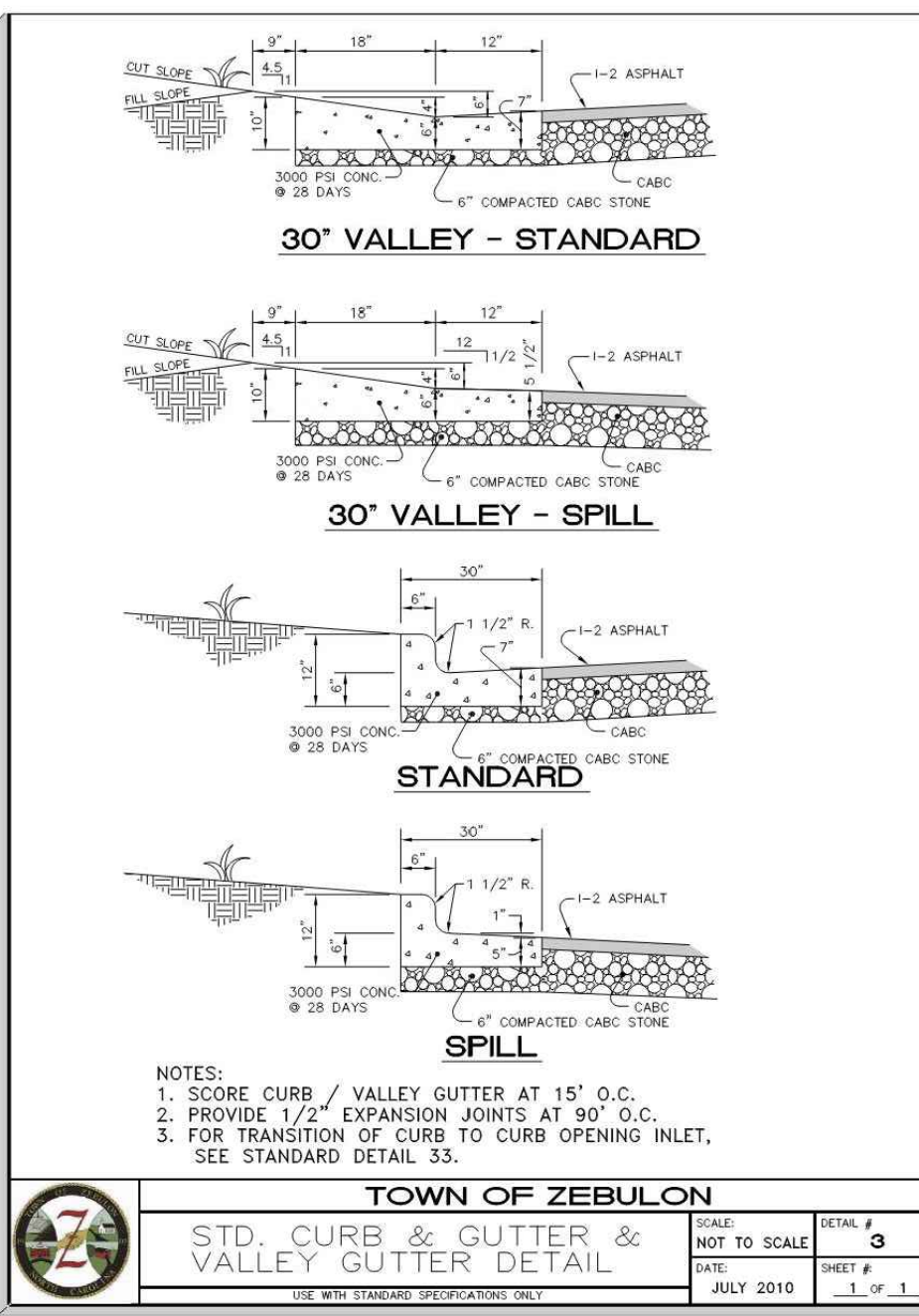


**NOTE:**  
PAVEMENT MARKINGS WITHIN SITE CAN BE PAINTED.  
PAVEMENT MARKINGS WITHIN RIGHT OF WAY SHALL BE THERMOPLASTIC AND SHALL BE INSTALLED IN ACCORDANCE WITH NCDOT STANDARDS AND SPECIFICATIONS.

- HC RAMPS:**
- ALL HC RAMPS TO BE FIELD ADJUSTED WITH INPUT FROM THE TOWN OF ZEBULON FIELD INSPECTOR PRIOR TO INSTALLATION.
  - POWER POLES WHICH CONFLICT WITH FIELD LOCATED HC RAMPS ARE TO BE RELOCATED BY APPROPRIATE UTILITY COMPANY.

CONSTRUCTION DRAWINGS  
**DOMINO'S ZEBULON**  
TOWN OF ZEBULON - WAKE COUNTY - NORTH CAROLINA  
**SITE PLAN**

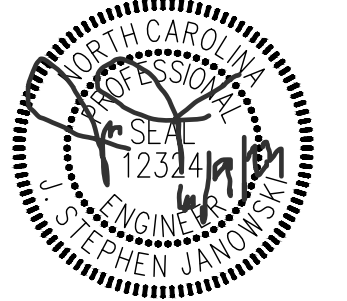
DATE:	06/08/2023
DESIGNED BY:	JSJ/MS
DRAWN BY:	MS
CHECKED BY:	JSJ
PROJECT No.:	2023018
DRAWING No.:	W-4081
SCALE:	AS SHOWN
SHEET No.:	<b>C2.01</b>



NOTE:  
 RELEASED FOR SITE PLAN REVIEW ONLY.  
 NOT FOR CONSTRUCTION.



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH TOWN OF ZEBULON, NCDOT & NCDCE STANDARDS, SPECIFICATIONS AND DETAILS.

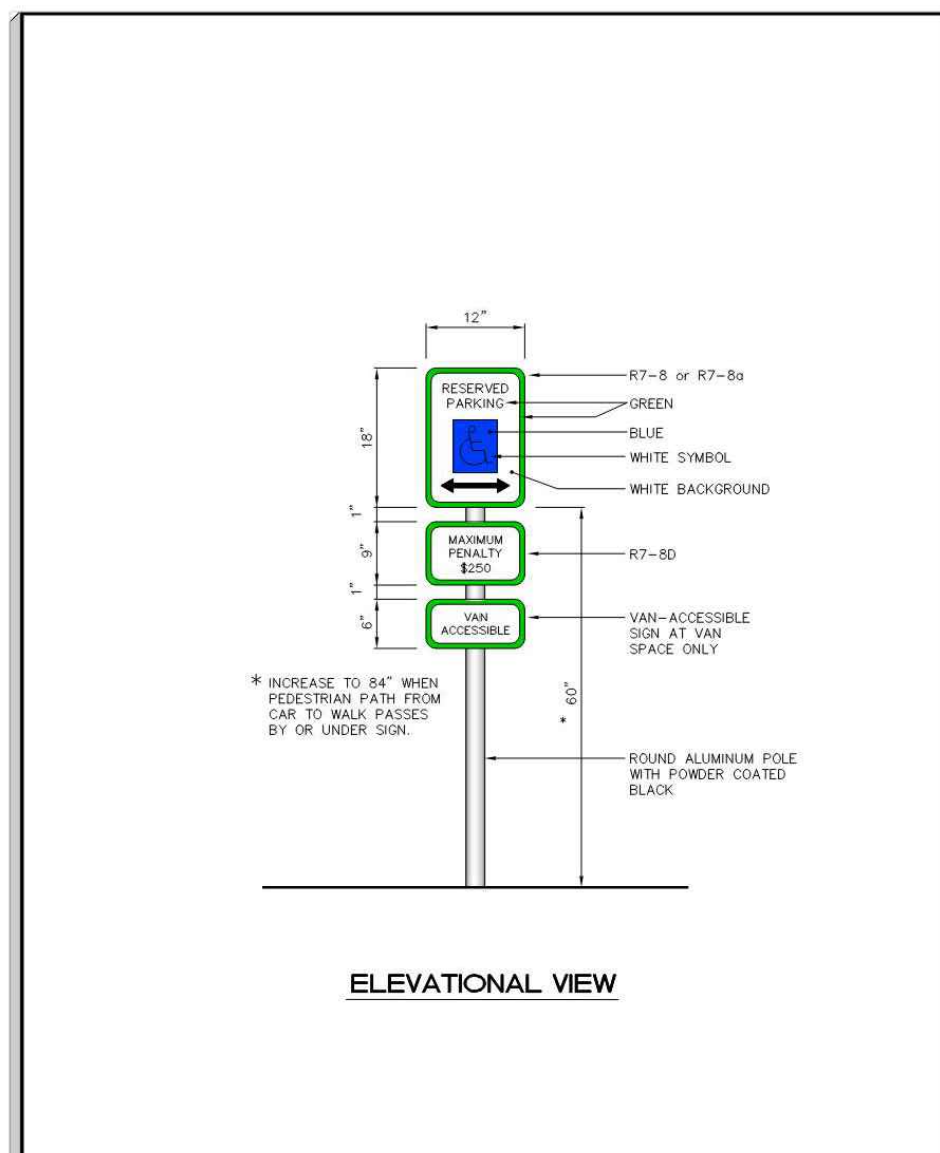


REVISIONS:

NO.	DESCRIPTION	DATE	BY
06/01/23	CONSTRUCTION DRAWINGS SUBMITTAL		

DATE: 06/08/2023

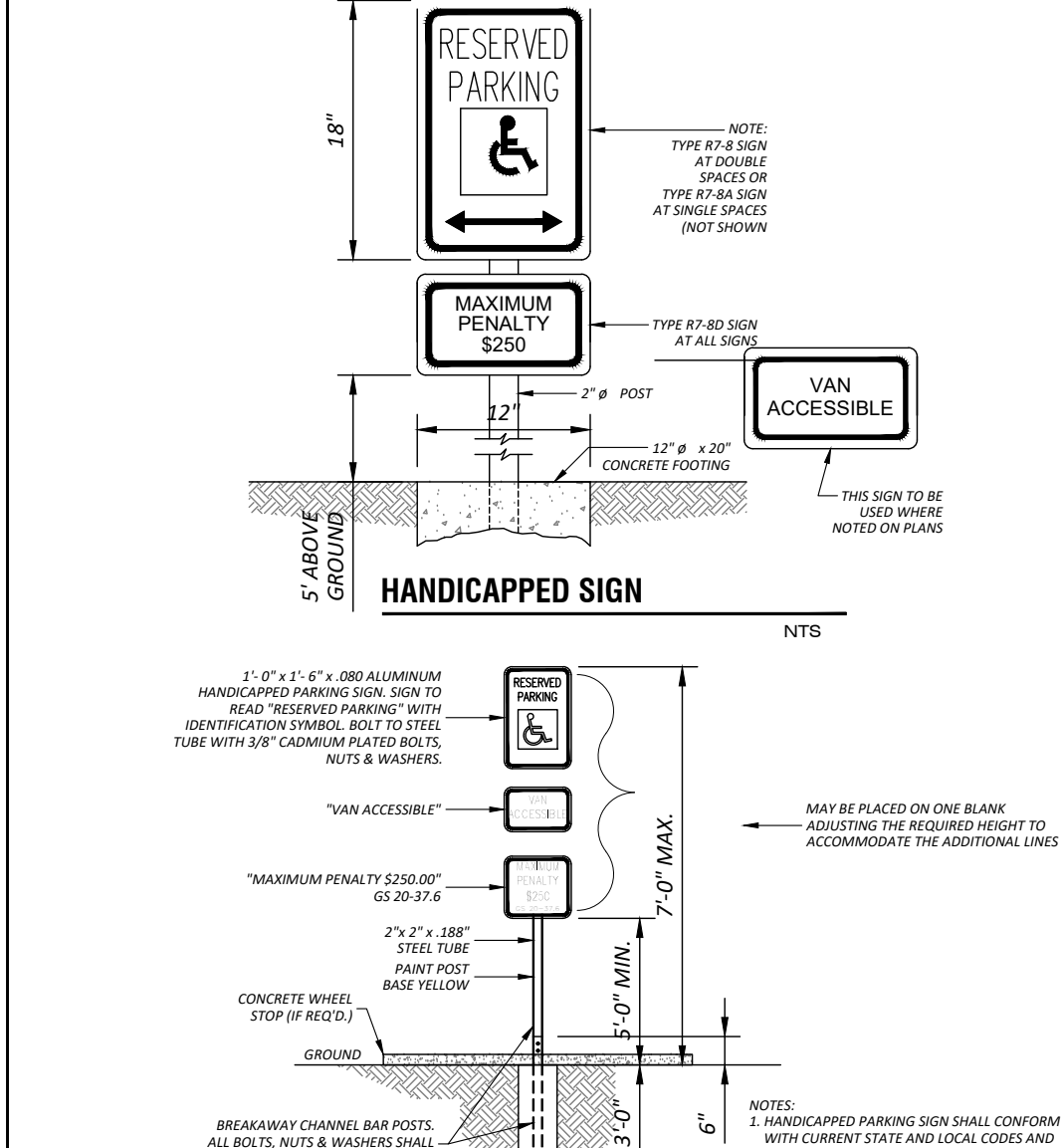
DESIGNED BY: DBB/MS  
 DRAWN BY: MS  
 CHECKED BY: DBB  
 PROJECT No. 2023018  
 DRAWING No. W-4081  
 SCALE: AS SHOWN  
 SHEET No. **C2.10**



**TOWN OF ZEBULON**

**R7-8 HANDICAP SIGN DETAIL**

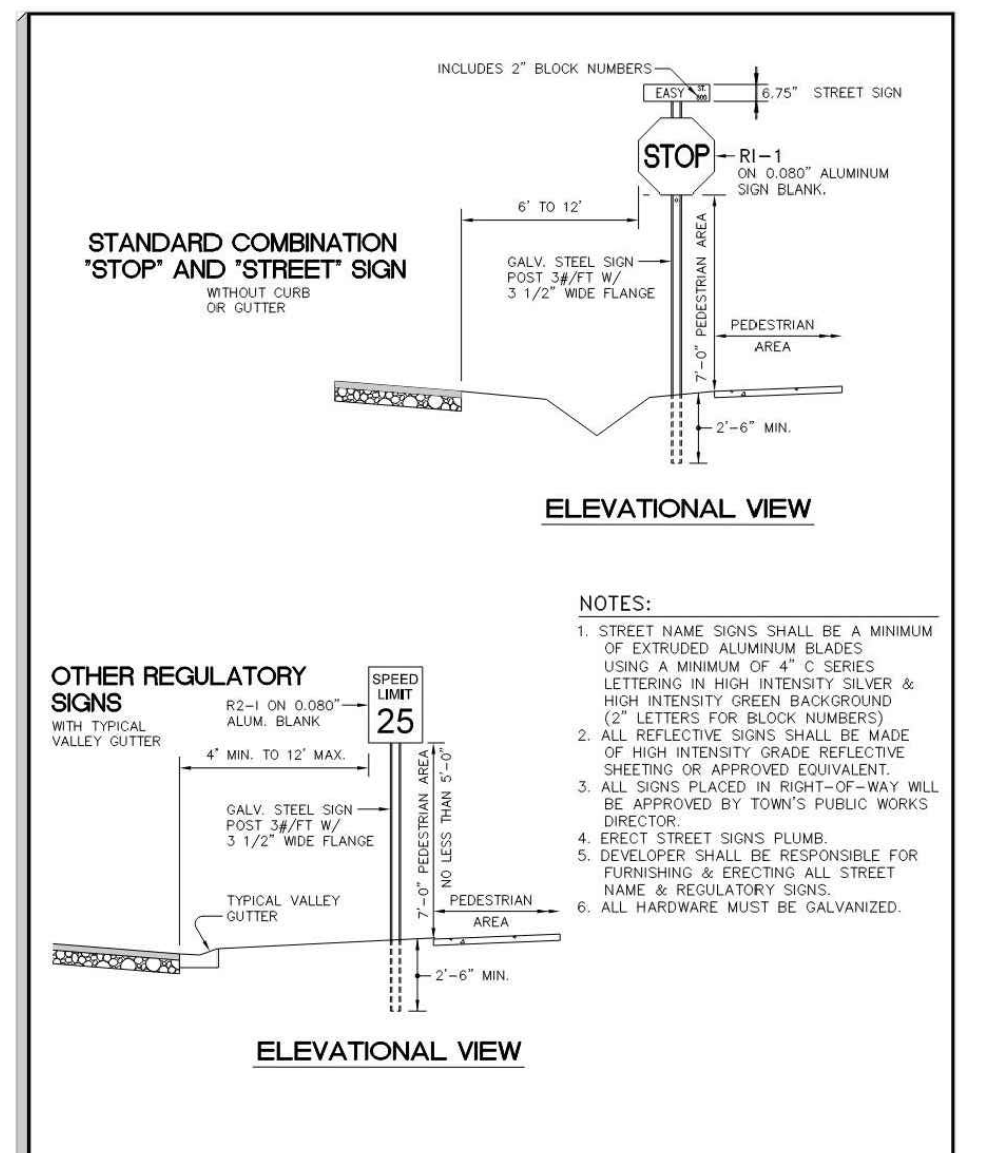
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 DATE: JULY 2010  
 SHEET # 23  
 OF 1



**TOWN OF ZEBULON**

**HANDICAPPED PARKING SIGN (VAN)**

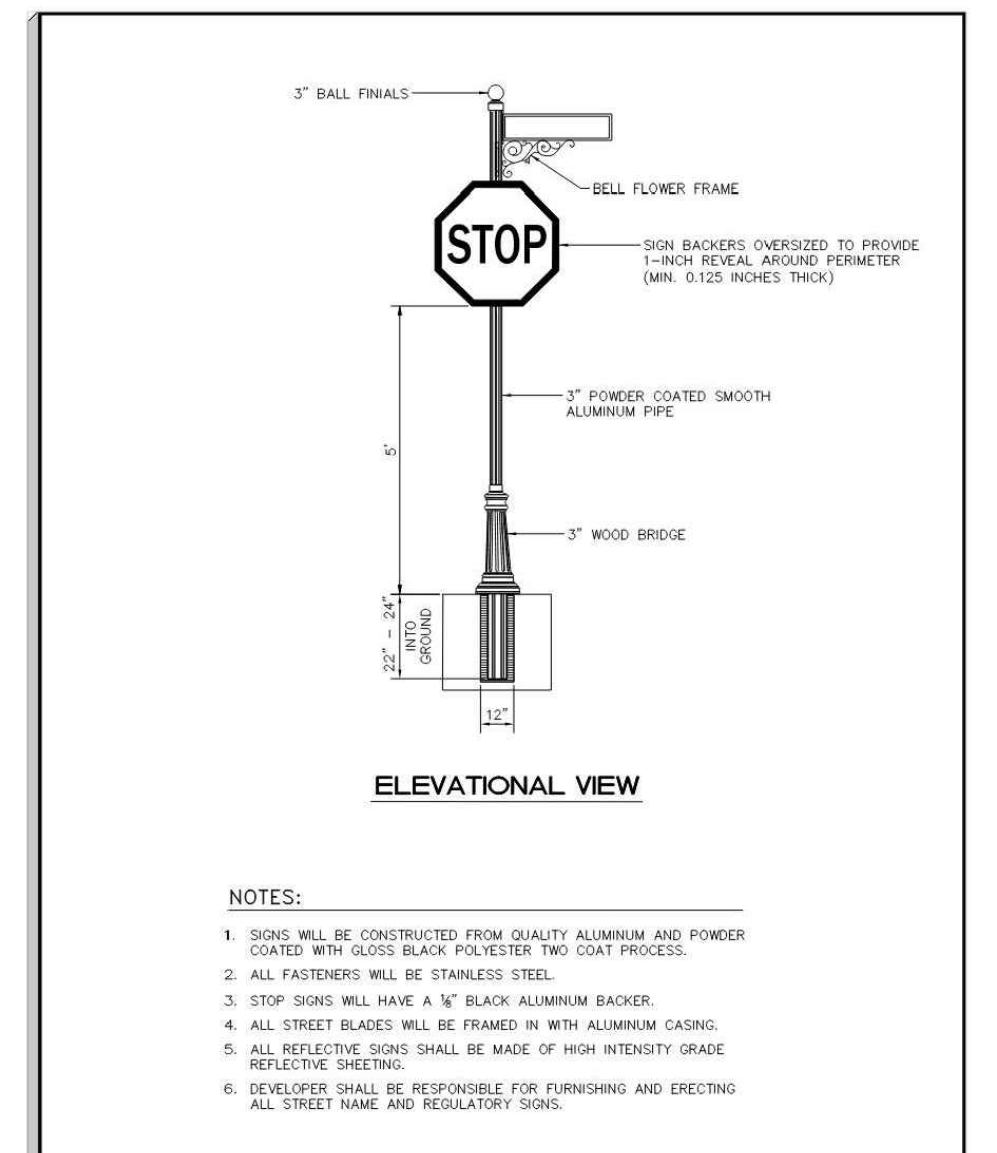
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 DATE: JULY 2010  
 SHEET # 23  
 OF 1



**TOWN OF ZEBULON**

**STANDARD SIGN INSTALLATION DETAIL**

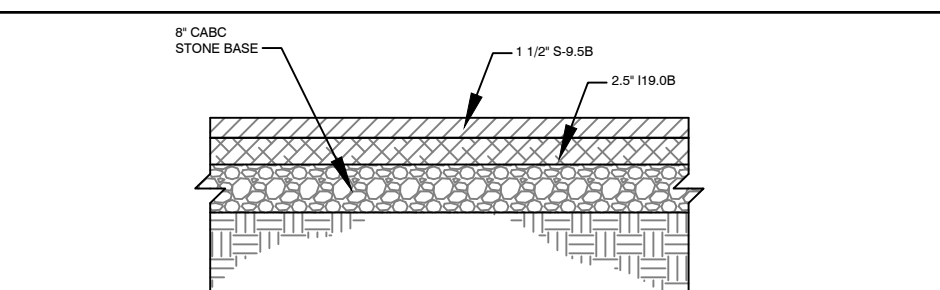
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 DATE: JULY 2010  
 SHEET # 30  
 OF 1



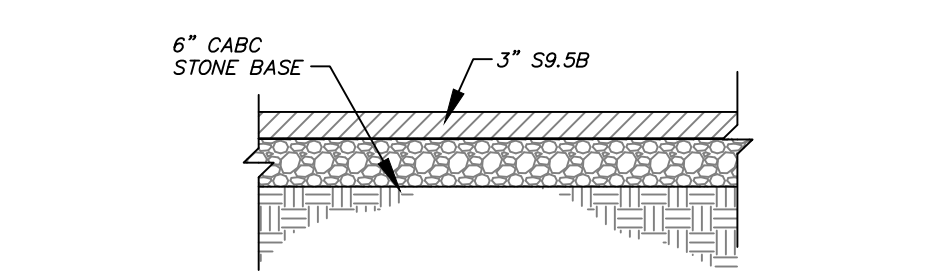
**TOWN OF ZEBULON**

**PREMIUM SIGN INSTALLATION DETAIL**

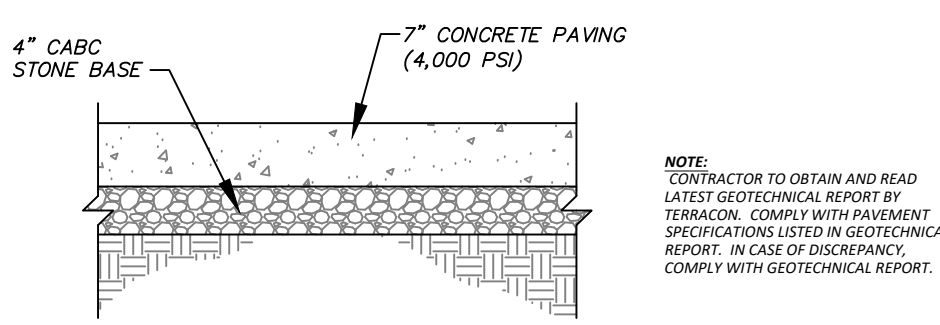
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 DATE: JULY 2010  
 SHEET # 31  
 OF 1



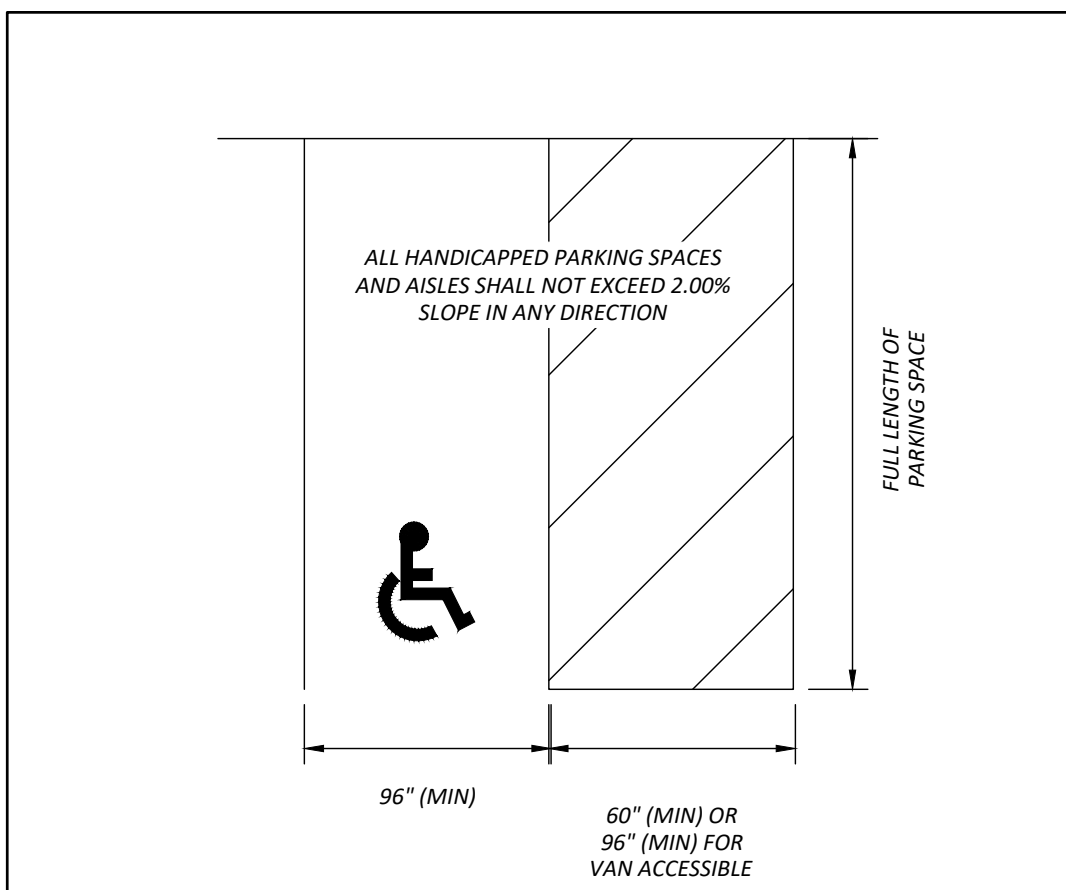
**HEAVY DUTY ASPHALT PAVEMENT - DRIVE AISLES**  
 (PRIVATE PROPERTY ONLY)  
 (NOT TO SCALE)



**MEDIUM DUTY ASPHALT PAVEMENT - CAR PARKING SPACES**  
 (PRIVATE PROPERTY ONLY)  
 (NOT TO SCALE)



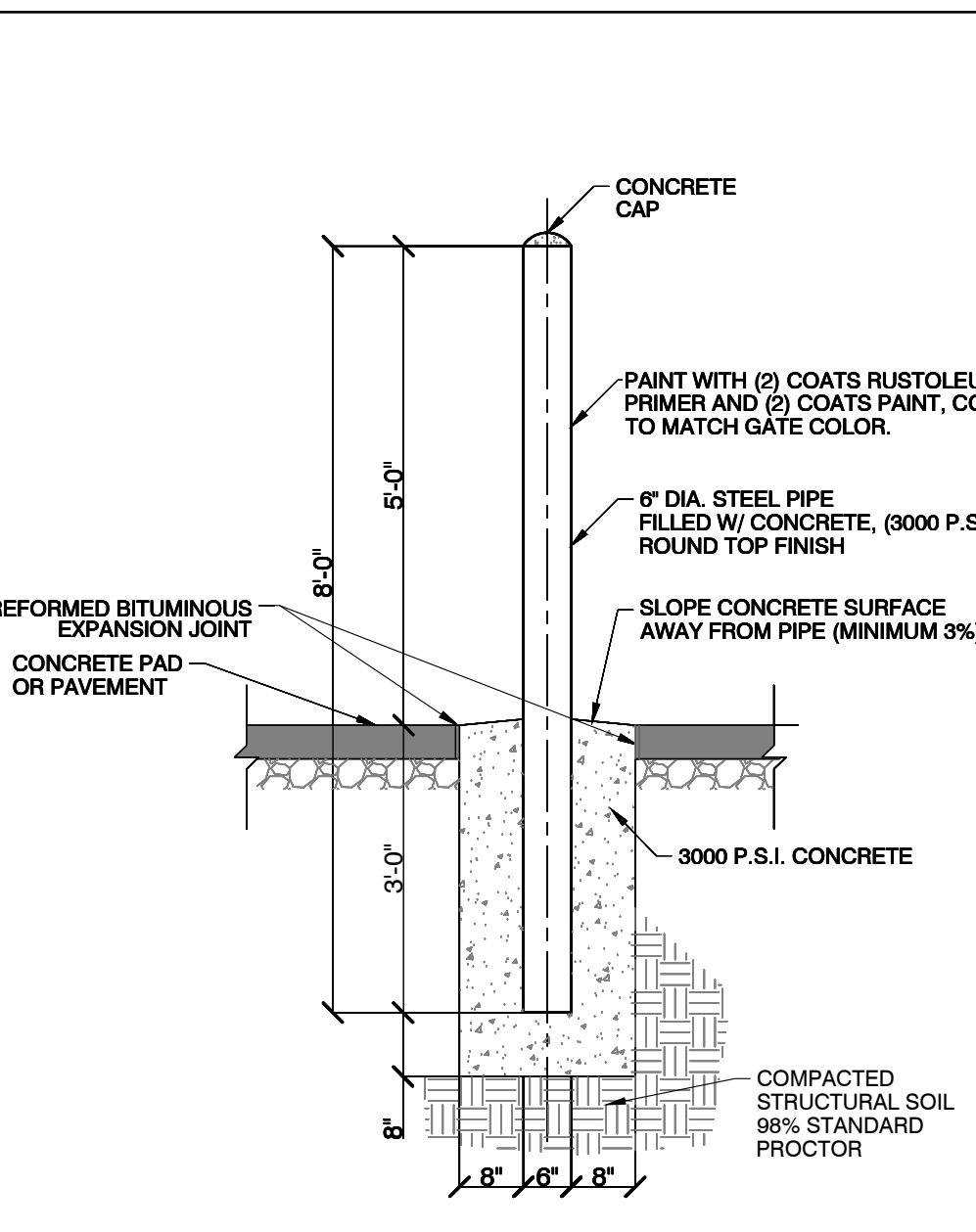
**CONCRETE PAVING SECTION**  
 (NOT TO SCALE)



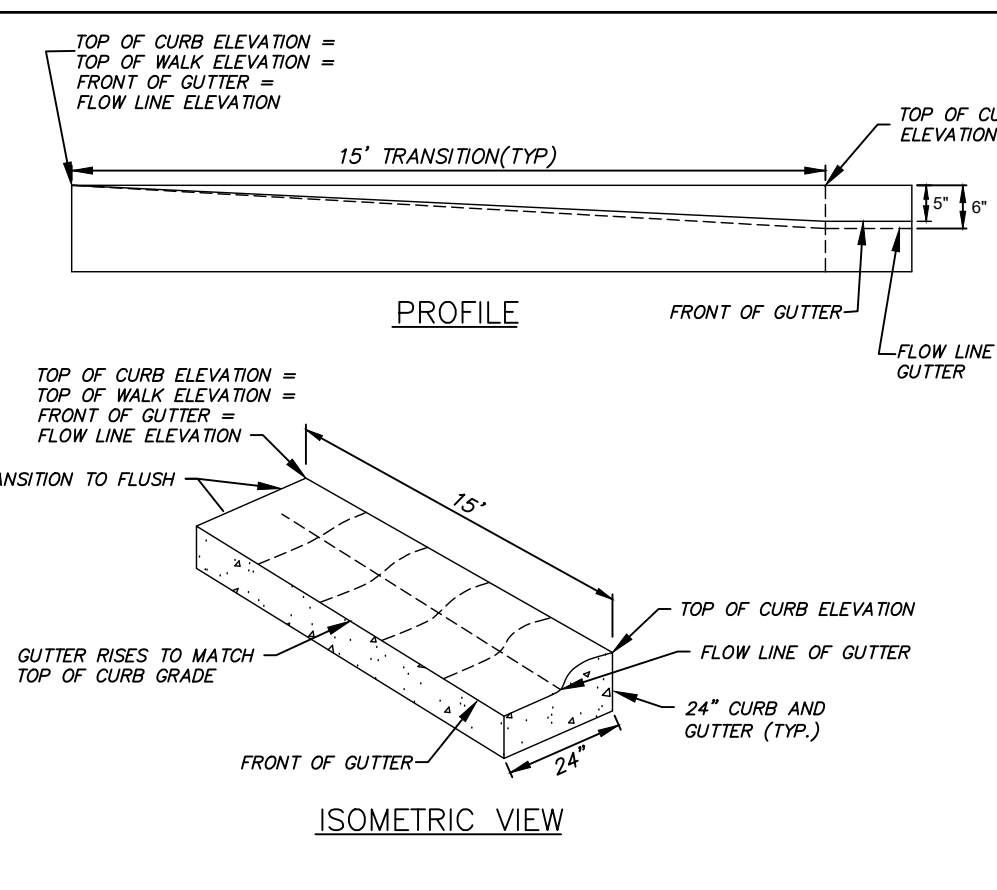
**HANDICAPPED PARKING**  
 NTS

ALL HANDICAPPED PARKING SPACES AND AISLES SHALL NOT EXCEED 2.00% SLOPE IN ANY DIRECTION

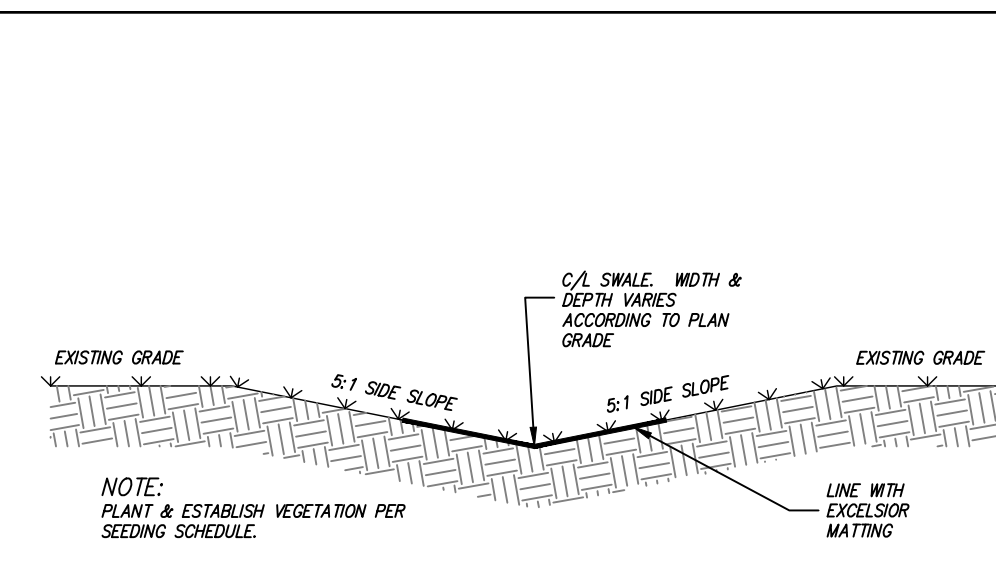
1. HANDICAPPED PARKING SPACE SHALL CONFORM WITH CURRENT STATE AND LOCAL CODES AND REGULATIONS.  
 2. VAN ACCESSIBLE SPACES AND ACCESS AISLES SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 8'0".  
 3. REFERENCE ANS/ICC A117.1.2009



**PIPE BOLLARD**



**CURB AND GUTTER TO FLUSH PAVING TRANSITION**  
 (PRIVATE PROPERTY ONLY)  
 (NOT TO SCALE)



**DRAINAGE SWALE DETAIL**  
 (NOT TO SCALE)



**REVISIONS:**

NO.	DESCRIPTION	DATE	BY
06/01/23	CONSTRUCTION DRAWINGS SUBMITTAL		

**CONSTRUCTION DRAWINGS**  
**DOMINO'S ZEBULON**  
 TOWN OF ZEBULON - WAKE COUNTY - NORTH CAROLINA  
**SITE DETAILS**

DATE: 06/08/2023

DESIGNED BY: DBB/MS

DRAWN BY: MS

CHECKED BY: DBB

PROJECT No. 2023018

DRAWING No. W-4081

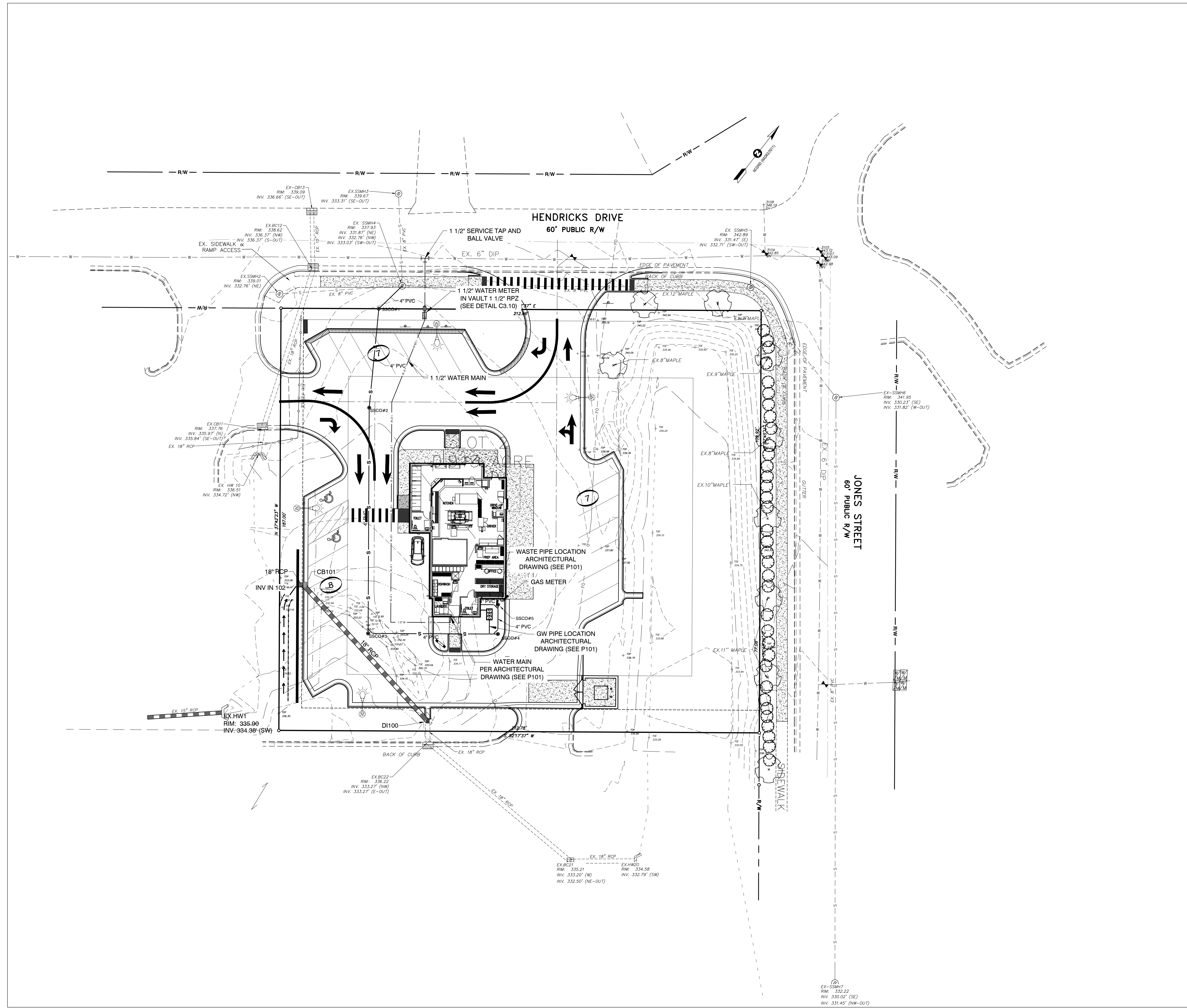
SCALE: AS SHOWN

SHEET No. **C2.11**

NOTE: RELEASED FOR SITE PLAN REVIEW ONLY. NOT FOR CONSTRUCTION.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH TOWN OF GRIFTON, NCDOT & NCDOP. NOT FOR CONSTRUCTION.





**NOTES:**

- BOUNDARY, TOPOGRAPHIC AND PLANIMETRIC FEATURES SHOWN ARE FROM A FIELD SURVEY PERFORMED BY WILLIAMS - PEARCE & ASSOC., P.A. PROFESSIONAL LAND SURVEYORS P.O. BOX 892, ZEBULON, N.C. 27597 PHONE (919) 269-9605 PROPERTY SURVEY FOR: PIEDMONT PROPERTIES ON 12/06/2022.
- PER FEMA FIRM MAP 372046800L DATED 7/7/14, THIS PROJECT IS IN ZONE X AND THEREFORE THERE IS NO REGULATORY FLOODPLAIN LOCATED ON THIS PROPERTY.
- WETLANDS, STREAMS & ASSOCIATED BUFFERS TO BE DETERMINED.

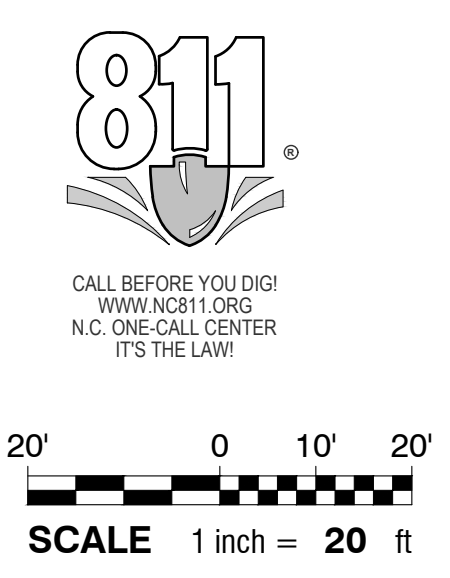


**REVISIONS:**

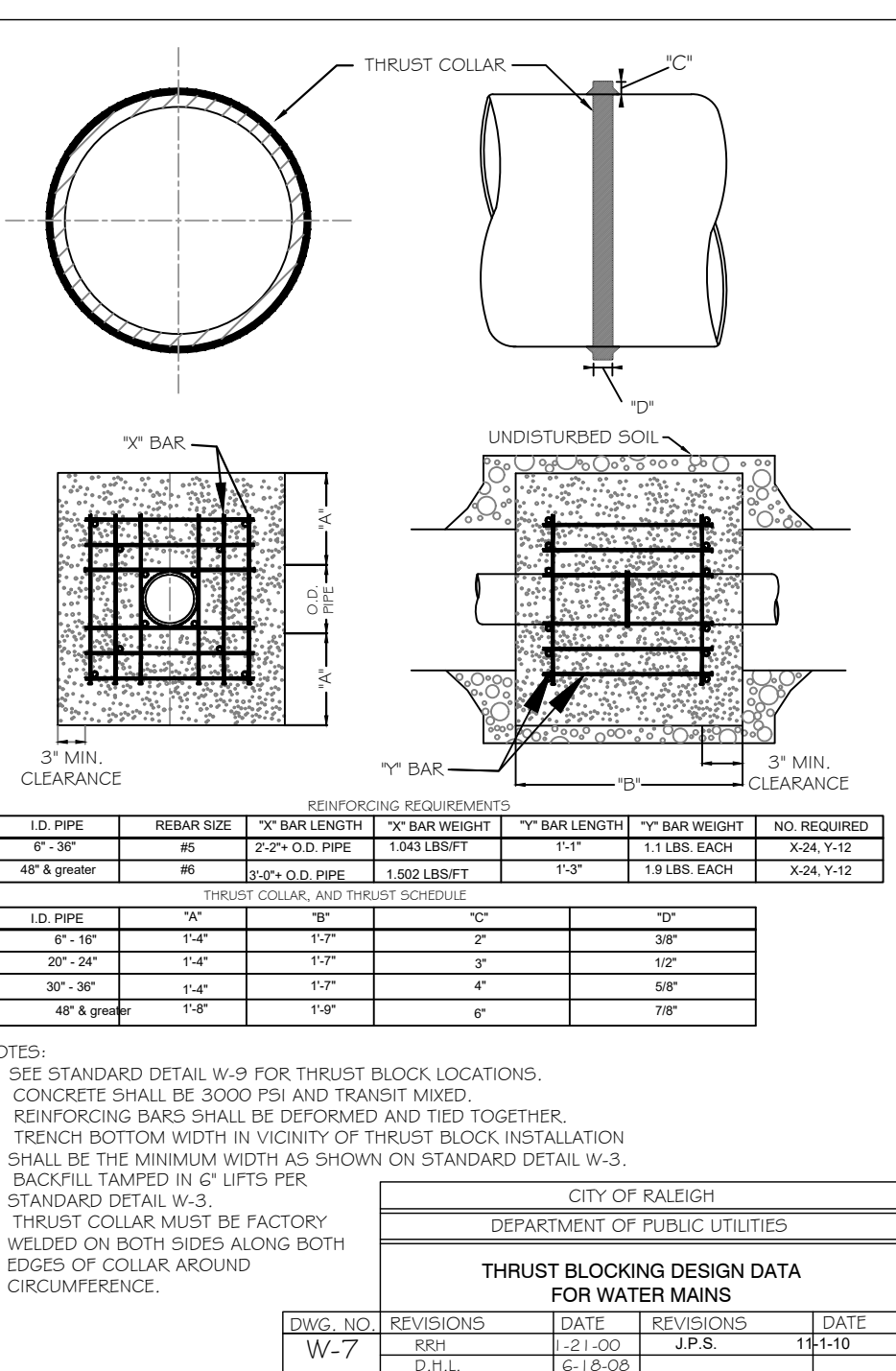
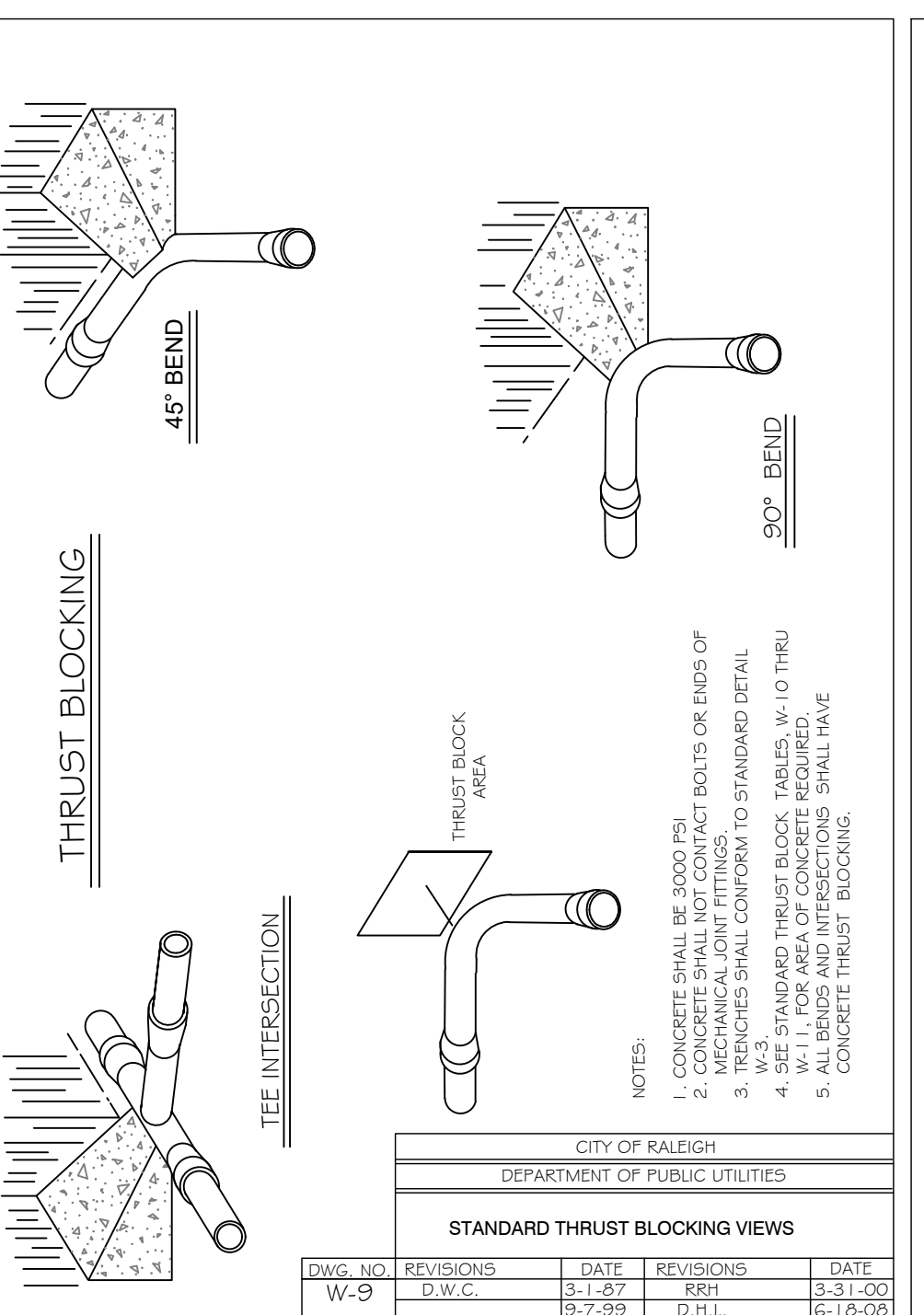
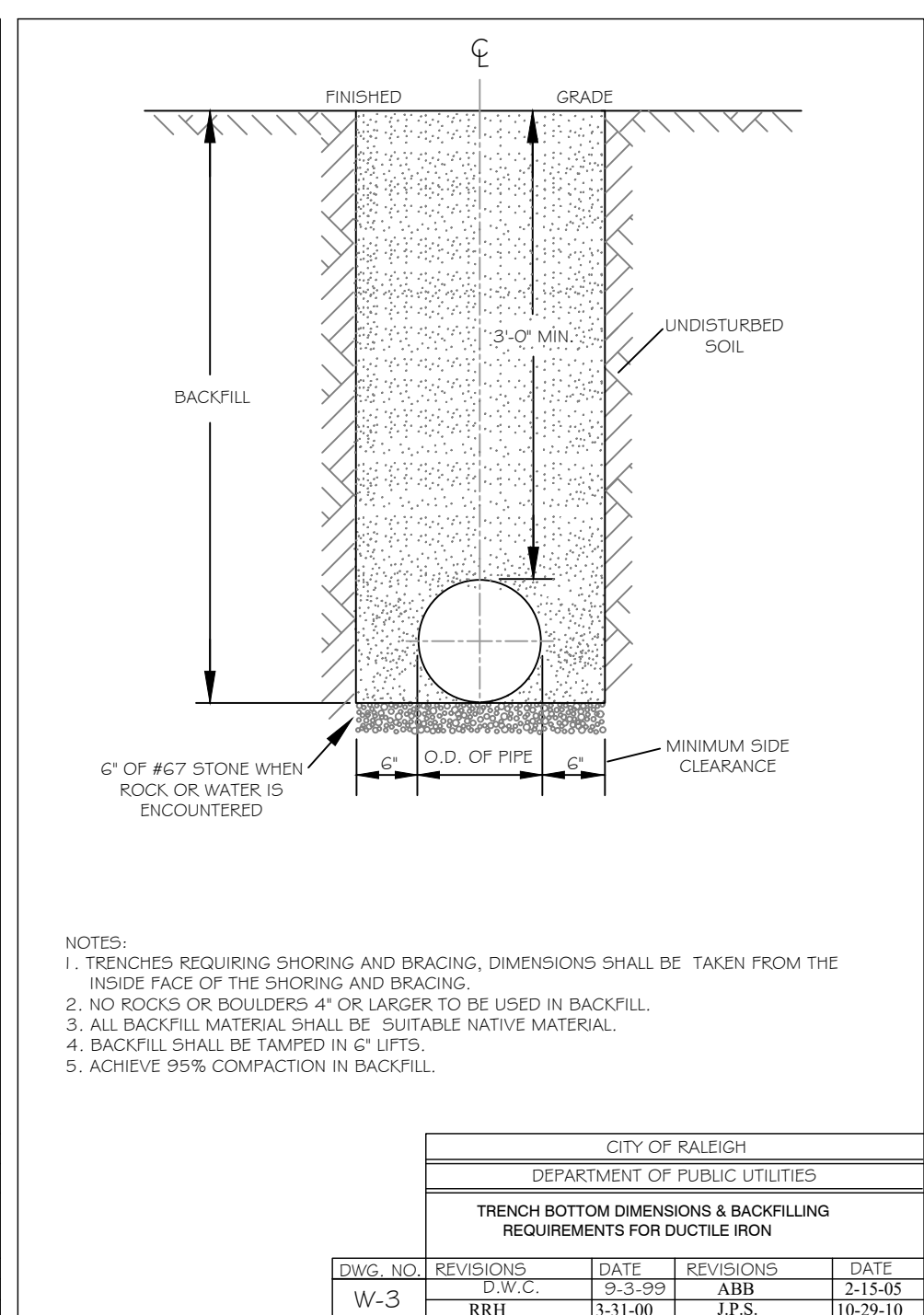
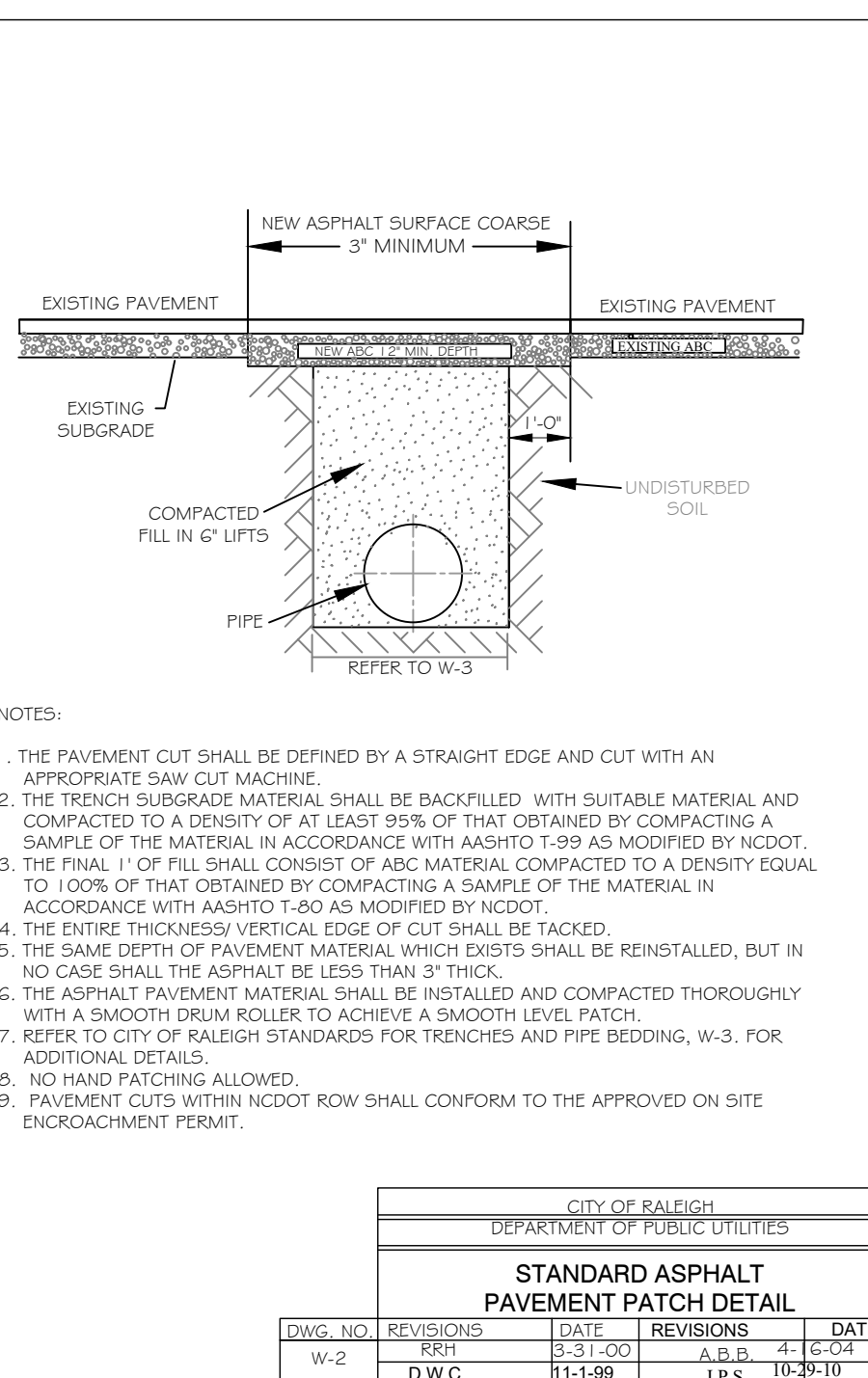
NO.	DESCRIPTION	DATE	BY
06/01/23	CONSTRUCTION DRAWINGS SUBMITTAL		

CONSTRUCTION DRAWINGS  
**DOMINO'S ZEBULON**  
 TOWN OF ZEBULON - WAKE COUNTY - NORTH CAROLINA  
**UTILITY PLAN**

DATE: 06/08/2023  
 DESIGNED BY: JSJ/MS  
 DRAWN BY: MS  
 CHECKED BY: JSJ  
 PROJECT No. 2023018  
 DRAWING No. W-4081  
 SCALE: AS SHOWN  
 SHEET No.



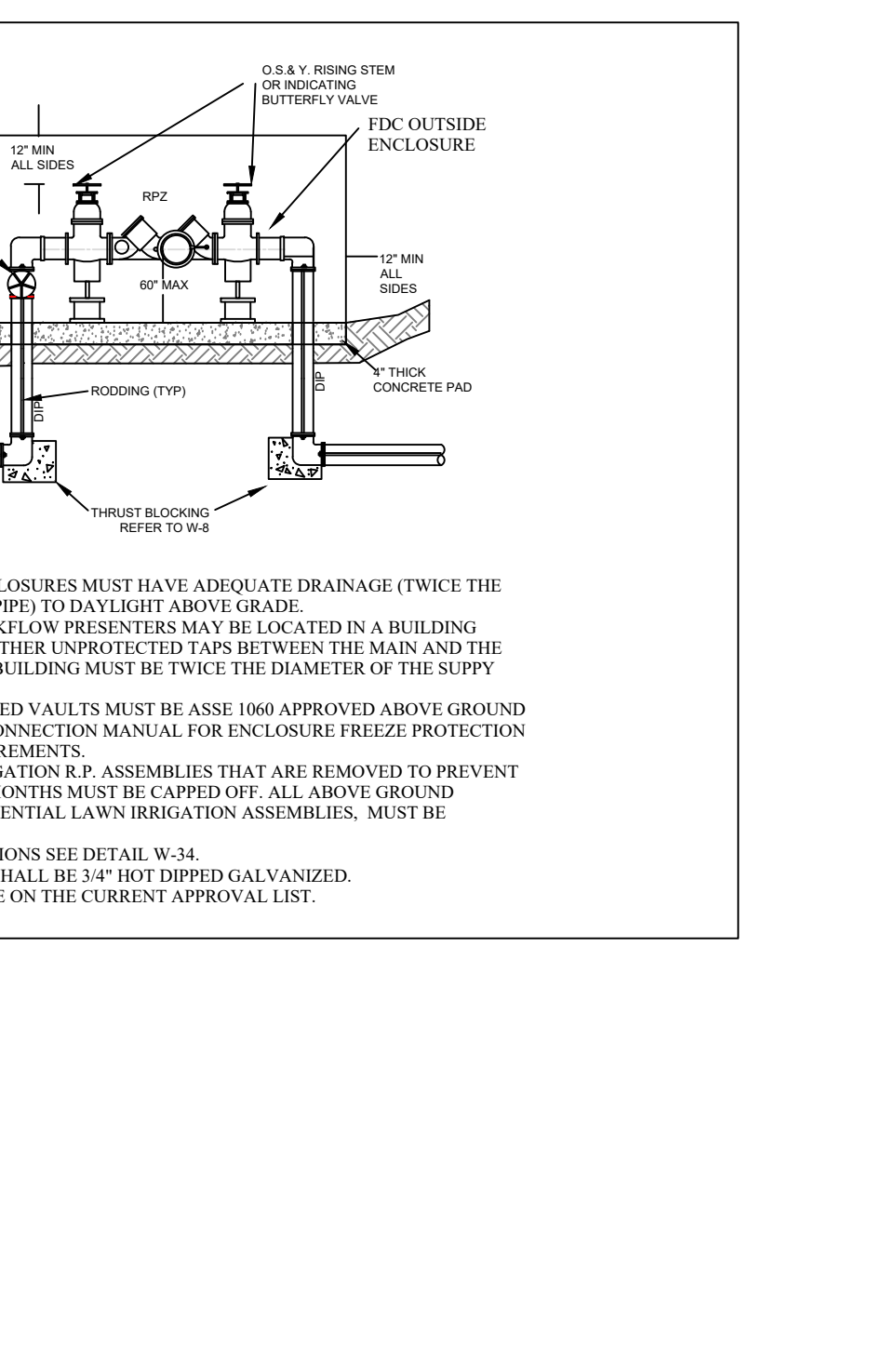
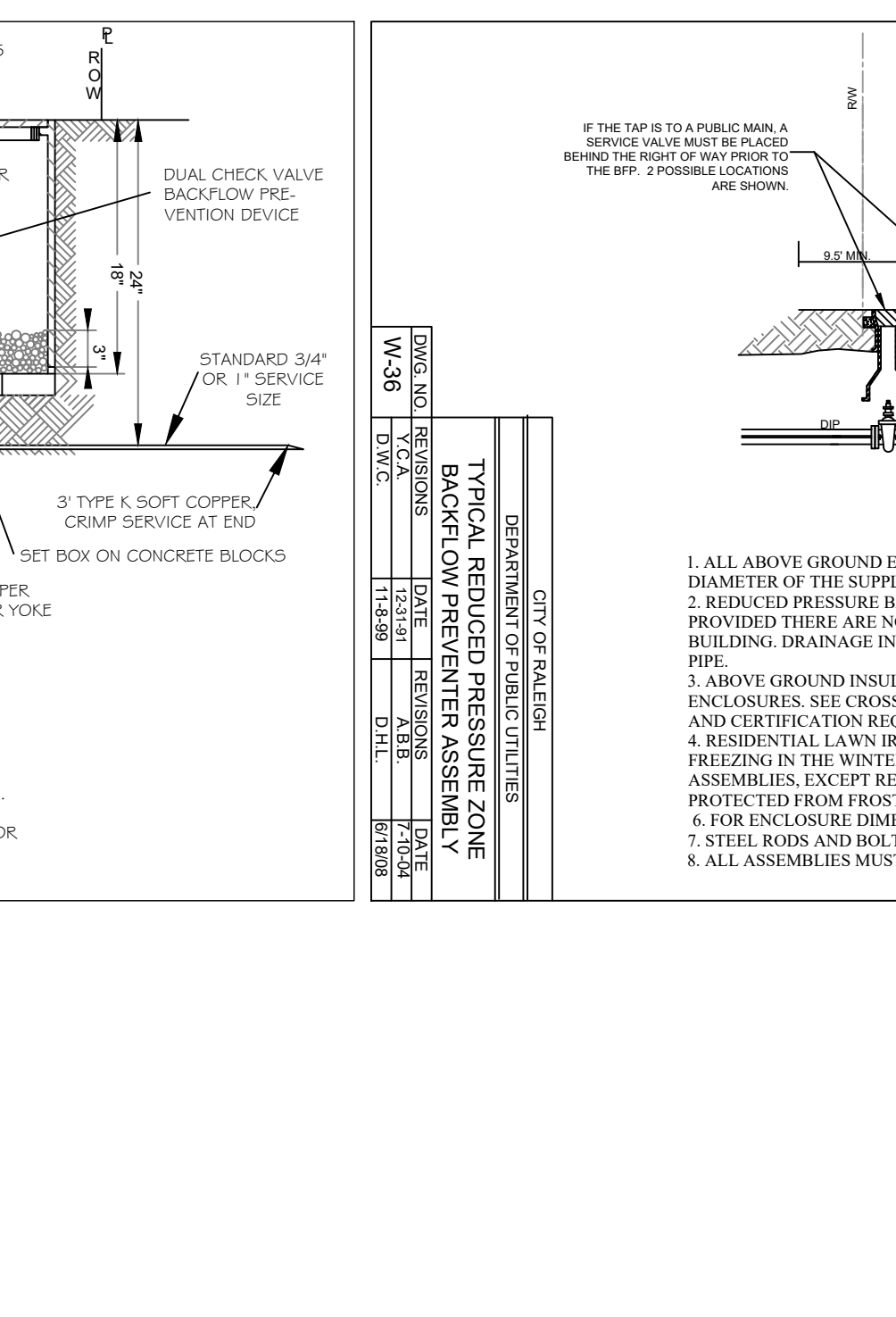
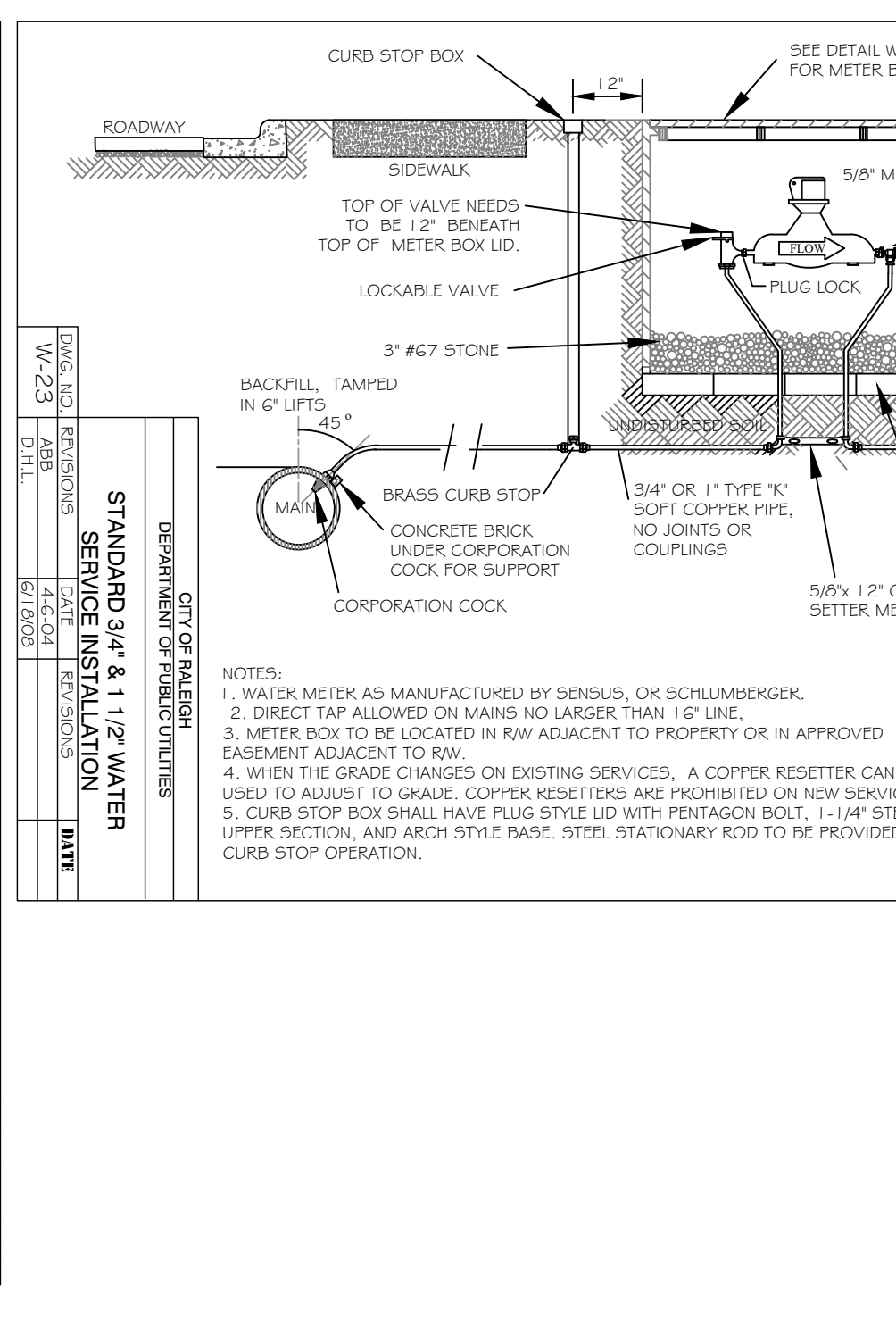
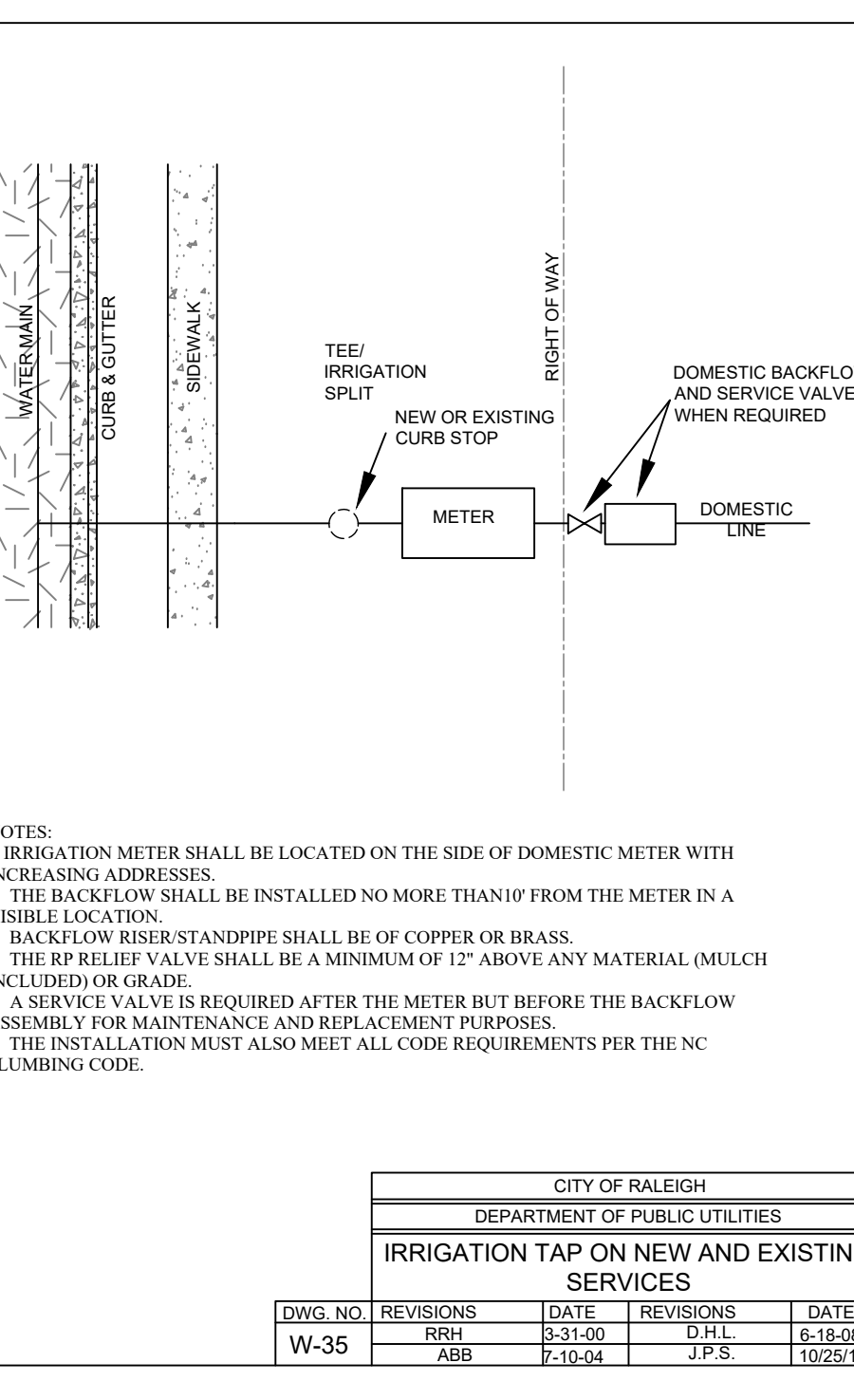
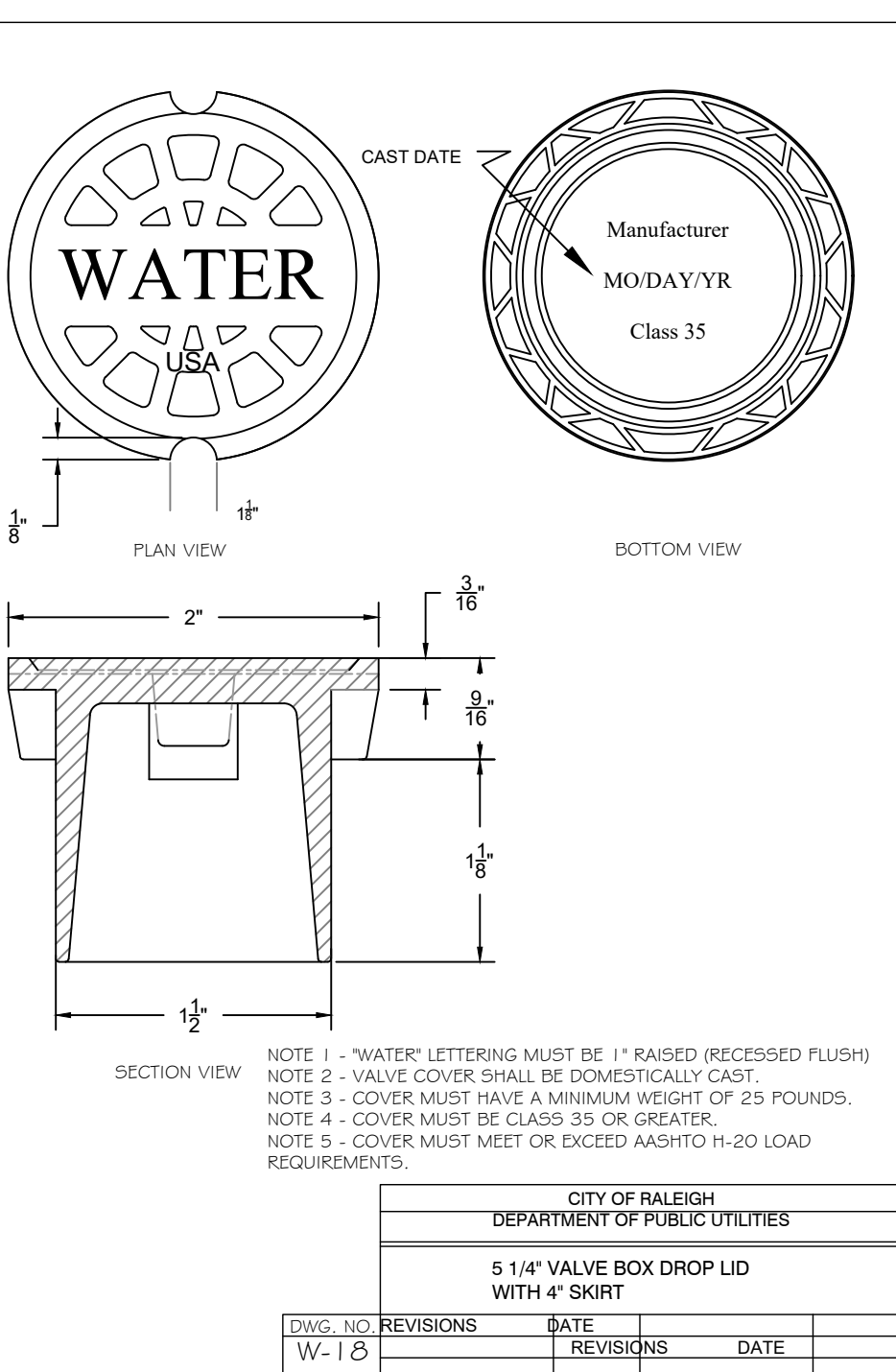
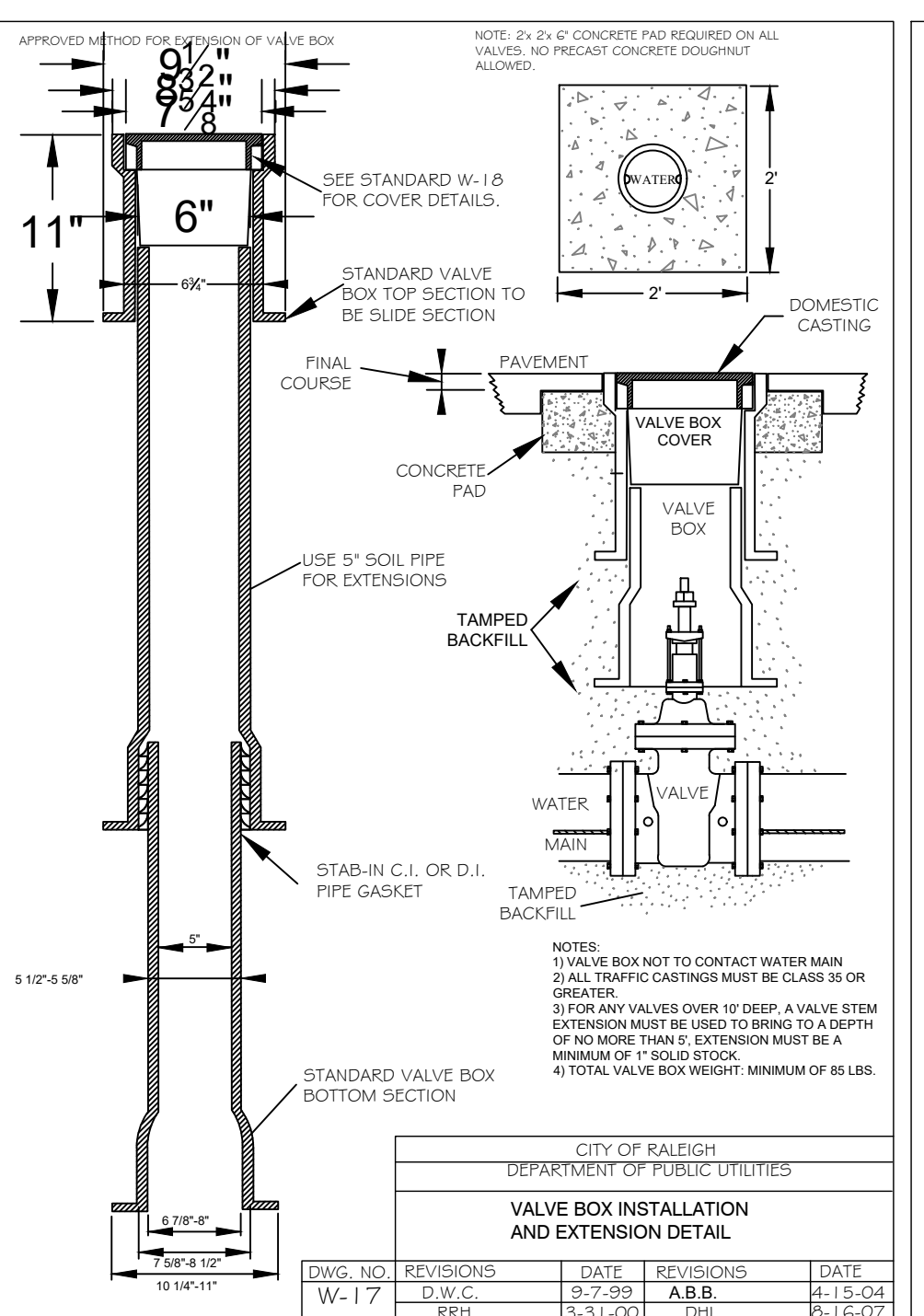
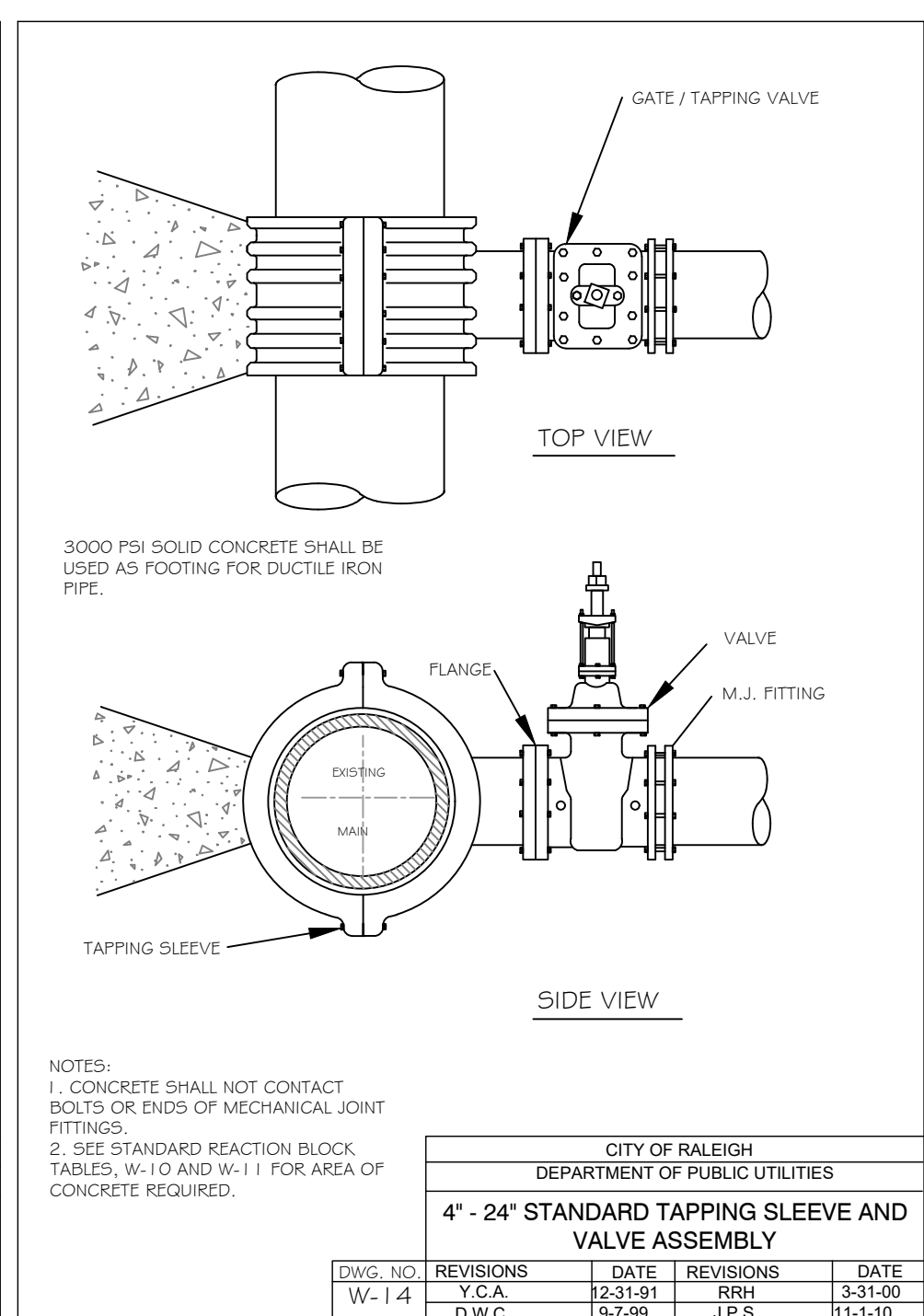
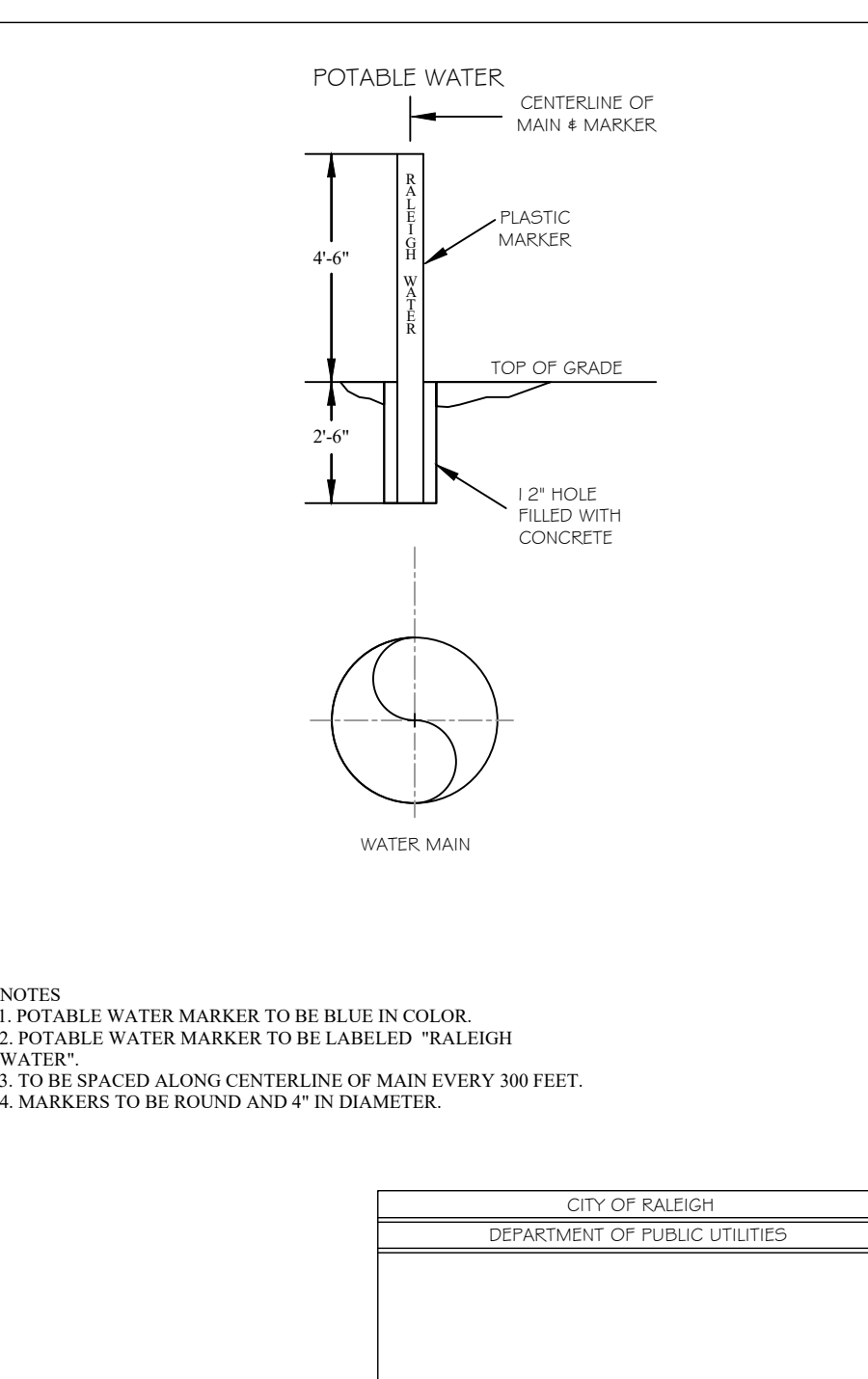
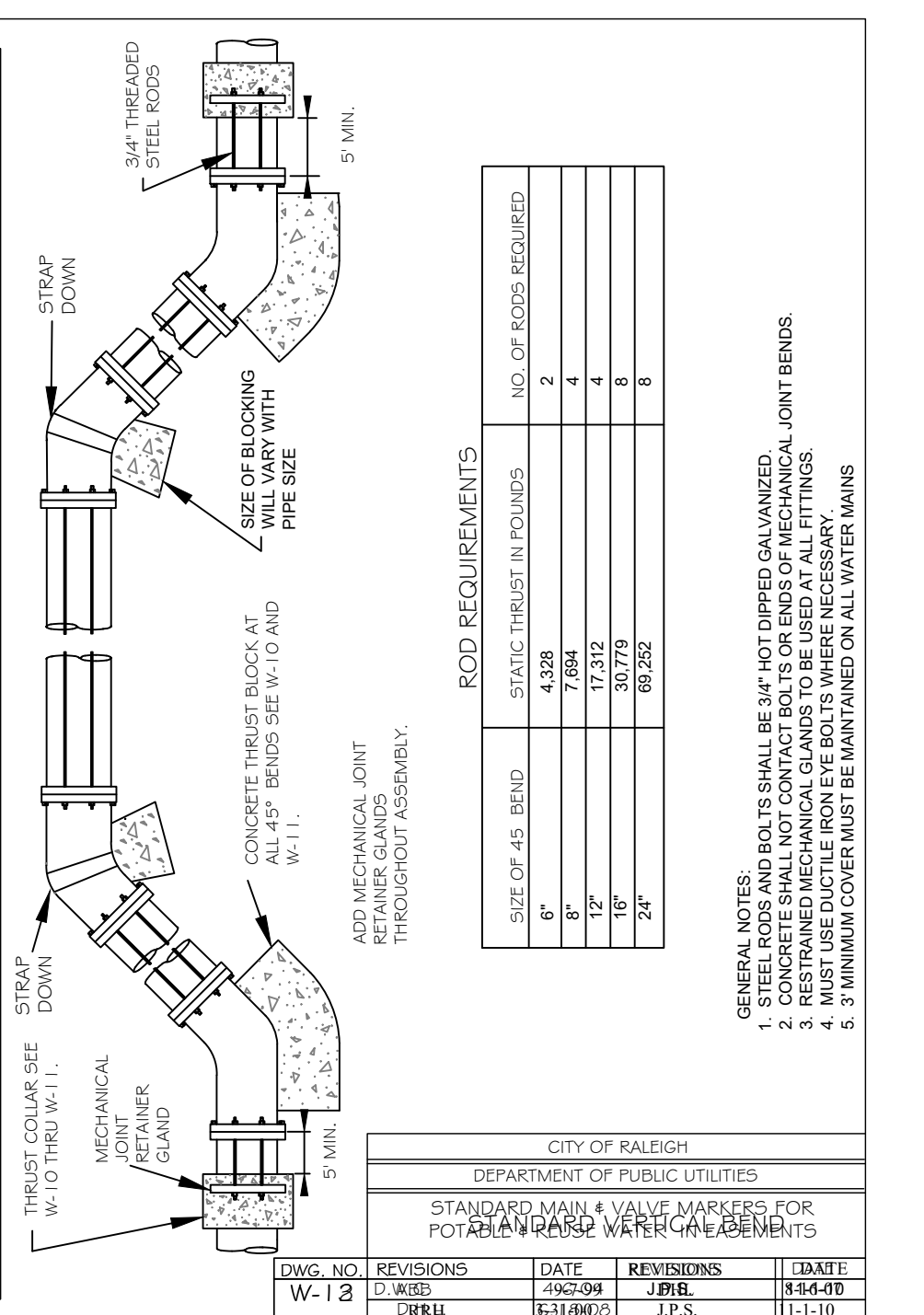
\\\s\projects\dominos\zbulon\2023\CONSTRUCTION DRAWINGS\03 - UTILITY PLAN - SUBMITTAL - MARY DAVIS



**REACTION BEARING AREAS FOR HORIZONTAL WATER PIPE BENDS**  
 BASED ON TEST PRESSURE OF 200 P.S.I.

ALL AREAS GIVEN IN SQUARE FEET

PIPE AND DEGREE OF BEND	PLANK PRESS IN FEET	UNREINFORCED CLAY PIPE	UNREINFORCED CONCRETE PIPE	REINFORCED CONCRETE PIPE	STEEL PIPE	STEEL PIPE WITH FIBER GLASS SAND	STEEL PIPE WITH FIBER GLASS SAND	STEEL PIPE WITH FIBER GLASS SAND	STEEL PIPE WITH FIBER GLASS SAND
6"									
11 1/4"	1,108	1	1	1	1	1	1	2	1
22 1/2"	2,207	1	2	2	1	1	1	3	1
45"	4,328	2	3	3	1	1	2	5	1
90"	7,996	2	4	5	1	1	2	8	1
PLUG	5,655	2	3	4	1	1	2	6	1
8"									
11 1/4"	1,970	1	1	2	1	1	1	2	1
22 1/2"	3,922	1	2	3	1	1	1	4	1
45"	7,684	2	4	5	1	1	2	8	1
90"	14,215	4	8	9	2	2	4	15	2
PLUG	10,053	3	5	6	2	2	3	10	1
12"									
11 1/4"	4,433	2	3	3	1	1	2	5	1
22 1/2"	8,826	3	5	5	2	2	3	9	1
45"	17,312	5	9	11	3	3	5	18	2
90"	31,983	8	16	19	4	4	8	32	4
PLUG	22,619	6	12	14	3	3	6	23	3
16"									
11 1/4"	7,881	2	4	5	1	1	2	8	1
22 1/2"	15,691	4	8	10	2	2	4	16	2
45"	30,779	8	16	19	4	4	8	31	4
90"	56,861	15	29	35	8	8	15	57	8
PLUG	40,213	10	21	25	5	5	10	41	5



**Rivers & Associates, Inc.**  
 Engineers, Planners, Surveyors, Landscape Architects  
 Six Forks Place, III, Ste. 230  
 Raleigh, NC 27609  
 919.594.1626

**REVISIONS:**

NO.	DESCRIPTION	DATE	BY
06/01/23	CONSTRUCTION DRAWINGS SUBMITTAL		

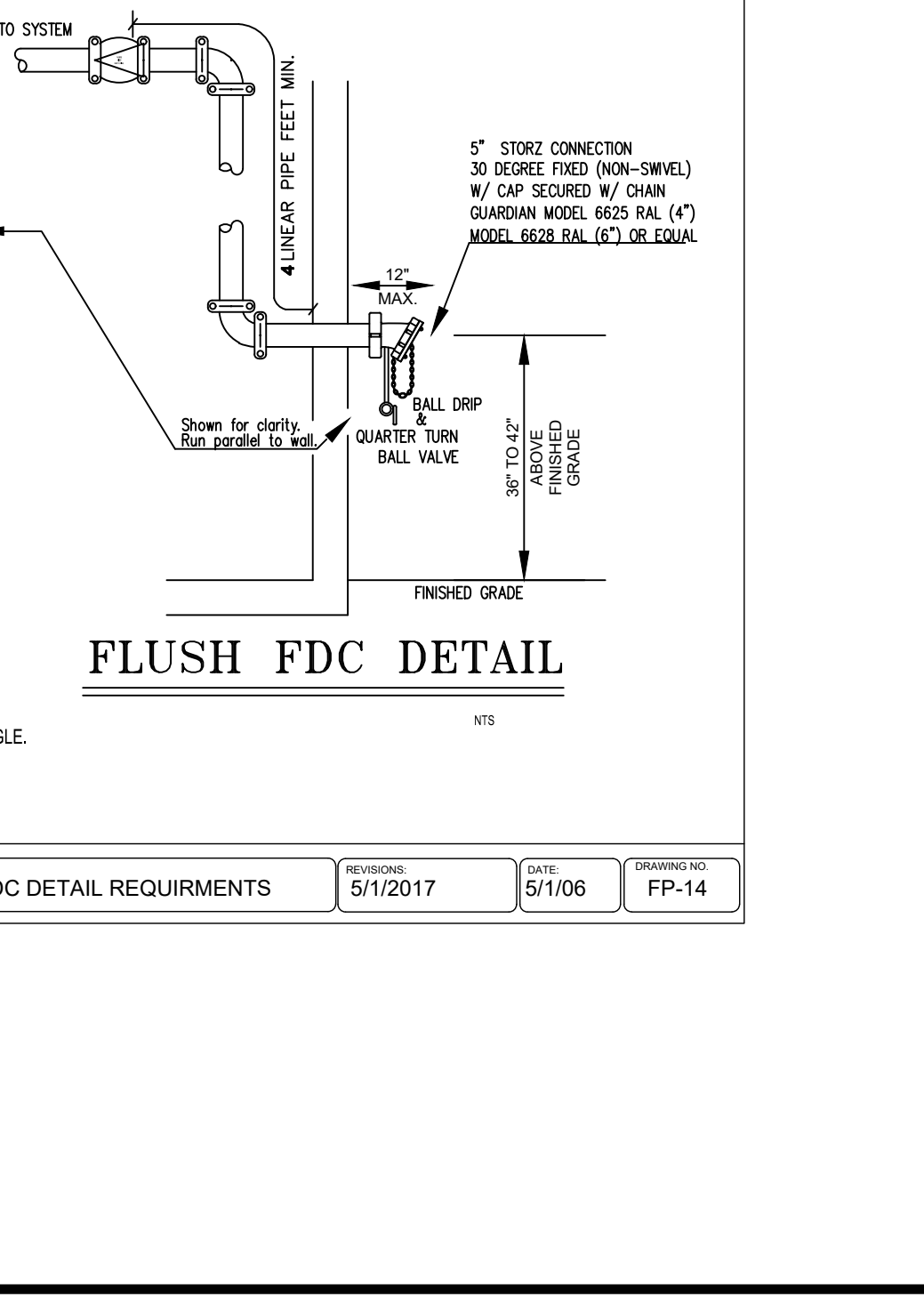
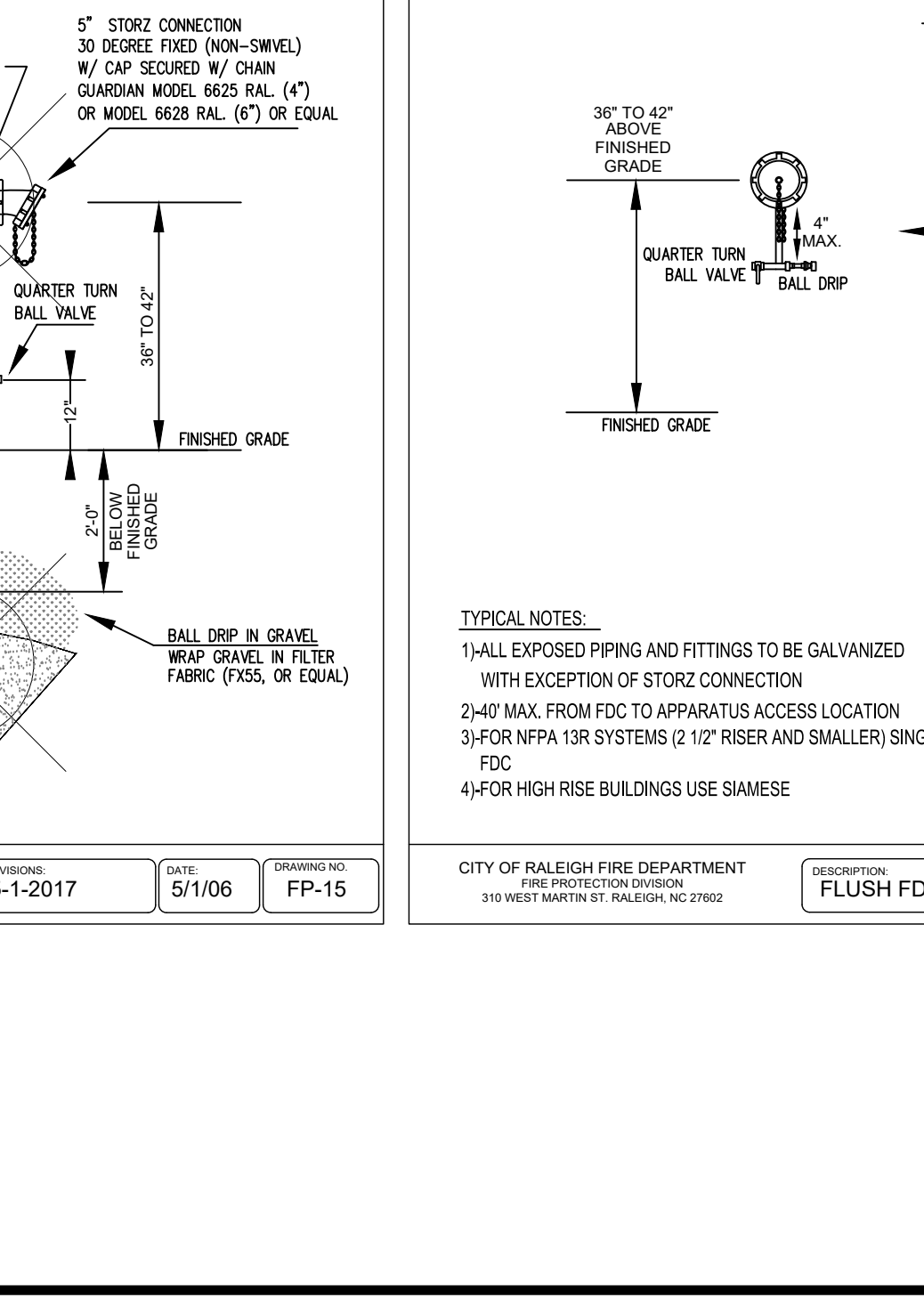
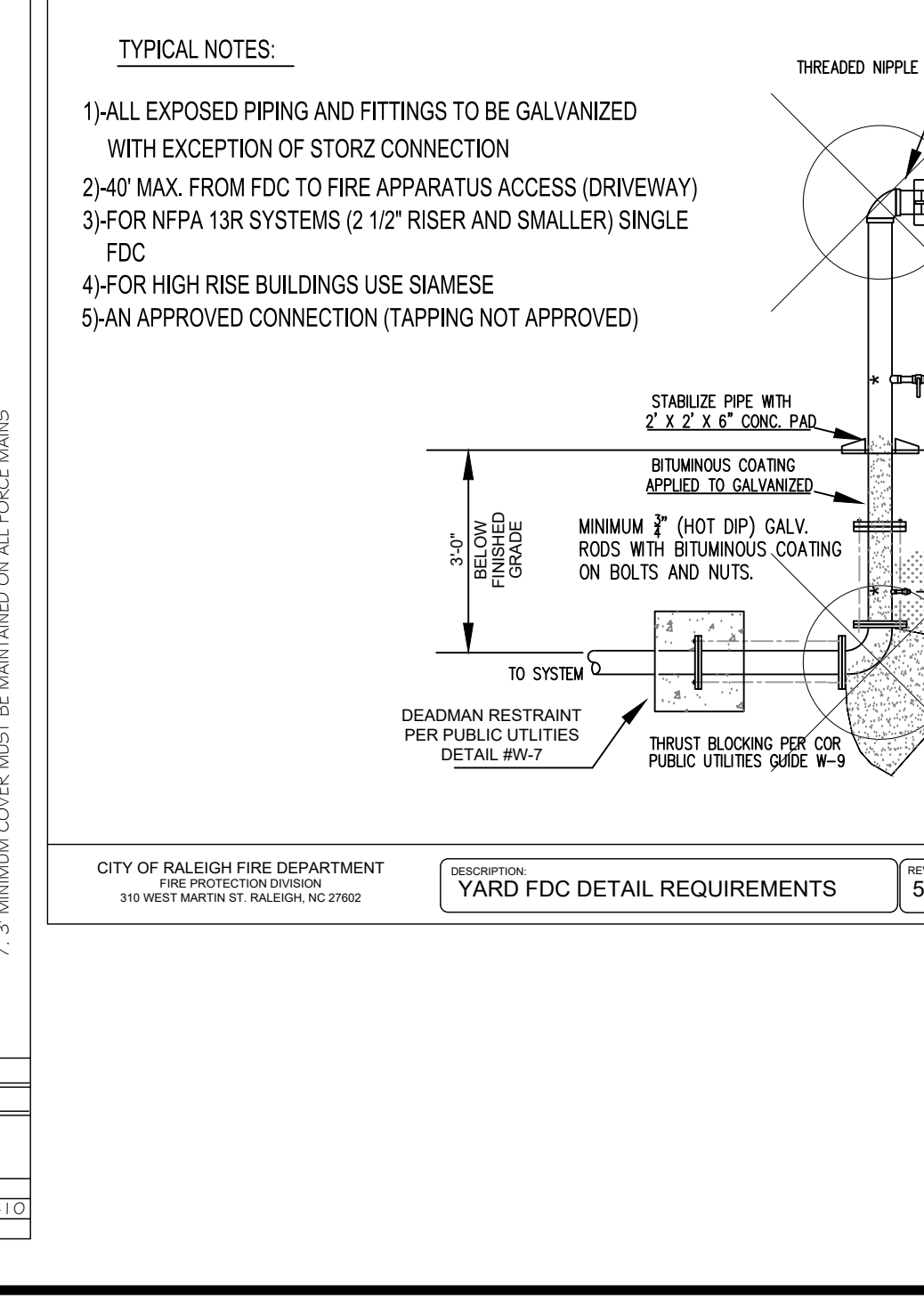
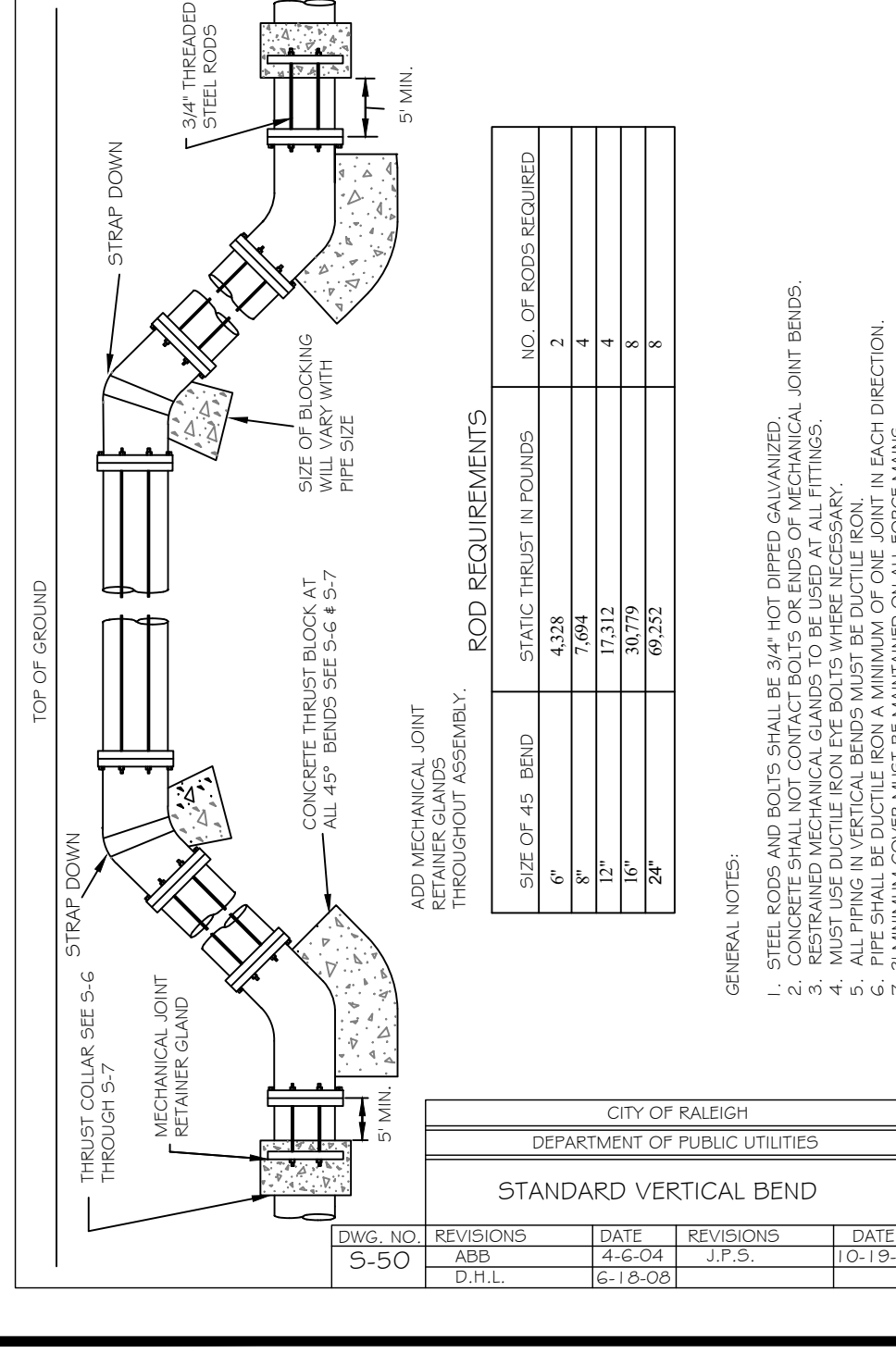
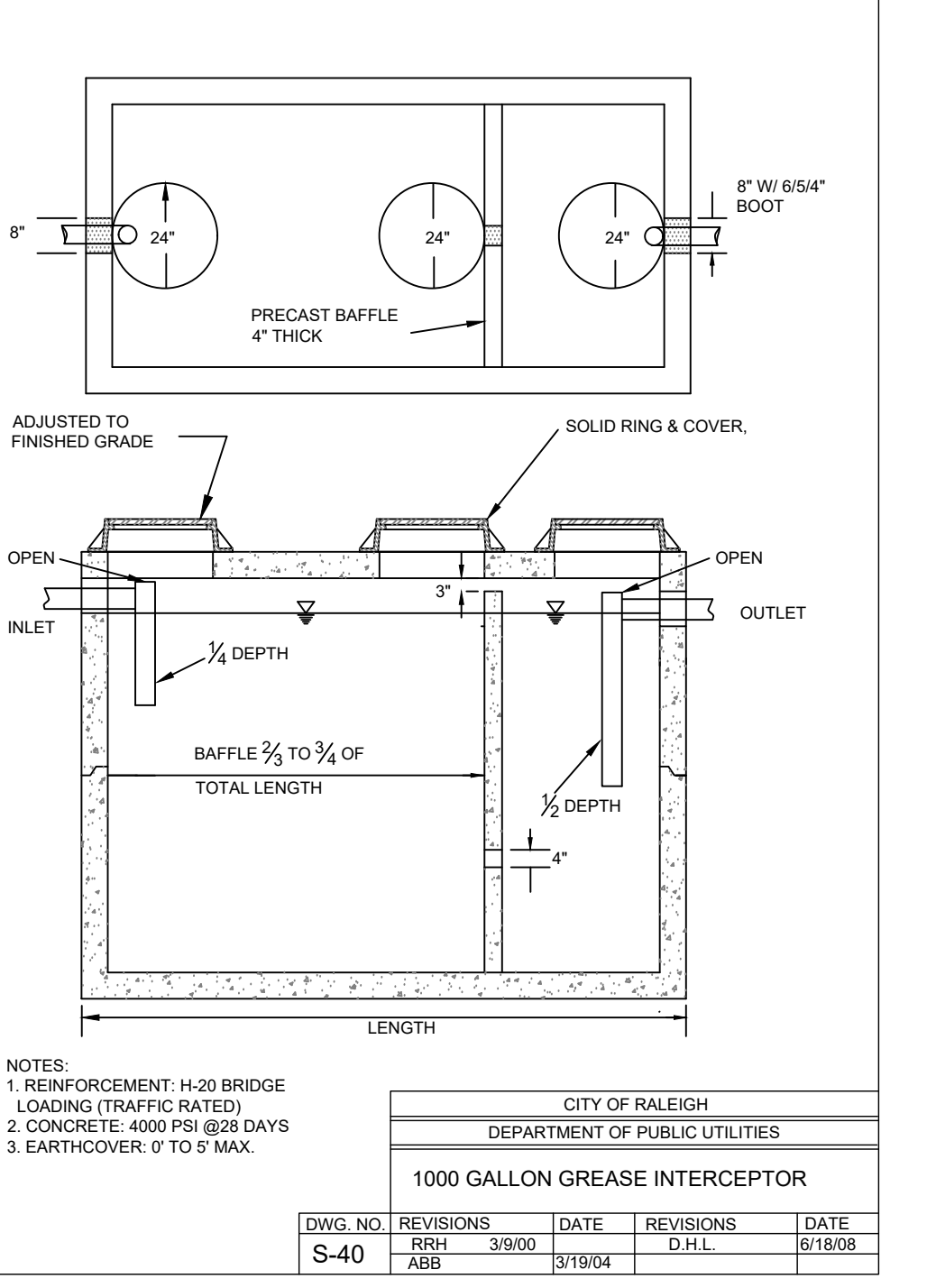
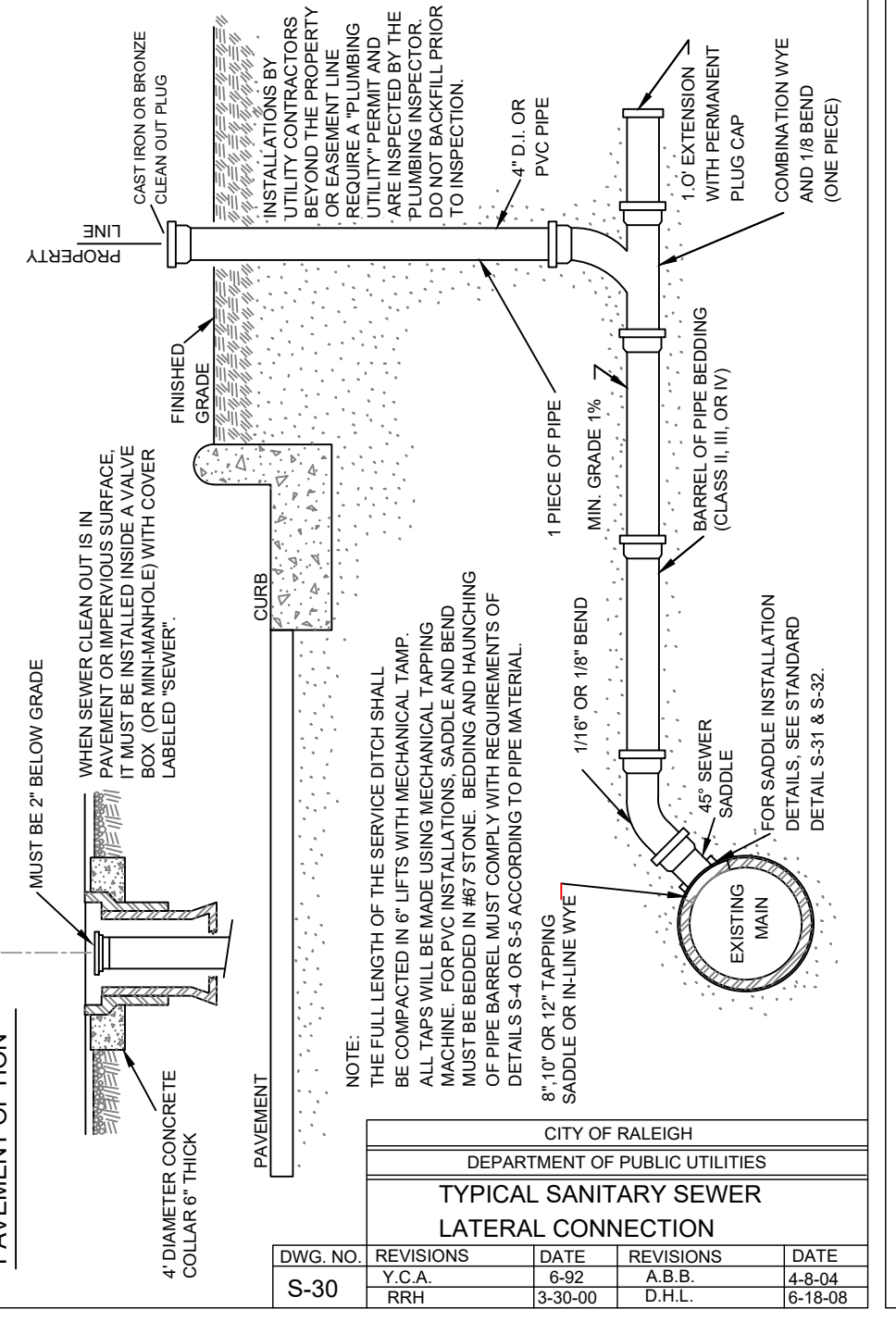
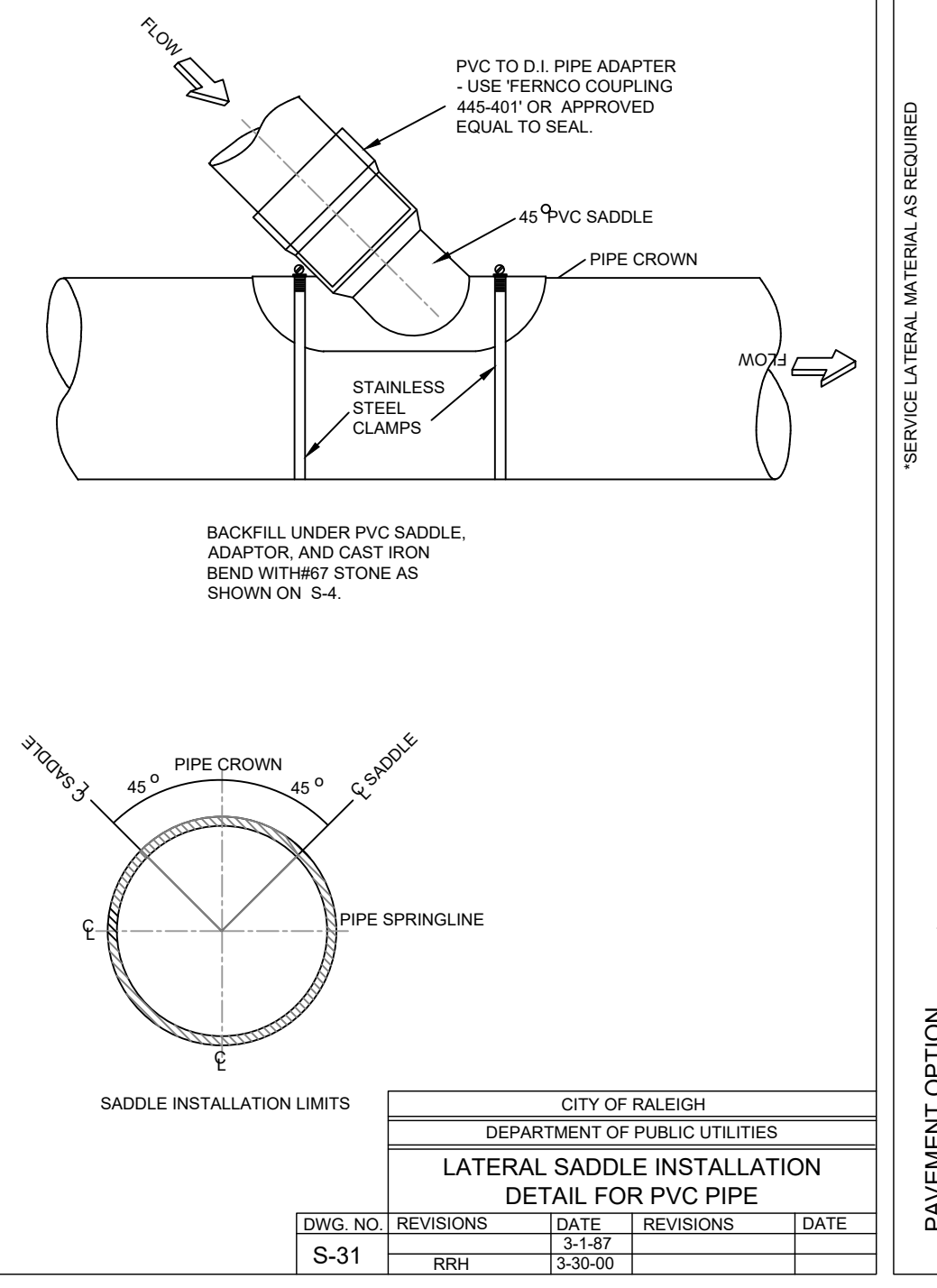
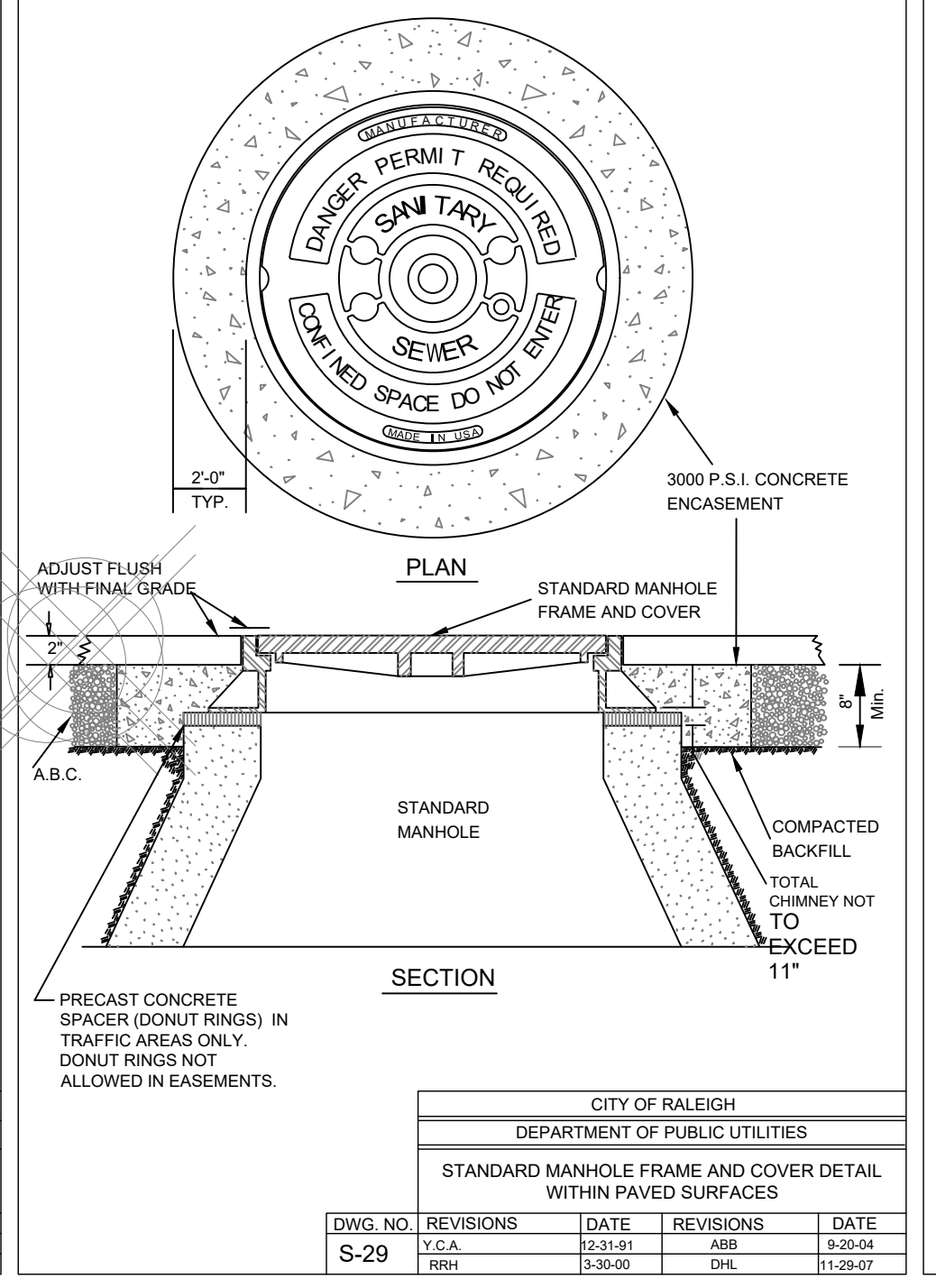
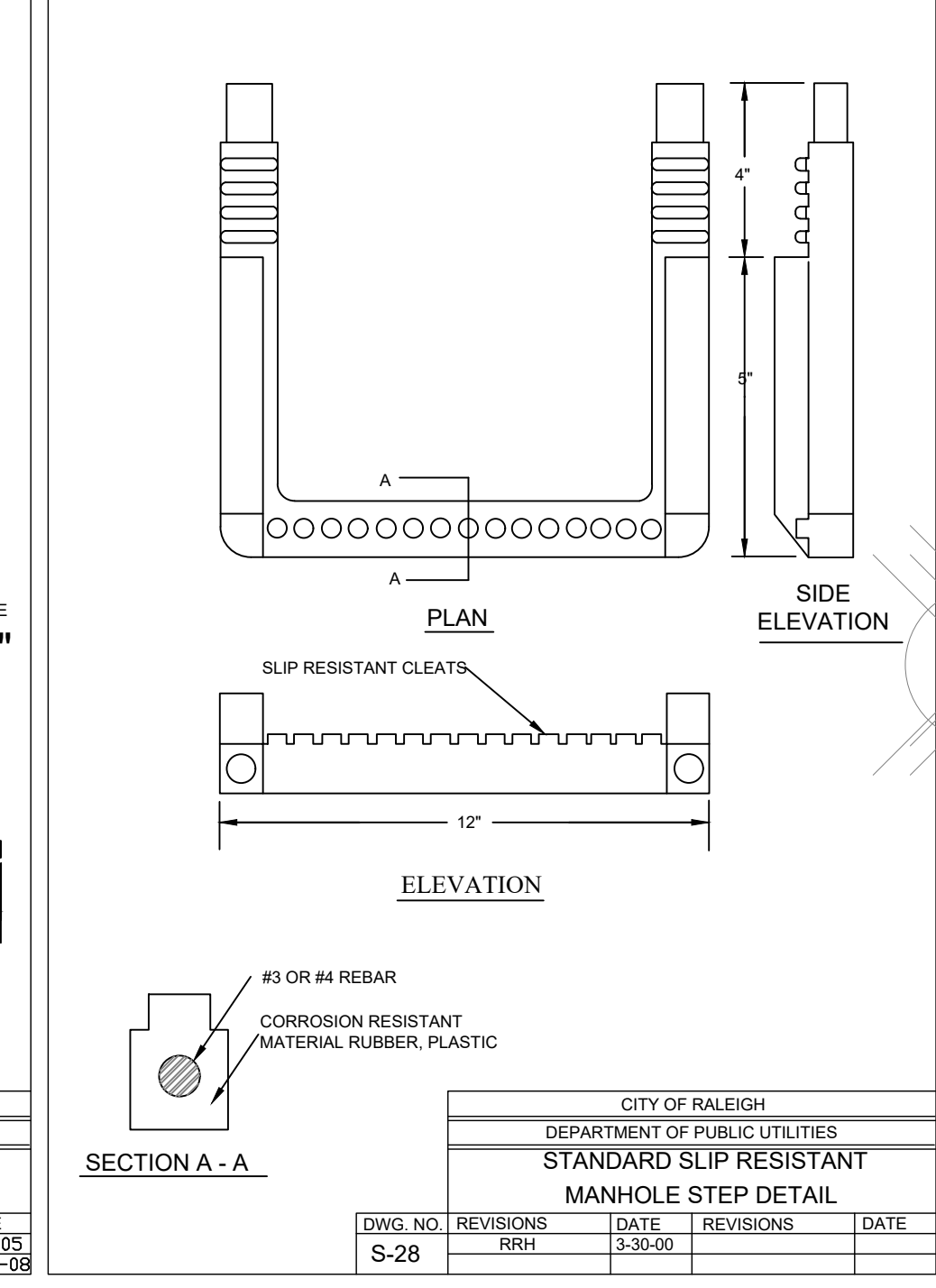
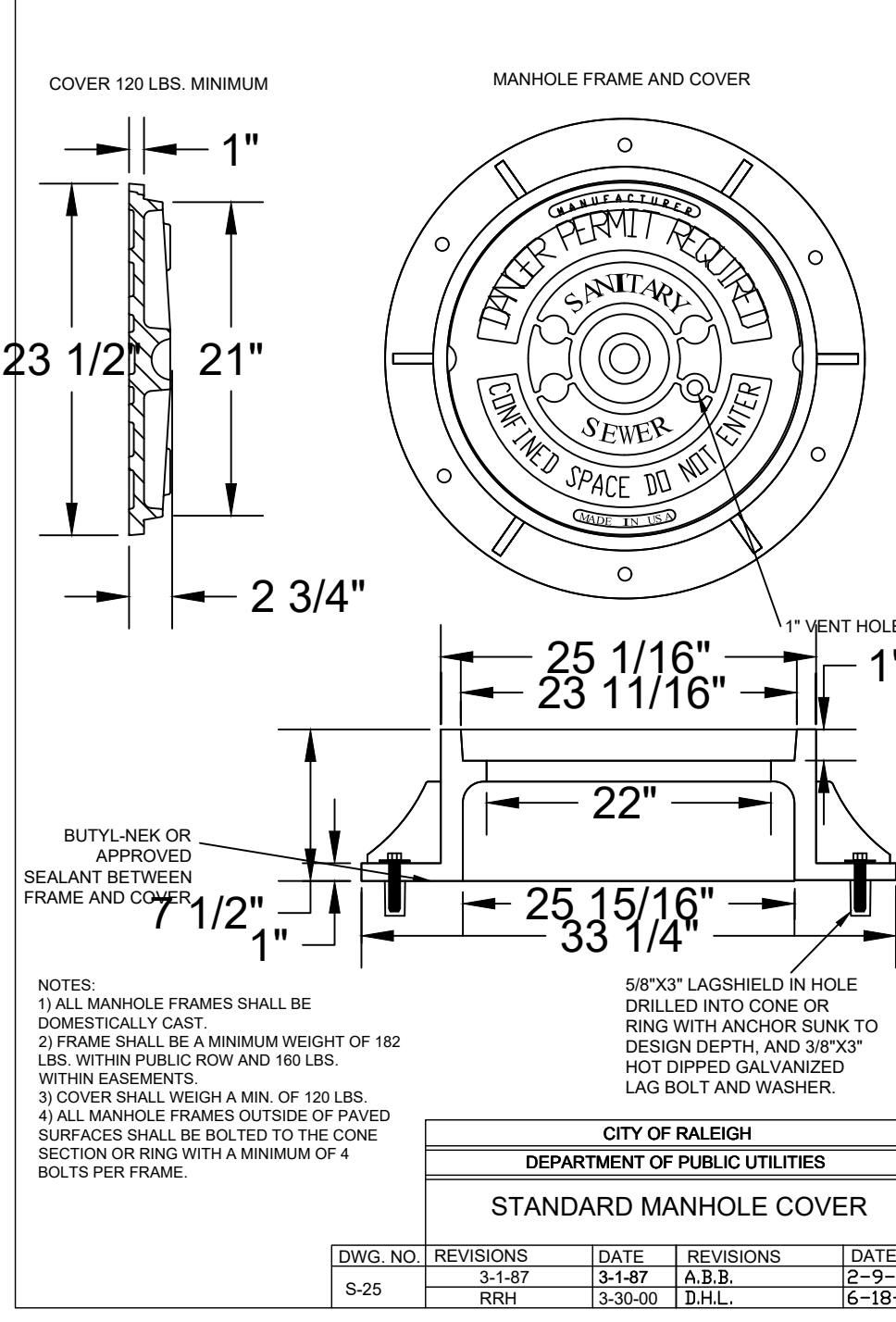
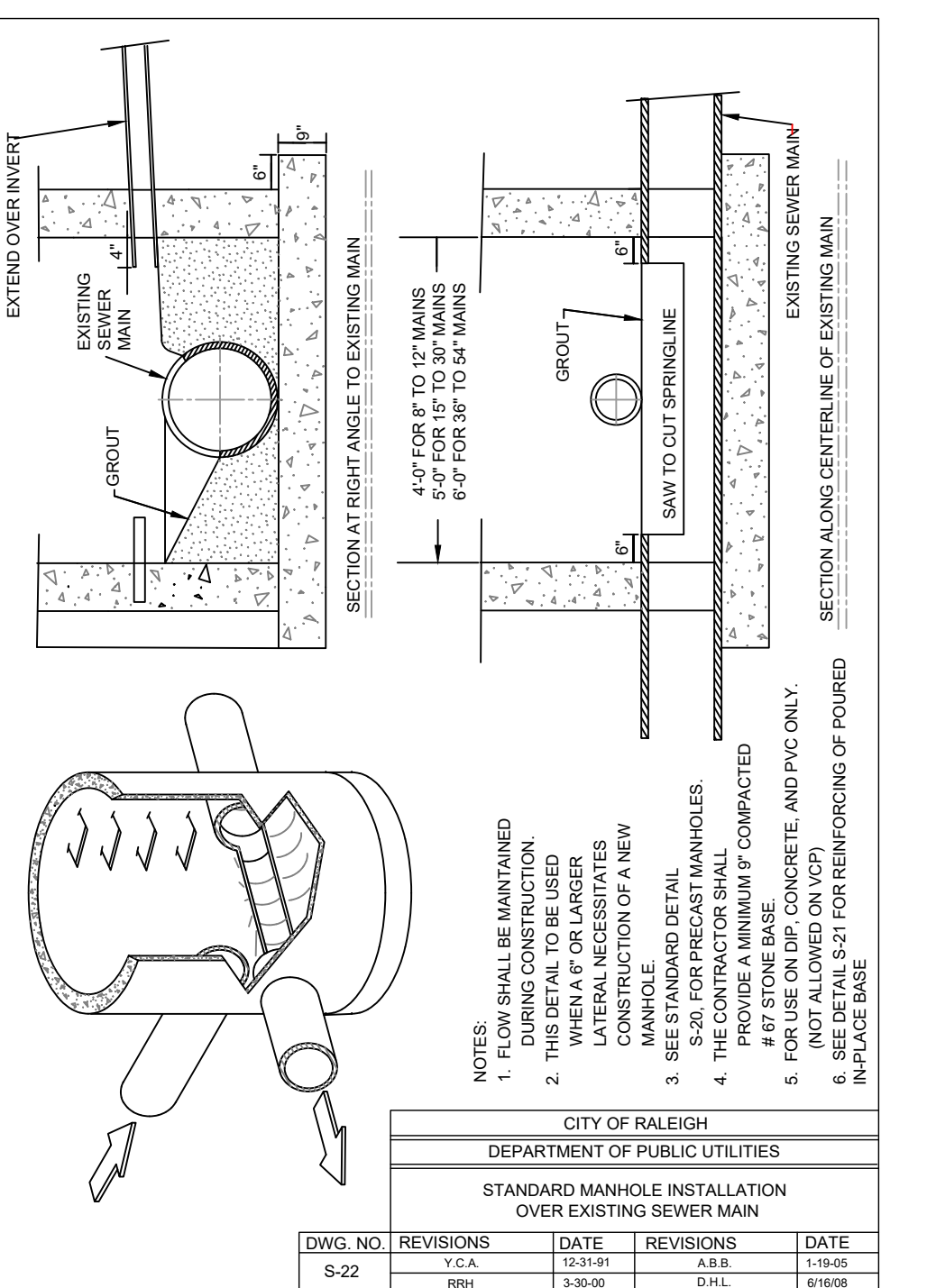
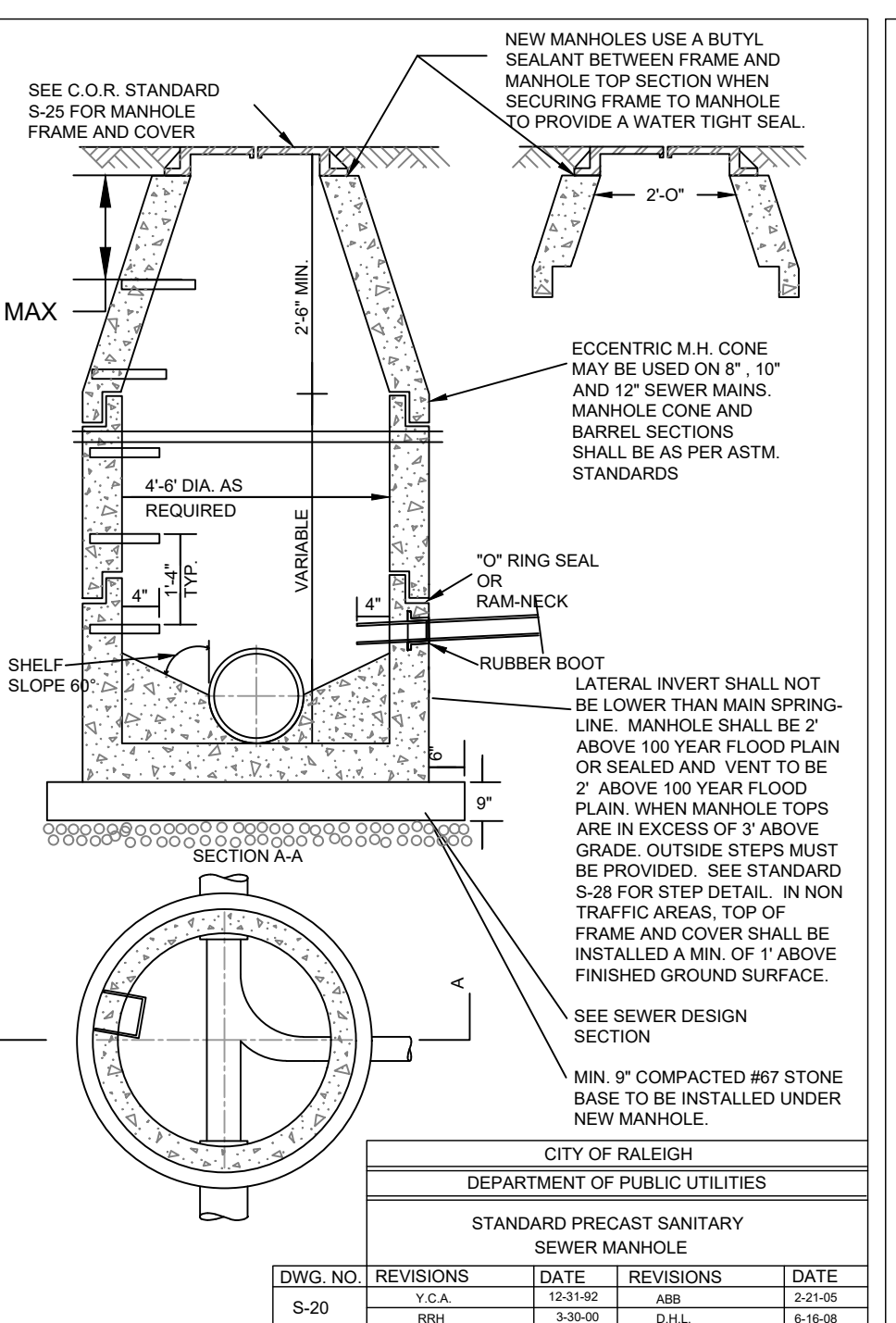
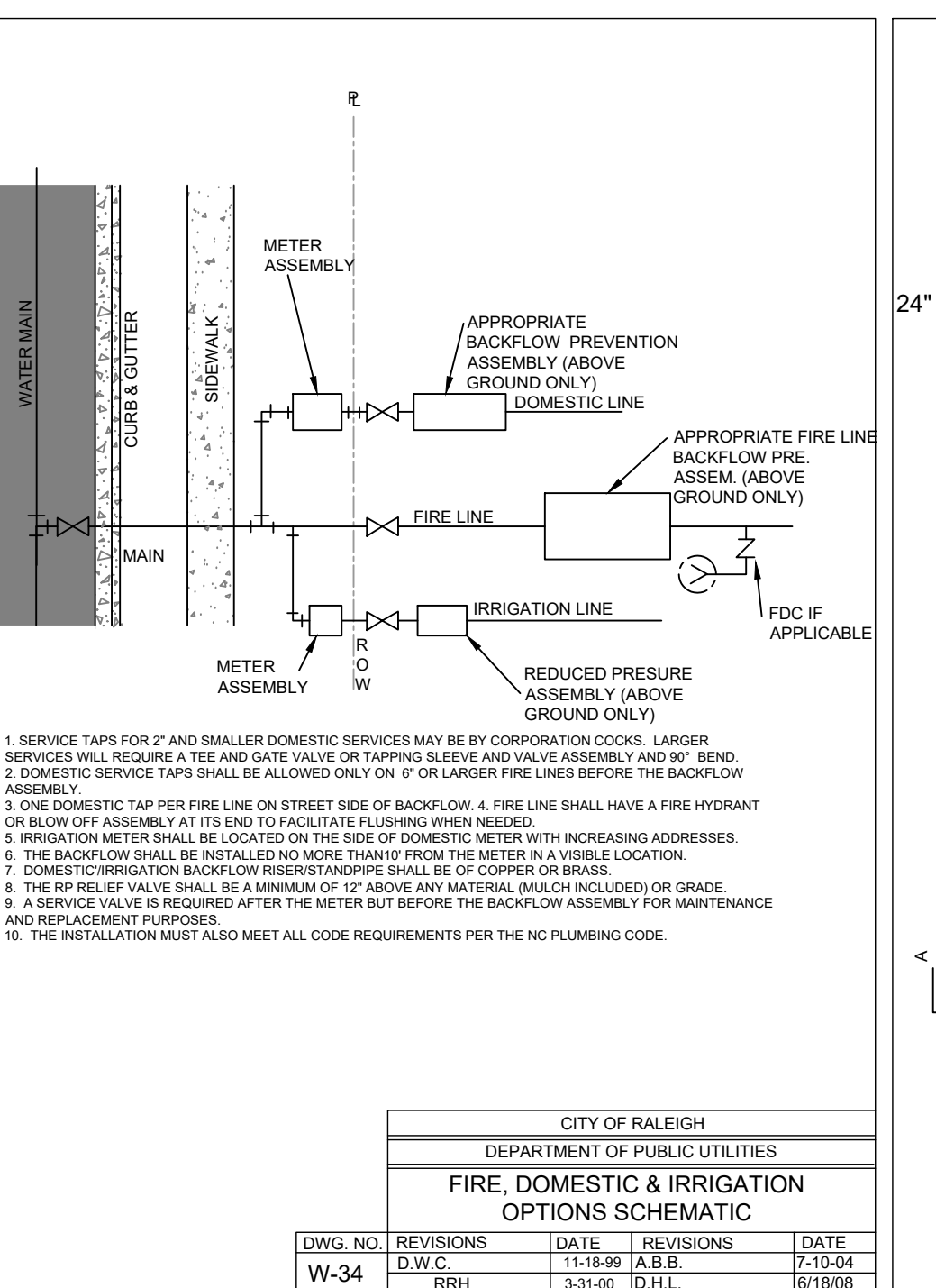
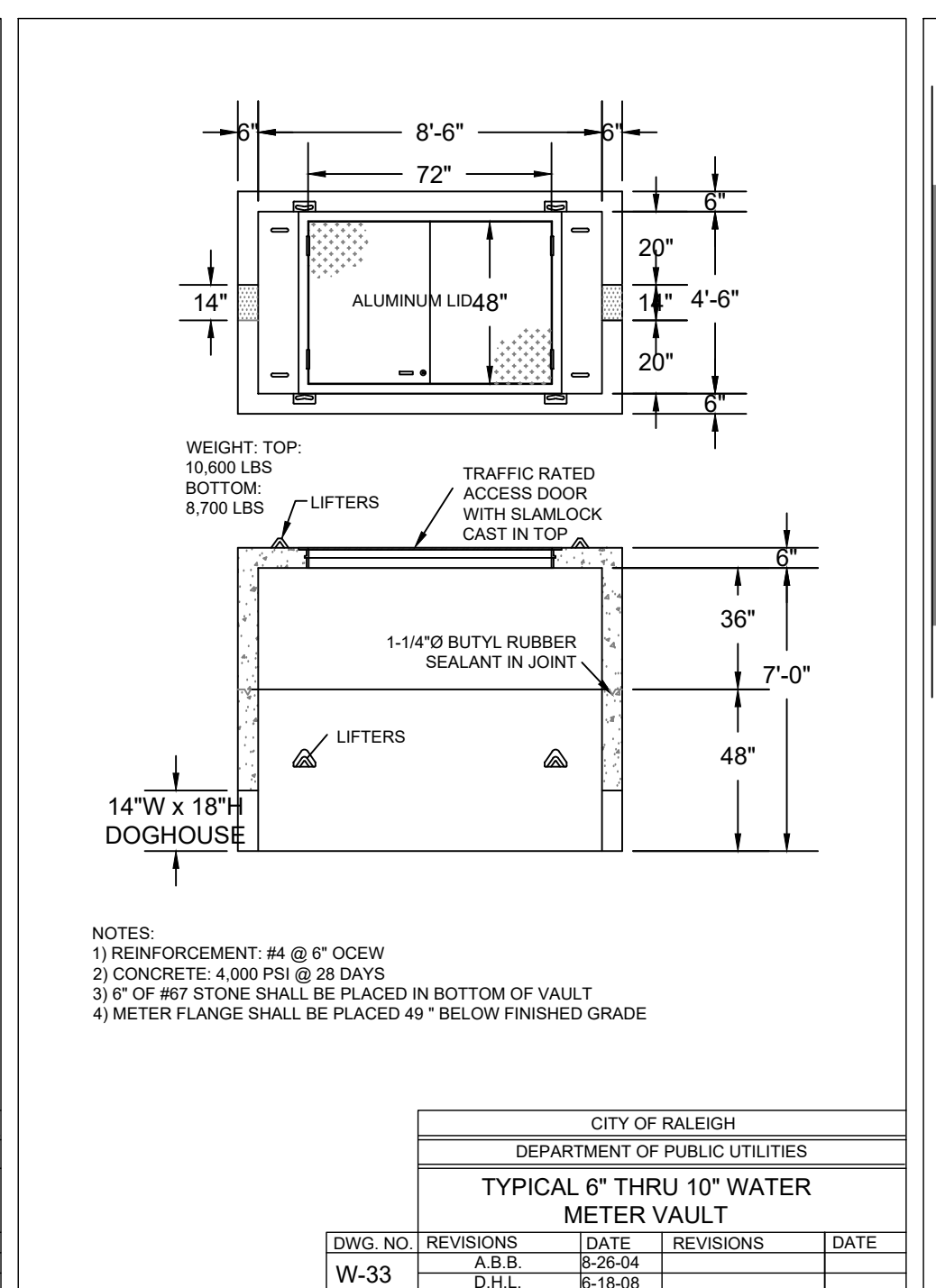
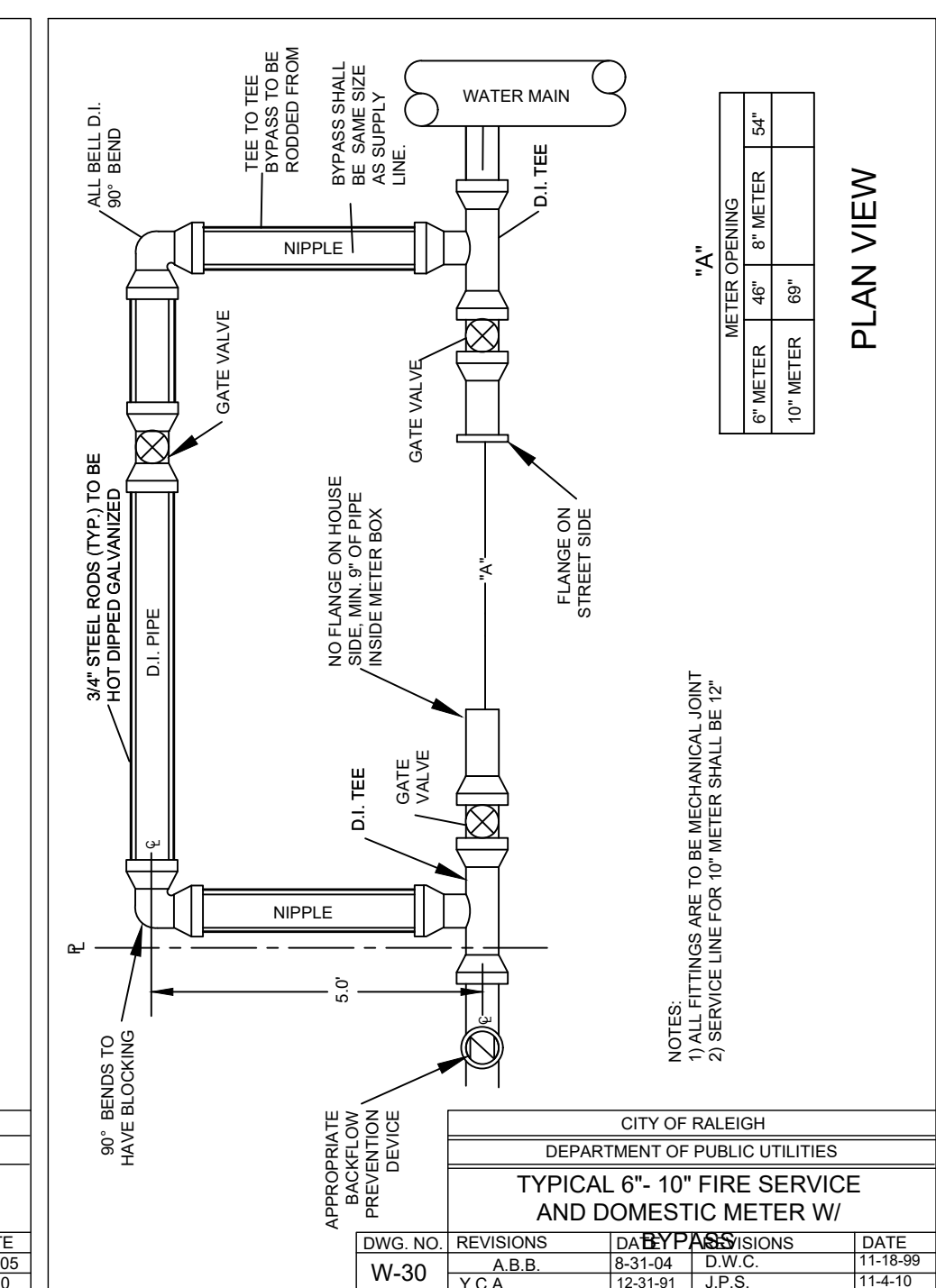
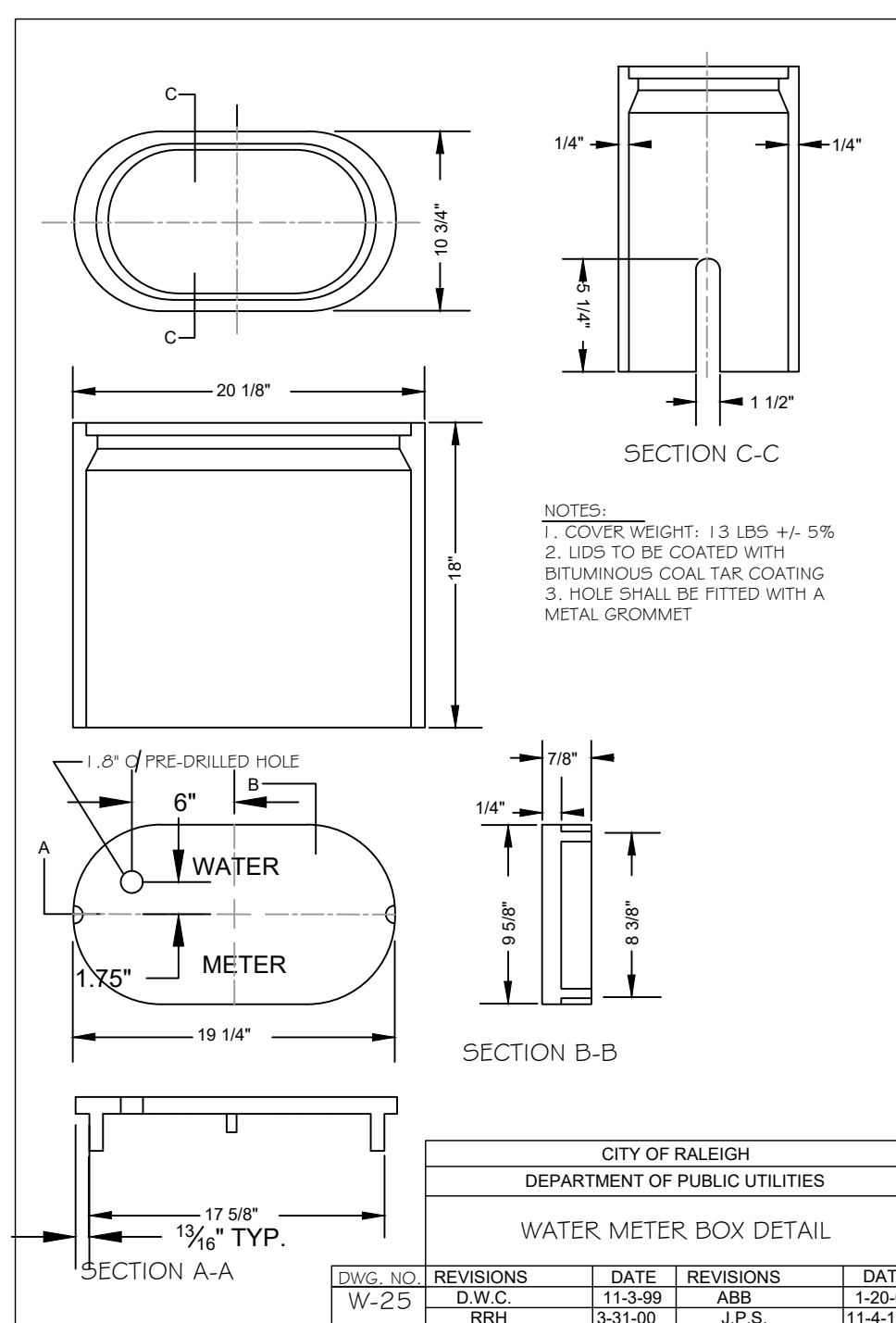
**DOMINO'S ZEBULON**  
 TOWN OF ZEBULON - WAKE COUNTY - NORTH CAROLINA

**UTILITY DETAILS**

DATE: 06/08/2023  
 DESIGNED BY: DBB/MS  
 CHECKED BY: MS  
 PROJECT No. 2023018  
 DRAWING No. W-4081  
 SCALE: AS SHOWN  
 SHEET No. C3.10

NOTE:  
 RELEASED FOR SITE PLAN REVIEW ONLY.  
 NOT FOR CONSTRUCTION.





**Rivers & Associates, Inc.**  
 Since 1918  
 Six Forks Place, III, Ste. 230  
 Raleigh, NC 27609  
 919.594.1626

Engineers  
 Planners  
 Surveyors  
 Landscape Architects

REVISIONS:

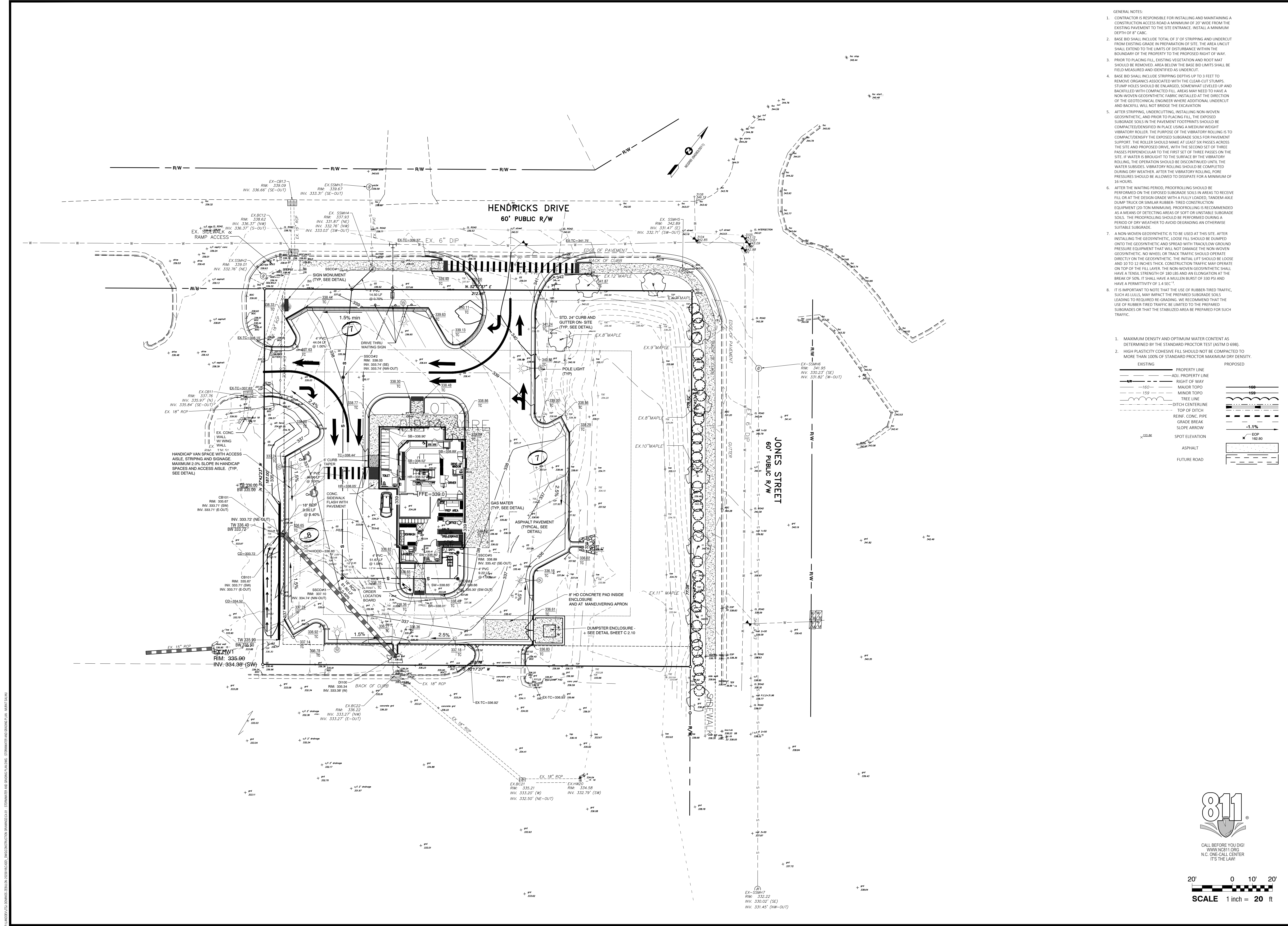
NO.	DESCRIPTION	DATE	BY
06/01/23 <td>CONSTRUCTION DRAWINGS SUBMITTAL <td></td> <td></td> </td>	CONSTRUCTION DRAWINGS SUBMITTAL <td></td> <td></td>		

**DOMINO'S ZEBULON**  
 TOWN OF ZEBULON - WAKE COUNTY - NORTH CAROLINA

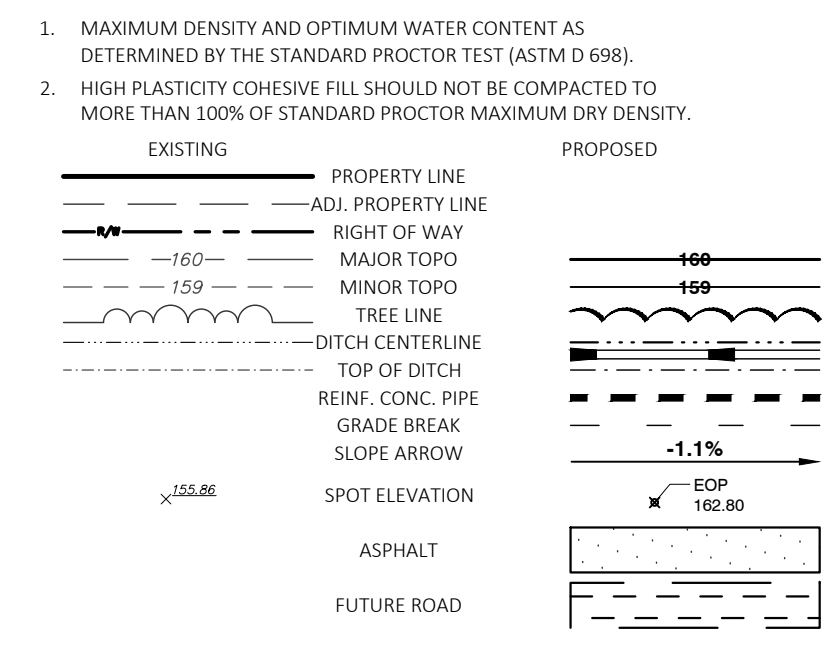
CONSTRUCTION DRAWINGS  
 UTILITY DETAILS

DATE: 06/08/2023  
 DESIGNED BY: DBB/MS  
 DRAWN BY: MS  
 CHECKED BY: DBB  
 PROJECT No. 2023018  
 DRAWING No. W-4081  
 SCALE: AS SHOWN  
 SHEET No. C3.11

NOTE: RELEASED FOR SITE PLAN REVIEW ONLY. NOT FOR CONSTRUCTION.



- GENERAL NOTES:
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING A CONSTRUCTION ACCESS ROAD A MINIMUM OF 20' WIDE FROM THE EXISTING PAVEMENT TO THE SITE ENTRANCE. INSTALL A MINIMUM DEPTH OF 8" C&G.
  - BASE BID SHALL INCLUDE TOTAL OF 3' OF STRIPPING AND UNDERCUT FROM EXISTING GRADE IN PREPARATION OF SITE. THE AREA UNCUT SHALL EXTEND TO THE LIMITS OF DISTURBANCE WITHIN THE BOUNDARY OF THE PROPERTY TO THE PROPOSED RIGHT OF WAY.
  - PRIOR TO PLACING FILL, EXISTING VEGETATION AND ROOT MAT SHOULD BE REMOVED. AREA BELOW THE BASE BID LIMITS SHALL BE FIELD MEASURED AND IDENTIFIED AS UNDERCUT.
  - BASE BID SHALL INCLUDE STRIPPING DEPTHS UP TO 3 FEET TO REMOVE ORGANICS ASSOCIATED WITH THE CLEAR-CUT STUMPS. STUMP HOLES SHOULD BE ENLARGED, SOMEWHAT LEVELED UP AND BACKFILLED WITH COMPACTED FILL. AREAS MAY NEED TO HAVE A NON-WOVEN GEOSYNTHETIC FABRIC INSTALLED IN THE DIRECTION OF THE GEOTECHNICAL ENGINEER WHERE ADDITIONAL UNDERCUT AND BACKFILL WILL NOT BRIDGE THE EXCAVATION.
  - AFTER STRIPPING, UNDERCUTTING, INSTALLING NON-WOVEN GEOSYNTHETIC, AND PRIOR TO PLACING FILL, THE EXPOSED SUBGRADE SOILS IN THE PAVEMENT FOOTPRINTS SHOULD BE COMPACTED/DENSIFIED IN PLACE USING A MEDIUM WEIGHT VIBRATORY ROLLER. THE PURPOSE OF THE VIBRATORY ROLLING IS TO COMPACT/DENSIFY THE EXPOSED SUBGRADE SOILS FOR PAVEMENT SUPPORT. THE ROLLER SHOULD MAKE AT LEAST SIX PASSES ACROSS THE SITE AND PROPOSED DRIVE. WITH THE SECOND SET OF THREE PASSES PERPENDICULAR TO THE FIRST SET OF THREE PASSES ON THE SITE. IF WATER IS BROUGHT TO THE SURFACE BY THE VIBRATORY ROLLING, THE OPERATION SHOULD BE DISCONTINUED UNTIL THE WATER SUBSIDES. VIBRATORY ROLLING SHOULD BE COMPLETED DURING DRY WEATHER. AFTER THE VIBRATORY ROLLING, PORE PRESSURES SHOULD BE ALLOWED TO DISSIPATE FOR A MINIMUM OF 16 HOURS.
  - AFTER THE WAITING PERIOD, PROOFROLLING SHOULD BE PERFORMED ON THE EXPOSED SUBGRADE SOILS IN AREAS TO RECEIVE FILL OR AT THE DESIGN GRADE WITH A FULLY LOADED, TANDEM-AXLE DUMP TRUCK OR SIMILAR RUBBER-TIRED CONSTRUCTION EQUIPMENT (20-TON MINIMUM). PROOFROLLING IS RECOMMENDED AS A MEANS OF DETECTING AREAS OF SOFT OR UNSTABLE SUBGRADE SOILS. THE PROOFROLLING SHOULD BE PERFORMED DURING A PERIOD OF DRY WEATHER TO AVOID DEGRADING AN OTHERWISE SUITABLE SUBGRADE.
  - A NON-WOVEN GEOSYNTHETIC IS TO BE USED AT THIS SITE. AFTER INSTALLING THE GEOSYNTHETIC, LOOSE FILL SHOULD BE DUMPED ONTO THE GEOSYNTHETIC AND SPREAD WITH TRACK/LOW GROUND PRESSURE EQUIPMENT THAT WILL NOT DAMAGE THE NON-WOVEN GEOSYNTHETIC. NO WHEEL OR TRACK TRAFFIC SHOULD OPERATE DIRECTLY ON THE GEOSYNTHETIC. THE INITIAL LIFT SHOULD BE LOOSE AND 10 TO 12 INCHES THICK. CONSTRUCTION TRAFFIC MAY OPERATE ON TOP OF THE FILL LAYER. THE NON-WOVEN GEOSYNTHETIC SHALL HAVE A TENSILE STRENGTH OF 180 LBS AND AN ELONGATION AT THE BREAK OF 50%. IT SHALL HAVE A MULLER BURST OF 300 PSI AND HAVE A PERMEABILITY OF 1.4 SEC<sup>-1</sup>.
  - IT IS IMPORTANT TO NOTE THAT THE USE OF RUBBER-TIRED TRAFFIC, SUCH AS LULUS, MAY IMPACT THE PREPARED SUBGRADE SOILS LEADING TO REQUIRED RE-GRADING. WE RECOMMEND THAT THE USE OF RUBBER-TIRED TRAFFIC BE LIMITED TO THE PREPARED SUBGRADES OR THAT THE STABILIZED AREA BE PREPARED FOR SUCH TRAFFIC.



- MAXIMUM DENSITY AND OPTIMUM WATER CONTENT AS DETERMINED BY THE STANDARD PROCTOR TEST (ASTM D 698).
- HIGH PLASTICITY COHESIVE FILL SHOULD NOT BE COMPACTED TO MORE THAN 100% OF STANDARD PROCTOR MAXIMUM DRY DENSITY.

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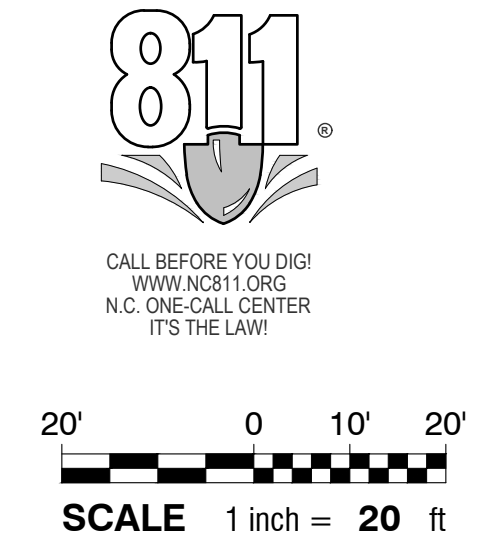


REVISIONS:

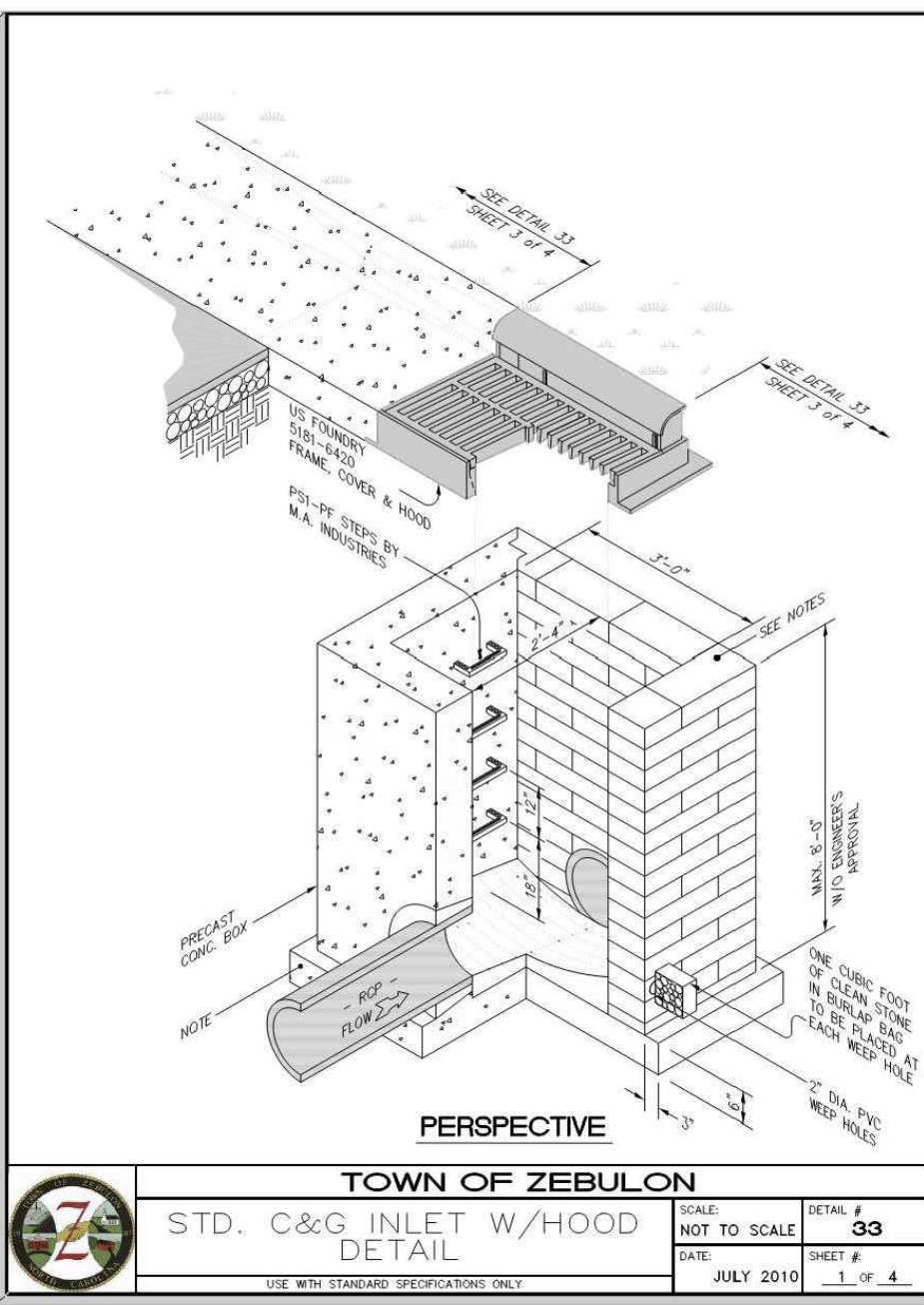
NO.	DESCRIPTION	DATE	BY
06/01/23	CONSTRUCTION DRAWINGS SUBMITTAL		

CONSTRUCTION DRAWINGS  
**DOMINO'S ZEBULON**  
 TOWN OF ZEBULON - WAKE COUNTY - NORTH CAROLINA  
**STORMWATER AND GRADING PLAN**

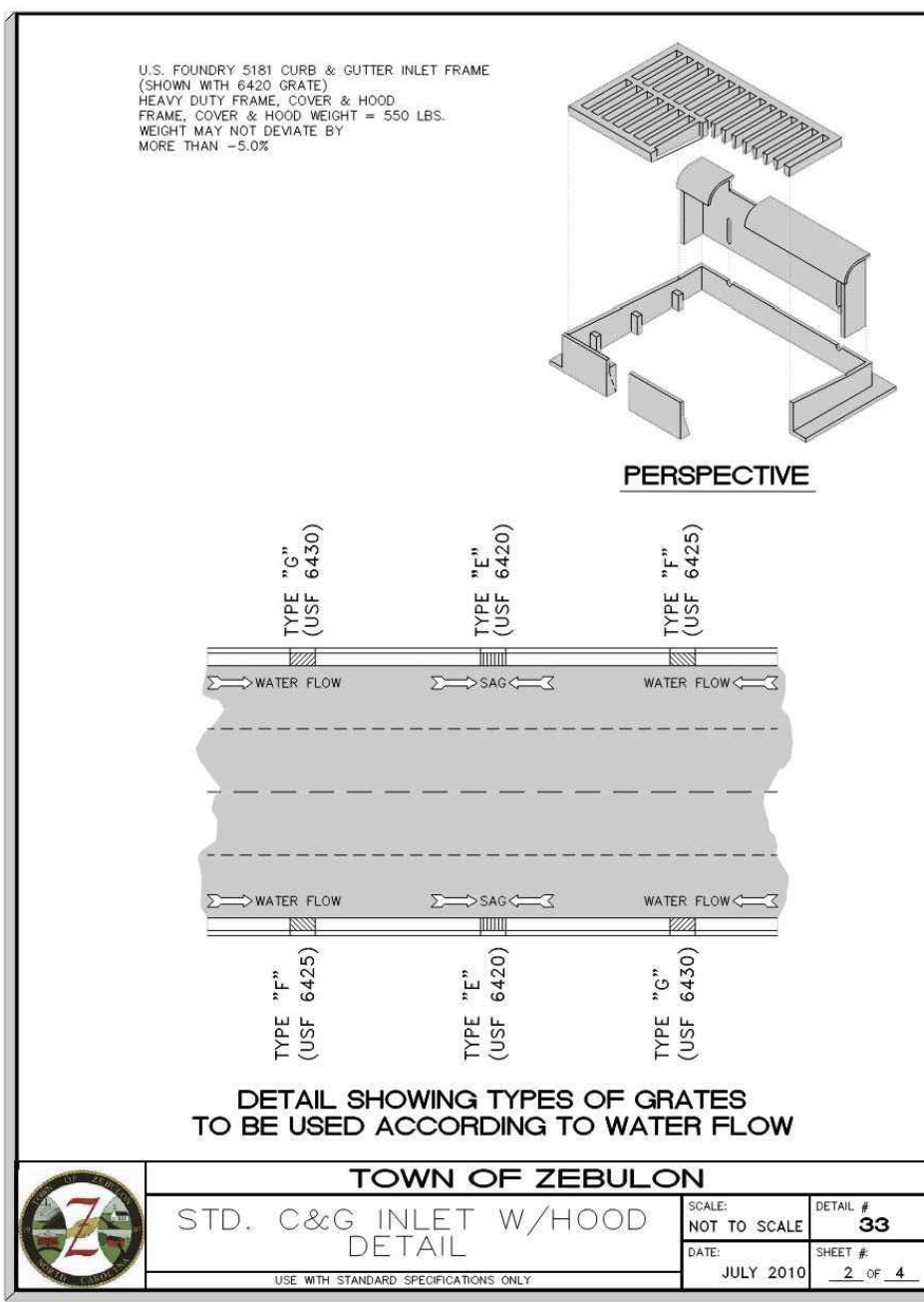
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 PROJECT No. 2023018  
 DRAWING No. W-4081  
 SCALE: AS SHOWN  
 SHEET No.  
**C4.01**



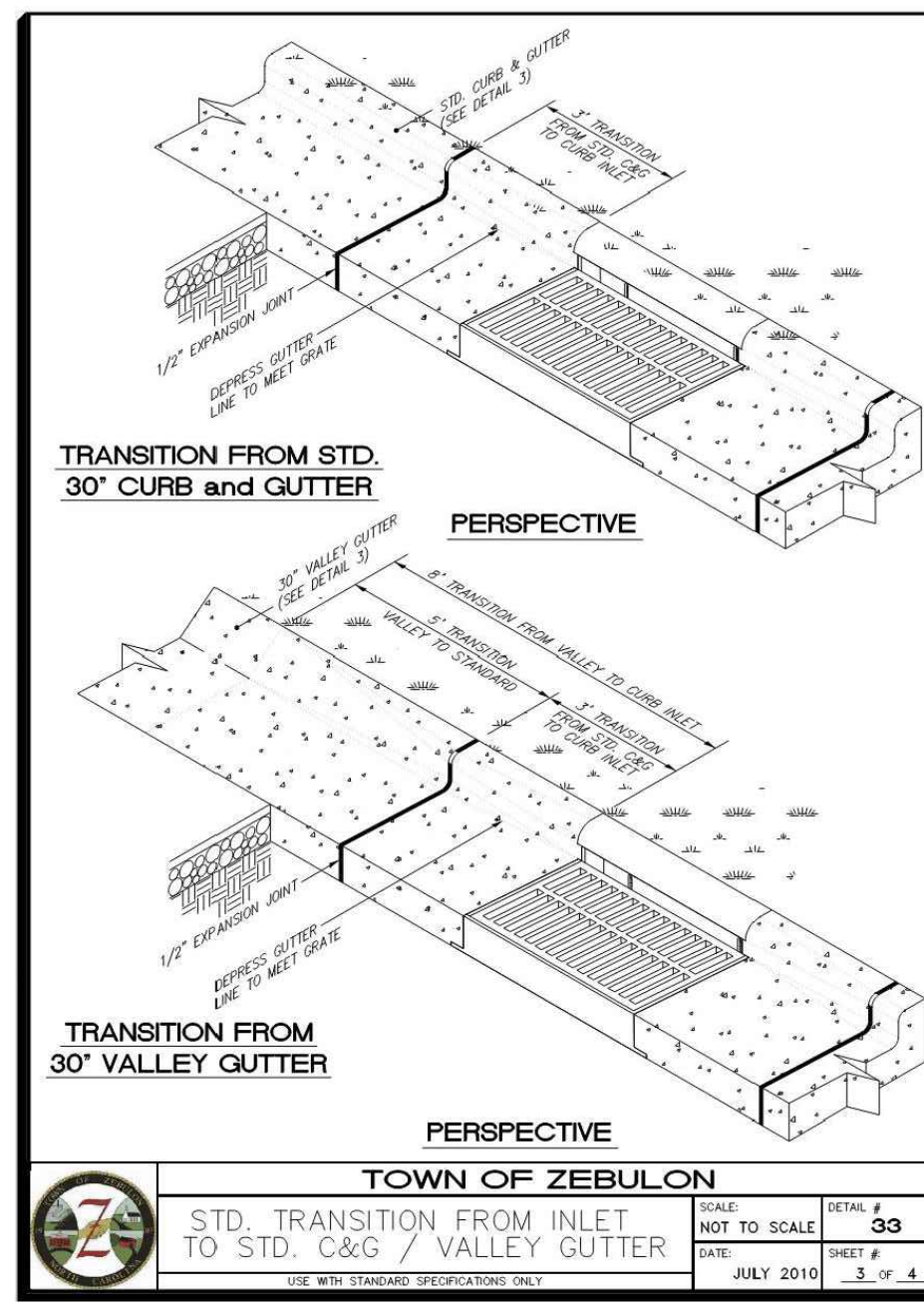
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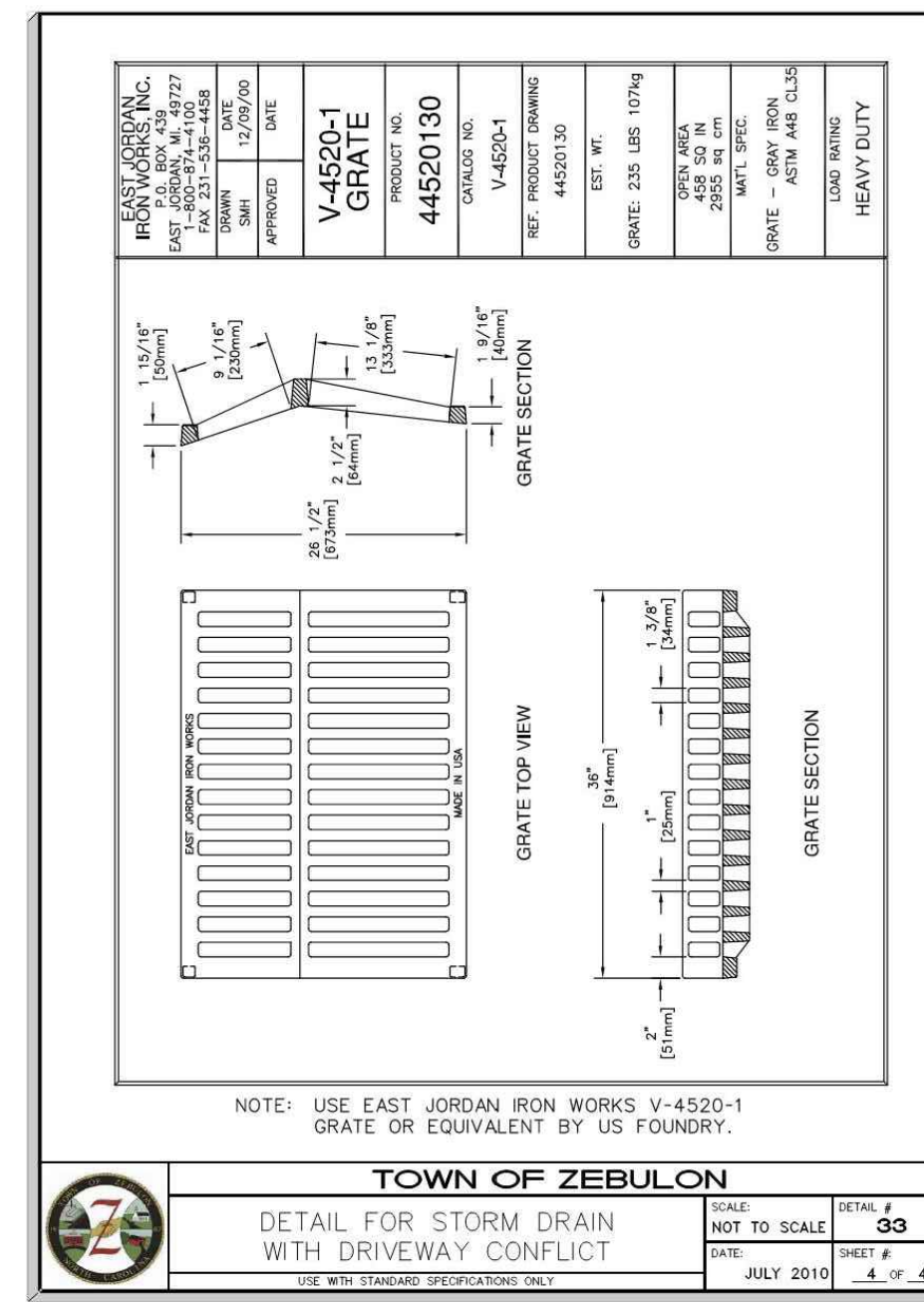
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STD. C&G INLET W/HOOD  
DETAIL  
SCALE: NOT TO SCALE  
DATE: JULY 2010  
SHEET # 33  
DETAIL # 33  
1 OF 4



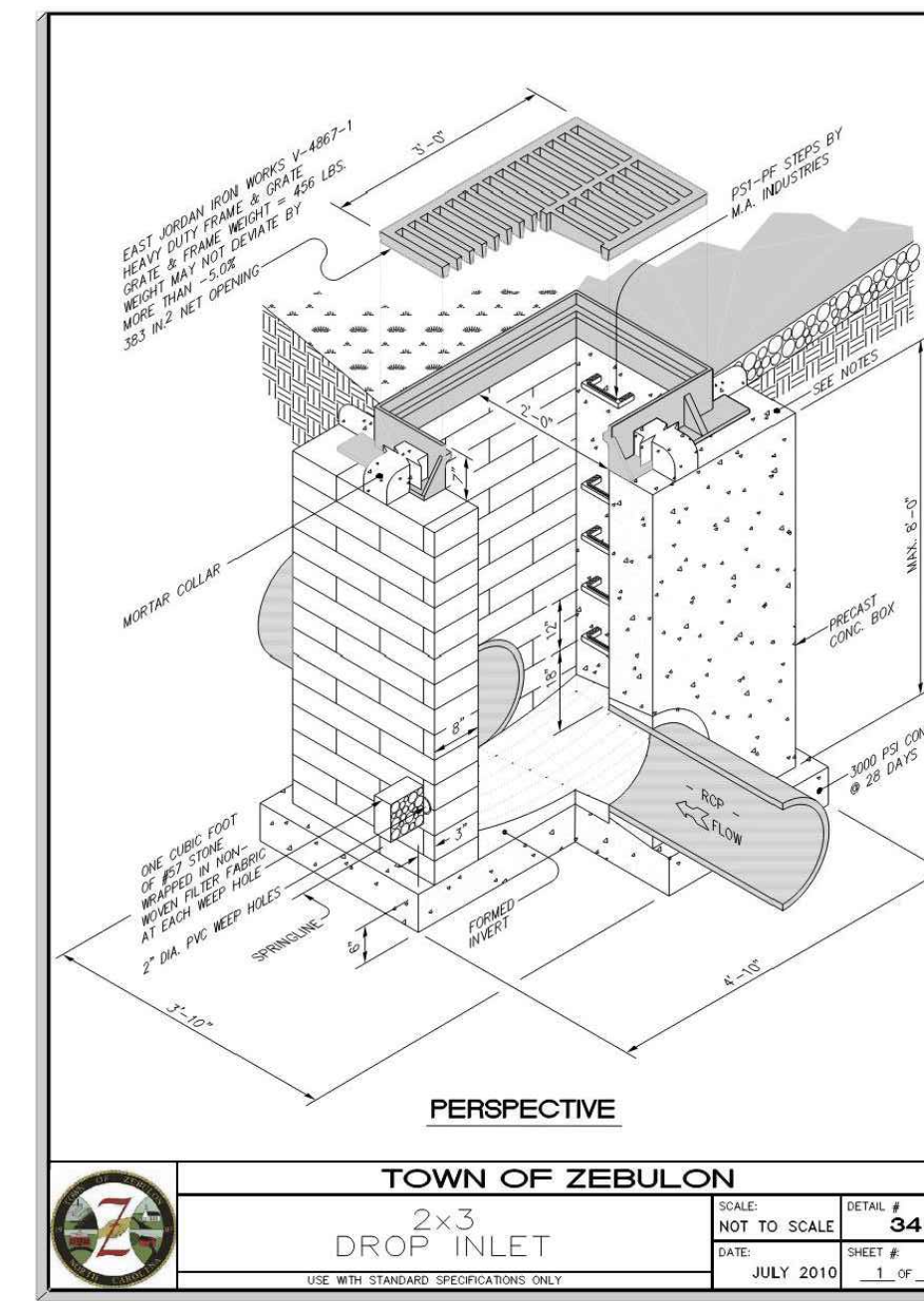
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STD. C&G INLET W/HOOD  
DETAIL  
SCALE: NOT TO SCALE  
DATE: JULY 2010  
SHEET # 33  
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2 OF 4



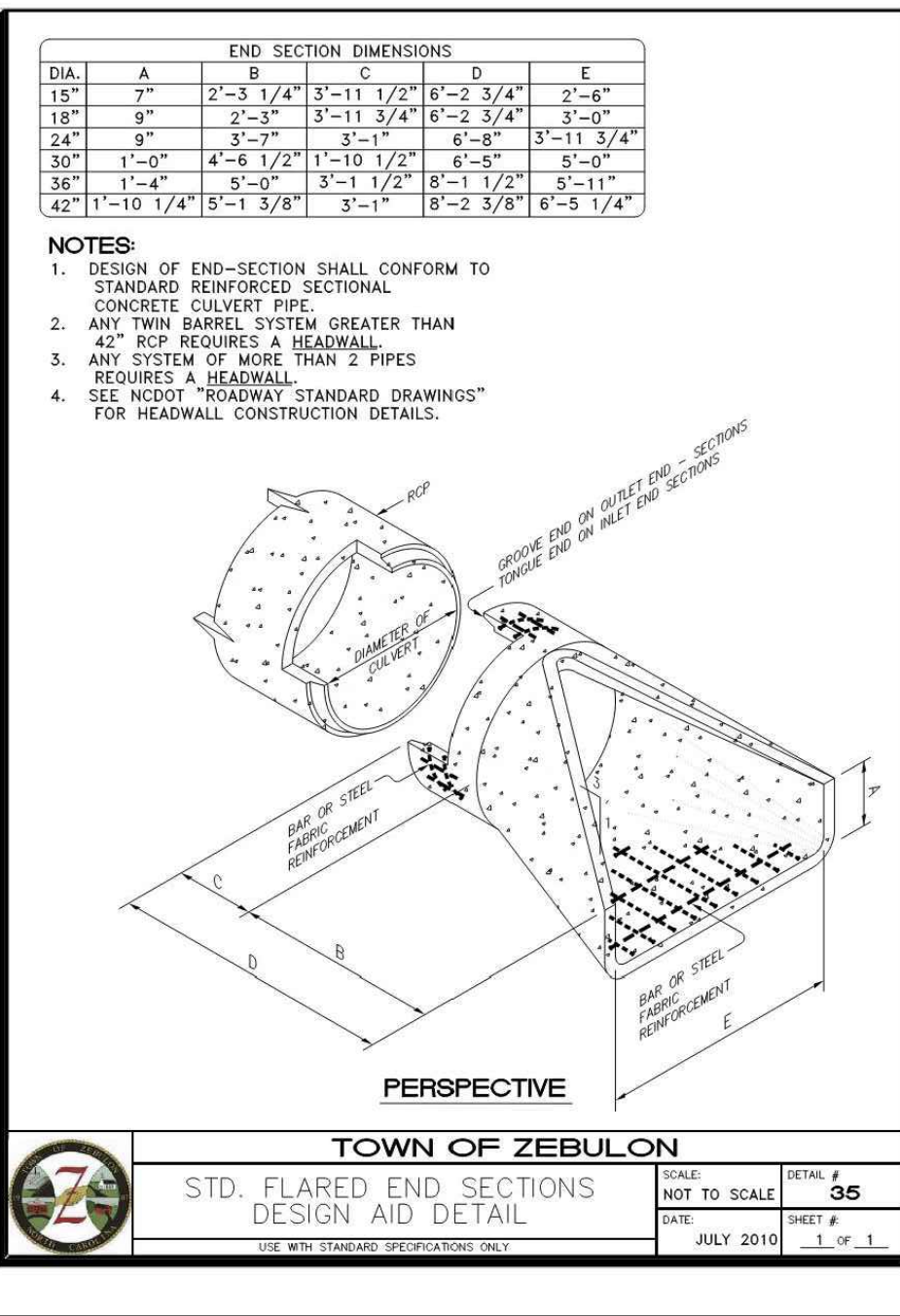
**TOWN OF ZEBULON**  
STD. TRANSITION FROM INLET  
TO STD. C&G VALLEY GUTTER  
SCALE: NOT TO SCALE  
DATE: JULY 2010  
SHEET # 33  
DETAIL # 33  
3 OF 4



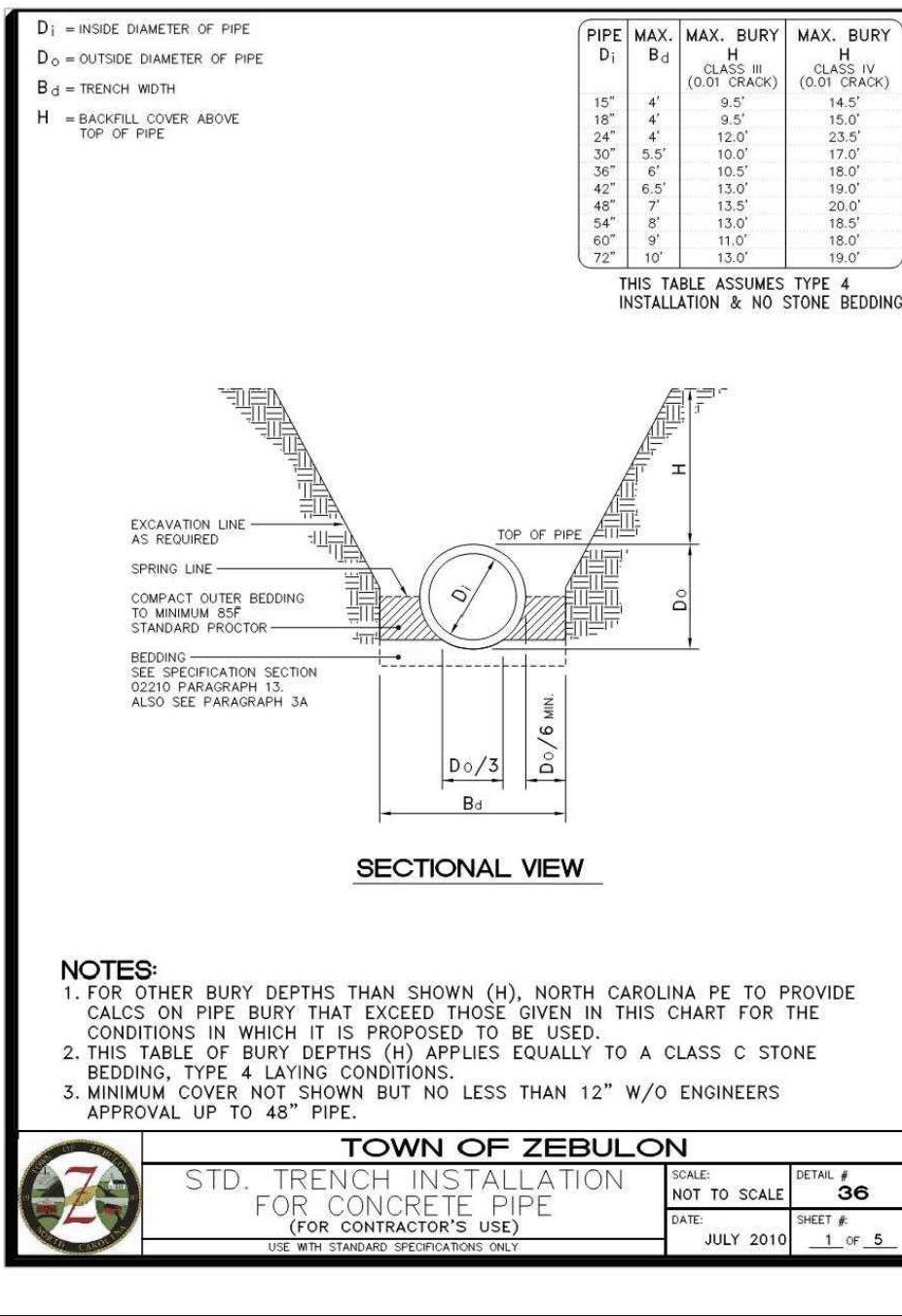
**TOWN OF ZEBULON**  
DETAIL FOR STORM DRAIN  
WITH DRIVEWAY CONFLICT  
SCALE: NOT TO SCALE  
DATE: JULY 2010  
SHEET # 33  
DETAIL # 33  
4 OF 4



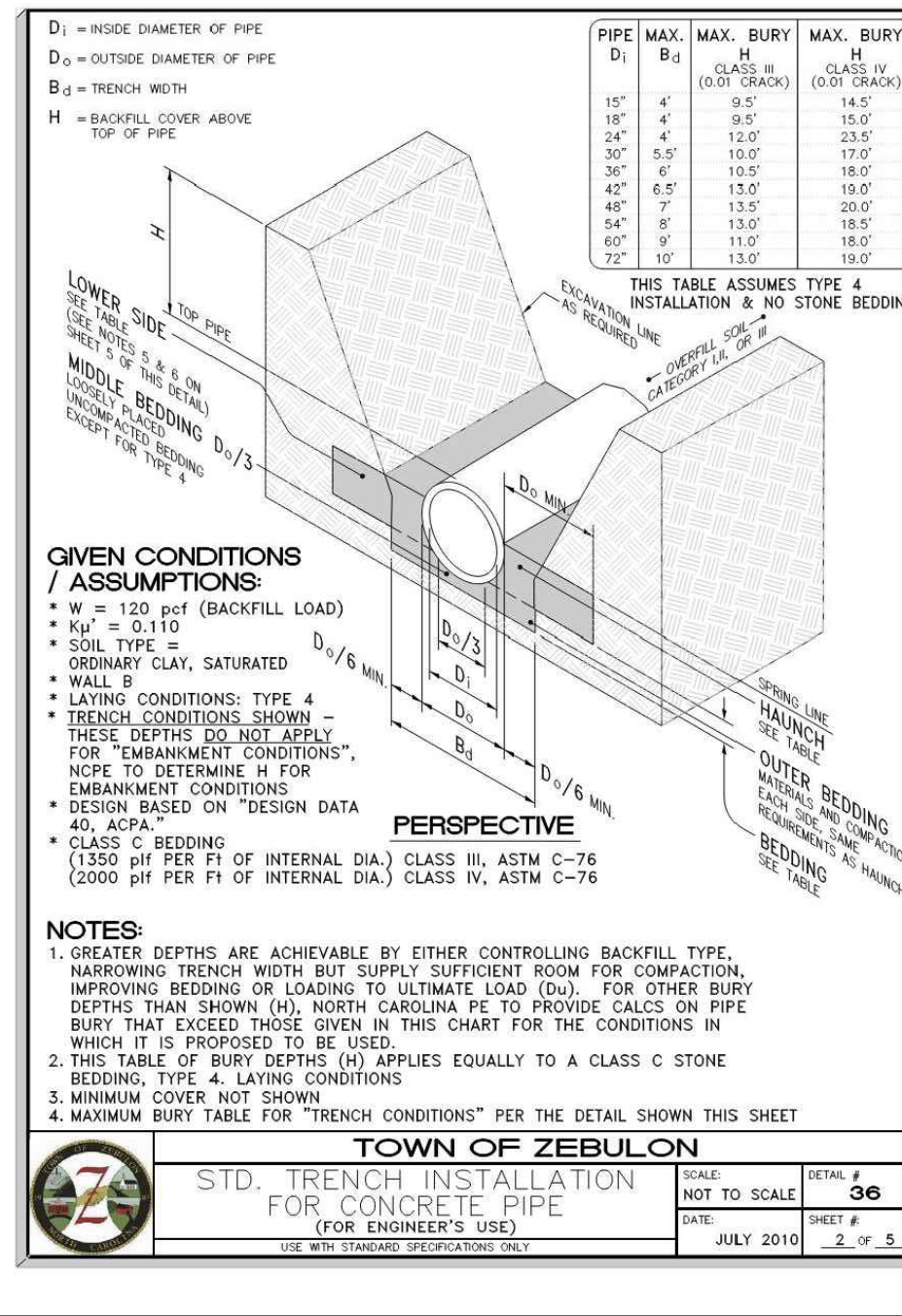
**TOWN OF ZEBULON**  
2x3  
DROP INLET  
SCALE: NOT TO SCALE  
DATE: JULY 2010  
SHEET # 34  
DETAIL # 34  
1 OF 1



**TOWN OF ZEBULON**  
STD. FLARED END SECTIONS  
DESIGN AND DETAIL  
SCALE: NOT TO SCALE  
DATE: JULY 2010  
SHEET # 35  
DETAIL # 35  
1 OF 1



**TOWN OF ZEBULON**  
STD. TRENCH INSTALLATION  
FOR CONCRETE PIPE  
SCALE: NOT TO SCALE  
DATE: JULY 2010  
SHEET # 36  
DETAIL # 36  
1 OF 5



**TOWN OF ZEBULON**  
STD. TRENCH INSTALLATION  
FOR CONCRETE PIPE  
SCALE: NOT TO SCALE  
DATE: JULY 2010  
SHEET # 36  
DETAIL # 36  
2 OF 5

**Table 1 Equivalent USCS and AASHTO Soil Classification for SDD Soil Designations**

SDD Soil	Representative Soil Types		Percent Compaction	
	USCS	AASHTO	Standard Proctor	Modified Proctor
Gravelly Sand (Category 1)	SM, SP, SW, GP	A1-A3	100	95
			85	80
			80	75
Sandy Soil (Category 2)	SM, SP, SW, GP, SC, SS	A2-A4	100	95
			85	80
			80	75
Silty Soil (Category 3)	CL, ML, SC, SS	A5-A6	100	90
			85	80
			80	75
OH			100	90
			85	80
			80	75

**TOWN OF ZEBULON**  
STD. TRENCH INSTALLATION  
(TRENCH CONDITION SHOWN)  
SCALE: NOT TO SCALE  
DATE: JULY 2010  
SHEET # 36  
DETAIL # 36  
3 OF 5

**Table 2 Standard Embankment Installation Soils and Minimum Compaction Requirements**

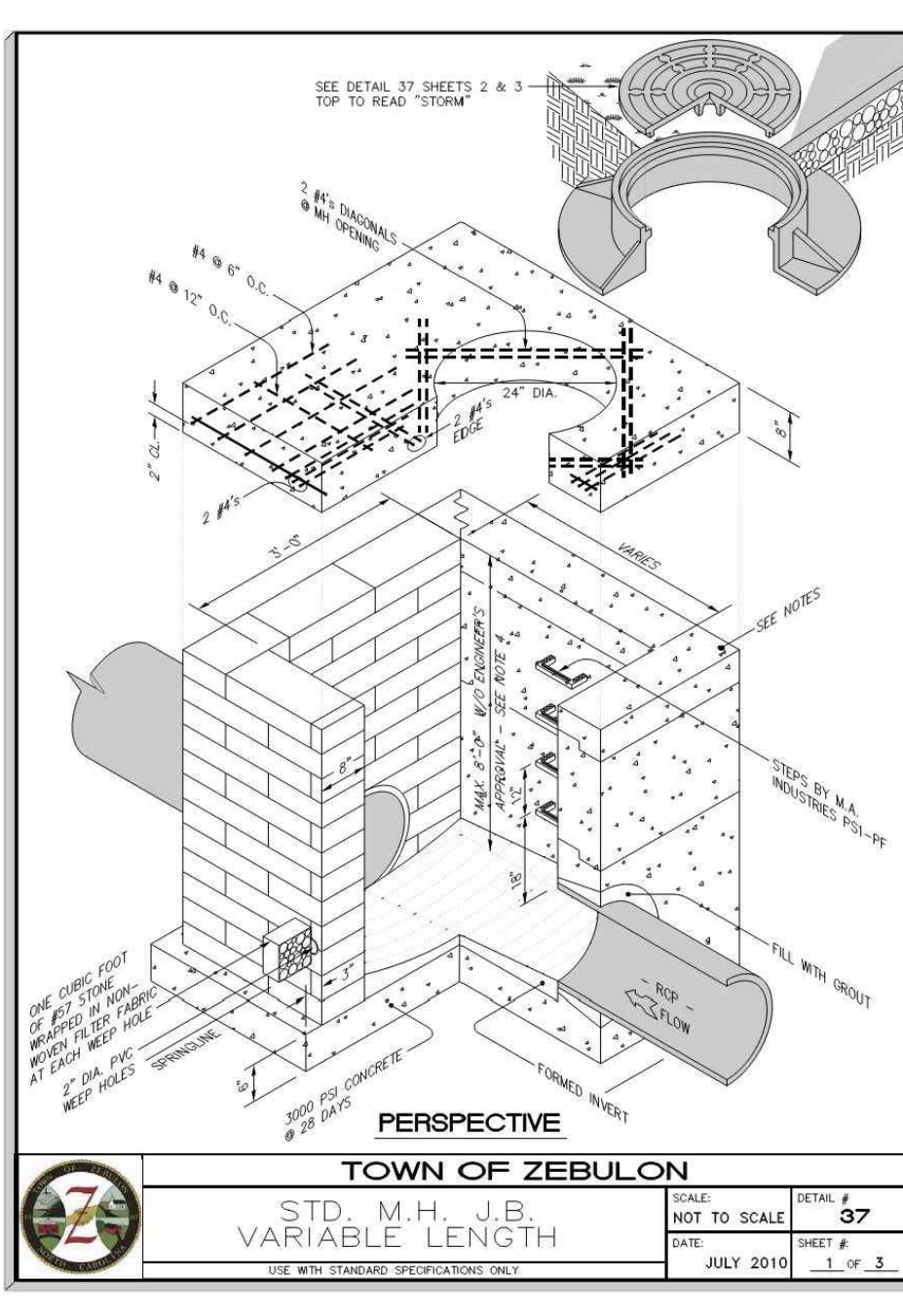
Installation Type	Bedding	Haunch and Outer Bedding	Lower Side
Type 1	D <sub>15</sub> /24 minimum, not less than 75 mm (3") if rock foundation, use D <sub>15</sub> /12 minimum, not less than 150 mm (6")	98% Category I	98% Category I, 98% Category II, 100% Category III
Type 2	D <sub>15</sub> /24 minimum, not less than 75 mm (3") if rock foundation, use D <sub>15</sub> /12 minimum, not less than 150 mm (6")	98% Category I or 95% Category II	98% Category I, 98% Category II, 95% Category III
Type 3	D <sub>15</sub> /24 minimum, not less than 75 mm (3") if rock foundation, use D <sub>15</sub> /12 minimum, not less than 150 mm (6")	98% Category I or 95% Category II	98% Category I, 98% Category II, 95% Category III
Type 4	D <sub>15</sub> /24 minimum, not less than 75 mm (3") if rock foundation, use D <sub>15</sub> /12 minimum, not less than 150 mm (6")	No compaction required, except if using BSE use BSE Category II	No compaction required, except if using BSE use BSE Category II

**TOWN OF ZEBULON**  
STD. TRENCH INSTALLATION  
(TRENCH CONDITION SHOWN)  
SCALE: NOT TO SCALE  
DATE: JULY 2010  
SHEET # 36  
DETAIL # 36  
4 OF 5

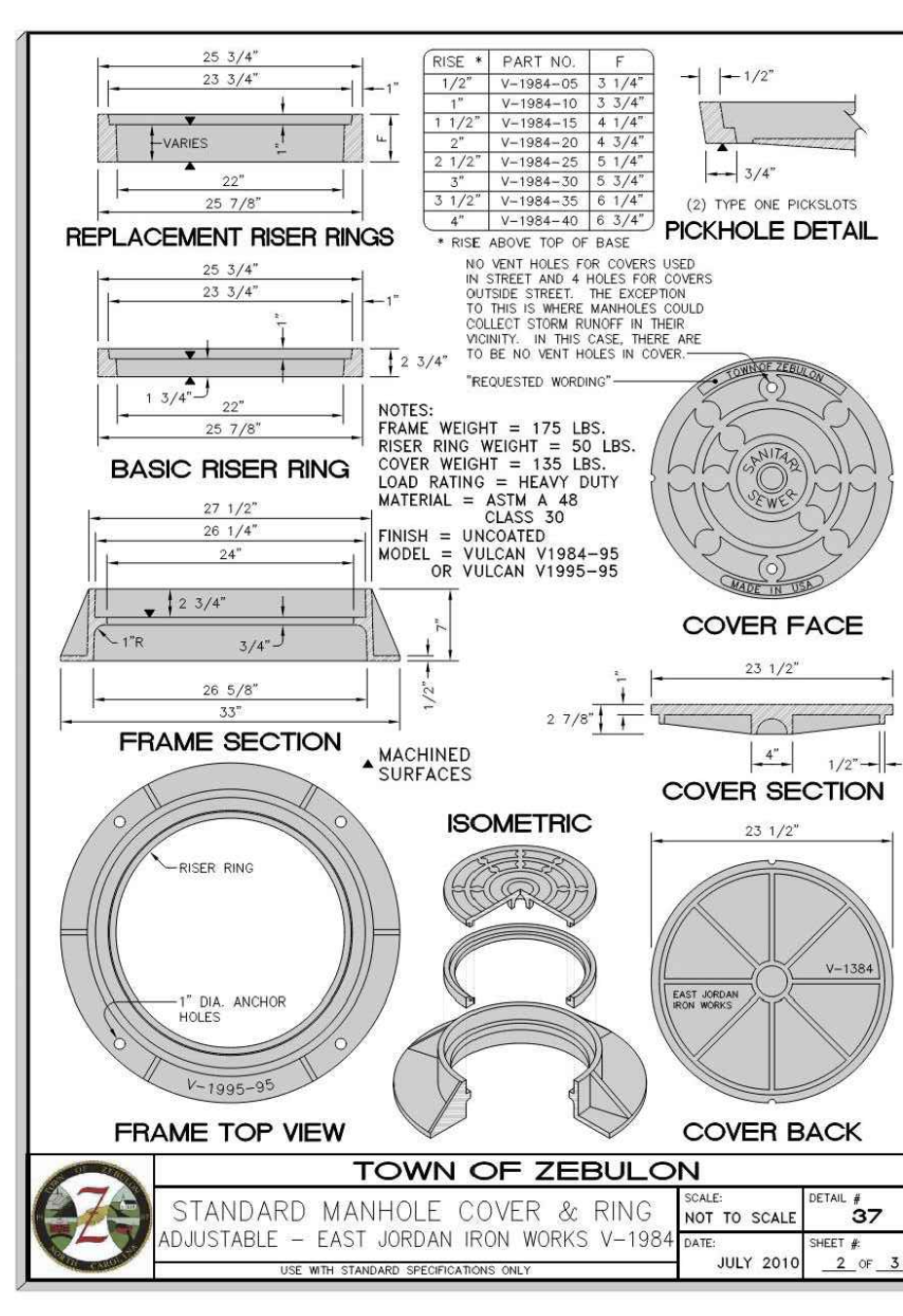
**Table 3 Standard Trench Installations Soils and Minimum Compaction Requirements**

Installation Type	Bedding	Haunch	Outer Bedding	Lower Side
Type 1	D <sub>15</sub> /24 minimum, not less than 75 mm (3") if rock foundation, use D <sub>15</sub> /12 minimum, not less than 150 mm (6")	98% Category I	98% Category I, 98% Category II, 100% Category III	
Type 2	D <sub>15</sub> /24 minimum, not less than 75 mm (3") if rock foundation, use D <sub>15</sub> /12 minimum, not less than 150 mm (6")	98% Category I or 95% Category II	98% Category I, 98% Category II, 95% Category III	
Type 3	D <sub>15</sub> /24 minimum, not less than 75 mm (3") if rock foundation, use D <sub>15</sub> /12 minimum, not less than 150 mm (6")	98% Category I or 95% Category II	98% Category I, 98% Category II, 95% Category III	
Type 4	D <sub>15</sub> /24 minimum, not less than 75 mm (3") if rock foundation, use D <sub>15</sub> /12 minimum, not less than 150 mm (6")	No compaction required, except if using BSE use BSE Category II	No compaction required, except if using BSE use BSE Category II	

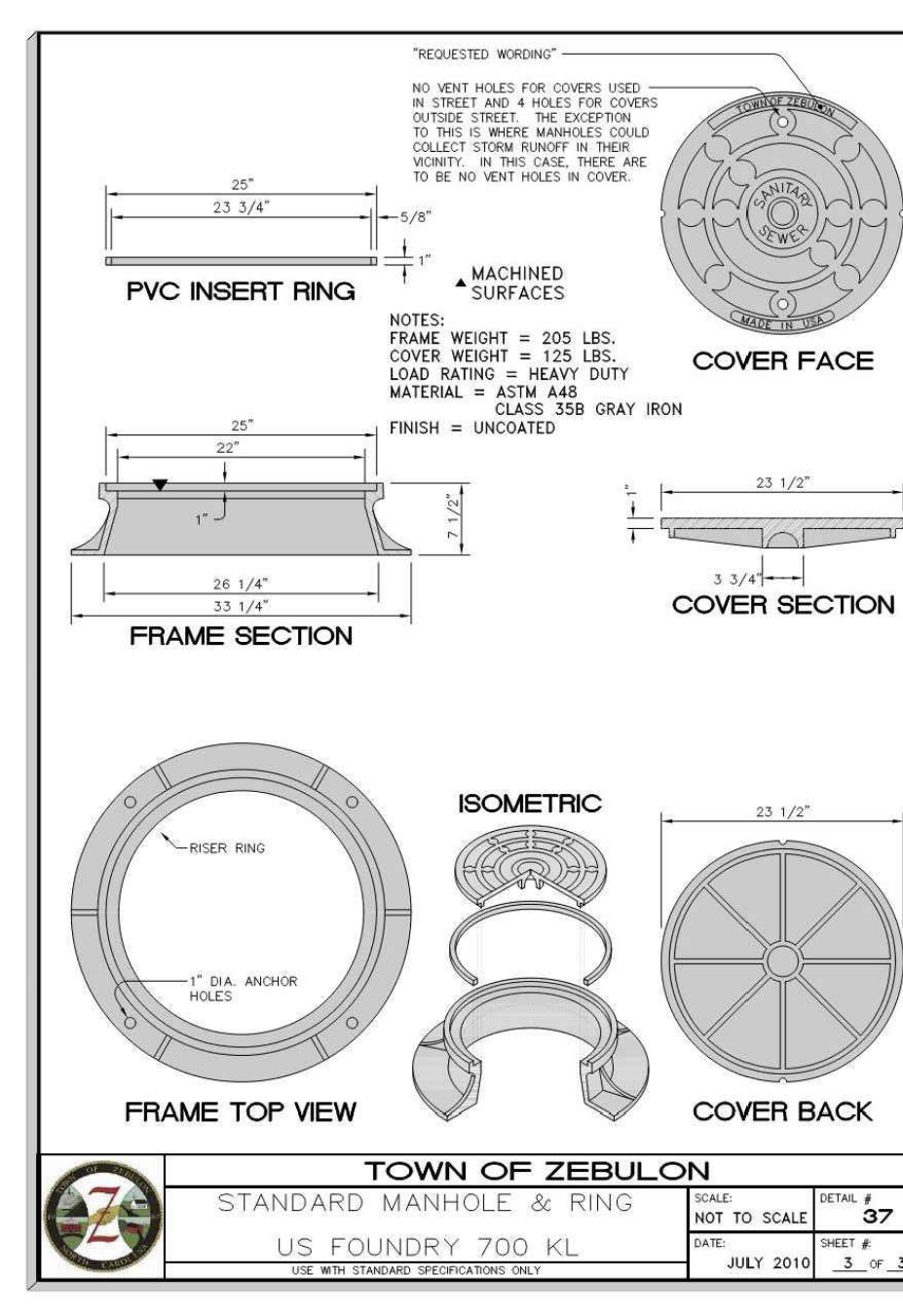
**TOWN OF ZEBULON**  
STD. TRENCH INSTALLATION  
(TRENCH CONDITION SHOWN)  
SCALE: NOT TO SCALE  
DATE: JULY 2010  
SHEET # 36  
DETAIL # 36  
5 OF 5



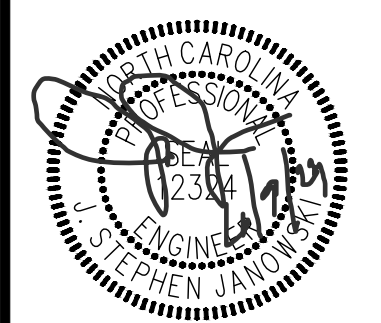
**TOWN OF ZEBULON**  
STD. M.H. J.B.  
VARIABLE LENGTH  
SCALE: NOT TO SCALE  
DATE: JULY 2010  
SHEET # 37  
DETAIL # 37  
1 OF 3



**TOWN OF ZEBULON**  
STANDARD MANHOLE COVER & RING  
ADJUSTABLE - EAST JORDAN IRON WORKS V-1984  
SCALE: NOT TO SCALE  
DATE: JULY 2010  
SHEET # 37  
DETAIL # 37  
2 OF 3



**TOWN OF ZEBULON**  
STANDARD MANHOLE & RING  
US FOUNDRY 700 KL  
SCALE: NOT TO SCALE  
DATE: JULY 2010  
SHEET # 37  
DETAIL # 37  
3 OF 3



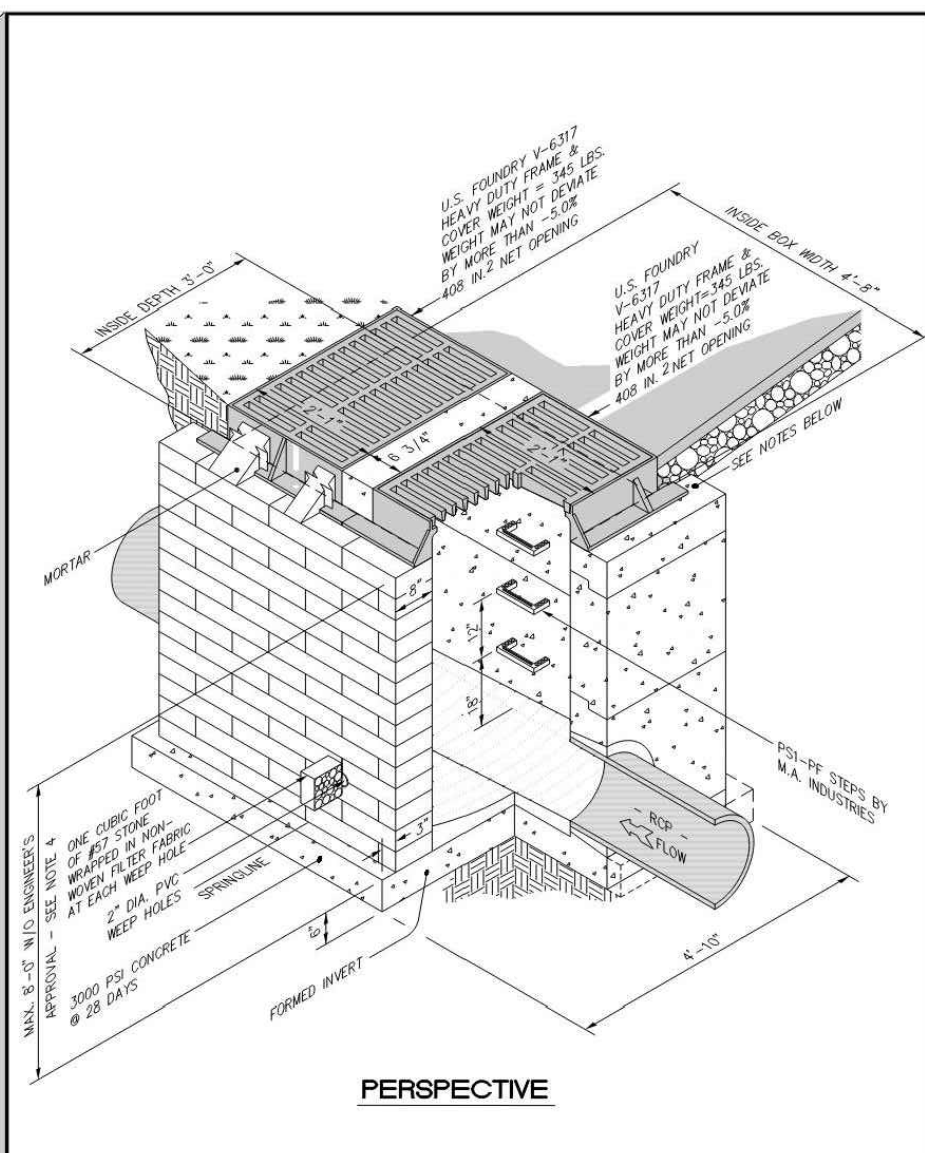
**REVISIONS:**

NO.	DESCRIPTION	DATE	BY
06/01/23	CONSTRUCTION DRAWINGS SUBMITTAL		

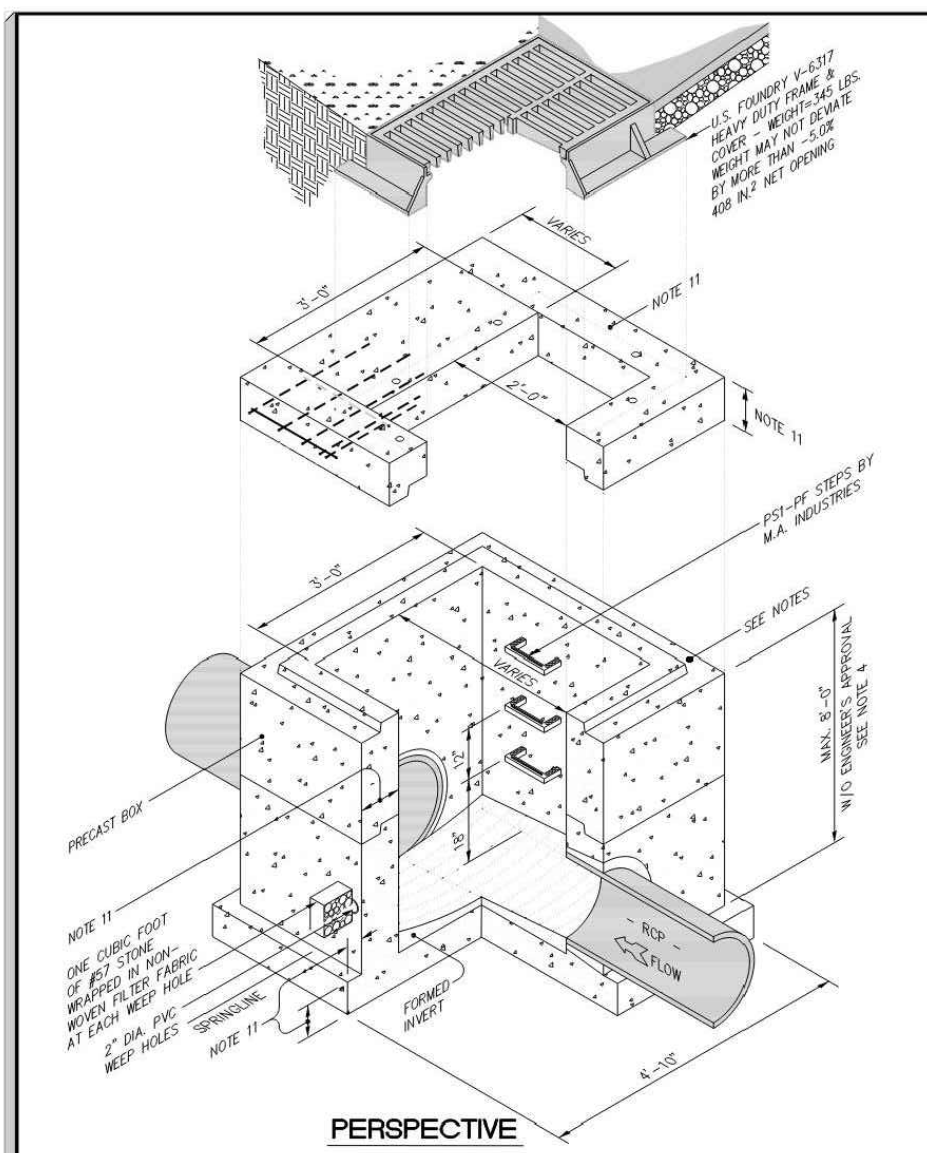
DATE: 06/08/2023

DESIGNED BY: DBB/MS  
DRAWN BY: MS  
CHECKED BY: DBB  
PROJECT NO: 2023018  
DRAWING NO: W-4081  
SCALE: AS SHOWN  
SHEET NO.

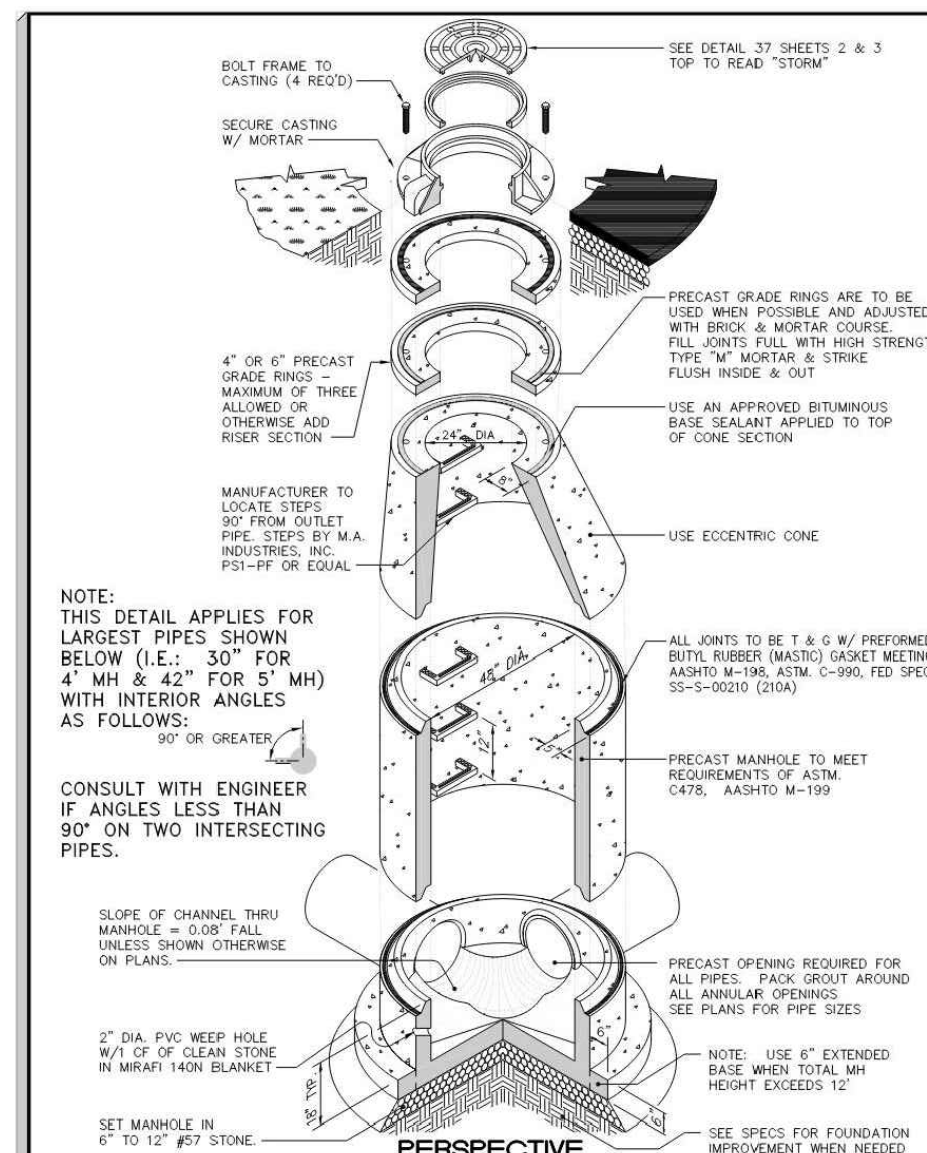
NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH TOWN OF GRIFTON, NCDOT & NCEQ RELEASED FOR SITE PLAN REVIEW ONLY. NOT FOR CONSTRUCTION.



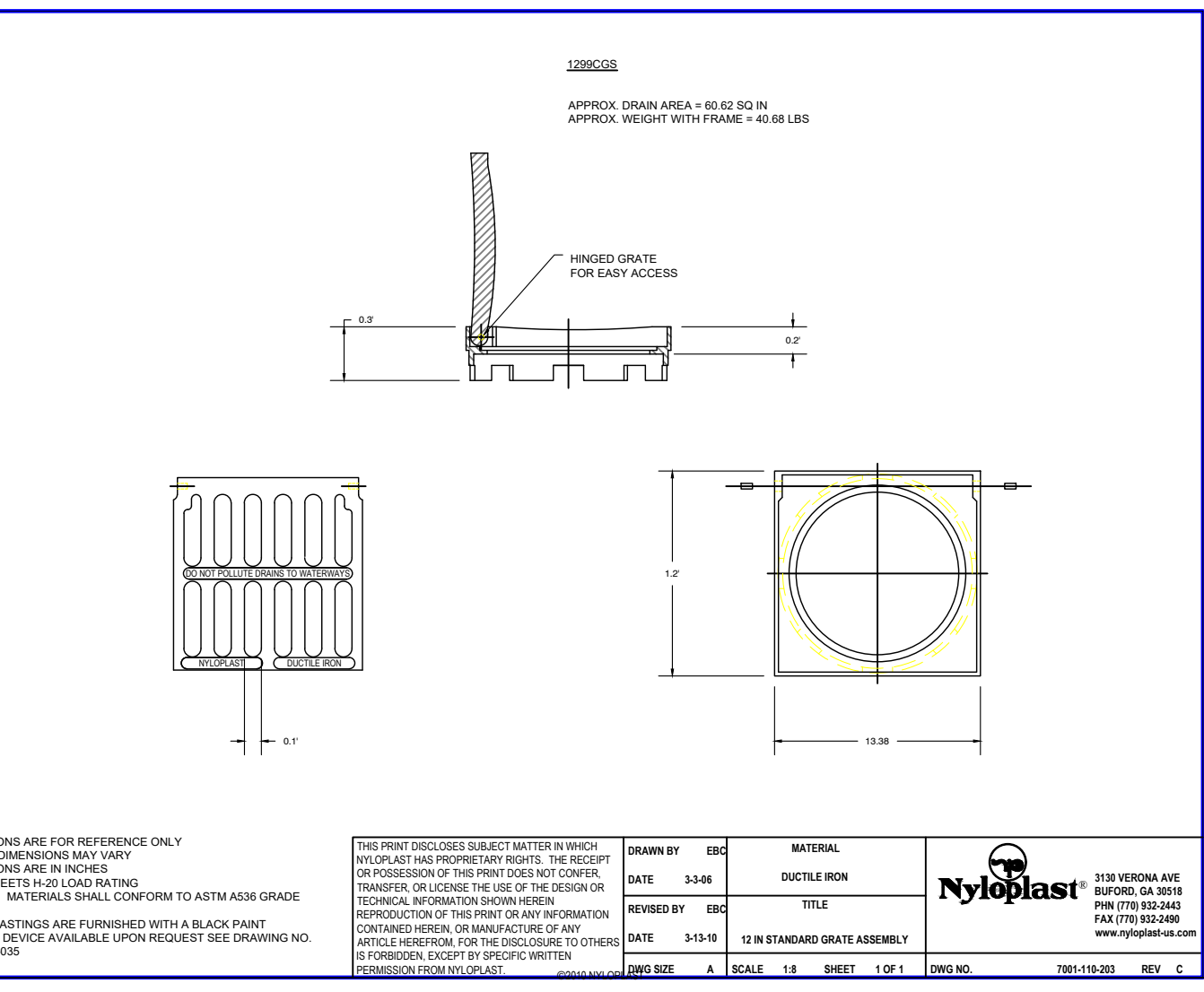
**TOWN OF ZEBULON**  
 STD. MULTIPLE 2' x 3' CATCH BASIN DETAIL  
 SCALE: NOT TO SCALE  
 DATE: JULY 2010  
 SHEET # 38  
 DETAIL # 1 OF 1



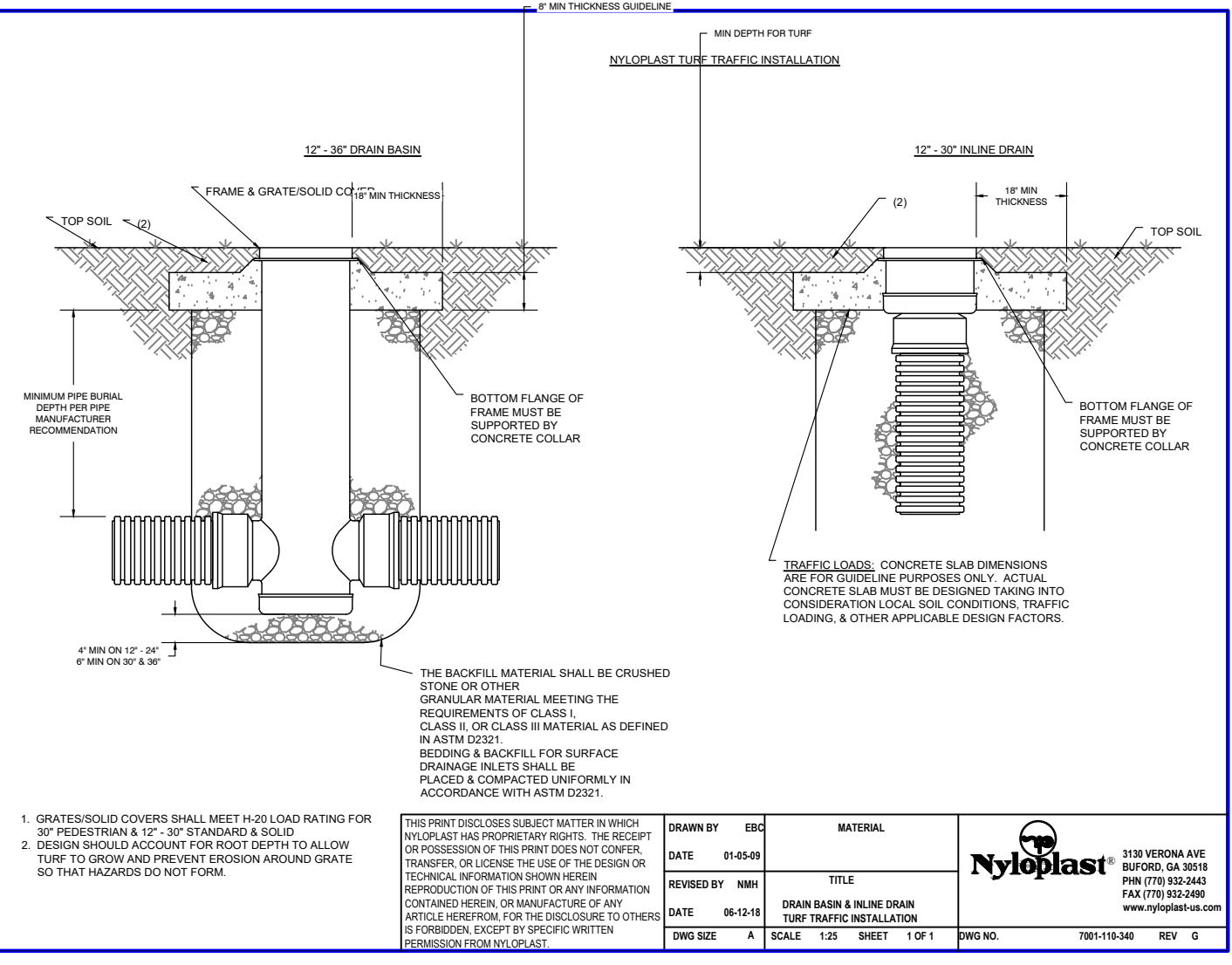
**TOWN OF ZEBULON**  
 STD. 3' x VARIABLE LENGTH PRECAST BOX WITH 2' x 3' C.B.  
 SCALE: NOT TO SCALE  
 DATE: JULY 2010  
 SHEET # 39  
 DETAIL # 2 OF 2



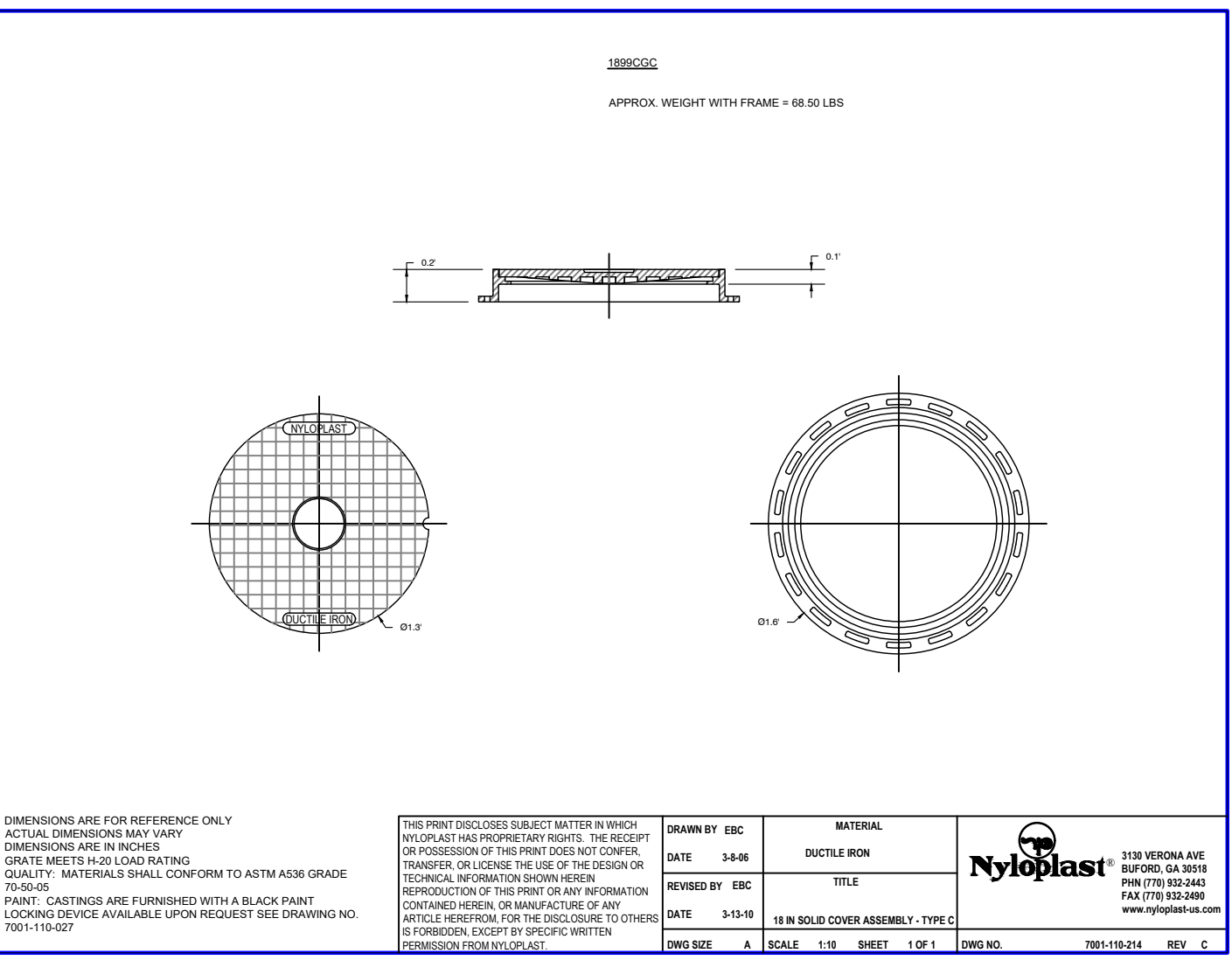
**TOWN OF ZEBULON**  
 PRECAST CONCRETE 4' DIA. MH JB  
 SCALE: NOT TO SCALE  
 DATE: JULY 2010  
 SHEET # 40  
 DETAIL # 1 OF 1



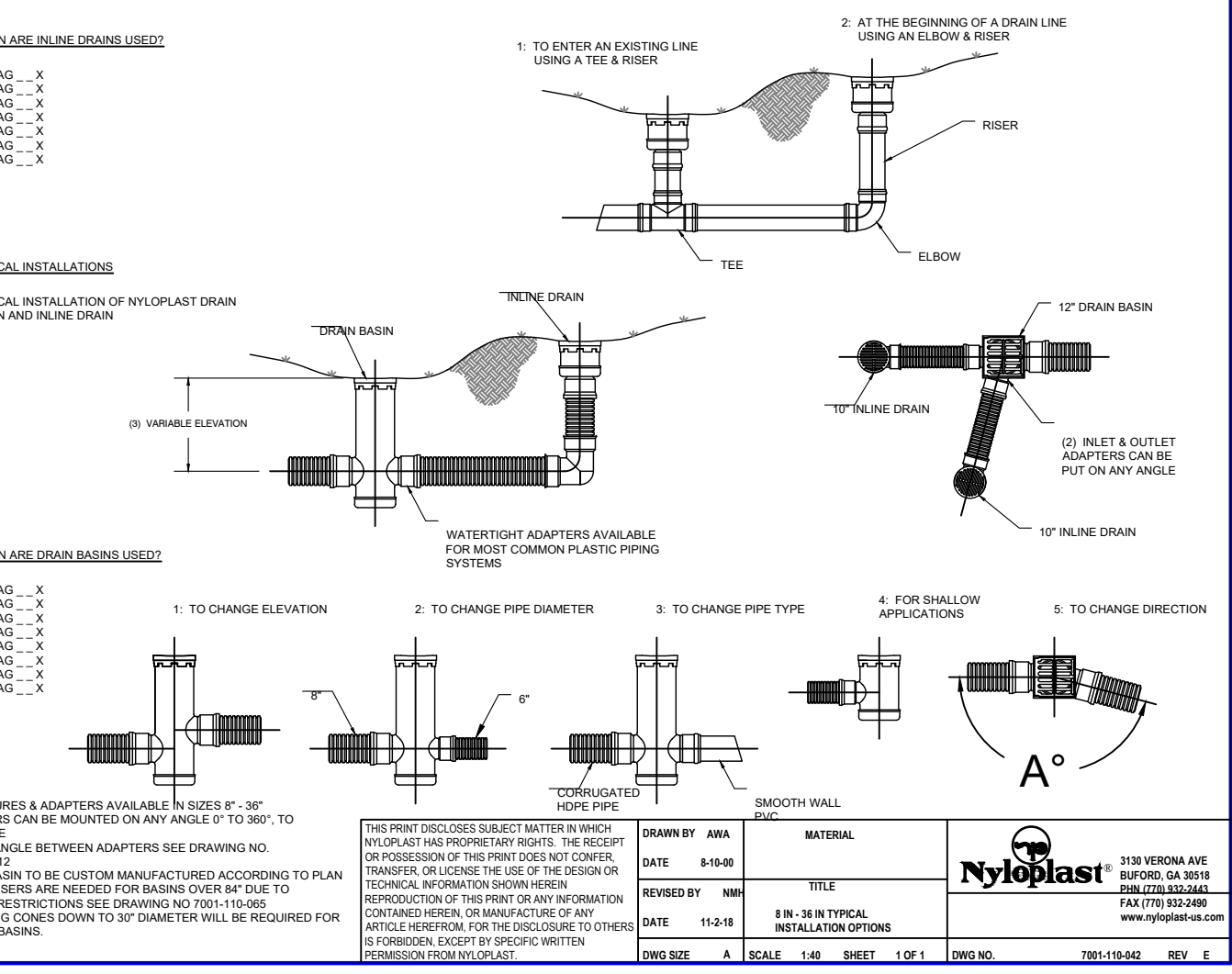
**220000**  
 APPROX. DRAIN AREA = 60 SQ. FT.  
 APPROX. WEIGHT WITH FRAME = 40 LB.  
 DIMENSIONS ARE FOR REFERENCE ONLY. ACTUAL DIMENSIONS MAY VARY. MATERIALS SHALL CONFORM TO ASTM A53 GRADE 70. CASTINGS ARE FURNISHED WITH A BLACK PAINT. LOCKING DEVICE AVAILABLE UPON REQUEST. SEE DRAWING NO. 7001-110-035.



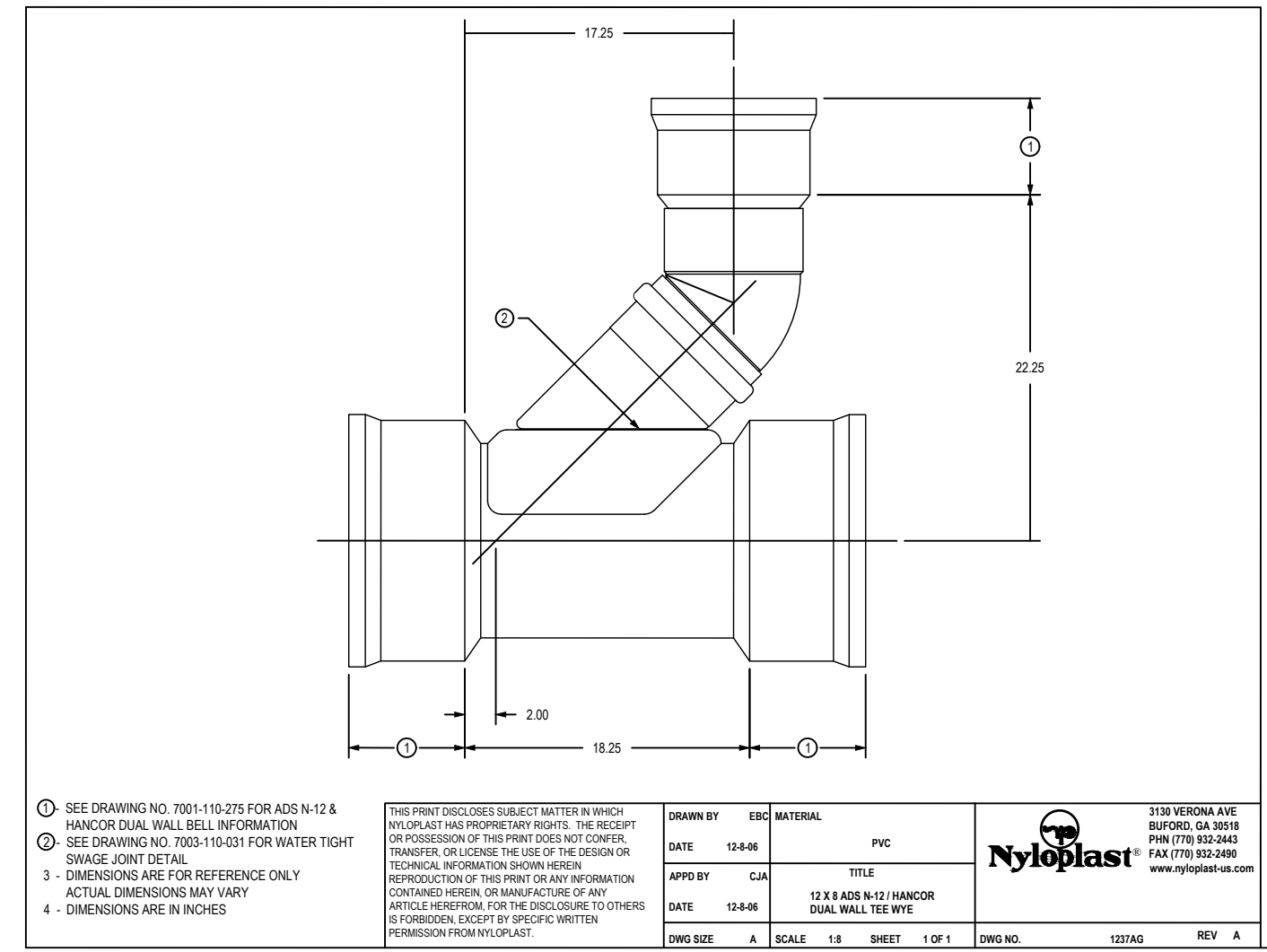
**27' x 30' DRAIN BASIN**  
 DIMENSIONS ARE FOR REFERENCE ONLY. ACTUAL DIMENSIONS MAY VARY. MATERIALS SHALL CONFORM TO ASTM A53 GRADE 70. CASTINGS ARE FURNISHED WITH A BLACK PAINT. LOCKING DEVICE AVAILABLE UPON REQUEST. SEE DRAWING NO. 7001-110-035.



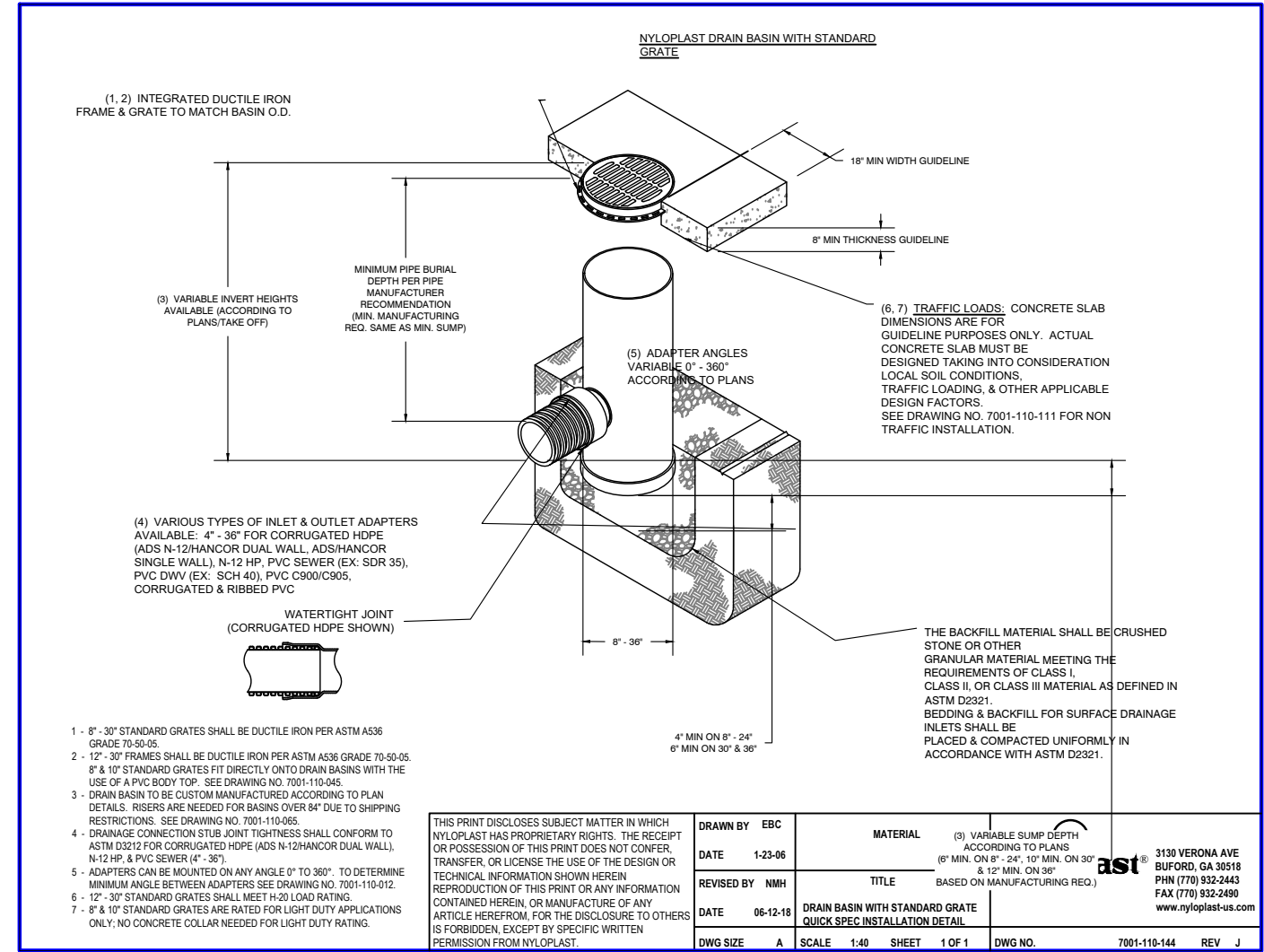
**120000**  
 APPROX. HEIGHT WITH FRAME = 68.50 LBS.  
 DIMENSIONS ARE FOR REFERENCE ONLY. ACTUAL DIMENSIONS MAY VARY. MATERIALS SHALL CONFORM TO ASTM A53 GRADE 70. CASTINGS ARE FURNISHED WITH A BLACK PAINT. LOCKING DEVICE AVAILABLE UPON REQUEST. SEE DRAWING NO. 7001-110-035.



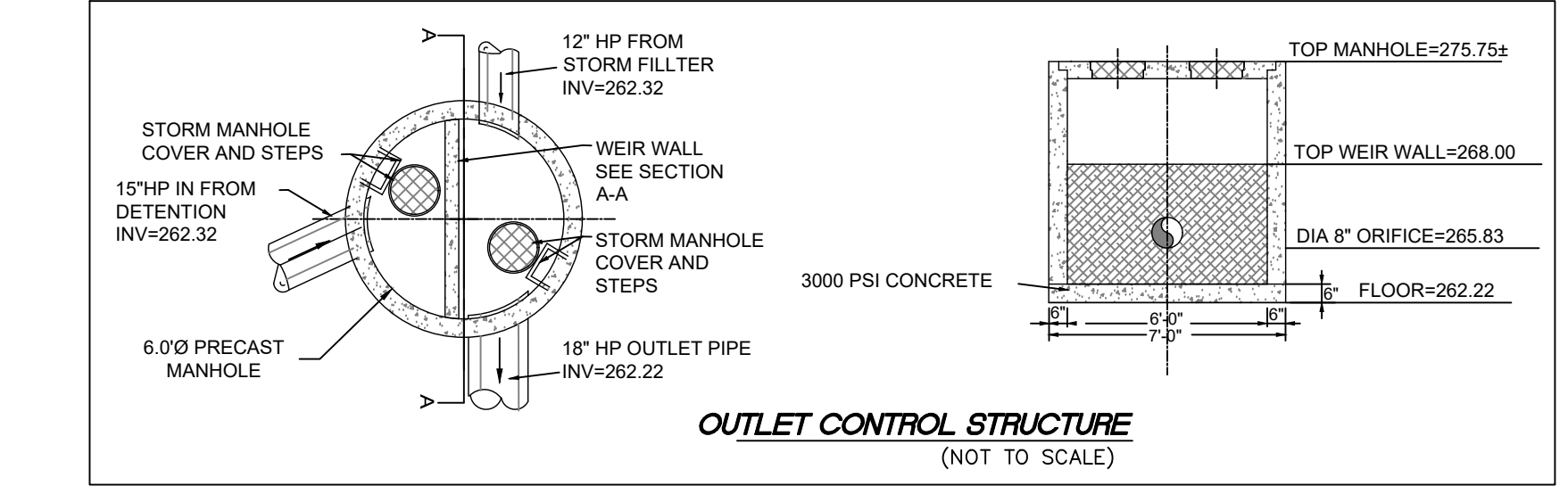
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**120000**  
 DIMENSIONS ARE FOR REFERENCE ONLY. ACTUAL DIMENSIONS MAY VARY. MATERIALS SHALL CONFORM TO ASTM A53 GRADE 70. CASTINGS ARE FURNISHED WITH A BLACK PAINT. LOCKING DEVICE AVAILABLE UPON REQUEST. SEE DRAWING NO. 7001-110-035.



**120000**  
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**OUTLET CONTROL STRUCTURE**  
 (NOT TO SCALE)



**REVISIONS:**

NO.	DATE	BY	DESCRIPTION
06/01/23			CONSTRUCTION DRAWINGS SUBMITTAL

**CONSTRUCTION DRAWINGS**  
**DOMINO'S ZEBULON**  
 TOWN OF ZEBULON - WAKE COUNTY - NORTH CAROLINA  
**STORM DETAILS**

DATE: 06/08/2023

DESIGNED BY: DBB/MS  
 DRAWN BY: MS  
 CHECKED BY: DBB  
 PROJECT NO: 2023018  
 DRAWING NO: W-4081  
 SCALE: AS SHOWN  
 SHEET NO.

NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH TOWN OF GRIFTON, NCDOT & NCEQ. RELEASED FOR SITE PLAN REVIEW ONLY. NOT FOR CONSTRUCTION.



PLANT SCHEDULE						
LARGE TREES	CODE	BOTANICAL / COMMON NAME	CONTAINER	CALIPER	SIZE	QTY
	NS	Nyssa Sylvatica / Black Gum	B & B	3" CAL.	14' - 16' HT.	3
	QN	Quercus nuttallii / Nutall Oak	B & B	3" CAL.	14' - 16' HT.	6
SMALL TREES	CODE	BOTANICAL / COMMON NAME	CONTAINER	CALIPER	SIZE	QTY
	CC	Carpinus Caroliniana / American Hornbeam	B & B	2" CAL.	12' - 14' HT.	4
	MV	Magnolia virginiana / Sweet Bay	B & B	2" CAL.	12' - 14' HT.	11
SHRUBS	CODE	BOTANICAL / COMMON NAME	CONTAINER	SPACING	SIZE	QTY
	HM	Hydrangea macrophylla 'All Summer Beauty' / Bigleaf Hydrangea	3 gal	3' O.C.	18" MIN.	15
	IG	Ilex glabra 'Gem Box' / Inkberry Holly 'Gem Box'	3 gal	3' O.C.	18" MIN.	75
	IV	Itea virginica / Virginia Sweetpire	3 gal	3' O.C.	18" MIN.	26
	TO	Thuja occidentalis 'Congabe' / Fire Chief™ Arborvitae	3 gal	3' O.C.	18" MIN.	22

**LANDSCAPE CALCULATIONS**

**PARKING LOT:**  
 REQUIRED - CANOPY TREE / 12 OFF-STREET PARKING SPACES  
 22 PARKING SPACES = 2 CANOPY TREE REQUIRED  
 PROPOSED - 2 CANOPY TREES, ALL PARKING SPACES WITHIN 50' OF A CANOPY TREE TRUNK LOCATION

**INTERIOR PLANTINGS:**  
 REQUIRED - 3 SHRUBS / PARKING LOT ISLAND WHERE CANOPY TREE IS NOT PROVIDED  
 PROPOSED - N/A

**PERIMETER PLANTINGS:**  
 REQUIRED - SINGLE CONTINUOUS ROW OF EVERGREEN SHRUBS (MAX. 3' O.C.) ADJACENT TO PARKING LOT PERIMETER, WITHIN 5' OF PARKING LOT EDGE. PERIMETER PLANTINGS NOT REQUIRED ALONG COMMON BOUNDARY BETWEEN PARKING LOTS.  
 PROPOSED - EVERGREEN SHRUB ROW ADJACENT TO PARKING LOT AT NORTHEAST AND NORTHWEST, SOUTHEAST AND SOUTHWEST PARKING LOT SHARES COMMON BOUNDARY WITH ADJACENT PARKING LOTS.  
 48 TOTAL EVERGREEN SHRUBS PROVIDED.

**PERIMETER BUFFERS:**  
 REQUIRED - PERIMETER BUFFER PLANTINGS ALONG ADJACENT LOTS. SITE ZONING = HC  
 REAR LOT - ZONE HC = TYPE 'A' BUFFER 'SEPARATION' (188 LF WITHOUT DRIVEWAY WIDTH)  
 NO CANOPY TREES REQUIRED  
 1 UNDERSTORY TREE / 100 LF, 188 LF = 8 TREES REQUIRED  
 15 SHRUBS / 100 LF, 188 LF = 29 SHRUBS REQUIRED  
 SIDE LOT - ZONE HC = TYPE 'A' BUFFER 'SEPARATION' (162 LF WITHOUT DRIVEWAY WIDTH)  
 NO CANOPY TREES REQUIRED  
 1 UNDERSTORY TREE / 100 LF, 162 LF = 7 TREES REQUIRED  
 15 SHRUBS / 100 LF, 162 LF = 25 SHRUBS REQUIRED

**PROPOSED - REAR LOT - TYPE 'A' BUFFER**  
 8 SMALL TREES PROVIDED, 29 SHRUBS PROVIDED  
**SIDE LOT - TYPE 'A' BUFFER**  
 7 SMALL TREES PROVIDED, 25 SHRUBS PROVIDED.

**FOUNDATION:**  
 REQUIRED - EVERGREEN SHRUBS OR DECORATIVE GRASSES (MIN. 18") LOCATED WITHIN 10' OF BUILDING FOUNDATION WALL VISIBLE FROM PUBLIC STREET.  
 1 CANOPY TREE / 2,000 SF OF LOT AREA FOR FIRST 20,000 SF OF LOT. 0.91 AC = +/- 39640 SF, 10 TREES REQUIRED.  
 PROPOSED - 18 SHRUBS PROVIDED AT FOUNDATION FACING HENDRICKS DRIVE.  
 9 NEW CANOPY TREES PROVIDED, 1 EXISTING TREE

**STREET BUFFERS:**  
 REQUIRED - NONE (LOT LINE NOT BOUNDED BY ANY COLLECTOR OR ARTERIAL STREETS.)

**NOTES:**

1. ALL UNPAVED AREAS OF THE SITE WILL BE COVERED WITH HYBRID TURF TYPE TALL FESCUE SOD OR AGED TRIPLE SHREDDED HARDWOOD MULCH (3" - 4" DEPTH) IN A TYPICAL FASHION FOR THIS TYPE OF PROJECT.

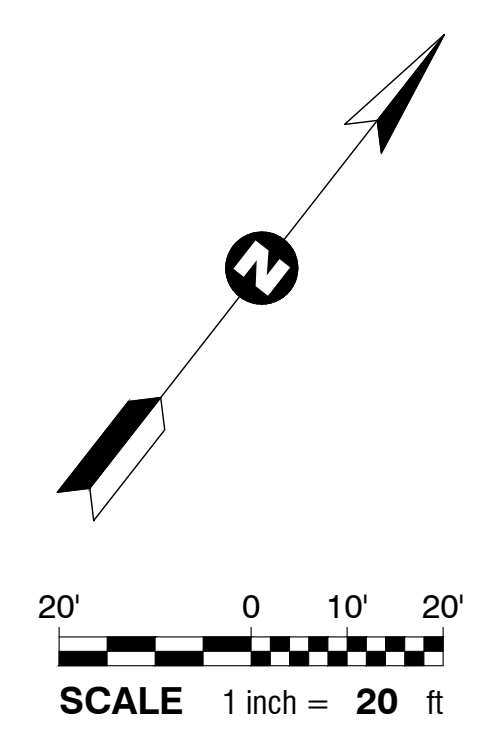
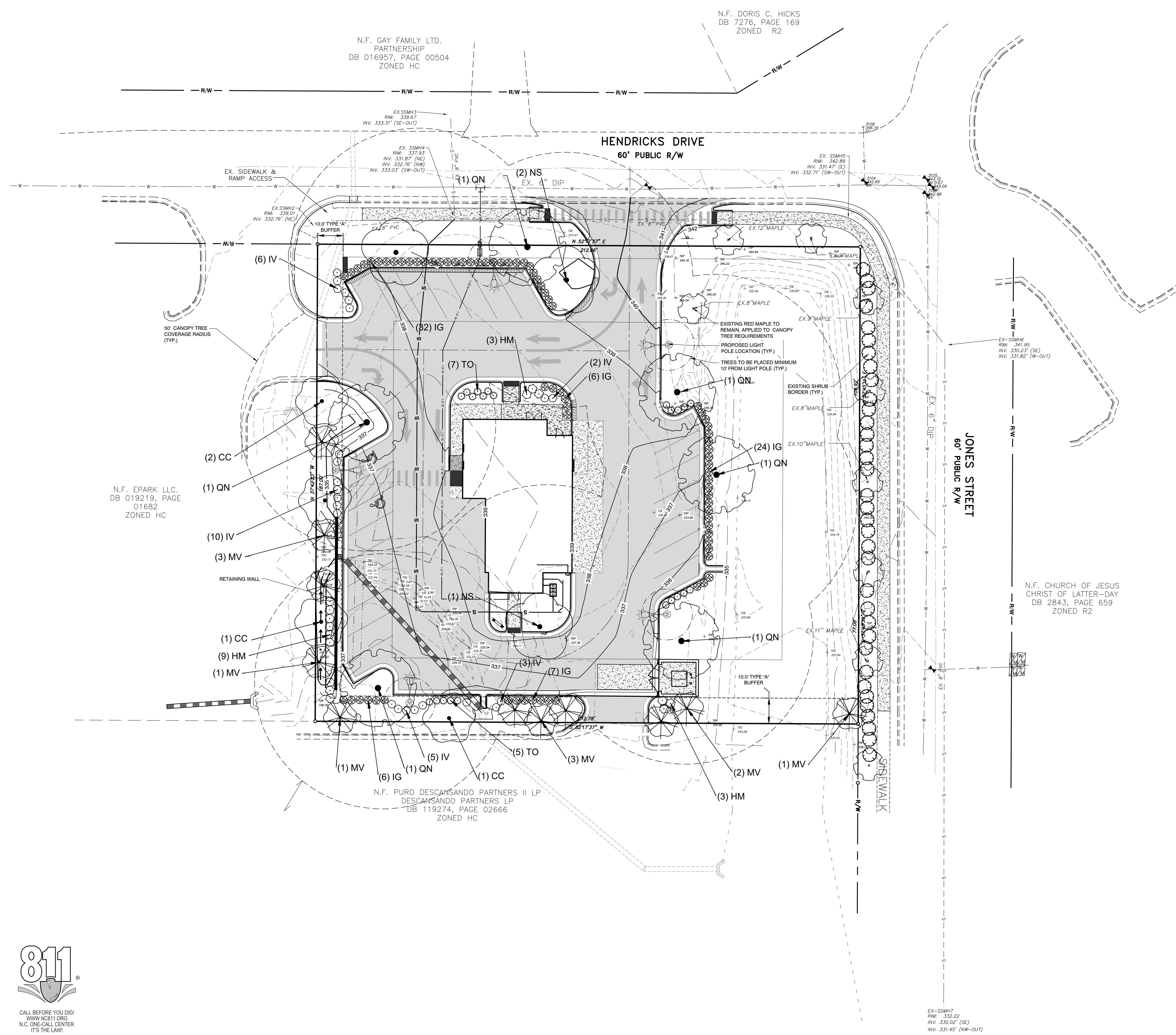
**REVISIONS:**

NO.	DESCRIPTION	DATE	BY
06/01/23	CONSTRUCTION DRAWINGS SUBMITTAL		

CONSTRUCTION DRAWINGS  
**DOMINO'S ZEBULON**  
 TOWN OF ZEBULON - WAKE COUNTY - NORTH CAROLINA  
**LANDSCAPE PLAN**

DATE: 06/08/2023  
 DESIGNED BY: SBF  
 DRAWN BY: SBF  
 CHECKED BY: PRM  
 PROJECT No. 2023018  
 DRAWING No. W-4081  
 SCALE: AS SHOWN  
 SHEET No.

**L1.01**



N.F. GAY FAMILY LTD. PARTNERSHIP  
 DB 016957, PAGE 00504  
 ZONED HC

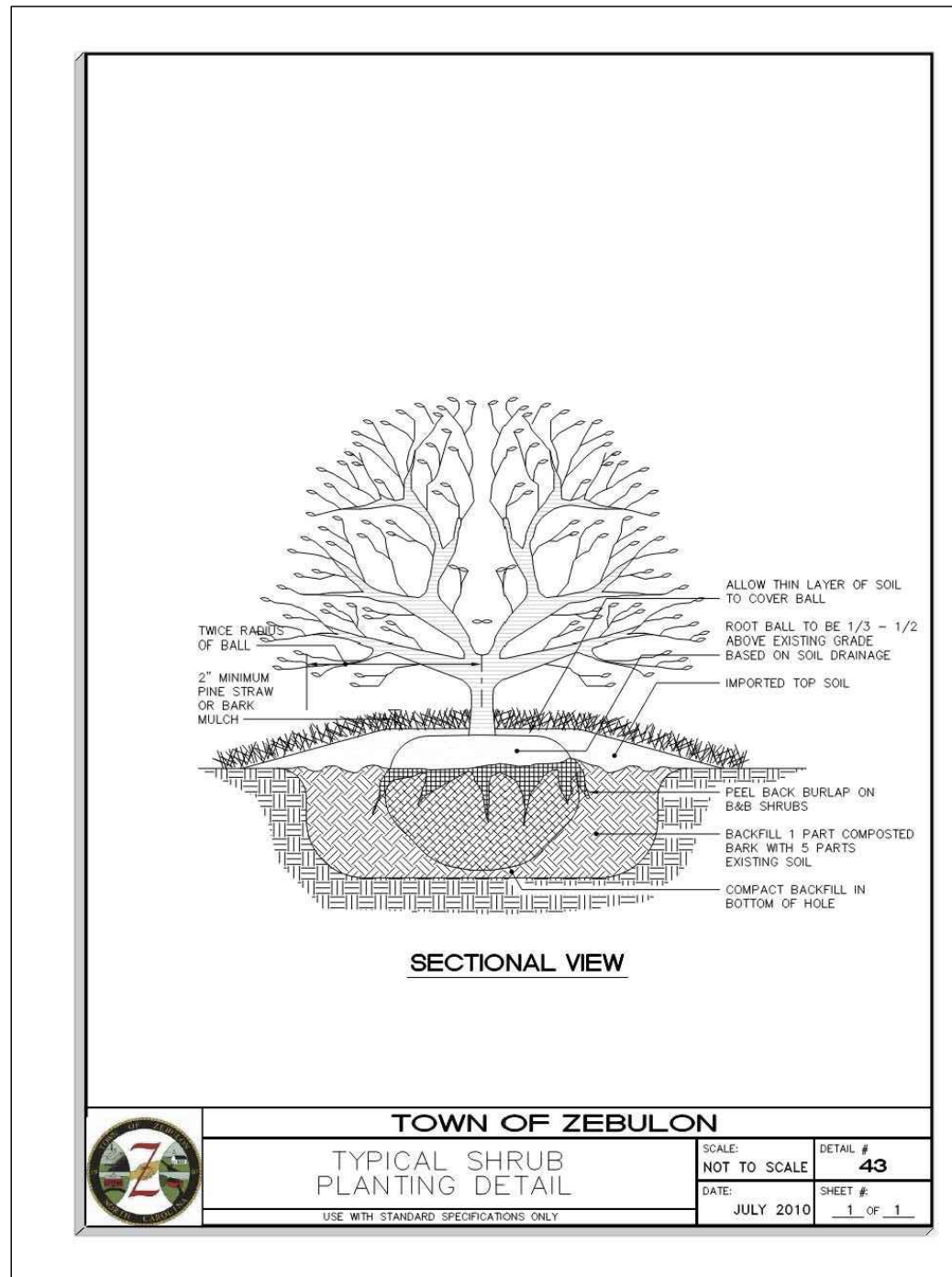
N.F. DORIS C. HICKS  
 DB 7276, PAGE 169  
 ZONED R2

N.F. EPARK LLC.  
 DB 019219, PAGE 01682  
 ZONED HC

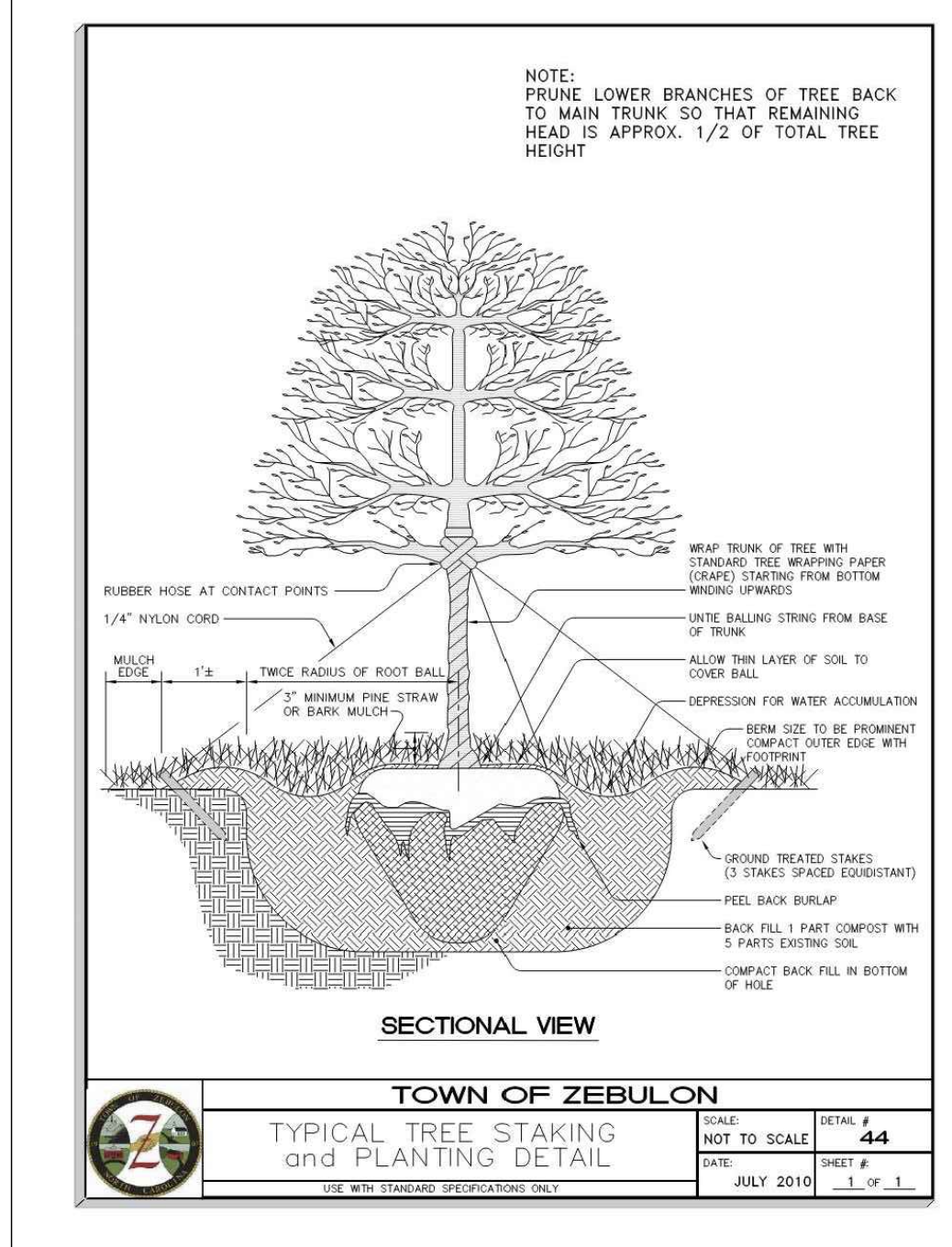
N.F. PURO DESCANSANDO PARTNERS II LP  
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N.F. CHURCH OF JESUS CHRIST OF LATTER-DAY  
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 ZONED R2

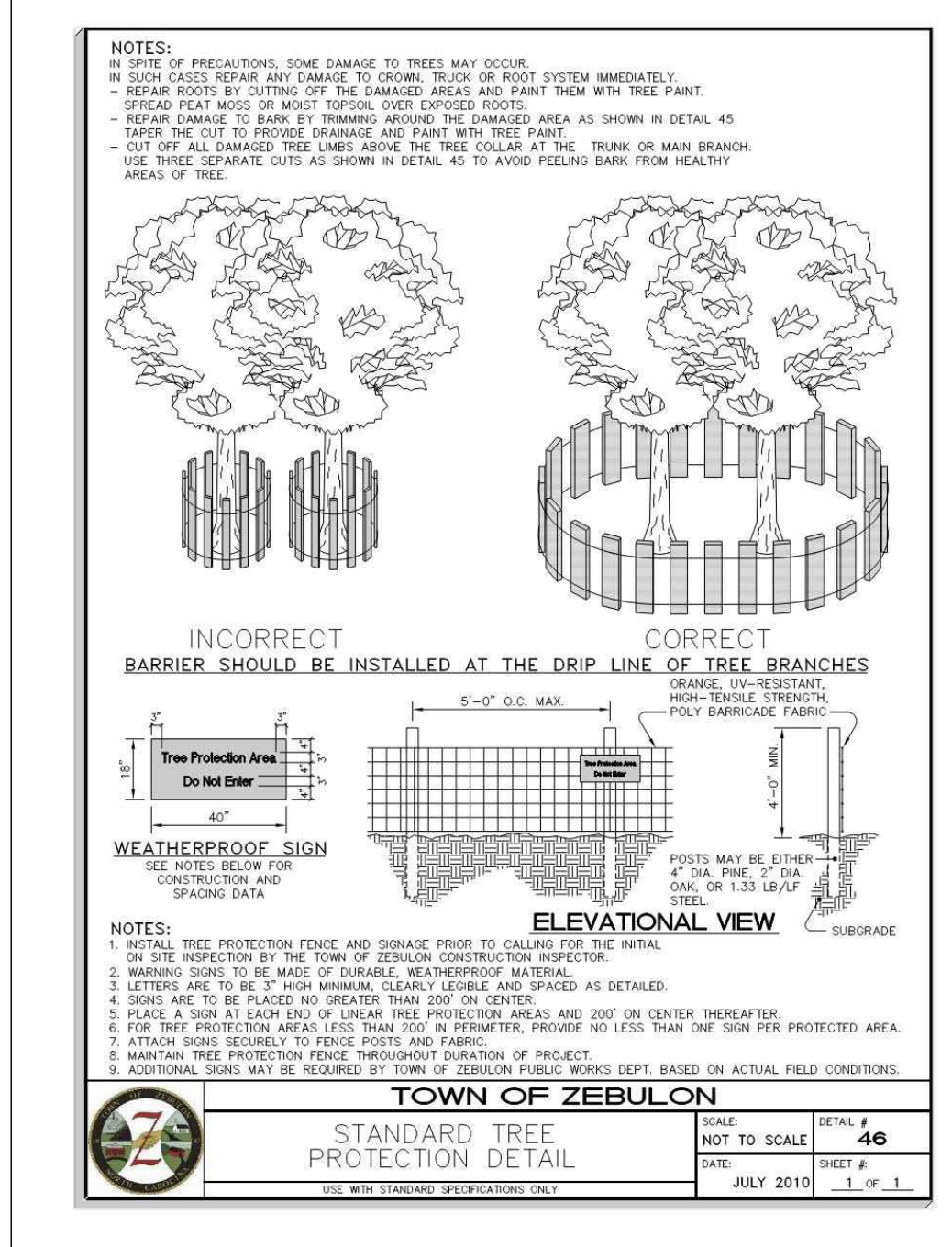
\\\s01\projects\2023\DOMINO'S ZEBULON\CONSTRUCTION DRAWINGS\1101 LANDSCAPE PLAN - MAIN.DWG



**TOWN OF ZEBULON**  
 TYPICAL SHRUB PLANTING DETAIL  
 SCALE: NOT TO SCALE  
 SHEET # 43  
 DATE: JULY 2010  
 1\"/>



**TOWN OF ZEBULON**  
 TYPICAL TREE STAKING and PLANTING DETAIL  
 SCALE: NOT TO SCALE  
 SHEET # 44  
 DATE: JULY 2010  
 1\"/>



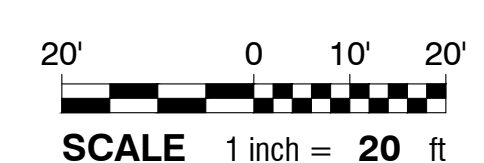
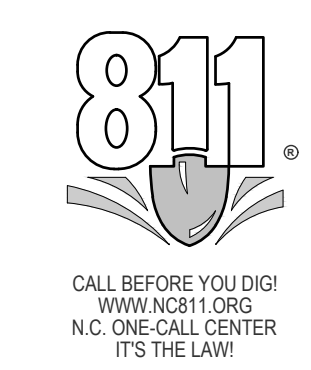
**TOWN OF ZEBULON**  
 STANDARD TREE PROTECTION DETAIL  
 SCALE: NOT TO SCALE  
 SHEET # 46  
 DATE: JULY 2010  
 1\"/>

**PLANTING NOTES:**

- ALL PLANTINGS SHALL COMPLY WITH CURRENT LOCAL ORDINANCES AND GUIDELINES.
- THIS PLAN IS FOR PLANTING LOCATIONS ONLY AND ALL PLANT MATERIAL SHALL BE SPACED AND LOCATED PER SCHEDULE. HOWEVER, CONTRACTOR TO SLIGHTLY ADJUST PLANT LOCATIONS IN THE FIELD AS NECESSARY TO BE CLEAR OF DRAINAGE SWALES AND UTILITIES. IF FOUND CONDITIONS VARY FROM THIS PLAN, CONTRACTOR SHALL CONTACT OWNER AND LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO DO SO WILL RESULT IN CONTRACTOR'S LIABILITY TO REPLACE PLANT MATERIALS.
- REFER TO PLANTING DETAILS FOR ADDITIONAL PLANTING INFORMATION.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL PLANT WATERING AND MAINTENANCE, INCLUDING SHRUBS AND GROUND COVER, AND SHALL MAINTAIN AREA IN A WEED AND DEBRIS FREE CONDITION, THROUGHOUT GUARANTEE PERIOD.
- CONTRACTOR TO VERIFY PLANT LIST TOTALS WITH QUANTITIES SHOWN ON PLAN.
- ALL SIZES SPECIFIED IN THE PLANT LIST ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE JUDGED. FAILURE TO MEET MINIMUM SIZE ON ANY PLANT WILL RESULT IN REJECTION OF THAT PLANT.
  - TREES: HEIGHT SHALL BE MEASURED FROM THE CROWN OF THE ROOT BALL TO THE TOP OF MATURE GROWTH. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF "Y" CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE INFESTATION.
  - ALL PLANTS SHALL BE FRESHLY DUG OR IN GROW POTS, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED, FREE OF DISEASE, INSECT EGGS, AND LARVAE, AND SHALL BE WELL ROOTED.
- FINISHED PLANTING BEDS SHALL BE GRADED SO AS TO NOT IMPED DRAINAGE AWAY FROM BUILDINGS. IF SIGNIFICANT RELOCATIONS ARE REQUIRED, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH RELOCATIONS KNOWN TO THE OWNER AND LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTOR'S LIABILITY FOR PLANT MATERIALS AND STORMWATER DAMAGE.
- FIELD LOCATE AND VERIFY UNDERGROUND UTILITIES LOCATIONS PRIOR TO PLANTING. FINAL TREE LOCATIONS TO BE FIELD ADJUSTED TO AVOID CONFLICTS WITH UTILITIES, LIGHTING AND DRIVEWAY LOCATIONS WHERE POSSIBLE. CONTACT LANDSCAPE ARCHITECT FOR A COORDINATED SOLUTION FOR ANY UTILITY CONFLICTS. CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ANY AND ALL PUBLIC OR PRIVATE UTILITIES.
- TREES SHALL BE STAKED WITH AN AT GRADE TREE STAKING SYSTEM. STAKING MUST BE REMOVED AS SOON AS POSSIBLE OR WITHIN ONE (1) YEAR OF PLANTING. MULCH SHALL BE APPLIED IN AN EVEN THREE INCH (3") TO FOUR INCH (4") LAYER AROUND THE TREE PIT IN ACCORDANCE WITH ACCEPTED PRACTICES IN THE LANDSCAPE INDUSTRY.
- CONTRACTOR SHALL NOT PLACE MULCH IN CONTACT WITH THE TRUNKS OF TREES OR SHRUBS.
- ALL TREE PITS, SHRUB BEDS AND PREPARED PLANTING BEDS ARE TO BE COMPLETELY EXCAVATED IN ACCORDANCE WITH THE PLANTING DETAILS.
- THE ROOT CROWN SHALL BE TWO INCHES (2") TO FOUR INCHES (4") ABOVE FINISHED GRADE (AFTER SETTLING) FOR SHRUBS AND ONE QUARTER (1/4) TO ONE HALF (1/2) THE BALL DEPTH ABOVE FINISH GRADE (AFTER SETTLING) FOR TREES.
- ALL SUBSTITUTIONS OF PLANT MATERIAL ARE TO BE REQUESTED IN WRITING TO THE LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER PRIOR TO INSTALLATION. FAILURE TO OBTAIN SUBSTITUTION APPROVAL IN WRITING MAY RESULT IN LIABILITY TO THE CONTRACTOR.
- DEAD PLANTS ARE TO BE REMOVED FROM THE JOB BY THE CONTRACTOR WEEKLY. CONTRACTOR SHALL MAINTAIN AN UPDATED, COMPREHENSIVE LIST OF ALL DEAD MATERIALS REMOVED AND PRESENT A COPY OF THE LIST TO THE OWNER AND THE LANDSCAPE ARCHITECT AT THE END OF EVERY MONTH DURING THE CONTRACT PERIOD.
- TOPSOIL REQUIRED FOR SOIL MIXES AND SPECIAL SEEDING AREAS SHALL BE PROVIDED BY THE CONTRACTOR. CONTRACTOR MUST LOAD, HAUL, MIX, AND SPREAD ALL TOPSOIL AND OTHER SOIL ADDITIVES AS REQUIRED.
- THE PROPERTY OWNER AND/OR LESSEE SHALL, UPON COMPLETION OF THE GUARANTEE PERIOD AND FINAL ACCEPTANCE OF THE LANDSCAPE MATERIALS, MAINTAIN ALL LANDSCAPE MATERIALS AND LANDSCAPE AREAS IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, MOWING, FERTILIZING, TREATING PESTS, MULCHING, PRUNING, REMOVAL AND REPLACEMENT OF DEAD OR DISEASED TREES AND SHRUBS. MAINTENANCE SHALL BE PERFORMED ON A REGULAR BASIS IN ORDER TO MAINTAIN PLANT VIGOR AND STABILITY AND TO PRESENT A NEAT AND WELL-KEPT APPEARANCE AT ALL TIMES.
- CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE IMPROVEMENTS, INCLUDING SEEDING, AS REQUIRED BY THE SPECIFICATIONS. CONTRACTOR MUST CONTACT THE OWNER AND THE LANDSCAPE ARCHITECT AT LEAST TO WORKING DAYS IN ADVANCE TO SCHEDULE ACCEPTANCE INSPECTIONS. CONTRACTOR MUST REPLACE ALL DEAD OR UNACCEPTABLE PLANTS DURING THE FOLLOWING RECOMMENDED PLANTING SEASON.
- ALL TREES AND SHRUBS SHALL MEET THE NORMAL REQUIREMENTS FOR THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) OR AMERICANHORT, ANSI Z601.
- MULCH SHALL BE FREE OF DEBRIS AND WOOD CHIPS. IT SHALL CONSIST OF AGED TRIPLE-SHREDDED HARDWOOD MULCH, FREE OF EXCESS TANIC ACID OR OTHER MULCH AS SPECIFIED ON THE PLANS. SAMPLES OF MULCH SHALL BE PROVIDED FOR THE LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO DELIVERING THE MULCH. THE OWNER RESERVES THE RIGHT TO REJECT ANY MULCH WHICH IS CONSIDERED TO BE UNSUITABLE. ALL MULCHES SHALL BE FREE OF ANY FOREIGN MATERIALS, PIECES LARGER THAN 6 INCHES, AND/OR GREEN WOOD.
- ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM THE ROOT BALL. REMOVE ALL SYNTHETIC MATERIALS: BURLAP, STRAPPING CORDAGE, ETC. PRIOR TO BACKFILLING ALL PLANT MATERIALS.
- NO PLANTING IDENTIFIED AS REACHING A MATURE HEIGHT OF MORE THAN TWENTY FEET (20') SHALL BE PLACED WITHIN A TRANSMISSION POWER LINE RIGHT-OF-WAY OR WITHIN TEN FEET (10') OF AN OVERHEAD UTILITY LINE.
- TREES WHICH OVERHANG THE PEDESTRIAN CIRCULATION ROUTES AT THE STREETS, SIDEWALKS OR WITHIN OPEN SPACE AREAS SHALL NOT EXTEND GREATER THAN FOUR INCHES INTO THE CIRCULATION ROUTE AT A HEIGHT LESS THAN 80 INCHES ABOVE THE ADJACENT GRADE. ALL TREES SHALL BE LIMBED TO PROVIDE 80 INCHES OF CLEARANCE AT WALKWAYS TO MEET A.D.A AND ANSI Z601 REQUIREMENTS.

**NOTES:**

- BOUNDARY AND TOPOGRAPHIC SURVEY PROVIDED BY WILLIAMS-PIERCE & ASSOCIATES, P.A.
- CONTRACTOR SHALL FIELD VERIFY LOCATION, SIZE, AND MATERIAL OF EXISTING SITE AND VICINITY FEATURES AND UTILITIES PRIOR TO BEGINNING DEMOLITION AND CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL NOTIFY THE CIVIL ENGINEER AND LANDSCAPE ARCHITECT OF ANY DISCREPANCIES THAT ARE FOUND BETWEEN THE EXISTING FIELD CONDITIONS AND THE SITE PLANS OR CONSTRUCTION DRAWINGS, WHENEVER THEY ARE FOUND, DURING ALL PHASES OF SITE WORK.
- THE PRUNING OF SCREENING SHRUBS SHALL ALLOW FOR LATERAL GROWTH OF BRANCHES SO AS TO FORM A HEDGE.
- ALL LANDSCAPE ISLANDS, BEDS AND LAWNS SHALL BE GRADED FOR POSITIVE DRAINAGE WITH NO LOW SPOTS ALLOWING WATER TO BE TRAPPED.
- CONTRACTOR SHALL PLANT TREES AND SHRUBS 5 FEET FROM BACK OF CURB WHEN PLANTED PERPENDICULAR FROM PARKING SPACES.
- WHEEL STOPS ARE REQUIRED IF LANDSCAPING CANNOT BE SET BACK 5 FEET.
- CONTRACTOR SHALL INSTALL ALL SHRUBS IN MULCHED BEDS.
- CONTRACTOR SHALL INSTALL ALL TREES IN MINIMUM 4'-6" DIA. MULCHED BEDS.
- WHERE TREES AND SHRUBS ARE LOCATED TOGETHER IN LANDSCAPE BUFFERS, THE CONTRACTOR SHALL MULCH THE FULL WIDTH AND LENGTH OF THE BUFFER.
- ALL UN-MULCHED AREAS OF THE SITE SHALL BE SEEDDED WITH LAWN GRASS. GRASS SEED SELECTION SHALL BE SUBMITTED TO AND APPROVED BY THE LANDSCAPE ARCHITECT, PRIOR TO PURCHASE AND INSTALLATION.



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 Raleigh, NC 27609  
 919.594.1626



**REVISIONS:**

NO.	DESCRIPTION	DATE	BY
06/01/23	CONSTRUCTION DRAWINGS SUBMITTAL		

**CONSTRUCTION DRAWINGS**  
**DOMINO'S ZEBULON**  
 TOWN OF ZEBULON - WAKE COUNTY - NORTH CAROLINA  
**LANDSCAPE NOTES AND DETAILS**

DATE: 06/08/2023

DESIGNED BY:	SBF
DRAWN BY:	SBF
CHECKED BY:	PRM, JSJ
PROJECT NO.:	2023018
DRAWING No.:	W-4081
SCALE:	AS SHOWN
SHEET No.:	

**L1.02**